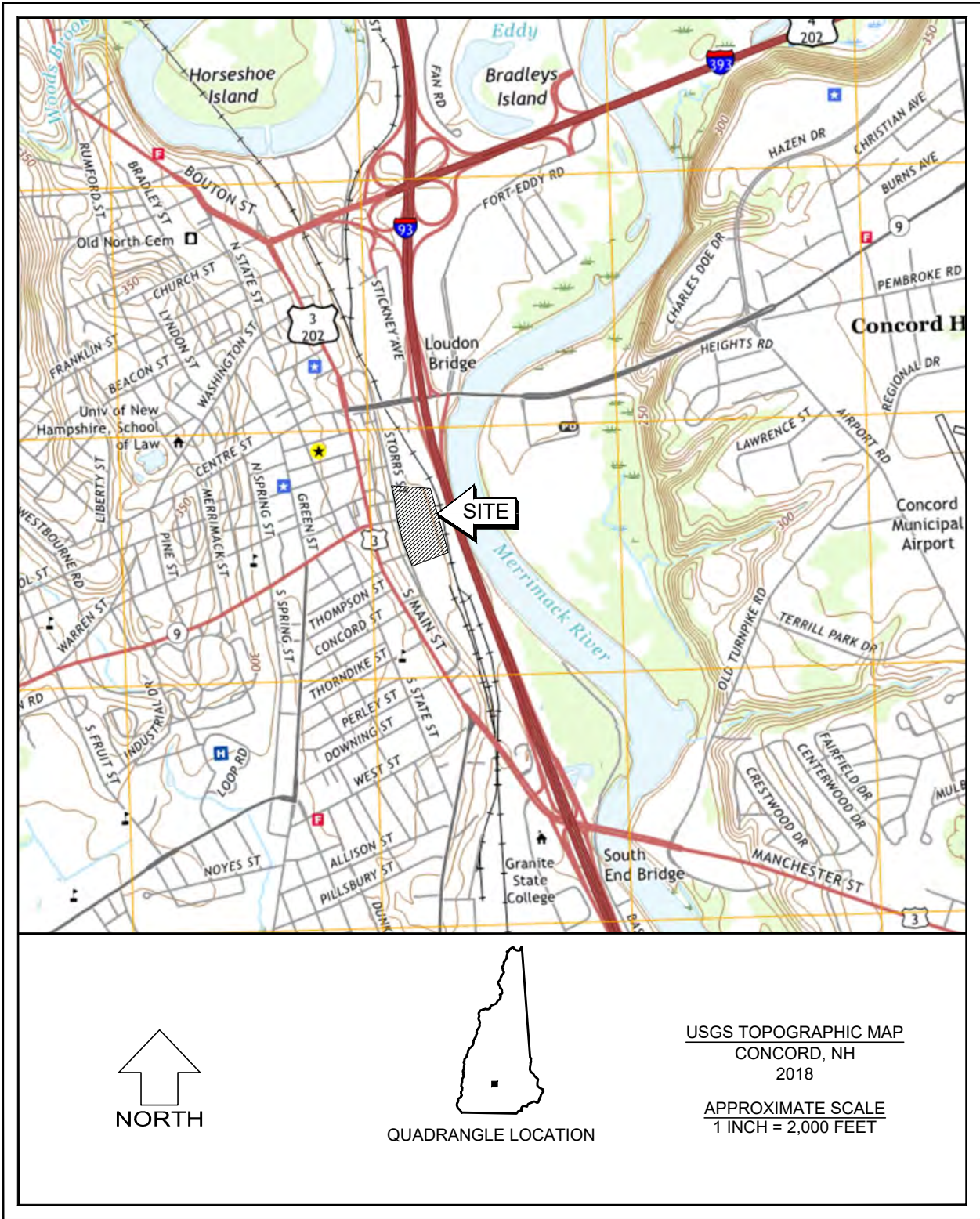


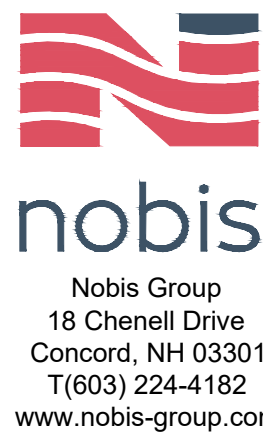
CAPITOL SHOPPING CENTER

80 STORRS STREET CONCORD, NEW HAMPSHIRE

OWNER
BRIXMORE CAPITOL SC, LLC - NEW YORK, NY
SITE ENGINEER
NOBIS GROUP - CONCORD, NH
LANDSCAPE ARCHITECT
WARRENSTREET ARCHITECTS INC - CONCORD, NH
LAND SURVEYOR
RICHARD D. BARTLETT & ASSOCIATES - CONCORD, NH

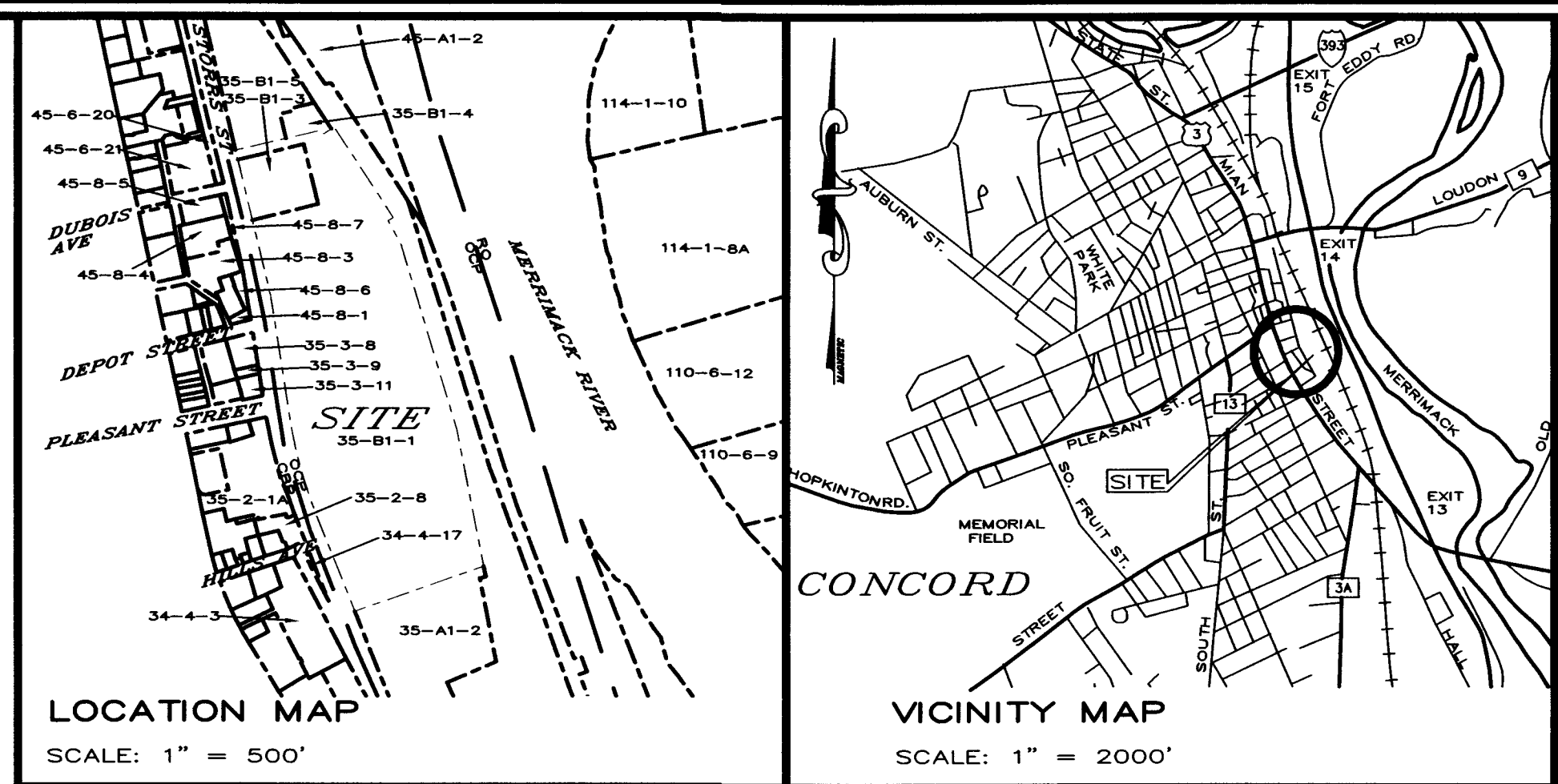
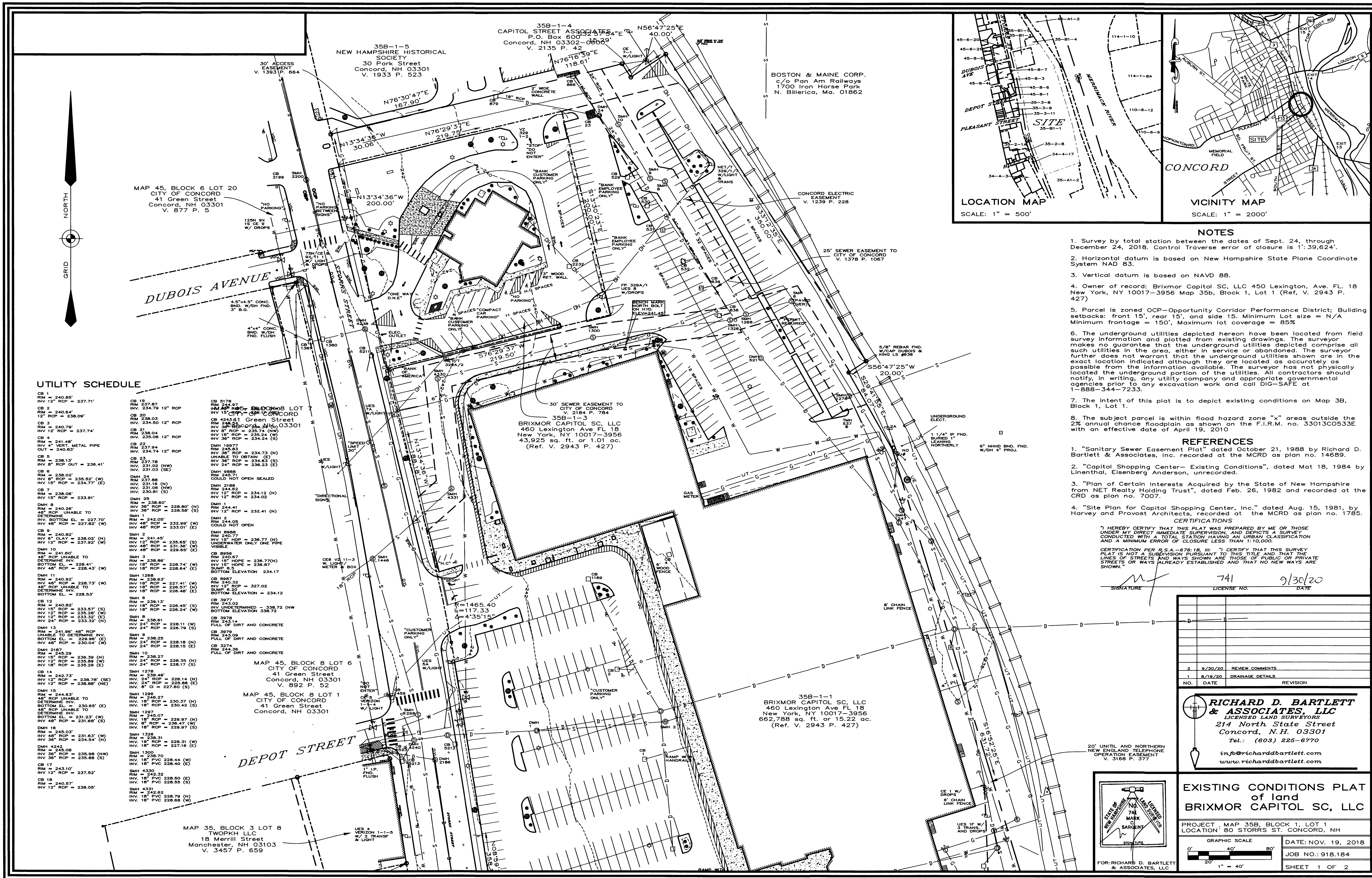


AUGUST 21, 2020
REVISED OCTOBER 2, 2020
REVISED NOVEMBER 20, 2020
REVISED JANUARY 20, 2021
REVISED FEBRUARY 18, 2021
REVISED MARCH 25, 2021



SHEET INDEX

I.D.	NO.	DRAWING NAME
CS	1	COVER SHEET
G-1	2	GENERAL NOTES AND LEGEND
S-1	3	EXISTING CONDITIONS PLAN
S-2	4	EXISTING CONDITIONS PLAN
C-1	5	PROJECT OVERVIEW
C-2	6	DEMOLITION PLAN
C-3	7	PROPOSED SITE PLAN
C-4	8	GRADING AND DRAINAGE PLAN
C-5	9	UTILITY LAYOUT PLAN
C-6	10	EROSION CONTROL PLAN
C-7.1	11	SEWER PLAN AND PROFILES
C-7.2	12	WATER PLAN AND PROFILE
C-7.3	13	DRAINAGE PLAN AND PROFILE
C-8	14	CONSTRUCTION DETAILS
C-9	15	CONSTRUCTION DETAILS
C-10	16	CONSTRUCTION DETAILS
C-11	17	CONSTRUCTION DETAILS
LA-101	18	LANDSCAPE PLAN
LA-102	19	PLANTING SCHEDULE
LA-103	20	LANDSCAPE GRAPHIC SCHEDULE & TOXIC PLANT LIST
LA-104	21	LANDSCAPE DETAILS
LA-105	22	LANDSCAPE SPECIFICATIONS
LA-106	23	LANDSCAPE SPECIFICATIONS, CONT. & INVASIVE SPECIES LIST
SL1.0	24	EXISTING LIGHTING PLAN
SL2.0	25	PROPOSED PHOTOMETRIC PLAN
SL2.1	26	FIXTURE SPECIFICATION SHEETS



