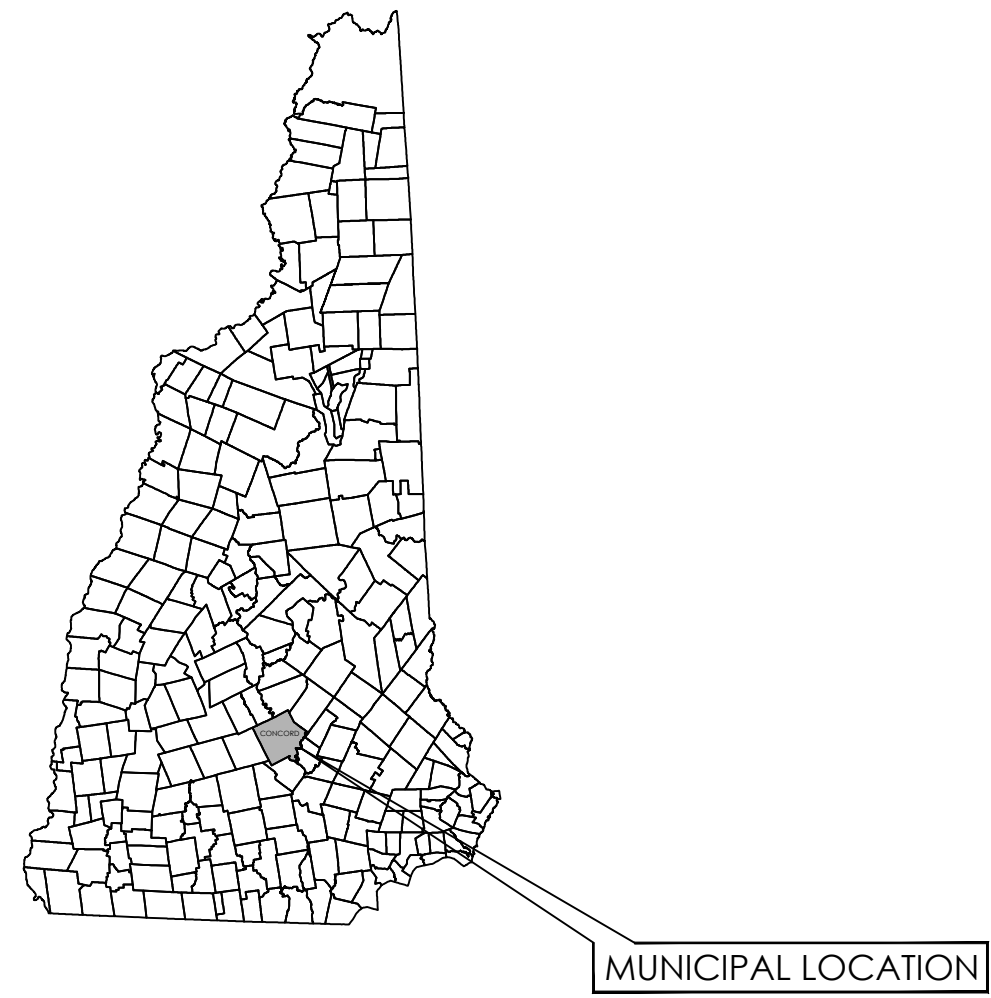




LOCATION MAP
N.T.S.

LAND DEVELOPMENT PLANS FOR THE PROPOSED DEVELOPMENT

CP CONCORD CONDOMINIUM
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
CP CONCORD, LLC
60 BEECKMAN
AVENUE
CRANSTON, RI 02920

PREPARED BY:



100 CONSTITUTION PLAZA, 10TH FLOOR
HARTFORD, CONNECTICUT 06103
(860) 249-2200
(860) 249-2400 Fax



VICINITY MAP
SCALE: 1"=1000'



LOCATION PLAN
SCALE: 1"=400'

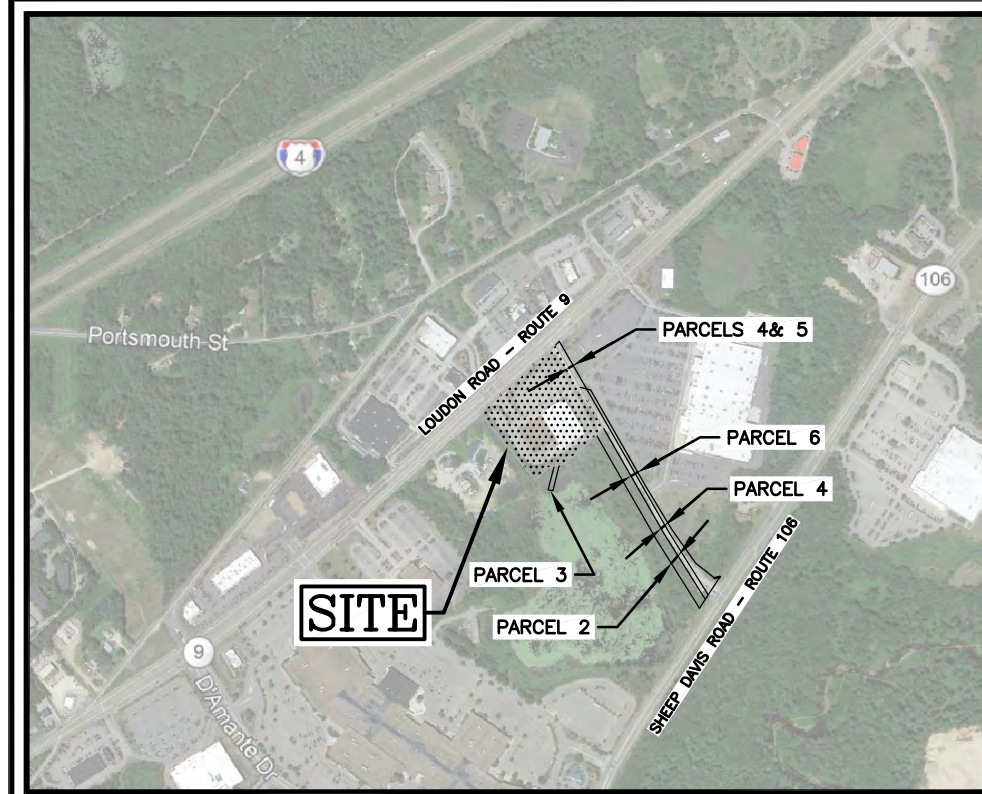
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DEVELOPER/OWNER:
CP CONCORD, LLC
60 BEECKMAN AVENUE
CRANSTON, RHODE
ISLAND 02920

DATES

ISSUE DATE: OCTOBER 21, 2020
REVISION: NOVEMBER 17, 2020 (REV PER CITY COMMENTS)
DECEMBER 23, 2020 (REV PER CITY COMMENTS)



LOCATION MAP
NOT TO SCALE

LEGEND

SSC	SLOPED GRANITE CURB
VVC	VERTICAL GRANITE CURB
SCC	SLOPED CONCRETE CURB
VCC	VERTICAL CONCRETE CURB
CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
SDWL	SINGLE DASHED LINE WHITE
WD	WOOD GUARDRAIL
MD	METAL GUARDRAIL
CF	CHAIN LINK FENCE
ST	STOCKADE FENCE
TR	TREE
UP	UTILITY POLE
GW	GUY WIRE
OWW	OVERHEAD WIRE
TL	TREELINE
PB	PULL BOX
SI	SIGN
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CL	CLEANOUT
VN	VENT
TM	TELEPHONE MANHOLE
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
GV	GAS VALVE
SO	GAS SHUT OFF
WV	WATER VALVE
WSO	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
MW	MONITORING WELL
LP	LIGHT POLE
WF	WATER FEATURE
EL	EASEMENT LINE
PL	PROPERTY LINE
APL	ABUTTER PROPERTY LINE
BS	BUILDING SETBACK
ZL	ZONE LINE

DRIVE SLOPE EASEMENT
PER PLAN #12584
BOOK 1928 PAGE 1217

MAP 46Z LOT 56
N/F
WAL-MART REAL ESTATE
BUSINESS TRUST
BOOK 2112 PAGE 1850
BOOK 2079 PAGE 1494
344 LOUDON ROAD

ACCESS EASEMENT
TO TOYS R US IN
BOOK 1928 PAGE 1217
(PARCELS 6)

ACCESS EASEMENT
TO THE CITY OF CONCORD
BOOK 1888 PAGE 1433
AND TO WAL-MART
AND GROSSMAN'S IN
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MAINTENANCE EASEMENT
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BOOK 1888 PAGE 1433
AND DRIVE MAINTENANCE
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AND GROSSMAN'S IN
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ACCESS EASEMENT
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BOOK 1928 PAGE 1217
(PARCELS 5)

SLOPE, EMBANKMENT,
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BOOK 1798 PAGE 577

NET&T EASEMENT
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ROADWAY RIGHT-OF-WAY
EASEMENT

DRIVE SLOPE EASEMENT
PER PLAN #12584
BOOK 1928 PAGE 1217

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ROADWAY RIGHT-OF-WAY
EASEMENT

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Layout: ALTA

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MAP REFERENCES

- "SUBDIVISION PLAN (LOT 111F-1-2), LOUDON ROAD & SHEEP DAVIS ROAD, CONCORD, NEW HAMPSHIRE", SCALE: 1"=100'; DATED: 16 NOVEMBER 1988; PREPARED BY ALLAN H. SWANSON, INC.; MERRIMACK COUNTY REGISTRY OF DEEDS (M.C.R.D.) PLAN 10840.
- "CONSOLIDATION & RE-SUBDIVISION PLAN OF LAND, GROSSMAN'S INC., DOUGLAS M. FINNEY, MIRIAM F. WIGGIN, & RANDOLPH W. DANIELS, CONCORD, N.H.", SCALE: 1"=100'; DATED: 5-22-92 (REV. 6-11-92); PREPARED BY HOLDEN ENGINEERING & SURVEYING INC.; M.C.R.D. PLAN 12581.
- "EASEMENT PLAN, GROSSMAN'S LAND, CONCORD, N.H.", SCALE: 1"=100'; DATED: 11-18-92; PREPARED BY HOLDEN ENGINEERING & SURVEYING INC.; M.C.R.D. PLAN 12584.
- "SITE PLAN GROSSMAN'S DEVELOPMENT, CONCORD, N.H.", SCALE: 1"=50'; DATED: 4-16-92 (REV. 6-9-93); PREPARED BY HOLDEN ENGINEERING & SURVEYING INC.; M.C.R.D. PLAN 12777.
- "CONSOLIDATION & RESUBDIVISION PLAN, WAL-MART STORES, INC.", SCALE: 1"=100'; DATED: MARCH 18, 1998 (REV. 4-05-98); PREPARED BY OWEN HASKELL, INC.; M.C.R.D. PLAN 14413.
- "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. U-40 (7) CENTRAL ROAD", STATE PROJECT NUMBER P-2055; ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- "ALTA/ACSM LAND TITLE SURVEY 'TOYS R US' SITE", SCALE: 1"=40'; DATED: 11/24/04; PREPARED BY AMES A/E ARCHITECTS & ENGINEERS.