NOTES

- Survey by total station between the dates of Sept. 24, through December 24, 2018. Control Traverse error of closure is 1:39,624.
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
- Vertical datum is based on NAVD 88.
- Owner of record: Brixmor Capital SC, LLC 450 Lexington Ave, FL 18 New York, NY 10017-3956 Map 35b, Block 1, Lot 1 (Ref. V. 2943 P. 427)
- Parcel is zoned OCP-Opportunity Corridor Performance District; Building setbacks: front 15', rear 15', and side 15'. Minimum Lot size = N/A Minimum frontage = 150', Maximum lot coverage = 85%
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The intent of this plat is to depict existing conditions on Map 3B, Block 1, Lot 1.
- The subject parcel is within flood hazard zone "x" areas outside the 2% annual chance floodplain as shown on the F.I.R.M. no. 33013C0533E with an effective date of April 19, 2010


REFERENCES

- "Sanitary Sewer Easement Plat" dated October 21, 1988 by Richard D. Bartlett & Associates, Inc. recorded at the MCRD as plan no. 14689.
- "Capitol Shopping Center- Existing Conditions", dated Mar 18, 1984 by Linenthal, Eisenberg Anderson, unrecorded.
- "Plan of Certain Interests Acquired by the State of New Hampshire from NET Realty Holding Trust", dated Feb. 26, 1982 and recorded at the CRD as plan no. 7007.
- "Site Plan for Capitol Shopping Center, Inc." dated Aug. 15, 1981, by Harvey and Provost Architects, recorded at the MCRD as plan no. 1785.

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

CERTIFICATION PER S.A. 678:18, III. I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

SIGNATURE:  741
LICENSE NO. 913020
DATE

NO.	DATE	REVISION
2	9/30/20	REVIEW COMMENTS
1	8/19/20	DRAINAGE DETAILS

RICHARD D. BARTLETT & ASSOCIATES, LLC
LICENSED LAND SURVEYORS
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
info@richarddbartlett.com
www.richarddbartlett.com

EXISTING CONDITIONS PLAT of land
BRIXMOR CAPITAL SC, LLC

PROJECT: MAP 35B, BLOCK 1, LOT 1
LOCATION: 80 STORRS ST. CONCORD, NH

GRAPHIC SCALE: 0' 40' 80'
DATE: NOV. 19, 2018
JOB NO.: 918.184
SHEET 1 OF 2

UTILITY SCHEDULE

CB 1 RIM = 240.85' INV 12" RCP = 237.71'	CB 19 RIM 237.87 INV 234.78 12" RCP	CB 5178 RIM 244.87 INV 234.78 12" RCP
CB 2 RIM = 240.64' 12" RCP = 238.09'	CB 20 RIM 236.03 INV 234.50 12" RCP	CB 5179 RIM 244.87 INV 234.78 12" RCP
CB 3 RIM = 240.79' INV 12" RCP = 237.74'	CB 21 RIM 236.03 INV 234.50 12" RCP	CB 5180 RIM 244.87 INV 234.78 12" RCP
CB 4 RIM = 241.48' INV 4" VENT. METAL PIPE OUT = 240.83'	CB 22 RIM 237.94 INV 234.74 12" RCP	CB 5181 RIM 244.87 INV 234.78 12" RCP
CB 5 RIM = 238.13' INV 8" RCP OUT = 236.41'	CB 23 RIM 237.78 INV 234.74 12" RCP	CB 5182 RIM 244.87 INV 234.78 12" RCP
CB 6 RIM = 238.02' INV 8" RCP = 235.52' (W)	CB 24 RIM 237.88 INV 234.74 12" RCP	CB 5183 RIM 244.87 INV 234.78 12" RCP
CB 7 RIM = 238.06' INV 15" RCP = 233.91'	CB 25 RIM 237.78 INV 234.74 12" RCP	CB 5184 RIM 244.87 INV 234.78 12" RCP
DMH 8 RIM = 240.28' 48" RCP UNABLE TO DETERMINE INV.	CB 26 RIM 237.78 INV 234.74 12" RCP	CB 5185 RIM 244.87 INV 234.78 12" RCP
DMH 9 RIM = 240.82' INV 6" CLAY = 236.02' (N)	CB 27 RIM 237.78 INV 234.74 12" RCP	CB 5186 RIM 244.87 INV 234.78 12" RCP
DMH 10 RIM = 241.60' UNABLE TO DETERMINE INV.	CB 28 RIM 237.78 INV 234.74 12" RCP	CB 5187 RIM 244.87 INV 234.78 12" RCP
DMH 11 RIM = 240.92' UNABLE TO DETERMINE INV.	CB 29 RIM 237.78 INV 234.74 12" RCP	CB 5188 RIM 244.87 INV 234.78 12" RCP
DMH 12 RIM = 240.82' INV 15" RCP = 233.57' (S)	CB 30 RIM 237.78 INV 234.74 12" RCP	CB 5189 RIM 244.87 INV 234.78 12" RCP
DMH 13 RIM = 241.96' 48" RCP UNABLE TO DETERMINE INV.	CB 31 RIM 237.78 INV 234.74 12" RCP	CB 5190 RIM 244.87 INV 234.78 12" RCP
DMH 14 RIM = 242.73' INV 12" RCP = 238.78' (SE)	CB 32 RIM 237.78 INV 234.74 12" RCP	CB 5191 RIM 244.87 INV 234.78 12" RCP
DMH 15 RIM = 244.63' 48" RCP UNABLE TO DETERMINE INV.	CB 33 RIM 237.78 INV 234.74 12" RCP	CB 5192 RIM 244.87 INV 234.78 12" RCP
DMH 16 RIM = 245.03' INV 48" RCP = 231.63' (W)	CB 34 RIM 237.78 INV 234.74 12" RCP	CB 5193 RIM 244.87 INV 234.78 12" RCP
DMH 17 RIM = 245.08' INV 36" RCP = 235.88' (NW)	CB 35 RIM 237.78 INV 234.74 12" RCP	CB 5194 RIM 244.87 INV 234.78 12" RCP
DMH 18 RIM = 243.10' INV 12" RCP = 237.52'	CB 36 RIM 237.78 INV 234.74 12" RCP	CB 5195 RIM 244.87 INV 234.78 12" RCP
DMH 19 RIM = 240.57' INV 12" RCP = 238.05'	CB 37 RIM 237.78 INV 234.74 12" RCP	CB 5196 RIM 244.87 INV 234.78 12" RCP



MAP 35, BLOCK 3 LOT 9
EFFIE RAFT TRUST
MARIA MCGARR, DEAN RAFT & JASON
RAFT, TRUSTEES
93 Storrs Street
Concord, NH 03301
V. 3435 P. 1244

MAP 35, BLOCK 3 LOT 11
CITY OF CONCORD
MICHAEL J. & JUDITH C. MONTRE REV.
TRUSTS
34 West Sugarball Road
Concord, NH 03301
V. 2146 P. 1419

MAP 35, BLOCK 2 LOT 1
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 2870 P. 953

CERTIFICATIONS

"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000."

CERTIFICATION PER R.S.A.-878:18, III. "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

SIGNATURE: [Signature] LICENSE NO. 741 DATE: 9/30/20

LEGEND

---	PROPERTY LINE	●	CONIFEROUS TREE
---	EDGE OF PAVEMENT	○	SHRUB
---	EDGE OF GRAVEL	○	DECIDUOUS TREE
---	OVERHEAD UTILITY LINES	○	ARTESIAN WELL
---	DRAINAGE LINE	○	IRON PIPE OR REBAR
---	SEWER LINE	○	GRANITE OR CONCRETE BOUND (GB OR CB)
---	GAS LINE	○	UTILITY POLE
---	TEL. LINE	○	LIGHT POLE
---	UNDERGROUND ELECT.	○	SEWER MANHOLE
---	DVL	○	DRAIN MANHOLE
---	DOUBLE YELLOW LINE	○	CATCH BASIN
---	SINGLE WHITE LINE	○	HYDRANT
---	VOC OR SGC	○	WATER SHUTOFF
---	SHORE LINE	○	WATER VALVE
---	CHAIN LINK FENCE	○	IRRIGATION CONTROL VALVE
---	STOCKADE FENCE	○	GAS SHUTOFF
---	STONE WALL	○	
---	EDGE OF WOODS	○	
---	CONCRETE	○	

MAP 35, BLOCK 2 LOT 8
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 2360 P. 1958

MAP 34, BLOCK 4 LOT 17
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 758 P. 384

MAP 34, BLOCK 4 LOT 3
STATE OF NEW HAMPSHIRE
C/O Secretary of State
107 N. Main Street
Concord, NH 03301
V. 676 P. 136

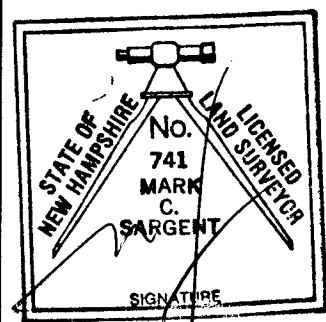
MAP 35A, BLOCK 1 LOT 2
STATE OF NEW HAMPSHIRE
C/O Secretary of State
107 N. Main Street
Concord, NH 03301
V. 953 P. 228

CONCORD ELECTRIC
EASEMENT
V. 898 P. 73

BOSTON & MAINE CORP.
c/o Pan Am Railways
1700 Iron Horse Park
N. Billerica, Ma. 01862

ZONING SUMMARY

ZONING REQUIREMENT		EXISTING	ZONING REQUIREMENT		EXISTING
STREET FRONTAGE		150' MINIMUM	BUILDING HEIGHT		45' MAXIMUM
LOT AREA-SQ. FT.		N/A MINIMUM	PARKING SPACES		MINIMUM
OFFSETS TO PROPERTY LINES	FRONT	15' MINIMUM	LOADING SPACES		MINIMUM
	SIDE	15' MINIMUM	BUILDING & PARKING COVERAGE		85% MAXIMUM
	REAR	15' MINIMUM	BUILDING COVERAGE		27%



FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

RICHARD D. BARTLETT & ASSOCIATES, LLC

214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770

info@richarddbartlett.com
www.richarddbartlett.com

LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT of land BRIXMOR CAPITOL SC, LLC

PROJECT: MAP 35B, BLOCK 1, LOT 1
LOCATION: 80 STORRS ST. CONCORD, NH

DATE: NOV. 19, 2018
JOB NO.: 918.184
SHEET 2 OF 2

GRAPHIC SCALE
0' 40' 80'
1" = 40'

ZONING ANALYSIS

TAX MAP/BLOCK/LOT: MAP 35B/ BLOCK 1/ LOT 1

ADDRESS: 80 STORRS STREET
CONCORD, NEW HAMPSHIRE

ZONING DISTRICT: OCP (OPPORTUNITY CORRIDOR PERFORMANCE DISTRICT)

TOTAL LOT AREA: MINIMUM EXISTING
N/A 662,788 SF (15.22 AC)*

LOT FRONTAGE: 150 LF 1,320± LF

BUILDING SETBACKS: FRONT BACK SIDE
15' 15' 15'

PARKING SETBACKS: 15' 15' 15'

LOADING AREA SETBACKS: 10' 10' 10'

BUILDING AREA EXISTING BUILDING AREA PROPOSED
TOTAL BUILDINGS: 180,160 SF 180,160 SF
ADDITION: 14,005 SF

TOTAL: 180,160 SF TOTAL: 194,165 SF

EXISTING FLOOR/AREA RATIO = 0.27
PROPOSED FLOOR/AREA RATIO = 0.29

PARKING ANALYSIS:

GROSS AREA	REQ. SPACES	TOTAL
194,165 SF	1 PER 200 SF	971

SINGLE OR MULTI-TENANT
RETAIL USE IN EXCESS OF
100,000 SF RETAIL / TRADE

	REQUIRED	EXISTING	PROPOSED
TOTAL SPACES	977	885	798
	REQUIRED ACCESSIBLE SPACES (2% OF TOTAL)		
	18		
	REQUIRED VAN ACCESSIBLE SPACES (1 IN 6)		
	9		

*EXCLUDES BANK LEASE LOT (43,894 SF)

LANDSCAPING ANALYSIS - ENTIRE LOT

MAX. ALLOWABLE LOT COVERAGE: 563,165 (85.0%)
EXISTING LOT COVERAGE: 632,760 SF (95.5%)
PROPOSED LOT COVERAGE: 622,467 SF (93.9%)
NET LOT COVERAGE DECREASE = 10,293 SF (1.6%)

EXISTING PARKING/ACCESS AREA: 452,600 SF
TOTAL REQUIRED INTERIOR LANDSCAPING: 31,682 SF (7.0%)
TOTAL EXISTING INTERIOR LANDSCAPING: 20,624 SF (4.5%)