GENERAL NOTES

- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN DECEMBER 12 AND 16, 2019.
- BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 16, 2019.
- ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 16, 2019.
- THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33013C0551E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
- A TOTAL OF 260 (252 REGULAR, 8 ACCESSIBLE) CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY (SIZES VARY).
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- A ZONING REPORT OR LETTER WAS NOT PROVIDED AT THE TIME OF THIS SURVEY.
- REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-916045-100-GLE WITH AN EFFECTIVE DATE OF DECEMBER 3, 2019 AT 8:00 AM.
- THE PROPERTY DESCRIBED IN EXHIBIT A OF THE COMMITMENT IS THE SAME AS THAT SHOWN ON THE PLAN, AND THAT THE LAND SHOWN ON THE SURVEY IS THE SAME AS SHOWN ON THE COMMITMENT, WITH NO GAPS OR GORES BETWEEN PARCELS.

RECORD LEGAL DESCRIPTION

PARCEL 1 (fee): A certain tract or parcel of land located on the southerly side of Loudon Road in the City of Concord, County of Merrimack, State of New Hampshire, being Lot #1 on a plan entitled "Subdivision Plan (Lot 111F-1-2), Loudon Road & Sheep Davis Road, Concord, New Hampshire", prepared for Hodges Development Corporation by Allan J. Swanson, Inc., dated November 16, 1988 and recorded in the Merrimack County Registry of Deeds on January 20, 1989 as Plan #10840 (the "Plan"), more particularly bounded and described as follows:

Beginning at a stone bound found on the southerly side of Loudon Road, said point being the northeast corner of land now or formerly of George & Dorothy B. Monticane and the northwest corner of land herein described; all as shown on the Plan; thence

- N 63° 53' 22" E, a distance of 531.00 feet, more or less, along the southerly side of Loudon Road to an iron pin found; thence
- S 13° 44' 36" E, a distance of 503.69 feet, more or less, to an iron pin to be set, said point being the northeast corner of Lot #2 and the southeast corner of the land herein described; thence
- S 63° 53' 22" W, a distance of 265.00 feet, more or less, to an iron pin found; thence
- Due west a distance of 95.43 feet, more or less, to an iron pin found, as shown on the Plan; thence
- S 63° 53' 22" W, a distance of 93.89 feet, more or less to an old iron pin found and fence corner, said point being the southeast corner of land of said Monticane and the southwest corner of the land herein described; thence
- N 23° 22' 48" W, a distance of 450.51 feet, more less, to the point of beginning.

PARCEL II (easement): Certain easement rights conveyed by Warranty Deed of Hodges Development Corporation to Toys "R" Us, Inc. recorded July 13, 1992, at Book 1888, Page 1420, in and to a certain access easement in Concord, County of Merrimack, State of New Hampshire, shown as "PROPOSED 50 FT. ACCESS EASEMENT" on recorded Plan 10840, and bounded and described as follows (and as Exhibit B in the Warranty Deed at Book 1888, Page 1420).

Beginning at a point on the northerly sideline of Sheep Davis Road, which point is the southeasterly corner of Lot #2 as shown on the Plan; thence

- S 49° 15' 30" W, 55.03 feet along the northerly sideline of Sheep Davis Road to a point; thence
- N 16° 03' 42" W, 422.18 feet to a point; thence
- N 13° 44' 36" W, 626.13 feet to a point; thence
- N 63° 53' 22" E, 51.19 feet along Lot #1 as shown on the Plan to an iron pin to be set; thence
- S 13° 44' 36" E, 636.08 feet along land now or formerly of L. Grossman & Son, Inc. to a drill hole in a fieldstone bound found; thence
- S 16° 03' 42" E, 398.20 feet along said Grossman land to the point of beginning. (Exhibit A)

PARCEL III (easement): Certain easement rights conveyed by Warranty Deed of Hodges Development Corporation to Toys "R" Us, Inc. recorded July 13, 1992, at Book 1888, Page 1420, in and to a certain easement shown as "PROPOSED 25 FT. PRIVATE DRAINAGE EASEMENT" on recorded Plan 10840, and bounded and described as follows (and as Exhibit C in the Warranty Deed at Book 1888, Page 1420). (Exhibit A)

Beginning at a point on the northerly boundary of Lot #2 as shown on the Plan, said point being N 63° 53' 22" E, a distance of 93.89 feet and continuing due east a distance of 58.96 feet from the southwest corner of Lot #1 as shown on the Plan to said point of beginning; thence

- S 30° 20' 12" W, 140.63 feet to a point; thence
- N 59° 39' 48" W, 25.00 feet to a point; thence
- N 30° 20' 12" E, 126.00 feet to a point on the northerly boundary of Lot #2 as shown on the Plan; thence
- Due east 28.97 feet along the southerly Boundary of Lot #1 as shown on the Plan to the point of beginning.

PARCEL IV (easement): Certain easement rights to pass and repass conveyed by Grossman's Inc. to the City of Concord under Easement dated May 9, 1990, recorded at Book 1838, Page 1242, and thereafter assigned by the City of Concord to Toys "R" Us, Inc. (a Delaware corporation) under Assignment of Easement dated July 8, 1992, recorded at Book 1888, Page 1441, relative to a tract of land described. (Exhibit B)

A certain tract of land 25 feet wide that is easterly and parallel to the westerly property line of L. Grossman's Sons, Inc. property. Reference is made to an unrecorded plan entitled "Exhibit A - Plan Showing Access Easement", dated March 16, 1990, prepared by T.F. Moran, Inc.

See, however, recorded Plan 12584 which references Book 1838, Page 1242. (Exhibit C).

PARCEL V (easement): A certain "Drive Easement" over land now or formerly of Wal-Mart Stores, Inc., set forth in paragraph 2 of the Deed of Easements among Toys "R" Us, Inc. and Wal-Mart Stores, Inc. recorded August 30, 1993, at Book 1928, Page 1217, over a tract of land described as follows:

A certain easement in Concord, Merrimack County, New Hampshire containing 6,798 square feet and being more particularly described as follows:

Beginning at the Northwest corner of the easement, at a point on the Southeastly sideline of Loudon Road said point being Wal-Mart Stores, Inc. Northwestly corner at land of Toys R Us, Inc.; thence by Loudon Road sideline

- North 63° 53' 36" East 25.60 feet to a point; thence over land of Wal-Mart Stores, Inc.
- South 13° 43' 58" East 286.66 feet to a point at land of Grossman's Inc.; thence by said Grossman's land
- North 59° 52' 58" West 34.67 feet to a point at land of Toys R Us, Inc.; thence by said Toys land
- North 13° 43' 58" West 257.16 feet to the point of beginning.

Meaning and intending to describe a 6,798 square foot drive easement over land of Wal-Mart Stores, Inc. See recorded Plan 12584. (Exhibit C).

PARCEL VI (easement): Certain rights set forth as Private Drive as "Access Easement over Land of Grossman's, Inc.", set forth in paragraph 2 of the Deed of Easements among Toys "R" Us, Inc., and Wal-Mart Stores, Inc. recorded August 30, 1993, at Book 1928, Page 1217, over a tract of land described as follows, and shown on recorded Plan 12584. (Exhibits D and O)

A certain easement in Concord, Merrimack County, New Hampshire containing 60,322 square feet or 1.385 acres and being more particularly described as follows:

Beginning at the Southwestly corner of the easement at a point on the Northwestly sideline of the New Hampshire Route 106. Said point being the Southwestly corner of land of Grossman's Inc. at land of Ho Concord Land Company, thence by said Land Company

- North 16° 03' 08" West 398.12 feet to a stone bound, and
- North 13° 43' 58" West 882.34 feet to a point; thence over Grossman's, Inc. land
- South 59° 52' 58" East 55.47 feet to a point, and
- South 13° 43' 58" East 573.91 feet to a point, and
- South 15° 00' 21" East 270.07 feet to a point, and
- South 19° 19' 16" East 211.10 feet to a point, and
- South 35° 08' 24" East 124.87 feet to a point, and
- South 88° 29' 19" East 29.73 feet to a point on the Northwestly sideline of New Hampshire Route 106; thence by said sideline
- South 49° 14' 16" West 140.00 feet to the point of beginning.

For information only, being a 60,322 square foot or 1.385 acre access easement over land now or formerly of Grossman's Inc.

APPURTENANT EASEMENT LEGEND

PARCEL 2	PARCEL 3	PARCEL 4 & 6	PARCEL 4 & 5	PARCEL 6
[Symbol]	[Symbol]	[Symbol]	[Symbol]	[Symbol]

TITLE COMMITMENT INFORMATION

- ITEMS 1 THROUGH 7 ARE STANDARD/NON-SURVEY ITEMS.
- Portion of the subject premises which was conveyed to the State of New Hampshire by deed of Orrie L. Tilton to the State of New Hampshire dated November 7, 1947 and recorded in the Merrimack County Registry of Deeds at Book 648, Page 129. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Obligation to construct and maintain fencing as such obligation is described in deed of Orrie L. Tilton to the State of New Hampshire dated November 7, 1947 and recorded in the Merrimack County Registry of Deeds at Book 648, Page 129. **MAY AFFECT THE SURVEY TRACT, BUT IS NOT PLOTTABLE.**
 - Easement of Right to extend and maintain slopes and embankments as described in deed of Orrie L. Tilton to the State of New Hampshire dated November 7, 1947 and recorded in said Registry at Book 648, Page 129. **AFFECTS THE SURVEY TRACT BUT IS NOT PLOTTABLE.**
 - Slope, Embankment, Drainage and Culvert Easement (Loudon Road/New Hampshire Route 9), recorded on July 5, 1989 in the Merrimack County Registry of Deeds at Book 1798, Page 550, from Hodges Development Corporation to the State of New Hampshire for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECT THE SURVEY TRACT AND ARE SHOWN HEREON.**
 - Easement, Roadway Right-of-Way (Loudon Road and New Hampshire Route 9), recorded in said Registry on November 21, 1989 at Book 1822, Page 779, from Hodges Development Corporation to the State of New Hampshire, a right-of-way and easement for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Slope, Embankment, Drainage and Culvert Easement (Loudon Road/New Hampshire Route 9), recorded in the Merrimack County Registry of Deeds at Book 1824, Page 1008 on December 6, 1989, from Hodges Development Corporation to the State of New Hampshire for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Terms, conditions, agreements and obligations set forth in a deed of Hodges Development Corporation to Ho Concord Land Co. Inc., dated February 22, 1989 and recorded in the Merrimack County Registry of Deeds on February 27, 1989 at Book 1775, Page 580. Relates only to those rights and matters in said Deed. **AFFECTS THE SURVEY TRACT AND THE DRAINAGE EASEMENT AND ACCESS EASEMENT ARE SHOWN HEREON.**
 - Terms and conditions set forth in Permit No. 51.62 Registration of a New Dam, filed by Hodges Development Corporation dated April 24, 1989 and recorded in said Registry at Book 1785, Page 832. **AFFECTS THE SURVEY TRACT, BUT IS NOT PLOTTABLE.**
 - Any and all matters as set forth in plan entitled "Subdivision Plan (Lot 111F-1-2), Loudon Road & Sheep Davis Road, Concord, New Hampshire prepared for Hodges Development Corporation" prepared by Allan H. Swanson, Inc., dated November 16, 1988 and recorded in the Merrimack County Registry of Deeds on January 20, 1989 as Plan No. 10840. **AFFECT THE SURVEY TRACT AND TO THE EXTENT FEASIBLE ARE REFLECTED HEREON.**
 - Those matters as set forth on the unrecorded survey prepared by Holden Engineering & Surveying, Inc., dated 12/4/91 (last revised 12/9/91) referenced in the Warranty Deed from Hodges Development Corporation to Toys "R" Us, Inc. dated July 9, 1992 and recorded at Book 1888, Page 1420. **SAID PLAN IS NOT RECORDED.**
 - Unrecorded Surveyor's Report prepared by Holden Engineering & Surveying, Inc. dated December 18, 1991 referenced in the Warranty Deed from Hodges Development Corporation to Toys "R" Us, Inc. dated July 9, 1992 and recorded at Book 1888, Page 1420. **SAID REPORT IS NOT RECORDED.**
 - Easement by Toys "R" Us, Inc. to City of Concord dated July 9, 1992 and recorded July 13, 1992 at Book 1888, Page 1433. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Agreement with the City of Concord regarding Offsite Improvements Site Plan for Toys "R" Us recorded July 31, 1992 at Book 1889, Page 2175. **NOT PLOTTABLE.**
 - Easement by Toys "R" Us, Inc. to Concord Electric Company and New England Telephone and Telegraph Company dated September 24, 1992 and recorded at Book 1896, Page 119. **AFFECTS THE SURVEY TRACT, BUT IS NOT PLOTTABLE.**
 - Commercial Underground Agreement by and between Concord Electric Company and Toys "R" Us, Inc. recorded October 5, 1992 at Book 1896, Page 121. **AFFECTS THE SURVEY TRACT, BUT IS NOT PLOTTABLE.**
 - Deeds of Easement by Toys "R" Us, Inc. and Wal-Mart Stores, Inc. recorded August 30, 1993 at Book 1928, Page 1217. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON**
 - The zoning matters pertaining to the parcels described herein, including applications and proceedings for special exceptions under the Concord Zoning Ordinance, as well as any modifications or revisions to the site plan resulting from any such zoning proceedings, referenced in the Warranty Deed from Hodges Development Corporation to Toys "R" Us, Inc. dated July 9, 1992 and recorded at Book 1888, Page 1420. **NOT PLOTTABLE.**
 - Any and all matters as shown on a plan entitled, "Site Plan Grossman's Development Concord, N.H." prepared by Holden Engineering & Surveying Inc. recorded August 23, 1993 as Plan No. 12777. **AFFECT THE SURVEY TRACT AND TO THE EXTENT FEASIBLE ARE REFLECTED HEREON.**
 - AS TO PARCEL IV**
 - Deed of Easement of Harry M. Rodd and Ila C. Rodd to Concord Electric Company dated May 31, 1956 and recorded at the Merrimack County Registry of Deeds at Book 792, Page 73. **NOT LOCUS (SAID EASEMENT IS BELIEVED TO BE NORTH OF THE SURVEY TRACT)**
 - Deed of Easement, Slope, Embankment and Drainage Easement, of Grossman's, Inc. to the State of New Hampshire, dated May 3, 1989 and recorded in the Merrimack County Registry of Deeds at Book 1798, Page 577. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Easement of Grossman's, Inc. to New England Telephone and Telegraph Company and Concord Electric Company dated September 1, 1989 and recorded in said Registry at Book 1812, Page 226. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Easement, Highway and Construction Easements (Loudon Road, New Hampshire Route 9) of Grossman's Inc. to the State of New Hampshire dated October 23, 1989 and recorded in the said Registry at Book 1822, Page 235. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Easement, Roadway Right-of-Way Easement (Loudon Road, New Hampshire Route 9) of Grossman's, Inc. to the State of New Hampshire dated November 14, 1989 and recorded in the Merrimack County Registry of Deeds at Book 1824, Page 1012. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**
 - Easement of Grossman's Inc. to the City of Concord, New Hampshire dated May 9, 1990 and recorded in the Merrimack County Registry of Deeds at Book 1838, Page 1242. Assignment of Easement by City of Concord to Toys "R" Us, Inc. dated July 8, 1992 and recorded at Book 1888, Page 1441. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON**
 - Agreement Regarding Off Site Improvements for Grossman's Store Development, between L. Grossman's, Inc. and the City of Concord, New Hampshire, dated August 7, 1990 and recorded in said Registry at Book 1844, Page 1126. **NOT PLOTTABLE.**
 - Obligations of Assignee of the Grantee under a certain Easement from Grossman's, Inc. to the City of Concord in its Easement Deed dated March 9, 1990 and recorded in the Merrimack County Registry of Deeds at Book 1838, Page 1242. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREON.**

SURVEY CERTIFICATION

TO CP CONCORD, LLC, TRU 2005 RE 1, LLC, FIRST BANK AND TRUST COMPANY OF ILLINOIS, & FIRST AMERICAN TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2,3,4,6(a),(b),7(a),(b),(1),7(c),9,11(SURFACE FEATURES ONLY) AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2019.

DATE: 10/9/2020 SIGNED: JOEL A. CONNOLLY, NH LLS 997

NO. 997
JOEL
CONNOLLY
SIGNATURE



355 Research Parkway
Wentden, CT 06450
(203) 630-1406
(203) 630-2615 Fax



400 Silver Road, Suite One
Salem, NH 03079

Land of TRU 2005 RE 1, LLC
TOY'S R US (FORMER)
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

REVISED	DATE	PER COMMENTS	ADD UTILITY AND DIOGRAPHIC INFORMATION
No.	1	2	

Surveyed	N.T.C.
Drawn	J.A.C.
Reviewed	J.A.C.
Scale	1"=40'
Project No.	GPH-MAX-2019254
Date	12/20/2019

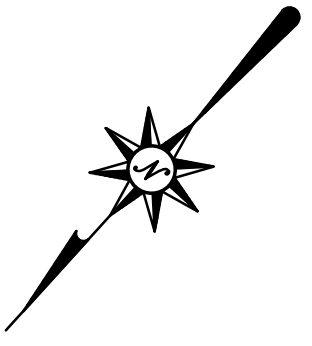
CAD File: P:\1020810-CONCORD_GPI UPDATE 20200908

ALTA/NSPS
LAND TITLE
SURVEY

Sheet No.