PROPOSED PARKING/ACCESS AREA: 385,060 SF
TOTAL REQUIRED INTERIOR LANDSCAPING: 26,954 (7.0%)
TOTAL PROPOSED INTERIOR LANDSCAPING: 20,778 SF (5.4%)
NET INTERIOR LANDSCAPING INCREASE = 154 SF (0.9%)

LANDSCAPING ANALYSIS - PROPOSED PROJECT AREA ONLY

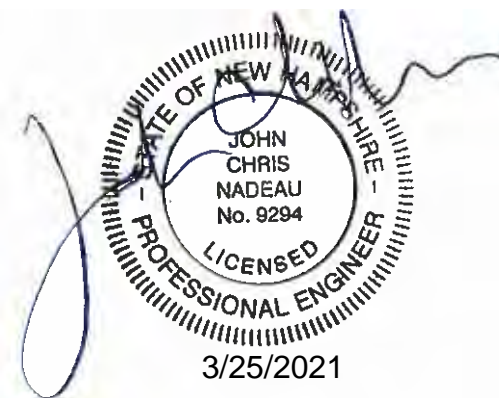
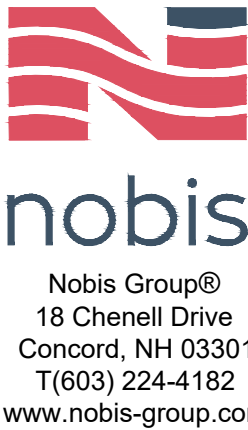
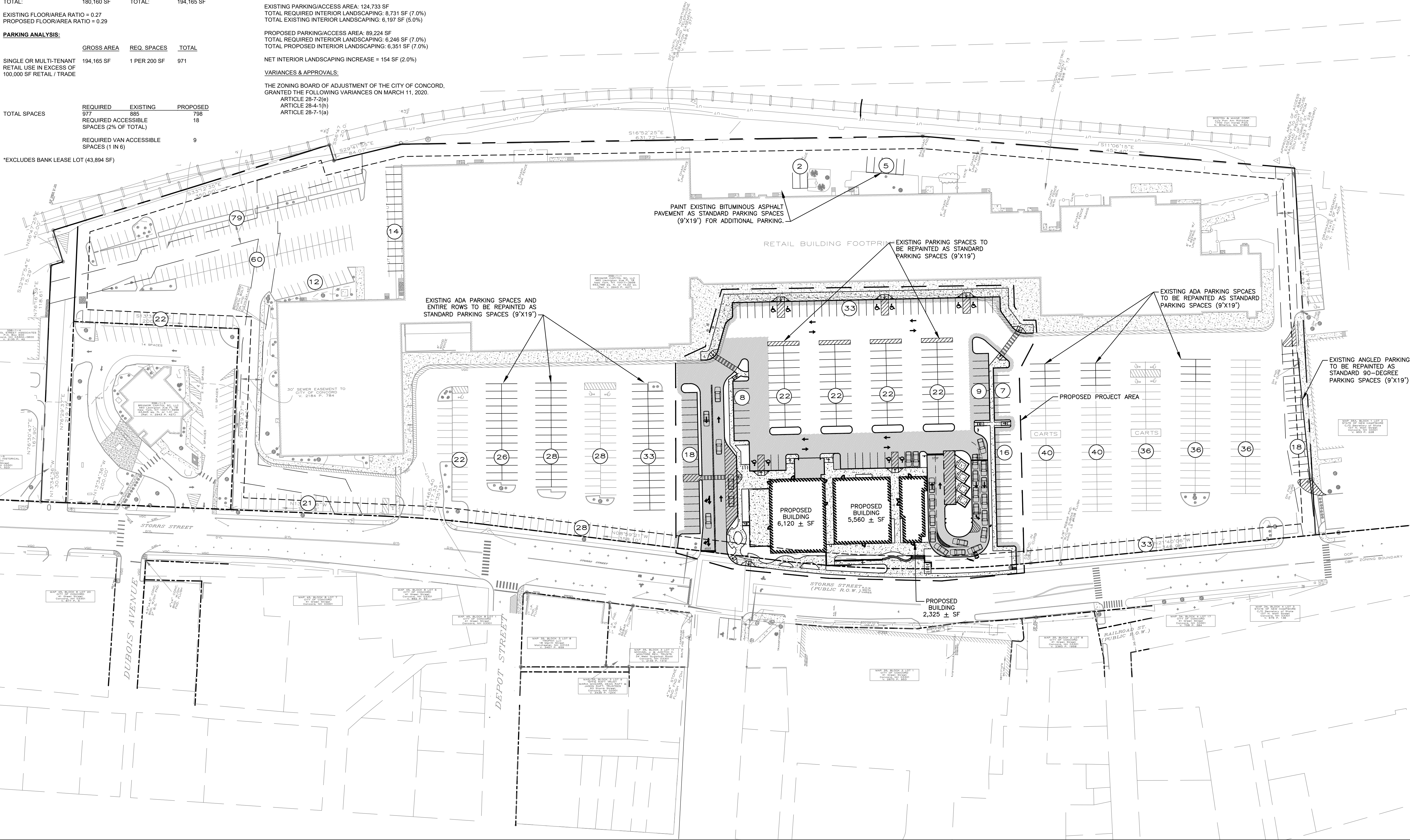
TOTAL PROPOSED PROJECT AREA: 142,701 SF
EXISTING LOT COVERAGE: 134,504 SF (94.3%)
PROPOSED LOT COVERAGE: 124,211 SF (87.0%)
NET PROJECT AREA COVERAGE DECREASE = 10,293 SF (7.3%)

EXISTING PARKING/ACCESS AREA: 124,733 SF
TOTAL REQUIRED INTERIOR LANDSCAPING: 8,731 SF (7.0%)
TOTAL EXISTING INTERIOR LANDSCAPING: 6,197 SF (5.0%)

PROPOSED PARKING/ACCESS AREA: 89,224 SF
TOTAL REQUIRED INTERIOR LANDSCAPING: 6,246 SF (7.0%)
TOTAL PROPOSED INTERIOR LANDSCAPING: 6,351 SF (7.0%)
NET INTERIOR LANDSCAPING INCREASE = 154 SF (2.0%)

VARIANCES & APPROVALS:

THE ZONING BOARD OF ADJUSTMENT OF THE CITY OF CONCORD,
GRANTED THE FOLLOWING VARIANCES ON MARCH 11, 2020.
ARTICLE 28-7-2(e)
ARTICLE 28-4-1(h)
ARTICLE 28-7-1(a)



NOT ISSUED
FOR
CONSTRUCTION

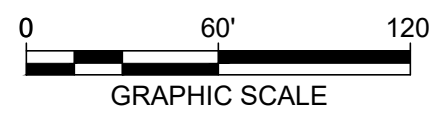
CAPITOL SHOPPING CENTER

MAP 35B, BLOCK 1, LOT 1
80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
1	3/25/2021	REVISIONS
2	2/18/2021	REVISIONS
3	1/20/2021	RESPONSE TO COMMENTS
4	11/20/2020	REVISIONS
5	10/2/2020	RESPONSE TO COMMENTS

REVISIONS



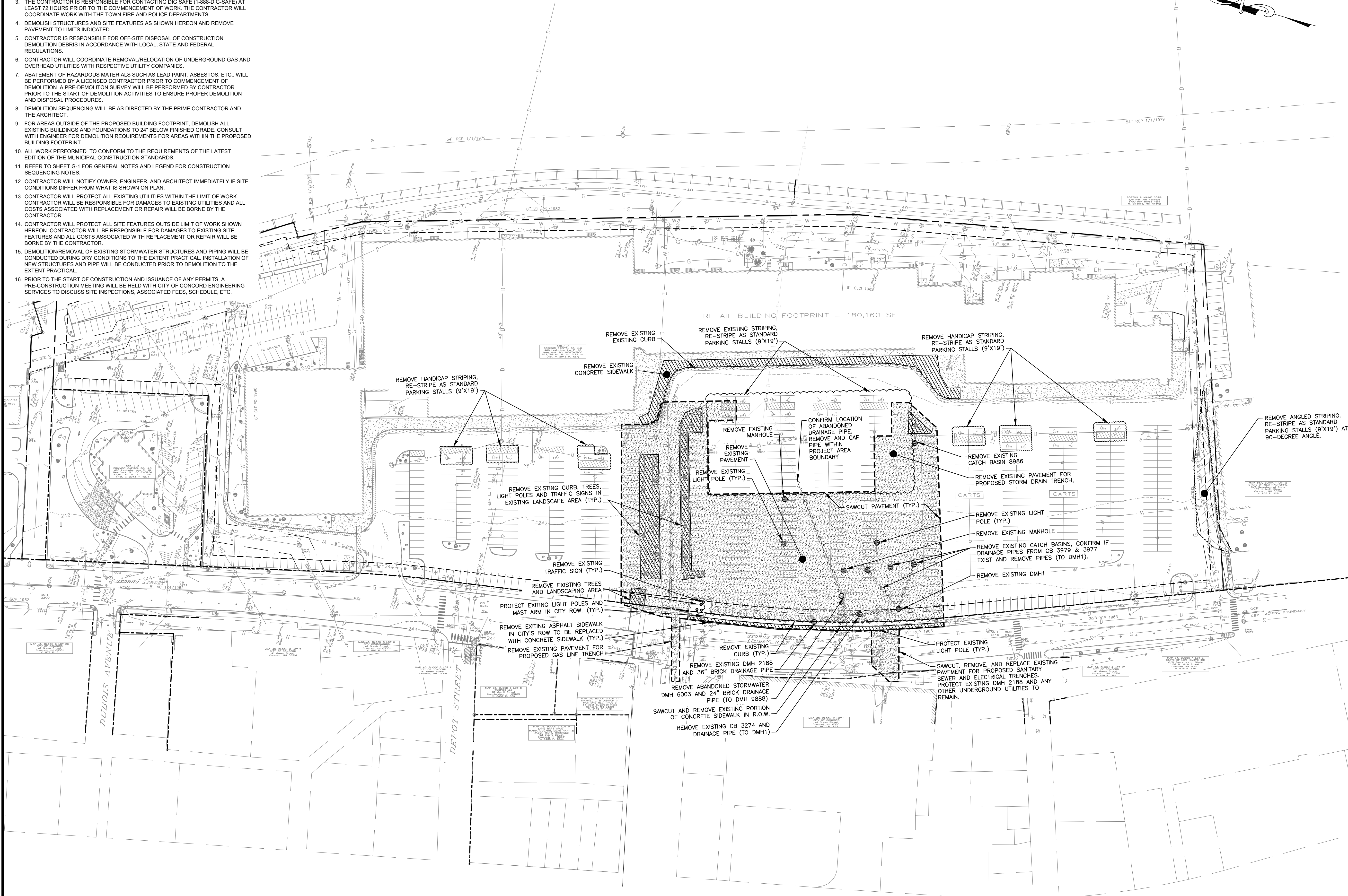
DATE: AUGUST 2020
NOBIS PROJECT NO. 95250.00
DRAWN BY: MD
CHECKED BY: JCN
CAD DRAWING FILE:
95250.00-C-200-SITE.dwg
SHEET TITLE

SITE OVERVIEW

SHEET
C-1

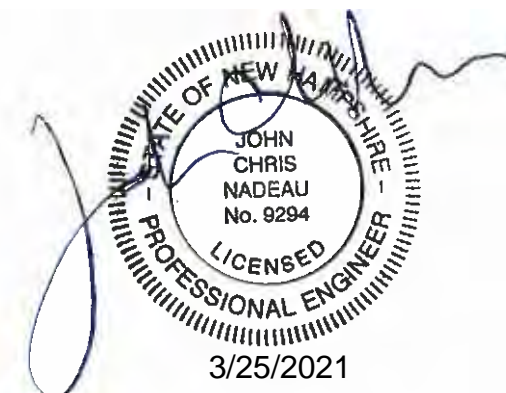
NOTES:

1. REFER TO SURVEYOR'S PLAN FOR PLAN REFERENCES ADDITIONAL NOTES, EXISTING DRAINAGE AND SANITARY SEWER INVERT INFORMATION.
2. LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE TOWN FIRE AND POLICE DEPARTMENTS.
4. DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE PAVEMENT TO LIMITS INDICATED.
5. CONTRACTOR IS RESPONSIBLE FOR OFF-SITE DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
6. CONTRACTOR WILL COORDINATE REMOVAL/RELOCATION OF UNDERGROUND GAS AND OVERHEAD UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
7. ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD PAINT, ASBESTOS, ETC., WILL BE PERFORMED BY A LICENSED CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION. A PRE-DEMOLITION SURVEY WILL BE PERFORMED BY CONTRACTOR PRIOR TO THE START OF DEMOLITION ACTIVITIES TO ENSURE PROPER DEMOLITION AND DISPOSAL PROCEDURES.
8. DEMOLITION SEQUENCING WILL BE AS DIRECTED BY THE PRIME CONTRACTOR AND THE ARCHITECT.
9. FOR AREAS OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, DEMOLISH ALL EXISTING BUILDINGS AND FOUNDATIONS TO 24" BELOW FINISHED GRADE. CONSULT WITH ENGINEER FOR DEMOLITION REQUIREMENTS FOR AREAS WITHIN THE PROPOSED BUILDING FOOTPRINT.
10. ALL WORK PERFORMED TO CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE MUNICIPAL CONSTRUCTION STANDARDS.
11. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND FOR CONSTRUCTION SEQUENCING NOTES.
12. CONTRACTOR WILL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
13. CONTRACTOR WILL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
14. CONTRACTOR WILL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING SITE FEATURES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
15. DEMOLITION/REMOVAL OF EXISTING STORMWATER STRUCTURES AND PIPING WILL BE CONDUCTED DURING DRY CONDITIONS TO THE EXTENT PRACTICAL. INSTALLATION OF NEW STRUCTURES AND PIPE WILL BE CONDUCTED PRIOR TO DEMOLITION TO THE EXTENT PRACTICAL.
16. PRIOR TO THE START OF CONSTRUCTION AND ISSUANCE OF ANY PERMITS, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH CITY OF CONCORD ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULE, ETC.