AL-1

Xref (B) : 381920810-1 - JAC STAMP 20201019



PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

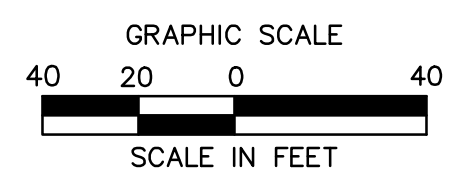
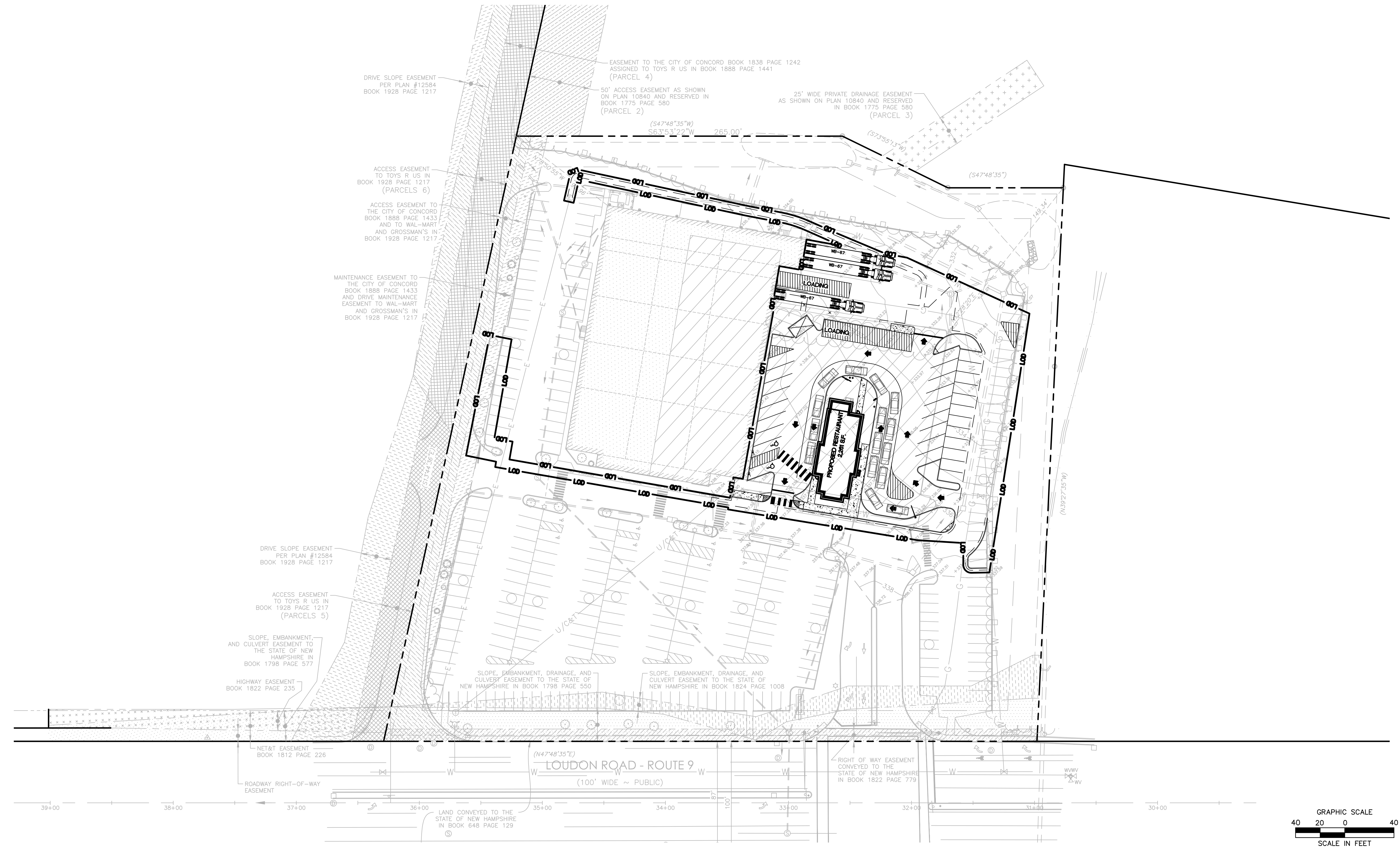
REVISIONS		Desc.
No.	Date	REVIEWED PER CITY COMMENTS REVISED PER CITY COMMENTS
1	11/17/2020	
2	12/21/2020	

Designed	S.E.L.
Drawn	S.E.L.
Reviewed	
Scale	1"=40'
Project No.	1902081
Date	10/21/2020
CAD File:	OSP190208101

Title
**OVERALL
SITE PLAN**

Sheet No.

OSP-1



ZONING INFORMATION

LOCATION: CONCORD, NH					
ZONE: GWP (GATEWAY PERFORMANCE DISTRICT)					
USE: RESTAURANT (PERMITTED USE)					
ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	±234,030 S.F. (±5.4 AC.)	±234,030 S.F. (±5.4 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	±264.6 FEET	±264.6 FEET	NO
3	MINIMUM LOT FRONTAGE	300 FEET	±531 FEET	±531 FEET	NO
4	MINIMUM FRONT SETBACK	25 FEET	±207.5 FEET	±207.5 FEET	NO
5	MINIMUM SIDE SETBACK	25 FEET	±84.4 FEET	±84.4 FEET	NO
6	MINIMUM REAR SETBACK	25 FEET	±56.5	±56.5 FEET	NO
7	MAXIMUM BUILDING HEIGHT	45 FEET	EXISTING BUILDING HEIGHT UNCHANGED	<45 FEET	NO
8	MAXIMUM IMPERVIOUS COVERAGE	85 PERCENT	±69.9%	±80.3%	NO

SITE PLAN LEGEND

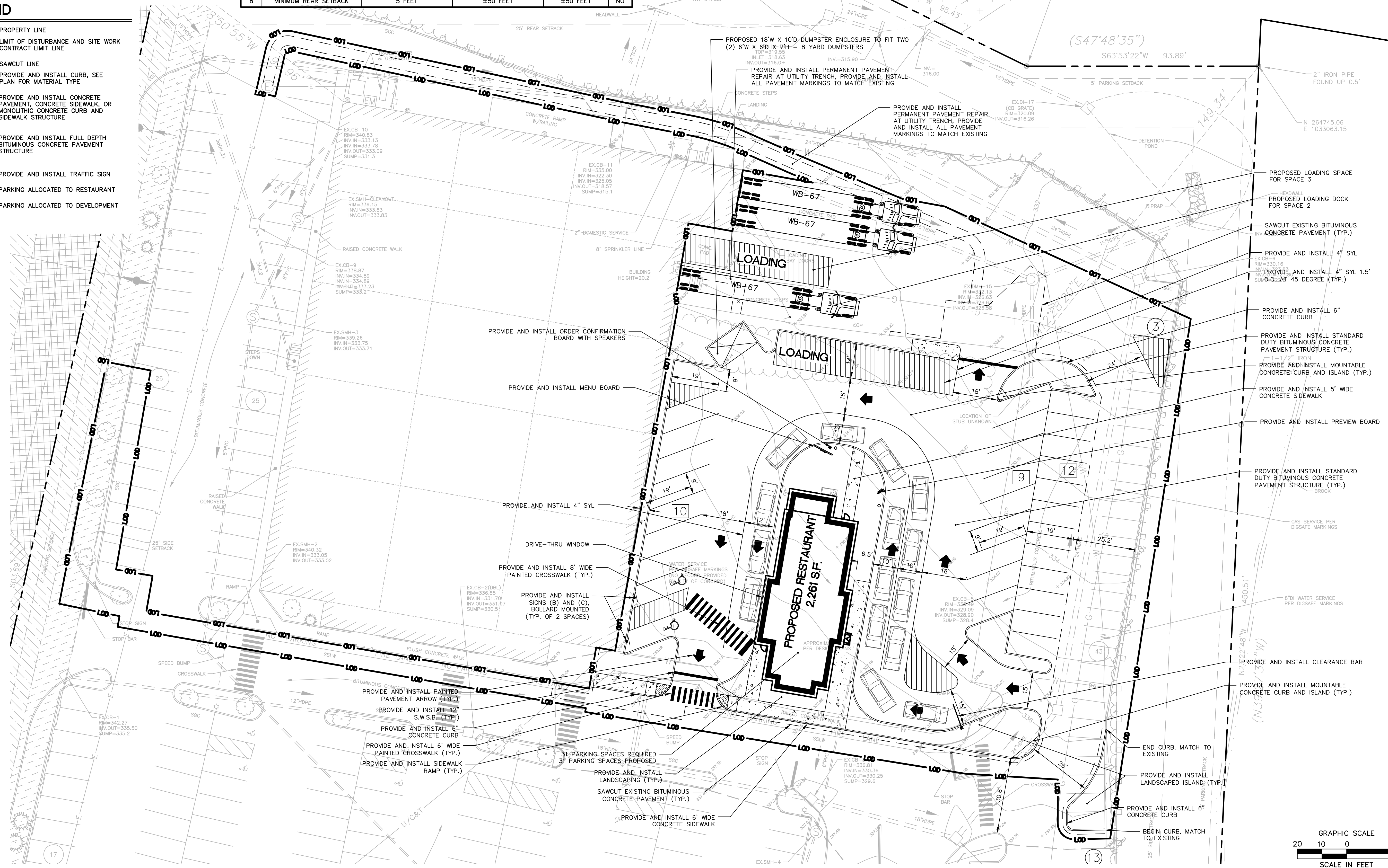
	PROPERTY LINE
	LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
	SAWCUT LINE
	PROVIDE AND INSTALL CURB, SEE PLAN FOR MATERIAL TYPE
	PROVIDE AND INSTALL CONCRETE PAVEMENT, CONCRETE SIDE WALK, OR MONOLITHIC CONCRETE CURB AND SIDEWALK STRUCTURE
	PROVIDE AND INSTALL FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE
	PROVIDE AND INSTALL TRAFFIC SIGN
	PARKING ALLOCATED TO RESTAURANT
	PARKING ALLOCATED TO DEVELOPMENT

PARKING INFORMATION

ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	RETAIL: 30,713 S.F.	RETAIL: 30,713 S.F. RESTAURANT: 2,261 S.F.	NO
2	PARKING REQUIRED	RETAIL: 1 SPACE PER EVERY 250 S.F. OF GROSS FLOOR AREA (30,713 S.F. / 250 = 123 SPACES) RESTAURANT: 1 SPACE PER EVERY 75 S.F. PLUS 11 STACKING SPACES PER WINDOW, GROSS FLOOR AREA (2,261 S.F. / 75 = 31 SPACES) TOTAL REQUIRED = 154 SPACES	RETAIL: 230 SPACES	RETAIL: 203 SPACES RESTAURANT: 31 SPACES TOTAL = 234 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	7 SPACES	8 SPACES	10 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 19 FEET	9 FEET X 19 FEET	9 FEET X 19 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET - 2-WAY 18 FEET - 1-WAY(60')	24 FEET - 2-WAY 18 FEET - 1-WAY	24 FEET - 2-WAY 18 FEET - 1-WAY(60')	NO
6	MINIMUM FRONT SETBACK	5 FEET	25 FEET	25 FEET	NO
7	MINIMUM SIDE SETBACK	5 FEET	±23.5 FEET	±23.5 FEET	NO
8	MINIMUM REAR SETBACK	5 FEET	±50 FEET	±50 FEET	NO

SIGN INFORMATION

ITEM #	ITEM	REQUIREMENT	PROPOSED
1	MAX. FREESTANDING SIGN AREA	150 S.F. (WITH ARCHITECTURAL DESIGN REVIEW)	TBD
2	MAXIMUM SIGN HEIGHT	20 FEET	TBD
3	MAX. WALL SIGN AREA	200 S.F. (WITH ARCHITECTURAL DESIGN REVIEW)	TBD



PROPOSED DEVELOPMENT

310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

REVISIONS

No.	Date	Desc.
1	11/17/2020	REVISED PER CITY COMMENTS
2	12/21/2020	REVISED PER CITY COMMENTS

Designed S.E.L.
Drawn S.E.L.
Reviewed
Scale 1"=20'
Project No. 1902081
Date 10/21/2020

CAD File: SP190208101

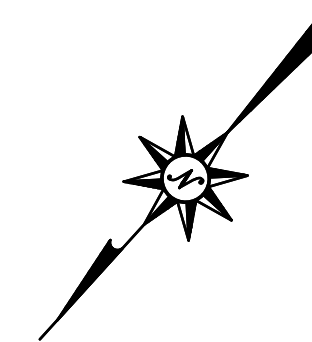
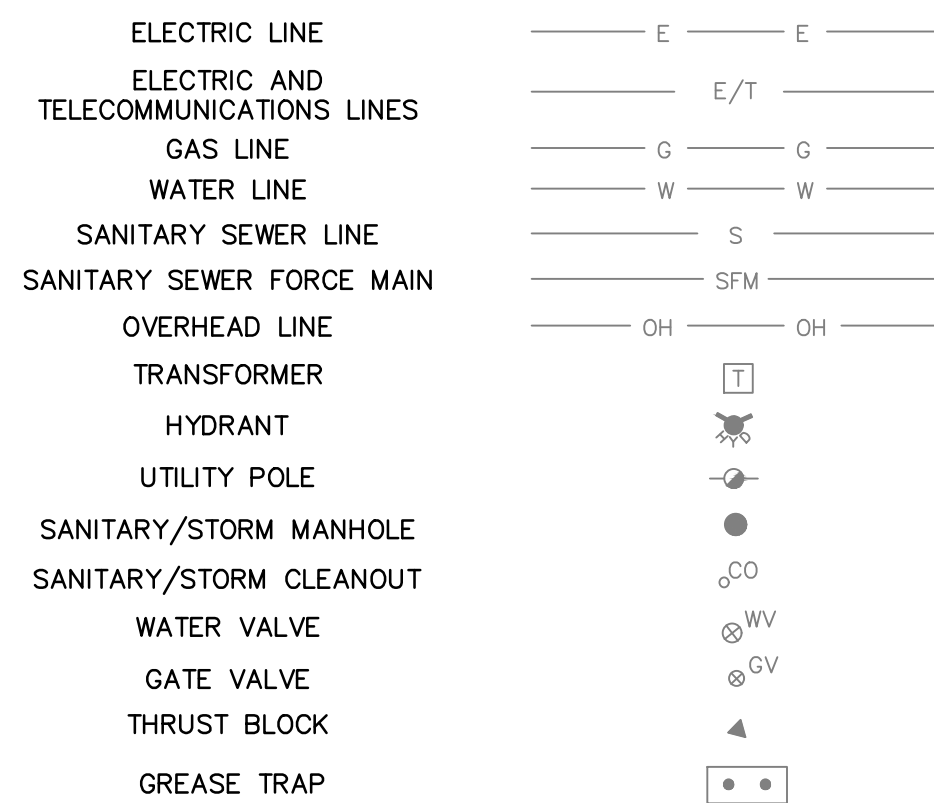
Title

SITE PLAN

Sheet No.

SP-1

PROPERTY LINE
 LIMIT OF DISTURBANCE LINE
 AND CONTRACT LIMIT LINE
 STORM LINE
 CATCH BASIN
 STORM MANHOLE
 FLARED END
 END WALL OR HEADWALL
 OUTLET CONTROL STRUCTURE
 HYDRODYNAMIC SEPARATOR
 PROPOSED CONTOUR LINE
 PROPOSED SPOT GRADE
 x 100.00
 T=100.00
 BC=99.50
 T=108.00
 BW=100.00
 2%
 PROPOSED SURFACE SLOPE



BL Companies
Architecture
Engineering
Environmental
Land Surveying

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

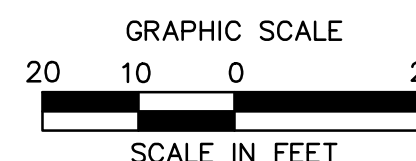
No.	Date	Desc.
1.	11/17/2020	REVISED PER CITY COMMENTS
2.	12/23/2020	REVISED PER CITY COMMENTS

Designed	S.E.
Drawn	S.E.
Reviewed	
Scale	1"=20'
Project No.	190208
Date	10/21/2021
AD File:	
GD190208101	

GRADING AND DRAINAGE PLAN

Sheet No.

GD-1

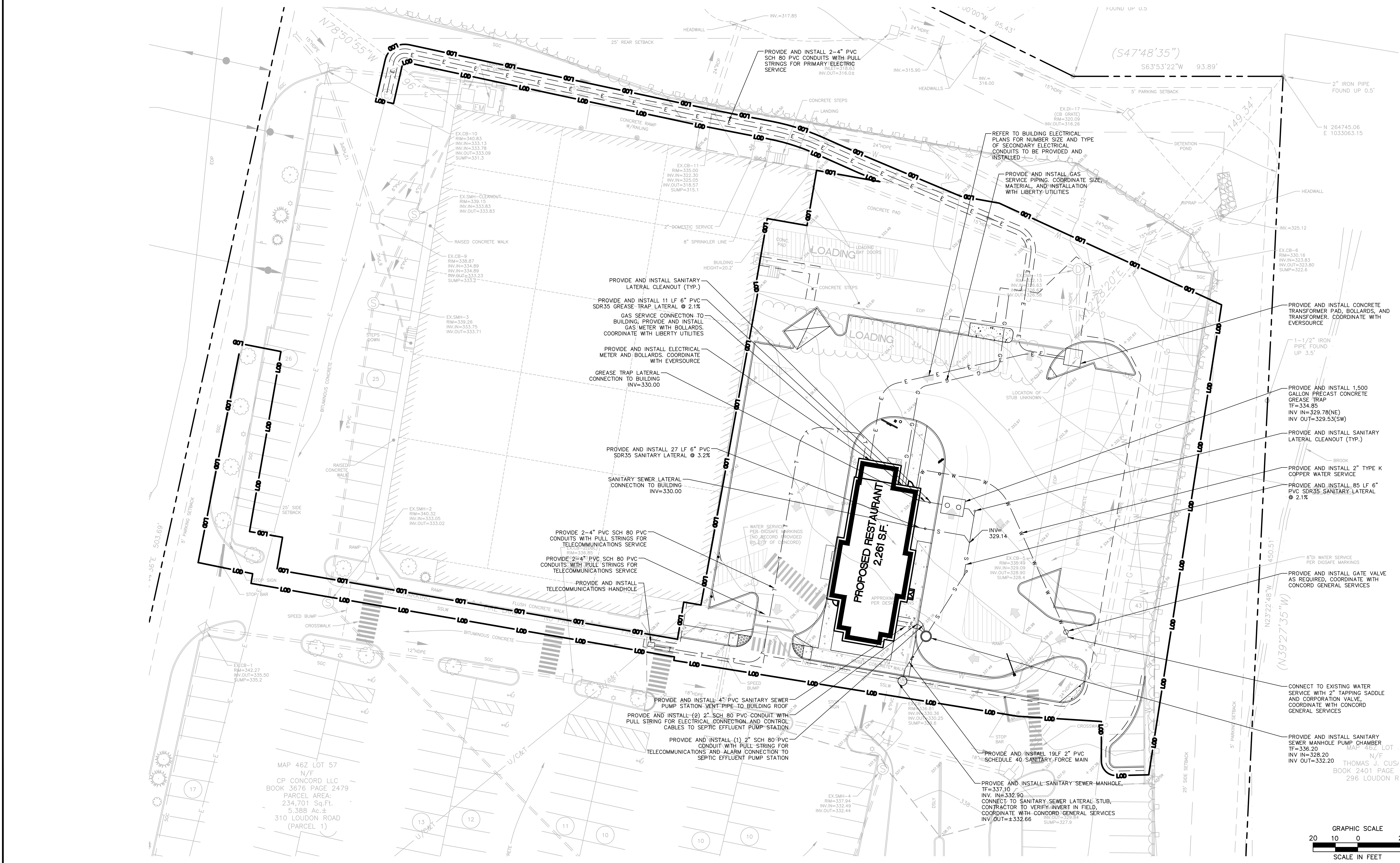


SITE UTILITIES LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- SAWCUT LINE
- PROVIDE AND INSTALL WATER SERVICE LINE
- PROVIDE AND INSTALL SANITARY SEWER SERVICE LINE
- PROVIDE AND INSTALL PROPANE GAS SERVICE LINE
- PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRICAL SERVICE
- PROVIDE AND INSTALL CONDUIT(S) FOR TELECOMMUNICATIONS SERVICE

NOTES

CONTRACTOR SHALL CONFIRM LOCATION, SIZE, CONDITION AND ELEVATION OF ALL UTILITY LATERAL STUBS, WATER MAINS, GAS MAINS AND ELECTRICAL SERVICES PRIOR TO CONSTRUCTION.