nobis

Nobis Group®
18 Chenell Drive
Concord, NH 03301
T(603) 224-4182
www.nobis-group.com



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CAPITOL SHOPPING
CENTER

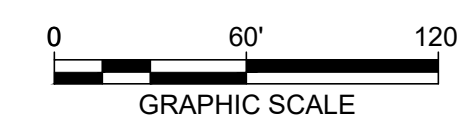
MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIXMOR CAPITOL SC, LLC
450 LEXINGTON AVE, 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
3	3/25/2021	REVISIONS
4	2/18/2021	REVISIONS
3	1/20/2021	RESPONSE TO COMMENTS
2	11/20/2020	REVISIONS
1	10/2/2020	RESPONSE TO COMMENTS

REVISIONS

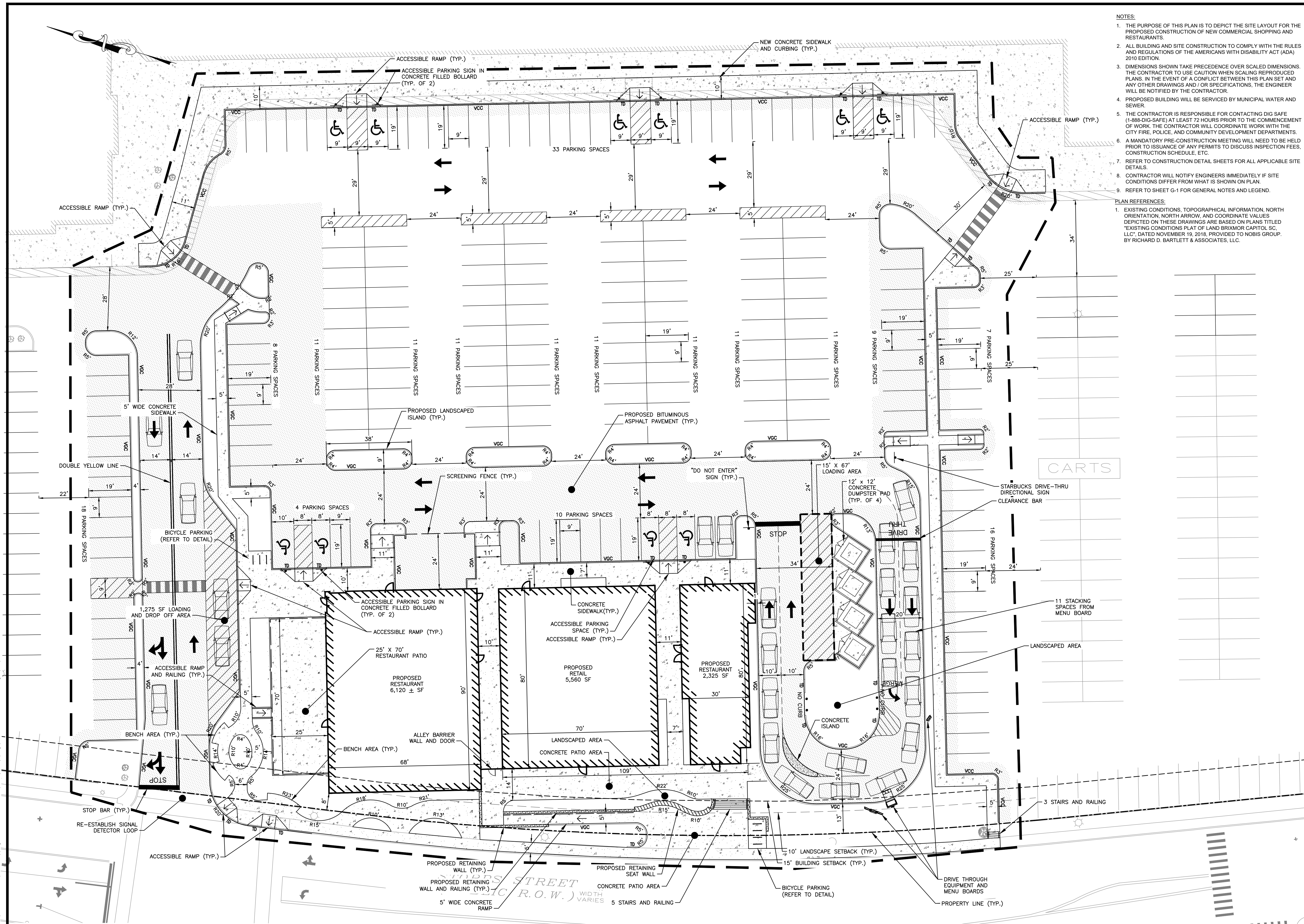


DATE: AUGUST 2020
NOBIS PROJECT NO. 95250.00
DRAWN BY: MD
CHECKED BY: JCN
CAD DRAWING FILE:
95250.00-C-100-DEMO.dwg

SHEET TITLE

DEMOLITION
PLAN

SHEET
C-2



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Concord, NH 03301
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NOT ISSUED
FOR
CONSTRUCTION

CAPITOL SHOPPING
CENTER

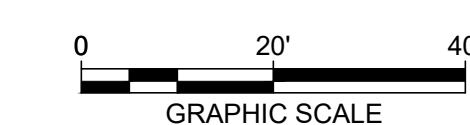
MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
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5	3/25/2021	REVISIONS
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2	11/20/2020	REVISIONS
1	10/2/2020	RESPONSE TO COMMENTS
NO.	DATE	DESCRIPTION

REVISIONS



DATE: AUGUST 2020

NOBIS PROJECT NO. 95250.00

DRAWN BY: MD

CHECKED BY:

CAD DRAWING FILE:

95250.00-C-200-SITE.dwg

SHEET TITLE

PROPOSED SITE PLAN

SHEET
C-3

1
POL SC, LLC
Ave FL 18
10017-3956
or 15.22 ac.
5 P. 427)



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CONSTRUCTION

CAPITOL SHOPPING CENTER

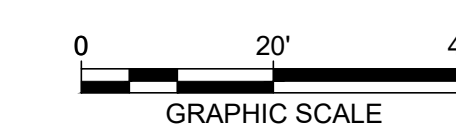
MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIXMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

5	3/25/2021	REVISIONS
4	2/18/2021	REVISIONS
3	1/20/2021	RESPONSE TO COMMENTS
2	11/20/2020	REVISIONS
1	10/2/2020	RESPONSE TO COMMENTS
NO.	DATE	DESCRIPTION

REVISIONS



DATE: AUGUST 2020

NOBIS PROJECT NO. 95250.00

DRAWN BY: MD

CHECKED BY: JCN

CAD DRAWING FILE:

95250.00-C-300-G&D.dwg

SHEET TITLE

GRADING AND DRAINAGE

SHEET

C-4

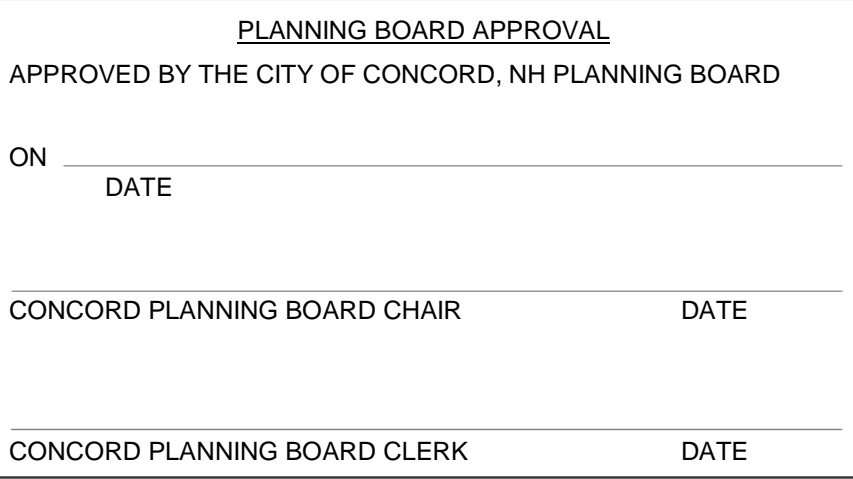
J:\95250.00 - Capitol Shopping Center Concord, NH\240 (2018)\dwg\95250.00-C-300-G&D.dwg 3/26/2021 1:12 PM

ISSUED FOR REVIEW

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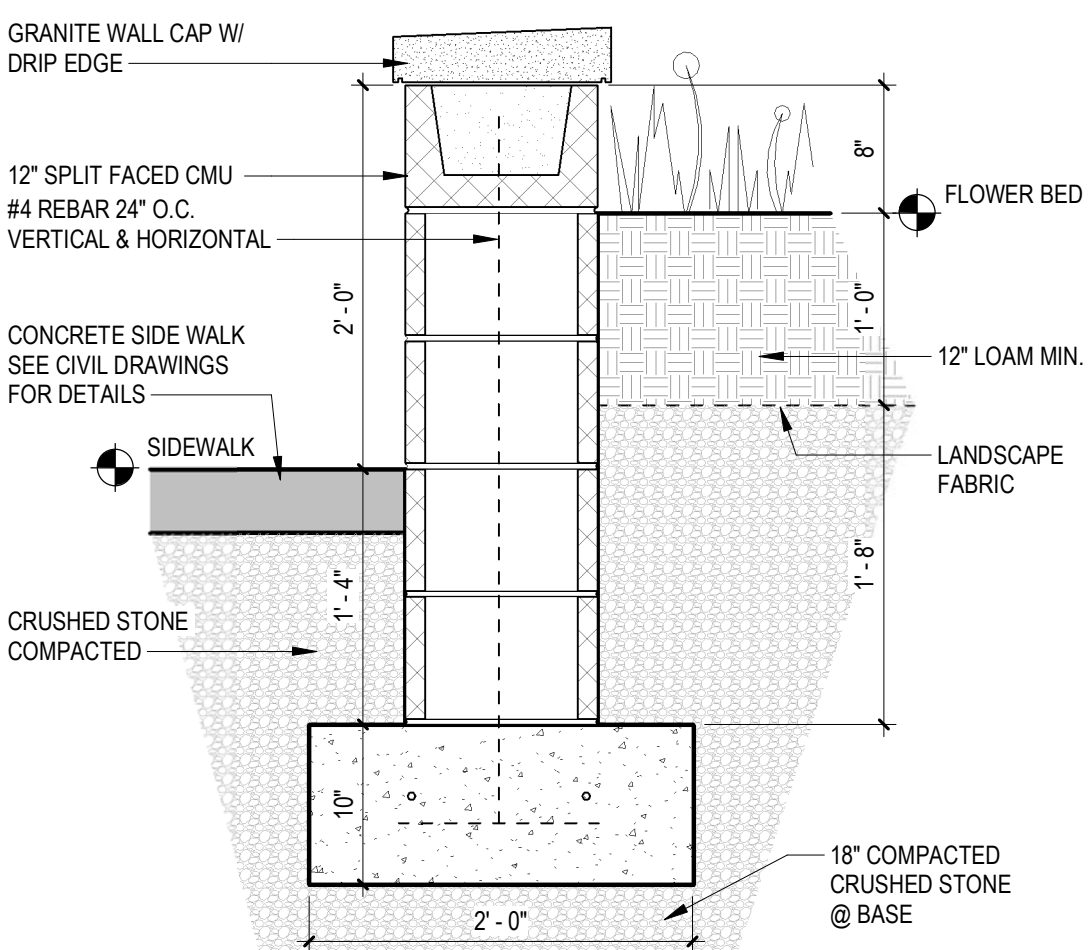
LA101

SHEET NUMBER: 1 OF 6 ARCHITECTURAL
 DRAWING AND ITS CONTENT IS THE INTELLECTUAL PROPERTY OF WARRENSTREET
 ARCHITECTS INC. WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE
 LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS
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A X (13)
(30) S-1
(30) S-2
(30) S-3