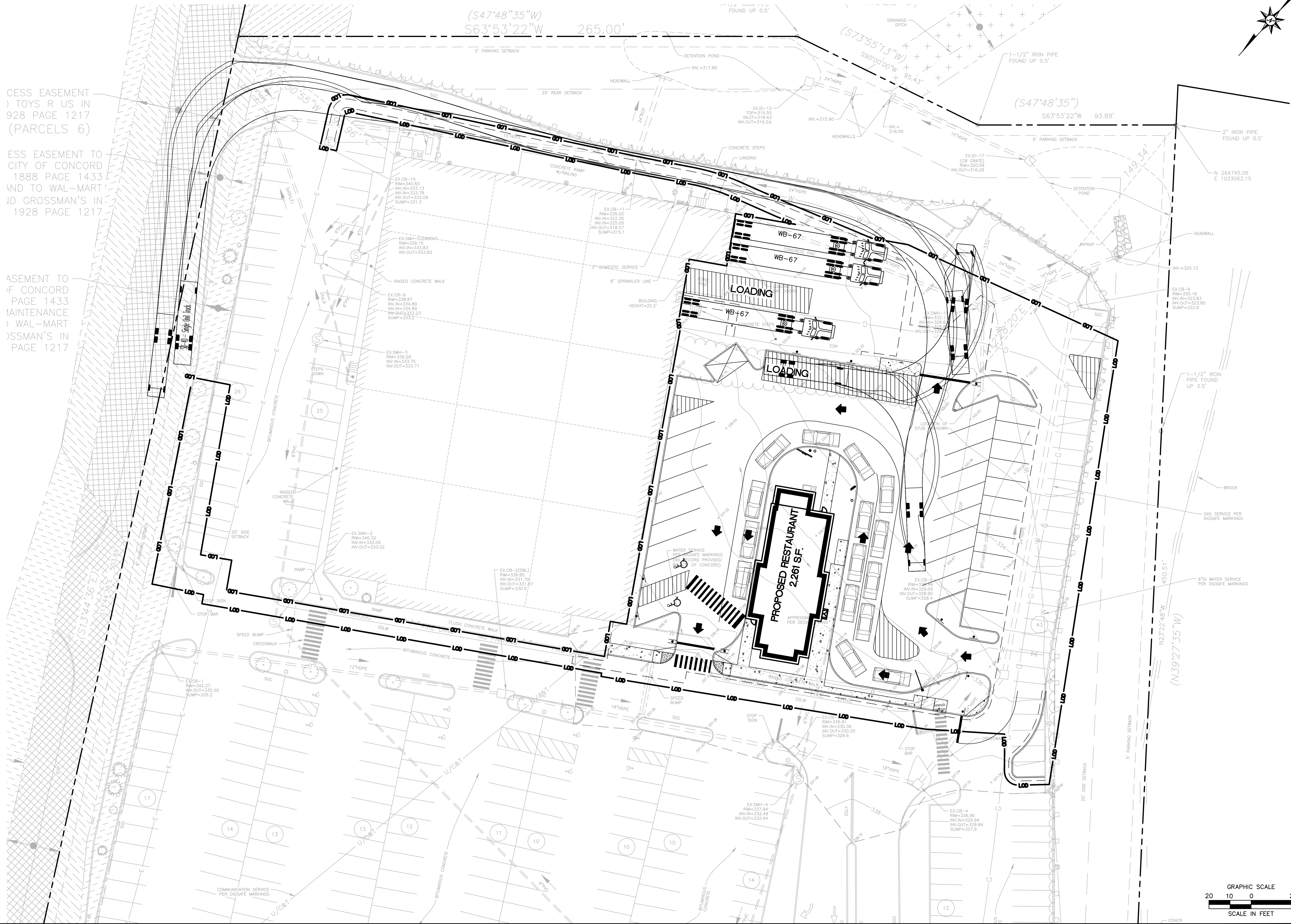


PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

REVISIONS			Designed	S.E.L.
No.	Date	Desc.		
1	12/17/2020	REVISED PER CITY COMMENTS	Drawn	S.E.L.
2	12/21/2020	REVISED PER CITY COMMENTS	Reviewed	S.E.L.
			Scale	1"=20'
			Project No.	1902081
			Date	10/21/2020
			CAD File:	SU190208101
			Title	
			SITE UTILITIES PLAN	
			Sheet No.	
			SU-1	

2/19/2021 11:21:00 AM C:\PROJECTS\2020\1902081\DWG\SP1902081.DWG (1:24,000) 200C

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CESS EASEMENT
TOYS R US IN
928 PAGE 1217
(PARCELS 6)

ESS EASEMENT TO
CITY OF CONCORD
1888 PAGE 1433
AND TO WAL-MART
ID GROSSMAN'S IN
1928 PAGE 1217

ASEMENT TO
IF CONCORD
PAGE 1433
MAINTENANCE
WAL-MART
GROSSMAN'S IN
PAGE 1217

Architecture
Engineering
Environmental
Land Surveying

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

PROPOSED DEVELOPMENT
306 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

REVISIONS
No. 1
2
3
Date 12/21/2020
12/21/2020
07/25/2021
Desc. REVISED PER CITY COMMENTS
REVISED PER CITY COMMENTS
REVISED PER CITY COMMENTS

Designed S.E.L.
Drawn S.E.L.
Reviewed
Scale 1"=20'
Project No. 1902081
Date 10/21/2020
CAD File: SP190208101
Title
TRUCK TURNING
PLAN - SU-40
Sheet No.

TT-2

NOTES:

- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
- 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS: THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
- 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	LANDSCAPE MATERIAL STANDARDS	ONE (1) SHADE OR ORNAMENTAL TREE (MIN 2" CAL) PER 2,000 SQUARE FEET OF PARKING AREA.	PARKING AREA = 18,000 SF REQUIRED = 9 TREES PROPOSED = 9 TREES	NO

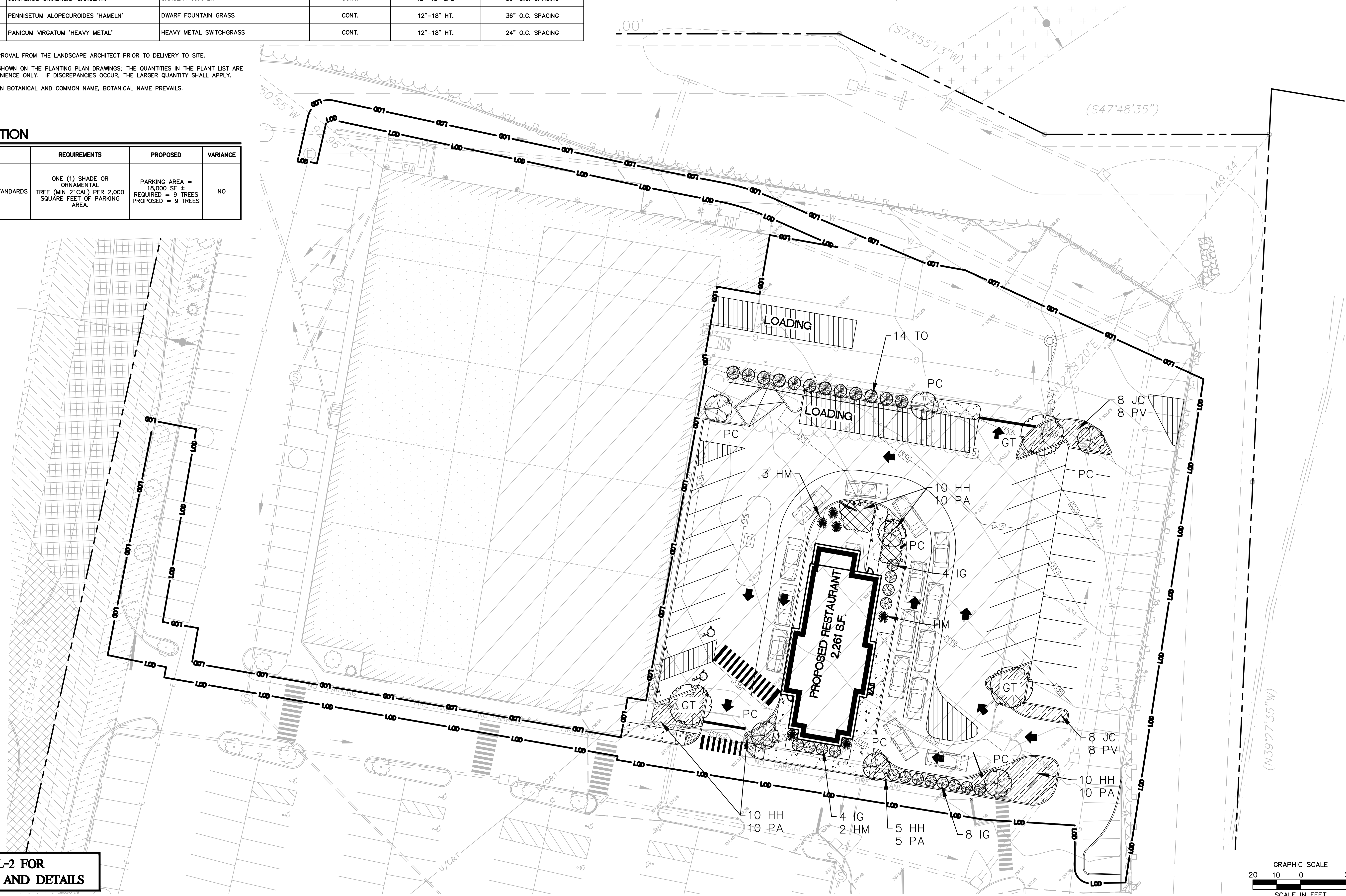
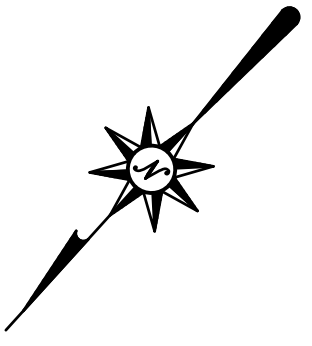
PROPERTY LINE
LIMITS OF DISTURBANCE LINE AND CONTRACT LIMIT LIMIT LINE

PROVIDE AND INSTALL DECIDUOUS CANOPY TREE

PROVIDE AND INSTALL EVERGREEN TREE

PROVIDE AND INSTALL SHRUB

PROVIDE AND INSTALL GROUND COVER PLANTINGS



**SEE SHEET LL-2 FOR
LANDSCAPE NOTES AND DETAILS**

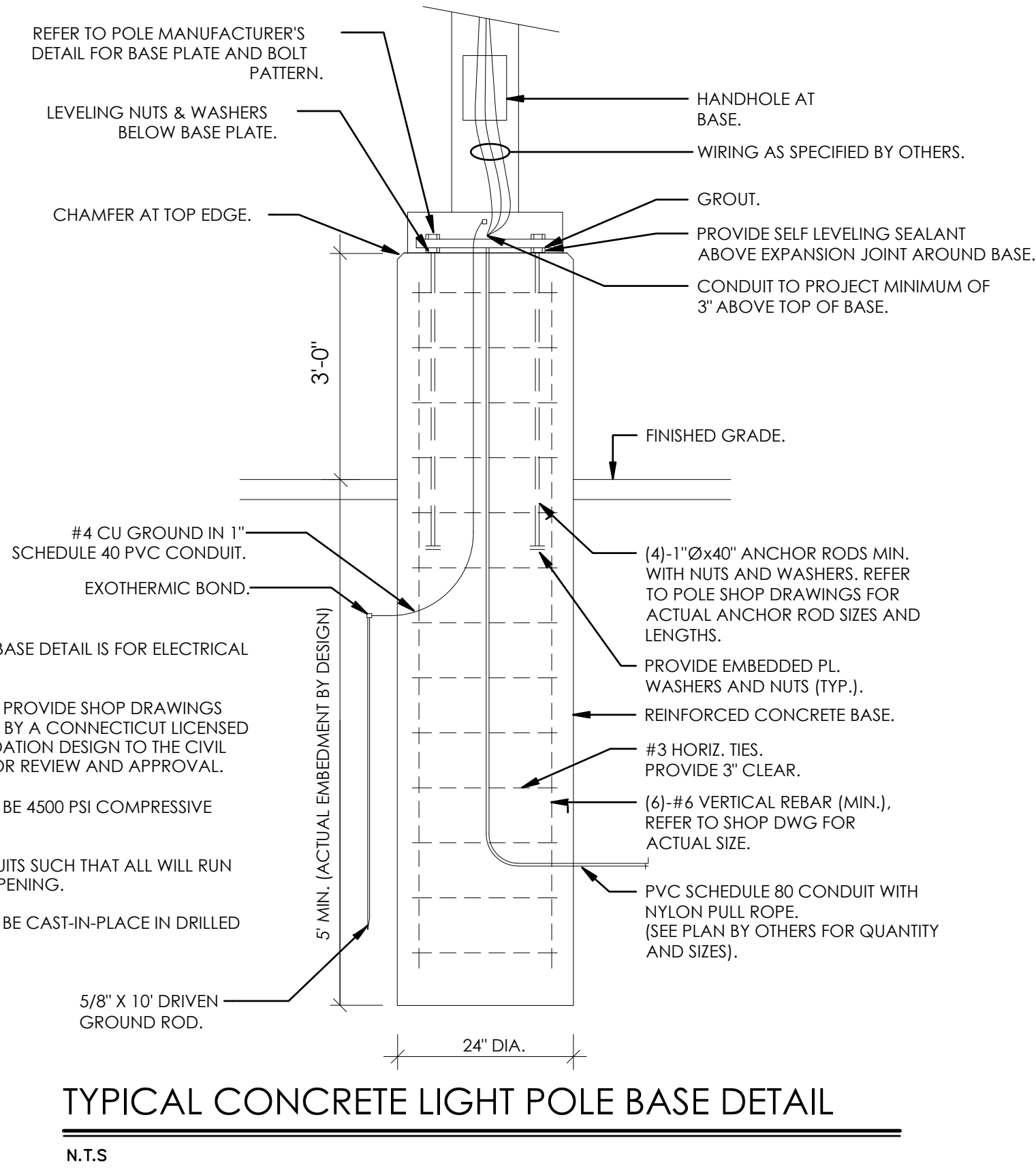
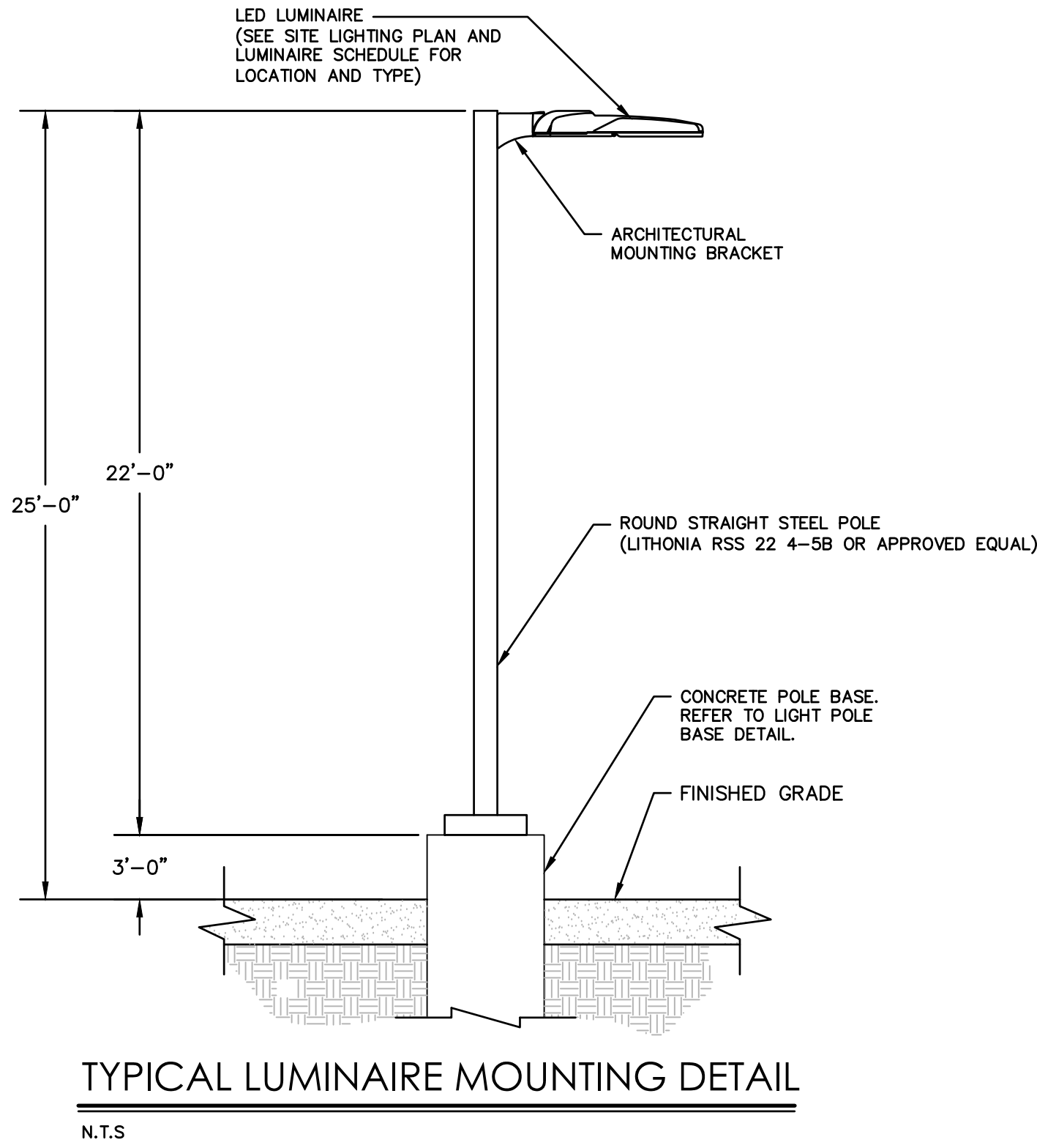
GRAPHIC SCALE

20 10 0 20

SCALE IN FEET

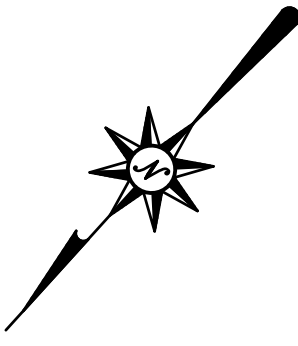
Schedule														
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distribution
	P1	5	Lithonia Lighting	DSX1 LED P6 40K TSM MVOLT	DSX1 LED P6 40K TSM MVOLT	LED	1	DSX1_LED_P6_40K_TSM_MVOLT.ties	19765	1	0.9	163	100%	TYPE VS. BUG RATING: 84 - 10 - G2