B X (2)
(100) S-1
(100) S-2
(100) S-3



2	GRANITE SLAB RAISED BED DETAIL 1" = 1'-0"
---	--

1	SITE PLAN 1/16" = 1'-0"
---	----------------------------

three inches = one foot

one and one half inches = one foot

one inch = one foot

three quarter inch = one foot

one quarter inch = one foot

one eighth inch = one foot

P:\PROJECTS\628 CAPITAL PLAZA LA3628 CAPITAL PLAZA LANDSCAPE.dwg
TEMPLATE DATE: 03/05/2019

Capital Shopping Center, Concord, New Hampshire - Master Planting Schedule									
Warrenstreet Architects, Inc 27 Warren St, Concord, NH 03301 (603) 225-0640 Attn: Jonathan Halle AIA, PLA					USDA Zone: 5A (-20 to -15 F)				
Key (S - Sun; S/Sh - Sun/Shade; S/PSH - Sun and Part Shade; PSh - Part Shade; PSh/Sh - Part Shade/Shade; FS - Full Shade)									
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth		Installed Size	Type	Notes (hgt, exposure, bloom, color)
					Height	Spread			
Large Deciduous Trees									
AFR	2	Autumn Flame Red Maple	Acer rubrum 'Autumn Flame'	4-8	40-60'	30-50'	2 1/2" -3" cal	B&B	S/Ph - rapid growth shade or privacy soil and drought resistant lawn tree
POT	4	Pin Oak Tree	Quercus palustris	3-8	60-70'	35-45'	2 1/2"-3" cal	B&B	S - Broad shade tree rounded crown fast grow good urban tree
AST	3	American Sycamore Tree	Platanus accidentalis	4-9	70'	50'	2 1/2" -3" cal	B&B	S/Ph - classic native tree urban tolerant mottled bark
Small Accent Flowering Trees									
FPR	4	Forest Pansy Redbud Tree	Cercis canadensis 'Forest Pansy'	4-9	20-30'	15-20'	6'-7' hgt.	B&B	S/Ph - spectacular purple red foliage deer resistant
KDT	2	Kousa Dogwood Tree	Cornus Kousa	5-8	20-30'	20-30'	2 1/2"-3" cal	B&B	S/Ph - white spring blooms, red leaves, resilient urban tree
YCT	4	Yoshino Cherry Tree	Prunus x yedoensis	5-8	20-30'	10-20'	2 1/2"-3" cal	B&B	S/Psh - Slarge pink spring blossoms orange fall leaves alkaline soils
Evergreen Trees & Accent Evergreens									
SJS	2	Spartan Juniper	Juniperus chinensis 'Spartan'	4-9	15-20'	5-10'	6'-7' hgt.	B&B	S/Ph - hedge, fast growth, drought resistant
SKJ	8	Skyrocket Juniper	Juniperus virginiana 'Skyrocket'	3-9	15-20'	2-4'	6'-7' hgt.	B&B	S/Ph - drought and heat resistant upright accent silver blue foliage
HYB	2	Hicks Yew	Taxus x media 'Hicksii'	4-7	12-20'	8-12'	5 Gal	CTN	S/Ph - bright red fruit summer hedge or centerpiece
MSA	8	Techny Arborvitae	Thuja Occidentalis "Techny"	2-8	12'-15'	6'-8'	6-7' hgt	B&B	S/Psh - Very hardy, columnar, holds nice color all year, ideal for low maintenance hedge.
Low Evergreen Ground Cover									
TAM	61	Tam Juniper	Juniperus sabina 'tamariscifolia'	4-7	18"	6-10'	5 Gal	CTN	S - Low spreading mounded form with horizontal brances and blueish green foliage.
JAP	62	Juniper Andorra	(J. Horizontalis 'Plumosa')	3-9	12"	4'	5 Gal	CTN	S/Ph - Dense compact bright grey green color
PAR	16	Pancake Arborvitae	Thuja occidentalis 'Concesarini'	4-8	24-36"	12-18"	5 Gal	CTN	S - rounded evergreen grwoing low and flat grows anywhere
Deciduuous and Flowering Shrubs									
GRB	3	Golden Rocket Barberry	Berberis thunbergii 'Golden Rocket'	4-8	3-5'	1-2'	2'-2 1/2' ht.	B&B	S - bright gold foliage non-invasive form
RSH	6	Red Sensation Hydrangia	Hydrangea macrophylla 'Red Sensation'	5-9	2-3'	3-5'	2'-2 1/2' ht.	B&B	Ph/FS - Huge mophead dome Red flowers
LLH	18	Limelight Hydrangea	Hydrangea macrophylla 'Limelight'	3-8	6-8'	6-8'	2'-2 1/2' ht.	B&B	Ph/FS - Huge mophead dome White flowers
Accent Flowering Evergreen Shrubs									
LIR	6	Lemon Ice Rhododendron Chionoides	Rhododendron Inkarmo Chinoides	4-7	3-4'	5-7'	2-2 1/2" hgt	CTN	S/Ph - bushy form for mass plantings hedges white yellow flowers
TDW	1	Tri color Dappled Willow	Salix integra 'Hakuro-nishiki'	3-9	8-10'	8-10'	5 Gal	CTN	S/Psh - ornamentia, hedge or privacy screen pink to white leaves
Perennials and Annual Seasonal Color									
MG	36	Maiden Grass	Miscanthus Sinensis 'Zebrunus'	4-9	4'-6'	24"	1 yr. potted	2 qt.	S - wide foliage cross banded with creamy yellow.
IRI	3	Silver Edge Iris	Iris sibirica "Silver Edge'		30"	16"	2 QT	CTN	lightly ruffled siver edge petals for sunny borders
Bulbs									
S-1	590	Tulips (white and peach) Mysterious Tulip Medley	Bulb/ea	3-8	18-24"	12"	15 bulbs	Pkg	S/Ph - Bloom June July, Dark Red white purple yellow pink
S-2	590	Daffodils (White, Yellow and Cream)	Bulb/ea	3-9	6-8"	12"	10 bulbs	Pkg	S/Ph - Bloom May June, Dark Yellow
S-3	590	Crocus (mixed)	Bulb/ea	5-8	3-6"	12"	50 bulbs	Pkg	S/Ph- Blooms fall
Lawns and Seeding									
NGS		Native Grass Seeding (6 lb / 1,000 SF)	Fine Grade, fertilize, seed and Hydromulch					S/ Psh - Fine Grade, fertilize, seed and Hydromulch	
Accessories / Mulch / Stone / Loam									
EEG		Everedge' bed edging or Equal (16.25' sections)	5" Heavy Duty Steel 2.5mm color 'brown'					Install continuous at all bed edges	
WSMB		Weed Stopper 5oz landscape fabric (3'x300') /900sf	assumes 36" width application					Install under all mulch and rock beds	
MULCH		Cedar shredded mulch color 'Black' /sy	4" thickness min					hydromulch and rake smooth	
RR		River Rock (2"-3" round) /sy	4" thickness min						
PS		Washed Peastone	4" thickness min						
LOAM		Loam /sy	6" thickness min						
CON1		Concrete slab Boom finish tooled joints 60"oc / sf	4" thickness with 1.5x1.5 WWM						
Con2		Concrete slab washed stone finish saw cut joints 60"oc /sf	4" thickness with 1.5x1.5 WWM						
curb		landscape granite curb /LF	4" x 17" flat top, chisel face						
SLAB		Granite Slab /ea.	36" x 60" x 4"min (chisel edge thermal surface)					Install on 8" compacted granular gravel base	
SLAB		Granite Slab /ea.	60" x 84" x 4"min (chisel edge thermal surface)					Install on 8" compacted granular gravel base	
General Notes									
1	Concord, New Hampshire Zip Code 03301 is USDA 2012 Plant Hardiness Zone '5A' (-20 to -15)								
2	All planting beds shall be mulched with a minimum of 4" of shredded cedar "RED" bark mulch to match Full PlazaParking area.								
3	All sod and/or seeded lawn areas to have minimum 6" topsoil blanket.								
4	All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-1986.								
5	All fall bulbs shall be planted in the fall, plan accordingly, retainage will be held until plantings occur.								
6	All plantings shall be warranted for (1) one year from planting date.								
7	All mass planted shrubs beds and planters around building shall have minumum 18" deep topsoil blanket to compensate for the very sandy granular sub-grade material.								
8	The landscape Contractor shall be responsible for two (2) lawn mowings and weedings prior to acceptance of installation.								
9	The Opinion of Costs may vary subject to various influences including qualifications of contractors, source and number of quotes, time of year, volumn of work, weather conditions, nursery availability, etc.								
The Opinion of Cost is not a Gauranteed Cost.									

WA

WARRENSTREET ARCHITECTS

27 Warren Street Concord NH 03301

T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

OWNER
BRIXMORE CAPITAL SC, LLC

PROJECT TITLE / ADDRESS:
CAPITAL SHOPPING CENTER LANDSCAPE
80 STORRS STREET
CONCORD, NH 03301



SCALE: AS NOTED DWN BY: KL
JOB #: 3629 CHK BY: JH

PRINT DATE: 3/24/2021 2:10:35 PM

ISSUE DATE:
3/24/2021
ISSUED FOR REVIEW

REV.	DATE	COMMENTS

PLANTING SCHEDULE

LA102



CAPITOL
CENTER

80 STORRS STREET,
CONCORD, NH 03301

PROJECT INFO

ENGINEER INFO

ENGINEER SEAL

REVISIONS	#	DATE	INIT	DESCRIPTION
	1	12.01.2020	ZPN	NEW SITE PLAN & ADDED STREET LIGHTS
	2	01.21.2021	ZPN	NEW SITE PLAN
	3	03.26.2021	CDH	NEW SITE PLAN

EXISTING
LIGHTING
PLAN

PROJECT #

ISSUE DATE

06.09.2020

DESIGN LEVEL

2

AGI

C.D.HEANER

CAD

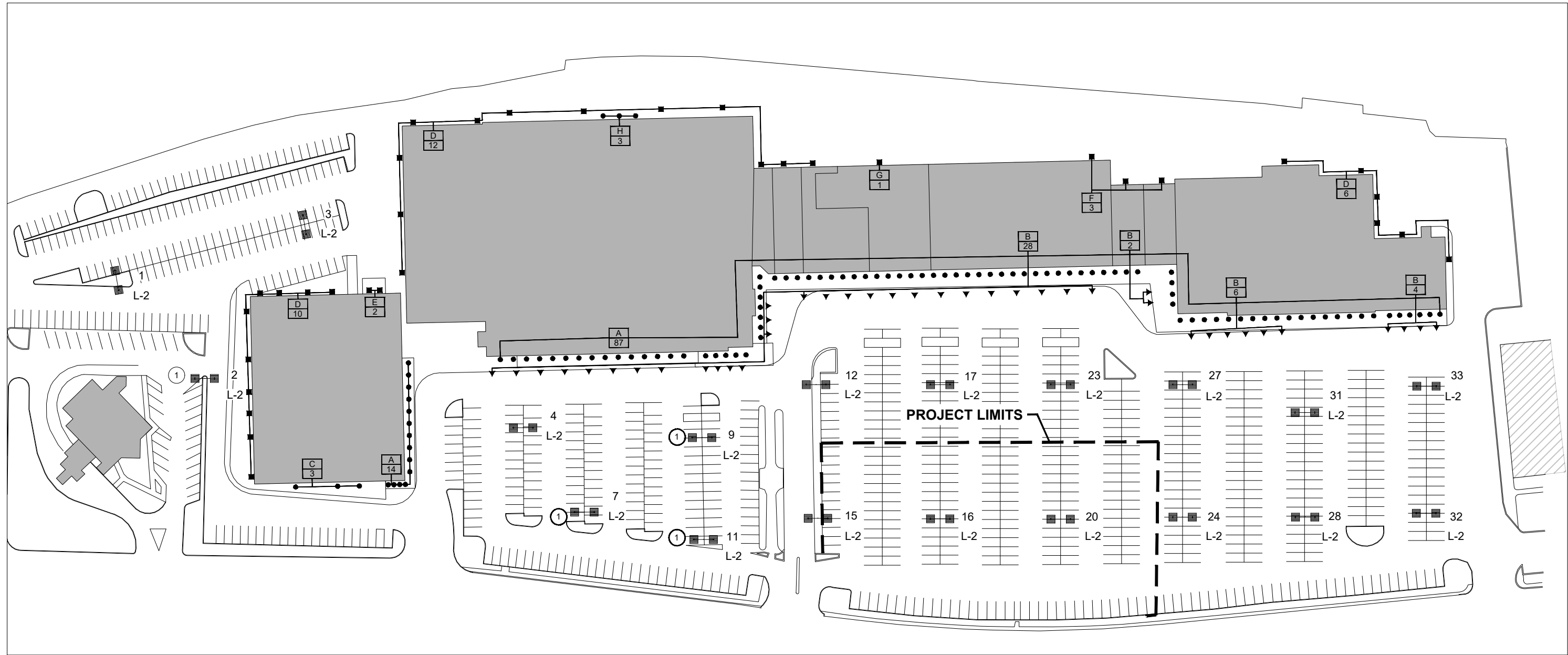
C.D.HEANER

SHEET#:

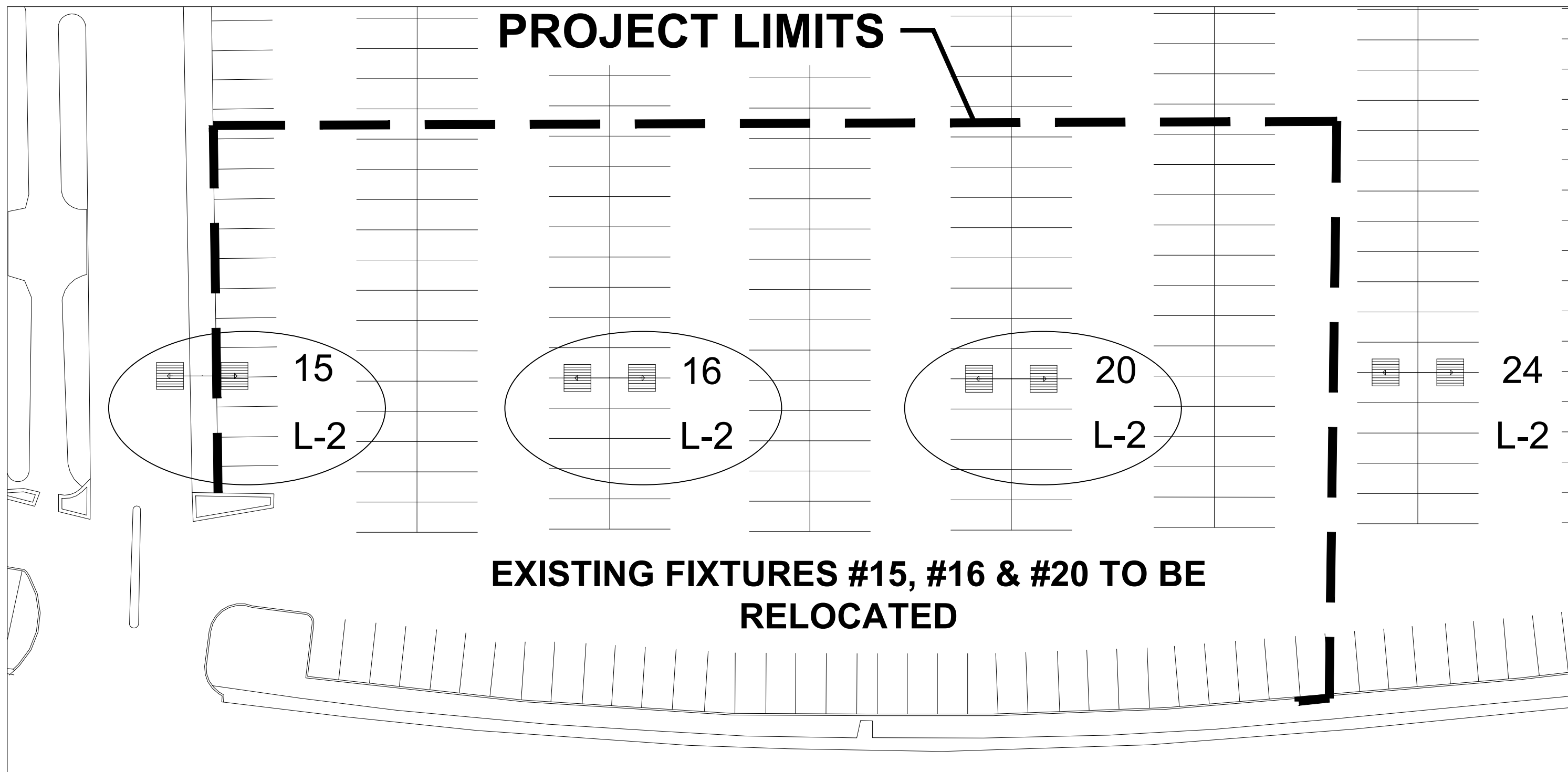
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REV #:

3



1 EXISITNG SITE LIGHTING PLAN
SCALE: 1"= 100'-0"



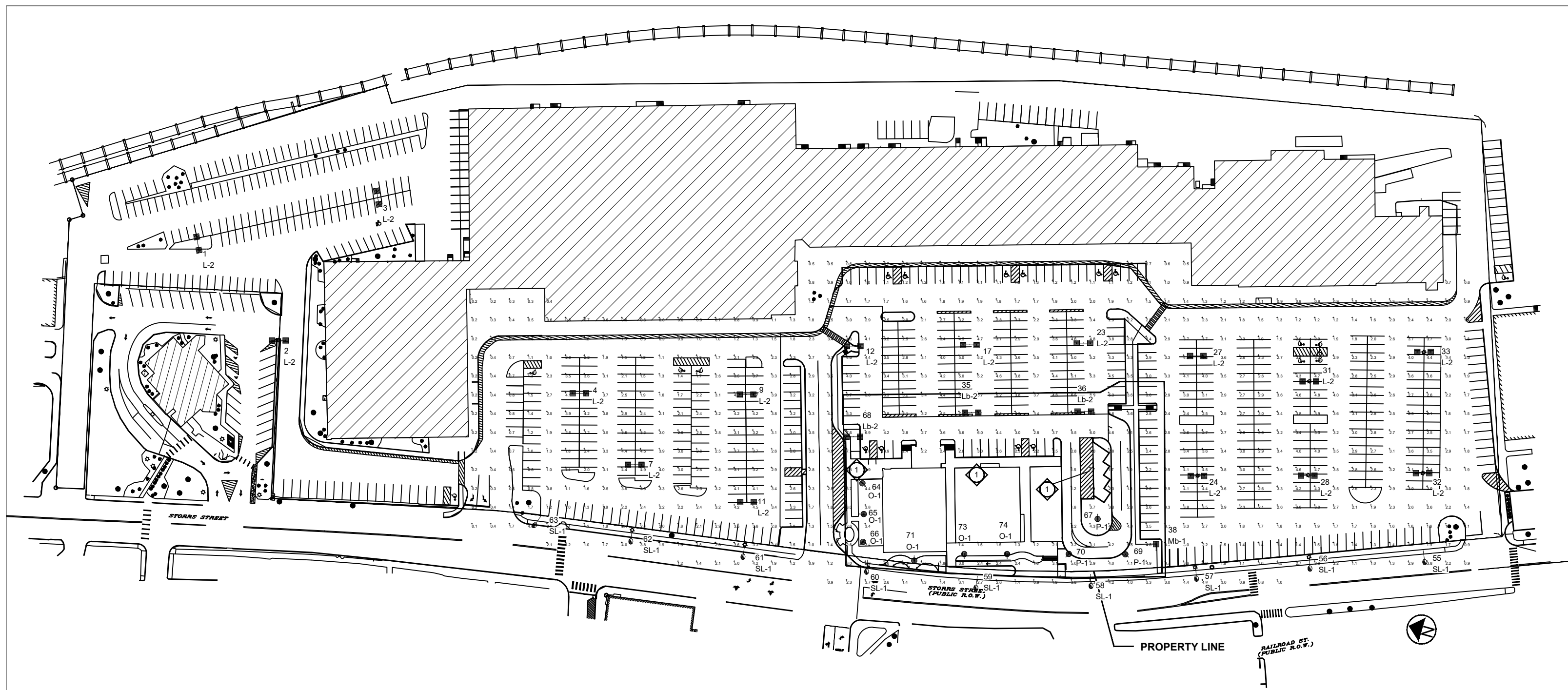
2 EXISTING LIGHTING PLAN
SCALE: 1"= 30'-0"

Luminaire Schedule							BUG Rating
Symbol	Qty	Label	Arranged	TLL	LLF	Description	
	19	L-2	BACK-BACK	N.A.	0.90	Existing Fxt 215W LED T5W 33'-0 Mtg Ht (5000K/96 LED's/26875 Lumens/700mA) Visionaire VLX-1-T5W-96LC-7-5K	B5-U0-G3

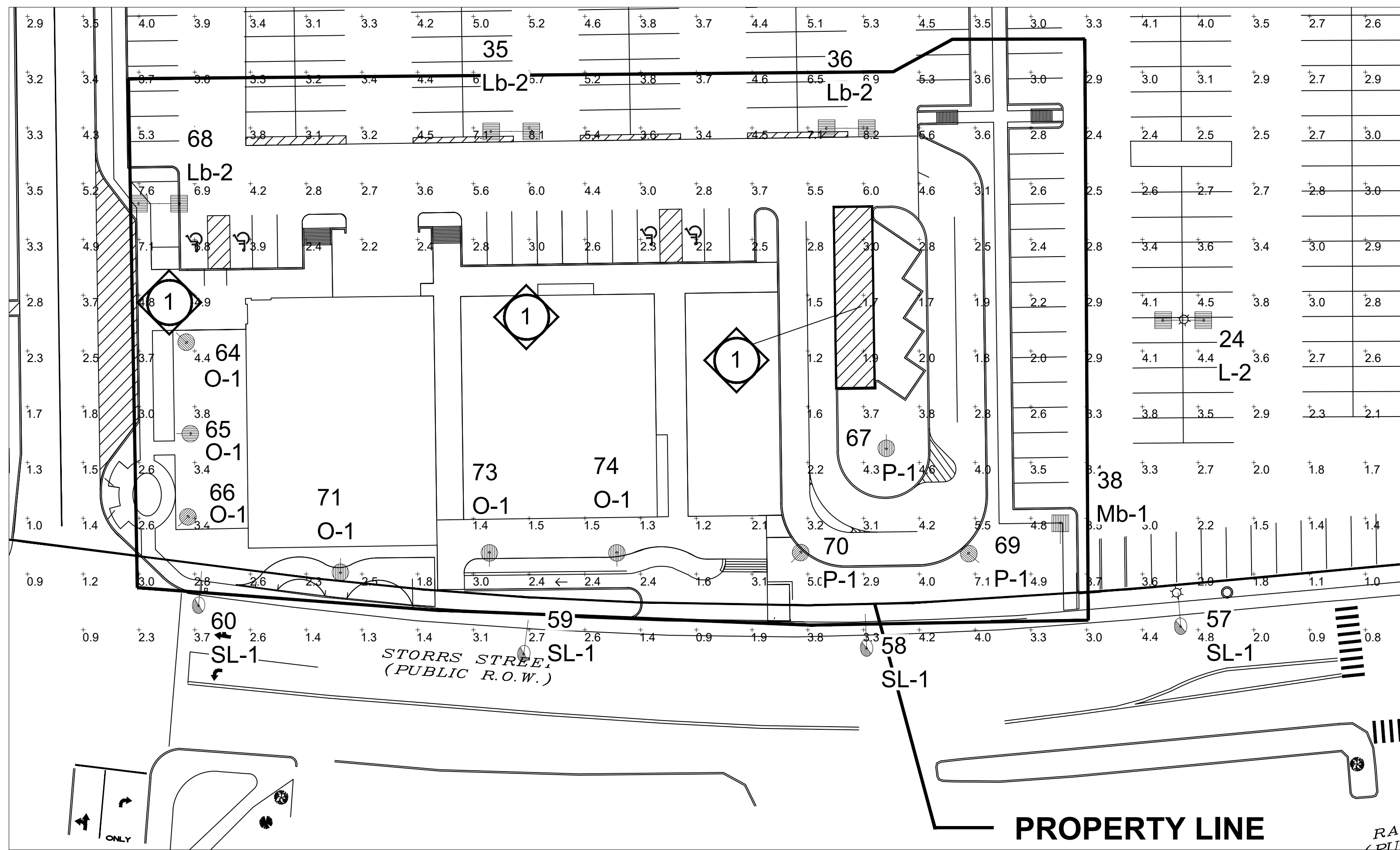
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.






FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
PH: 763.684.1548



1 PROPOSED SITE PLAN
SCALE: 1"= 100'-0"



2 PROPOSED PHOTOMETRIC PLAN
SCALE: 1"= 30'-0"

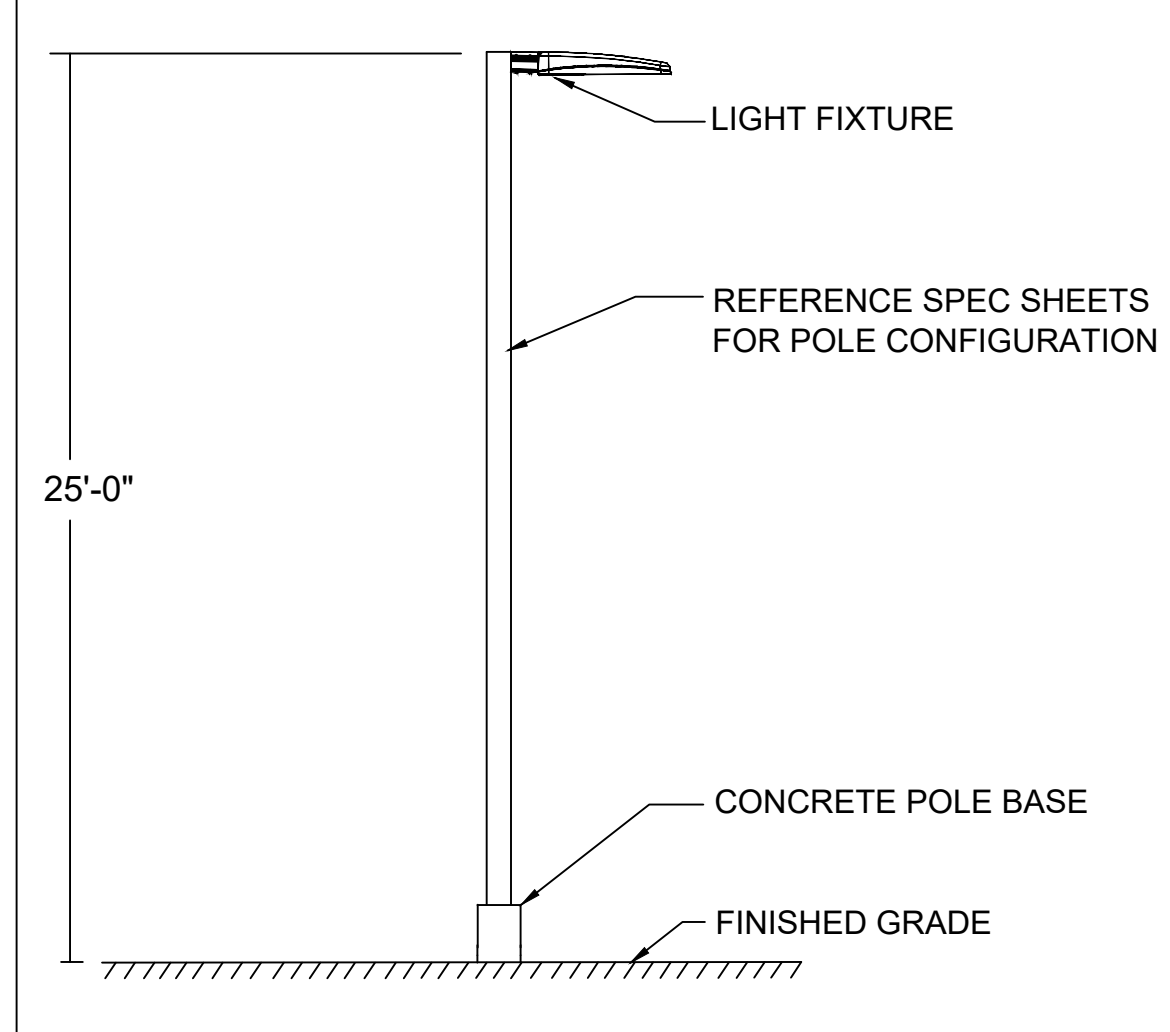
Luminaire Schedule								
Symbol	Qty	Label	Arranged	TLL	LLF	Description	BUG Rating	
	3	Lb-2	BACK-BACK	N.A.	0.90	New Base & Pole, Relocated Fixt 215W LED T5W 25'-0 Mtg Ht (5000K/96 LED's/26875 Lumens/700mA) Visionaire VLX-1-T5W-96LC-7-5K	B5-U0-G3	
	1	Mb-1	SINGLE	N.A.	0.90	New Base, Pole & Fixt 172W LED T5LS 25'-0 Mtg Ht (5000K/25360 Lumens) Visionaire VMX-II-T5LS-25L-5K	B5-U0-G3	
	6	O-1	SINGLE	N.A.	0.90	New Base, Pole & Deco Fixt 32W LED T5SR 15'-0 Mtg Ht (5000K/5206 Lumens) Visionaire ODN-1-T5SR-5L-5K	B3-U0-G1	
	3	P-1	SINGLE	N.A.	0.90	New Base, Pole & Deco Fixt 66W LED T5SR 15'-0 Mtg Ht (5000K/10193 Lumens) Visionaire ODN-1-T5SR-10L-5K	B3-U0-G2	
	9	SL-1	SINGLE	28000	0.50	Existing Muni Cont Fixt 250W HPS 25'-0 Mtg Ht	B2-U3-G3	

KEY NOTES

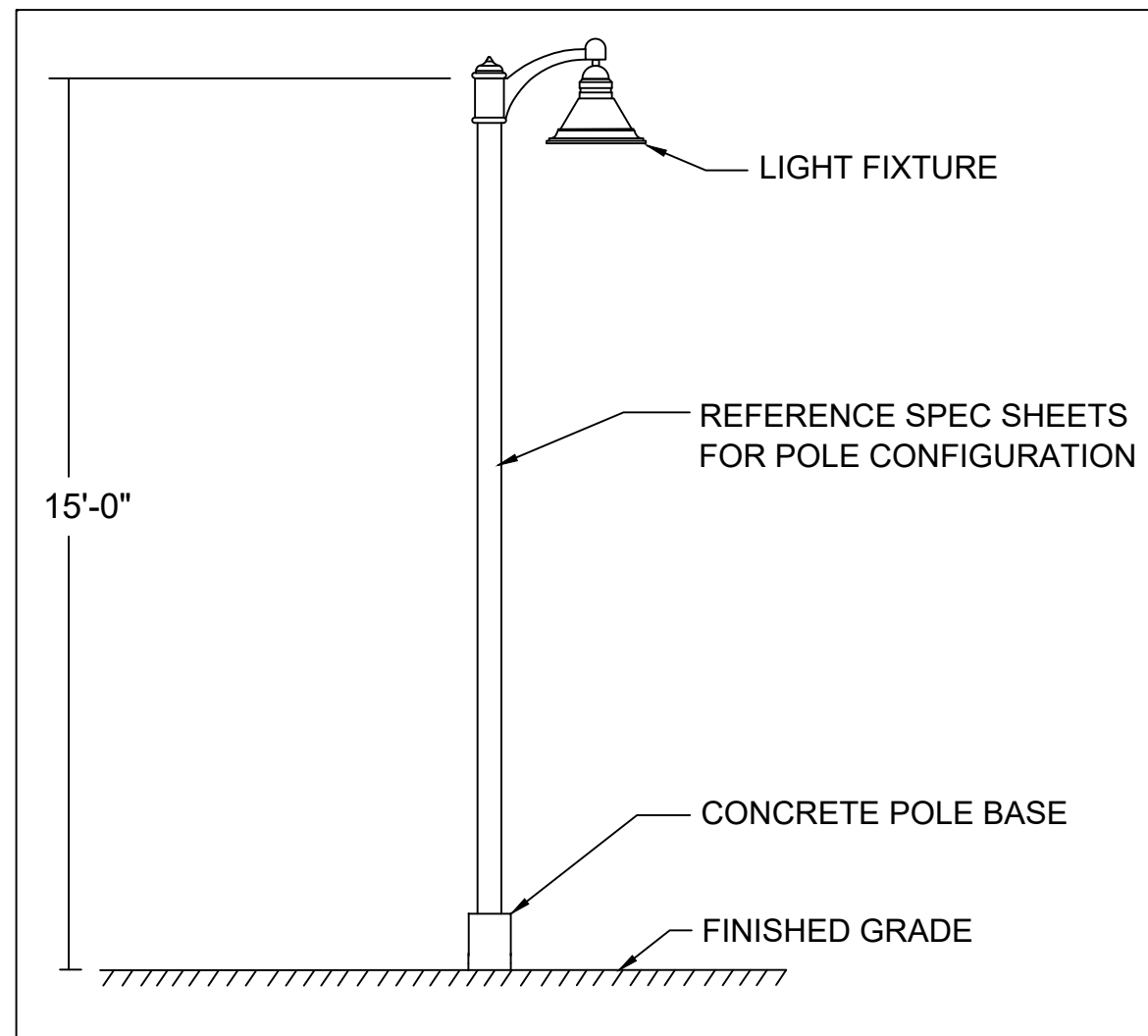
- 1 PREVIOUS LOCATION OF RELOCATED FIXTURES.

Calculation Summary

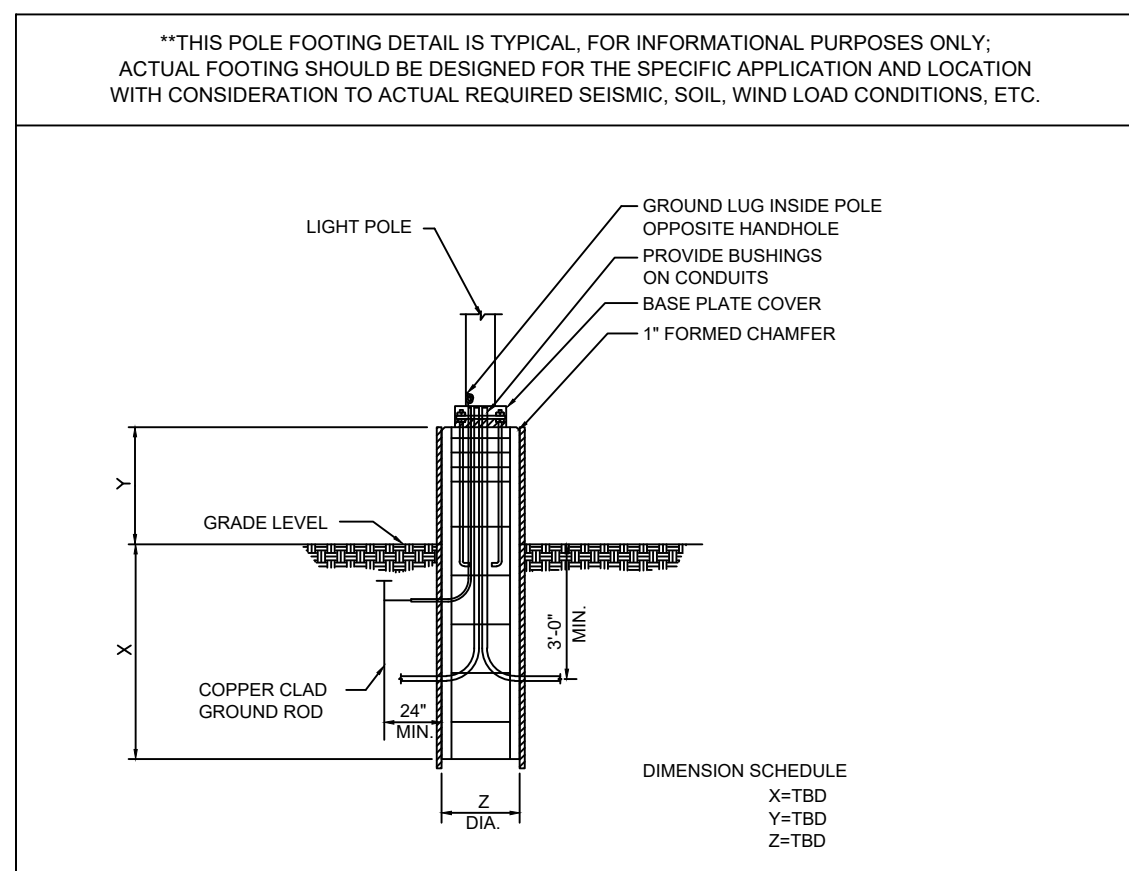
Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	%PtsRange
New Development Area	3.43	8.2	1.2	2.86	6.83	107	86.0



3 POLE DETAIL Lb-2, Mb-1
SCALE: NTS



4 POLE DETAIL TYPE O-1 & P-1
SCALE: NTS



5 LIGHT POLE BASE DETAIL TYP.
SCALE: NTS

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

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FOR ADDITIONAL LIGHTING INFORMATION CONTACT:

On-Site Lighting & Survey, LLC

PH: 763.684.1548

On-Site Lighting & Survey, LLC

1111 HIGHWAY 25 NORTH
SUITE 201
BUFFALO MN 55313
PH: 763.684.1548
FAX: 763.682.9048



NOBIS GROUP
18 CHENNELL DRIVE
CONCORD, NH 03301
www.nobis-group.com
PH: (603) 224-4182



CAPITOL CENTER

80 STORRS STREET,
CONCORD, NH 03301

PROJECT INFO

ENGINEER INFO

ENGINEER SEAL

#	DATE	INIT	DESCRIPTION
1	12.01.2020	ZPN	NEW SITE PLAN & ADDED STREET LIGHTS
2	01.21.2021	ZPN	NEW SITE PLAN
3	03.26.2021	CDH	NEW SITE PLAN