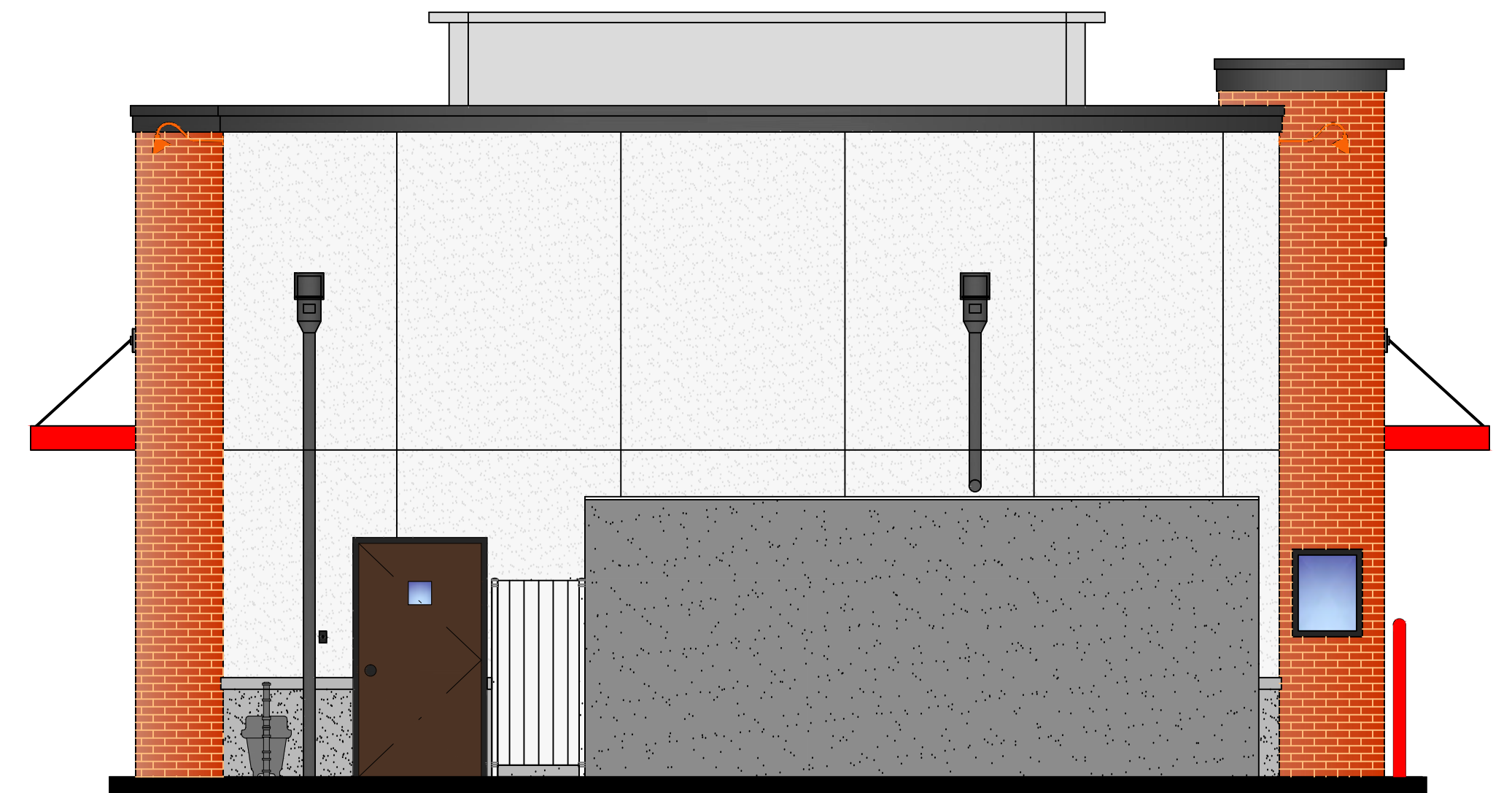
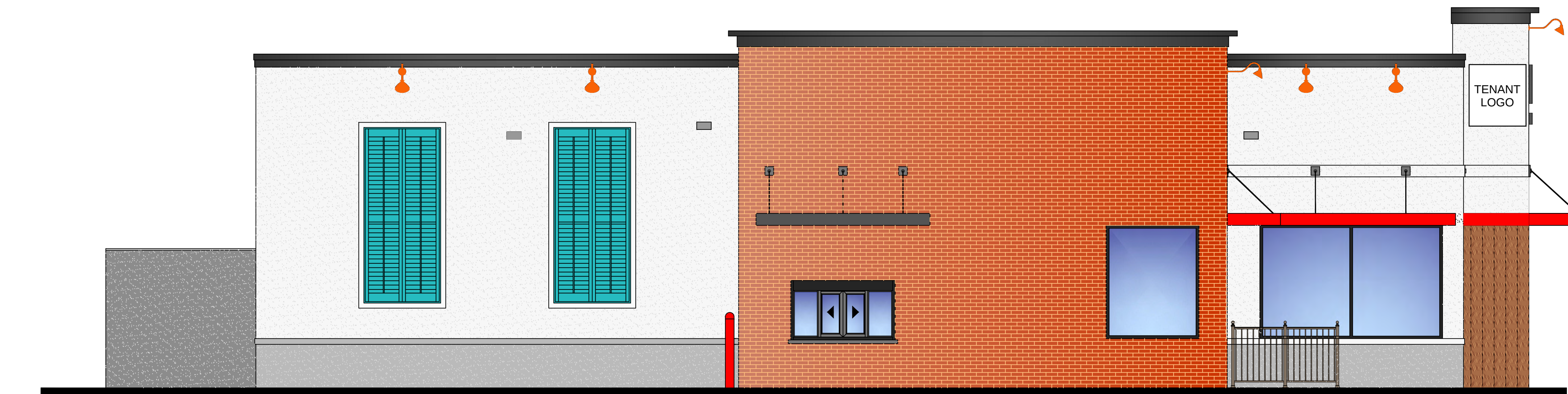
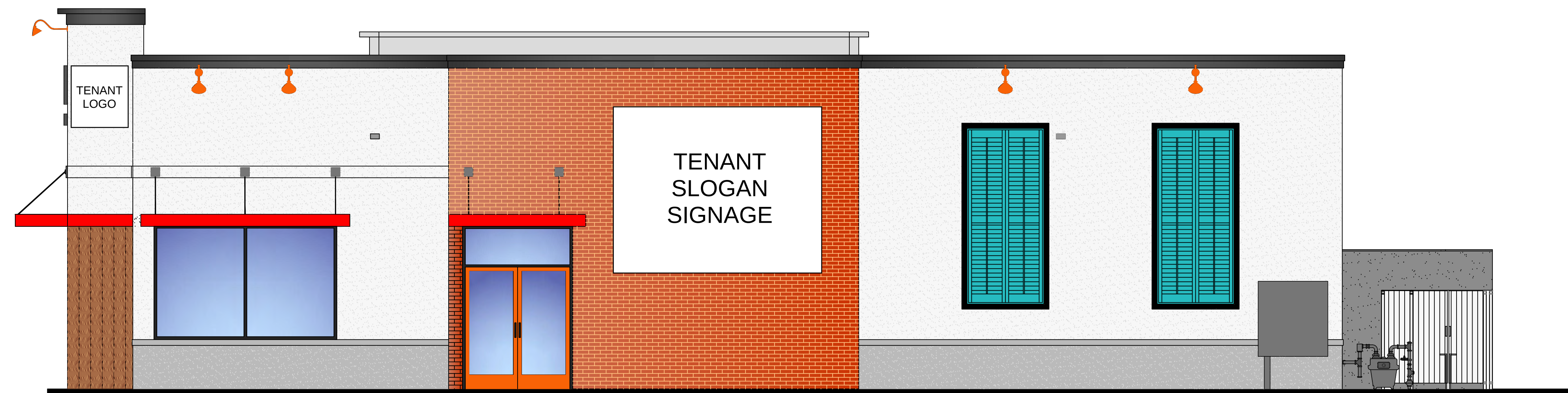
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Site Area		1.1 fc	2.8 fc	0.2 fc	14.0:1	5.5:1
Lease Area		1.8 fc	2.9 fc	0.5 fc	5.8:1	3.6:1
Spill		0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Wider Site Area		0.2 fc	1.4 fc	0.0 fc	N/A	N/A



LIGHTING NOTES

- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANY REGULATIONS, STATE CODE, AND NATIONAL ELECTRICAL CODE WITH INTERIM AMENDMENTS THERETO.
- ALL MATERIALS SHALL CONFORM TO THE LATEST ISSUE OF ALL APPLICABLE STANDARDS AS ESTABLISHED BY EEL, NEMA, ASTM, IPCEA, NATIONAL BOARD OF FIRE UNDERWRITERS, AND UNDERWRITERS LABORATORIES, INC.
- THE CONTRACTOR SHALL TEST THE LIGHTING AFTER INSTALLATION WITH THE DEVELOPER/OWNER, AND PROVIDE TO DEVELOPER/OWNER WARRANTY AND MAINTENANCE INFORMATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR MODIFICATIONS AS REQUIRED BY THE DEVELOPER/OWNER TO OBTAIN EVEN LIGHT DISTRIBUTION.
- CONTRACTOR SHALL LEAVE ENTIRE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR IN PROPER WORKING CONDITION AND REPLACE WITHOUT ADDITIONAL CHARGE ALL WORK OR MATERIALS WHICH MAY DEVELOP DEFECTS WITHIN A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, BASES AND CONDUITS TO SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY OF MATERIAL TO SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. IF ALTERNATIVE LIGHTING IS PROPOSED SUBMIT A PHOTOMETRIC FOOT-CANDLE LAYOUT ALONG WITH ANNUAL MAINTENANCE REQUIREMENTS AND ANTICIPATED COSTS.
- LIGHTS ARE DESIGNED TO PROVIDE EVEN LEVELS OF ILLUMINATION AND AVOID GLARE ONTO NEIGHBORING PROPERTIES. FINAL DESIGN MAY VARY PENDING MANUFACTURER'S RECOMMENDATIONS.
- ALL LIGHTING CONTROLS, PANELS, CIRCUIT BREAKERS ETC. ARE TO BE PROVIDED UNDER A SEPARATE CONTRACT BY BUILDING CONTRACTOR. CAREFUL COORDINATION IS REQUIRED BETWEEN SITE CONTRACTOR AND BUILDING CONTRACTOR TO PROVIDE A COMPLETE INSTALLATION FOR SITE LIGHTING.
- THE CONTRACTOR WILL PROVIDE AND INSTALL ALL MATERIAL NECESSARY TO COMPLETE THE SITE LIGHTING SYSTEM INCLUDING BUT NOT LIMITED TO CONDUIT, BASES, ANCHOR BOLTS, POLES, SITE LIGHTS AND LAMPS. THE CONTRACTOR WILL COORDINATE WIRING AND POWERING OF LIGHTS WITH OWNER, ARCHITECT, AND BUILDING CONTRACTOR IF DIFFERENT FROM THE SITE CONTRACTOR.
- ALL LIGHTS TO BE AS LISTED IN SCHEDULE OR APPROVED EQUIVALENT. LIGHTS SHALL BE MOUNTED ON ROUND STRAIGHT STEEL POLES ATOP 3' HIGH CONCRETE BASES THAT ARE SET 3' (CLEAR) BEHIND CURBS UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS. ILLUMINATION ANALYSIS MODELED USING LIGHTING FIXTURES LISTED IN SCHEDULE.
- LIGHT POLES AND BRACKETS TO BE AS SHOWN ON DETAILS OR APPROVED EQUIVALENT.
- WIRE AND CABLE SHALL BE COPPER AND CONFORM TO THE FOLLOWING NEC TYPE THHN/THWN SOLID FOR NO. 12 AND NO. 10, NEC TYPE THHN/THWN STRANDED FOR NO. 8 AND LARGER. RIGID STEEL CONDUIT SHALL BE GALVANIZED. FITTINGS SHALL BE CAST FERROUS MATERIAL WITH A CADMIUM OR ZINC PLATED FINISH.
- ALL EQUIPMENT SHALL BE GROUNDING AND BONDED IN ACCORDANCE TO NEC.



$$1/4'' = 1' - 0''$$

$$1/4'' = 1' - 0''$$

$$1/4'' = 1' - 0''$$

$$1/4'' = 1' - 0''$$