PROPOSED PHOTOMETRIC PLAN

PROJECT #

06.09.2020

DESIGN LEVEL

2

AGI

C.D.HEANER

CAD

C.D.HEANER

SHEET#

SL2.0

REV #

3

CAPITOL SHOPPING CENTER NEW OUTPARCELS

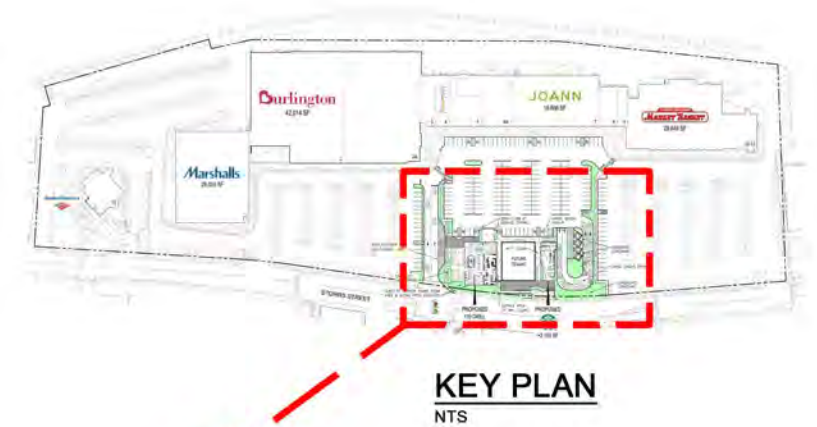
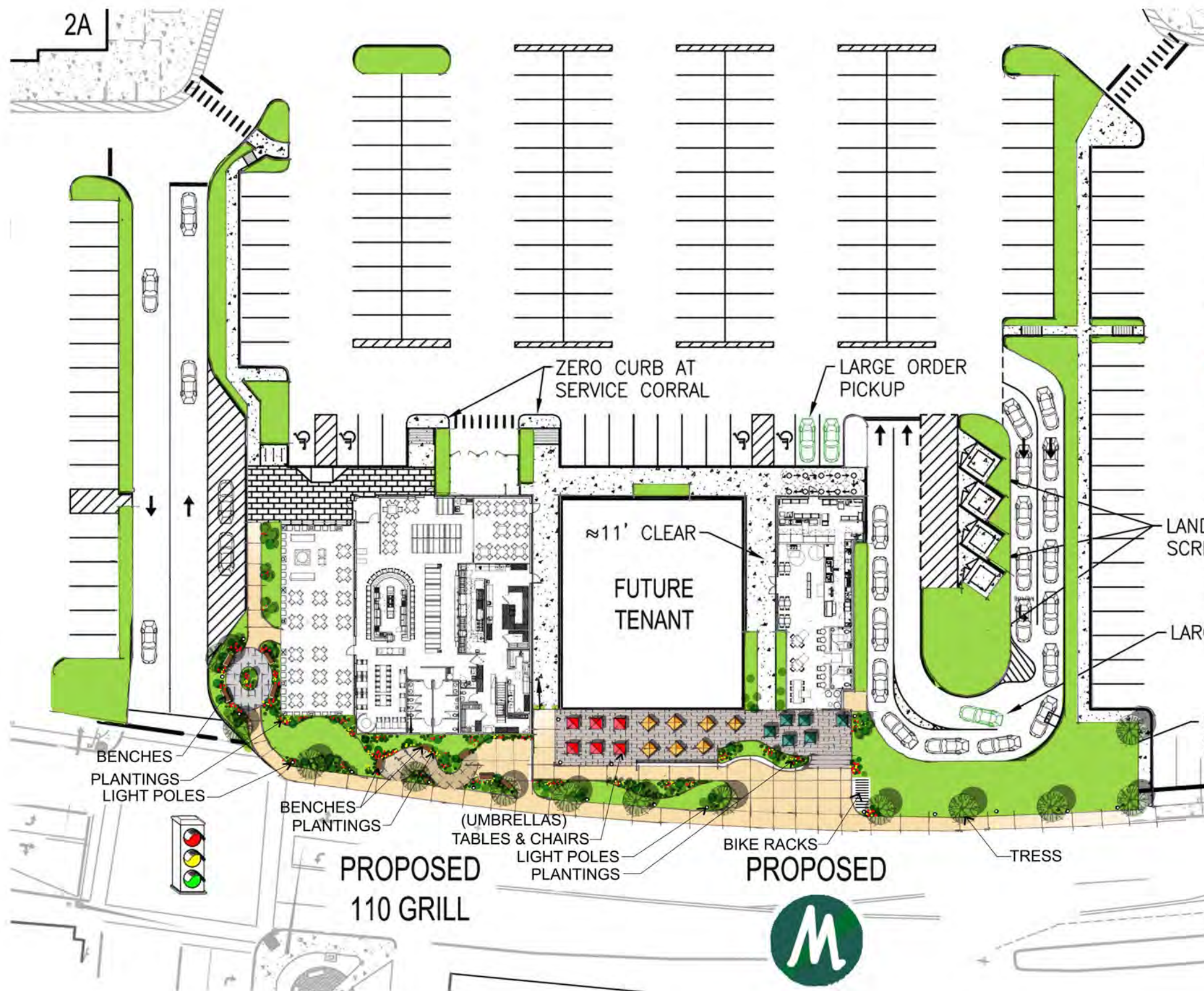
80 STORRS STREET, CONCORD, NH 03301

BRIXMOR[®]
Property Group

CREATE[™]
Architecture Planning & Design PLLC

MARCH 29, 2021





**PROPOSED HARDSCAPE/
LANDSCAPE PLAN**
NTS

OVERALL SITE PLAN

Longboard



Horizontal Corrugated Metal Panel



Vertical Corrugated Metal Panel



WEST ELEVATION

Horizontal Corrugated
Metal Panel



Longboard



SOUTH ELEVATION - FACING STORRS STREET

Longboard



Vertical Corrugated
Metal Panel



Horizontal Corrugated
Metal Panel



EAST ELEVATION

Vertical Corrugated
Metal Panel



Horizontal Corrugated
Metal Panel



Longboard



Line of adjacent
Future Tenant

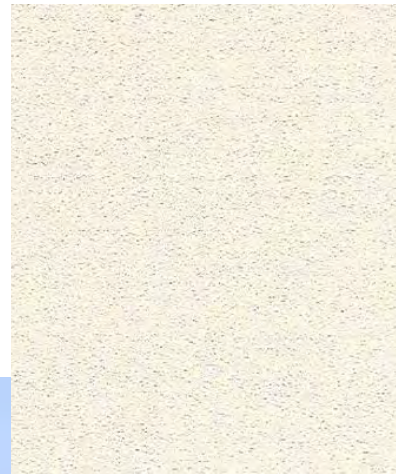


NORTH ELEVATION- FACING PARKING LOT

Brick



EIFS



Outdoor Seating



WEST ELEVATION

Outdoor Seating



Brick



Line of adjacent
Future Tenant

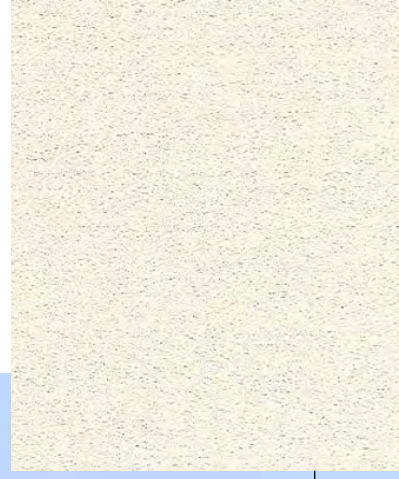


SOUTH ELEVATION - FACING STORRS STREET

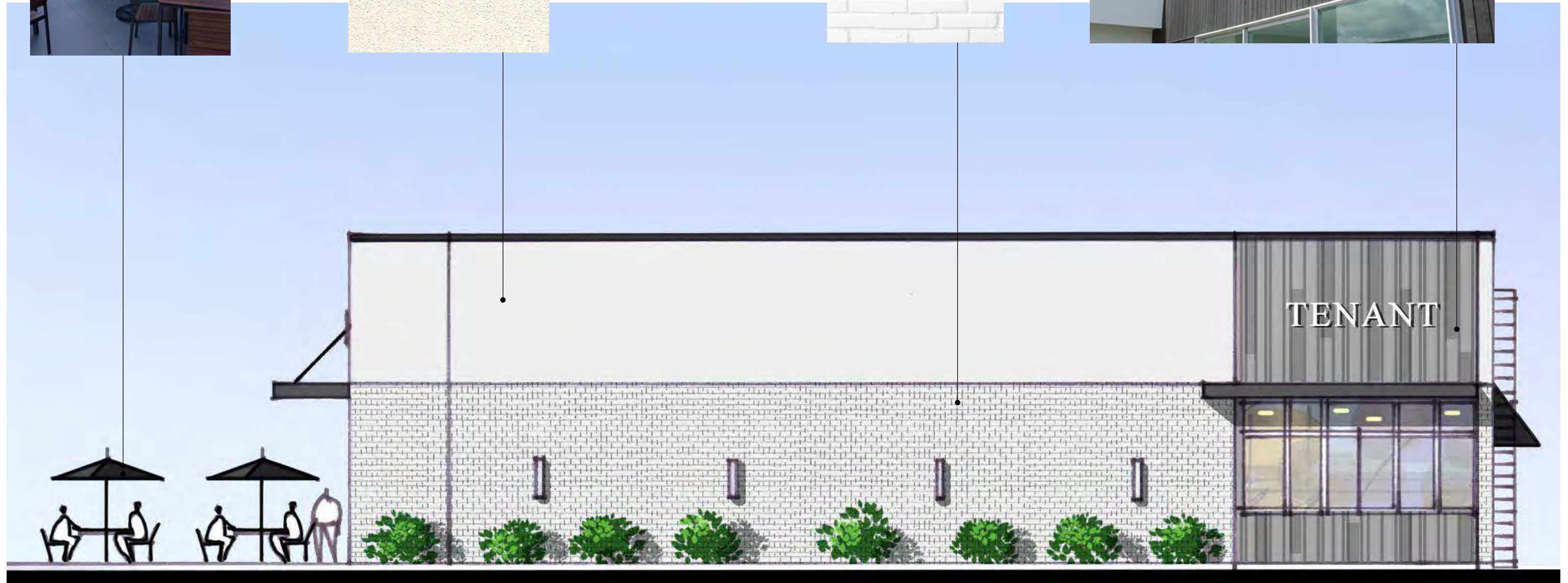
Outdoor Seating



EIFS



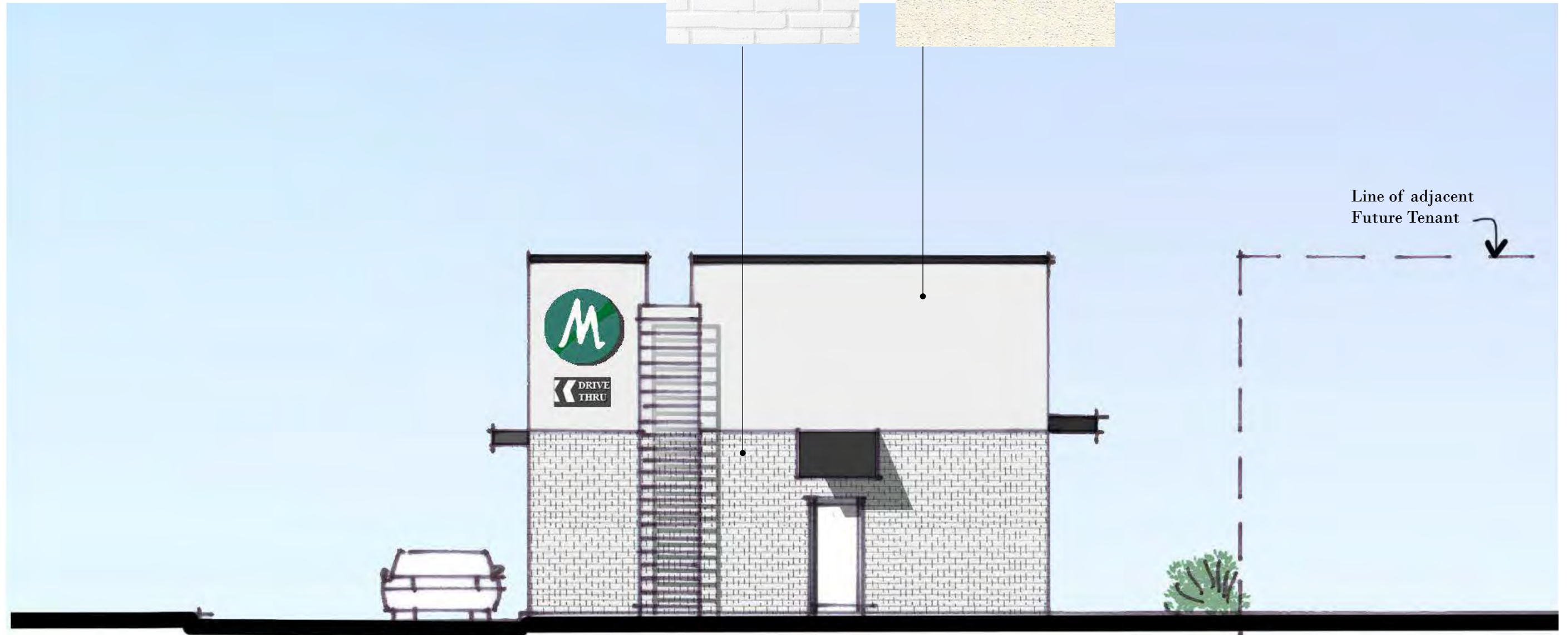
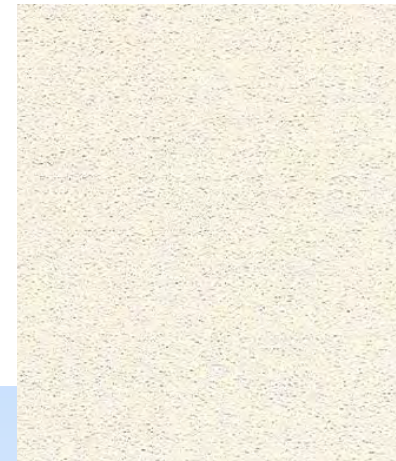
Brick



EAST ELEVATION

Brick

EIFS



Line of adjacent
Future Tenant

NORTH ELEVATION- FACING PARKING LOT

Stone Band



CMU



EIFS



Outdoor Seating



WEST ELEVATION

Stone Band

EIFS

EIFS

Canopy

Horizontal Corrugated Metal Panel

Granite Tile

Outdoor Seating



Line of Grill 110

Line of 'M' Tenant



SOUTH ELEVATION - FACING STORRS STREET

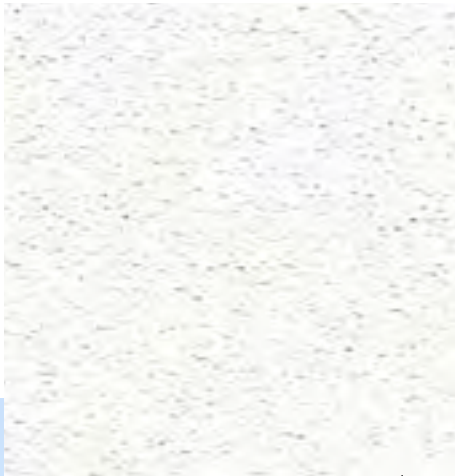
CMU



Granite Tile



EIFS



EIFS



Canopy



Horizontal Corrugated Metal Panel



EAST ELEVATION

CMU

Horizontal Corrugated
Metal Panel

Granite Tile

EIFS

EIFS

Horizontal Wood
Cladding

CMU



NORTH ELEVATION - FACING PARKING LOT