

LOCUS PLAN  
NOT TO SCALE

**ABUTTERS**

MAP 58Z LOT 16  
MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051

MAP 58Z LOT 17  
PATRICK JOSEPH HANNON  
PO BOX 2104  
SALISBURY, MD 21802

MAP 58Z LOT 15  
PETER & CASSANDRA DENONCOURT  
268 NORTH STATE STREET  
CONCORD, NH 03301

MAP 494Z LOT 1  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF CORRECTIONS  
PO BOX 1806  
CONCORD, NH 03302

MAP 582Z LOT 1  
SMOKESTACK REALTY LLC  
PO BOX 243  
CANTERBURY, NH 03224

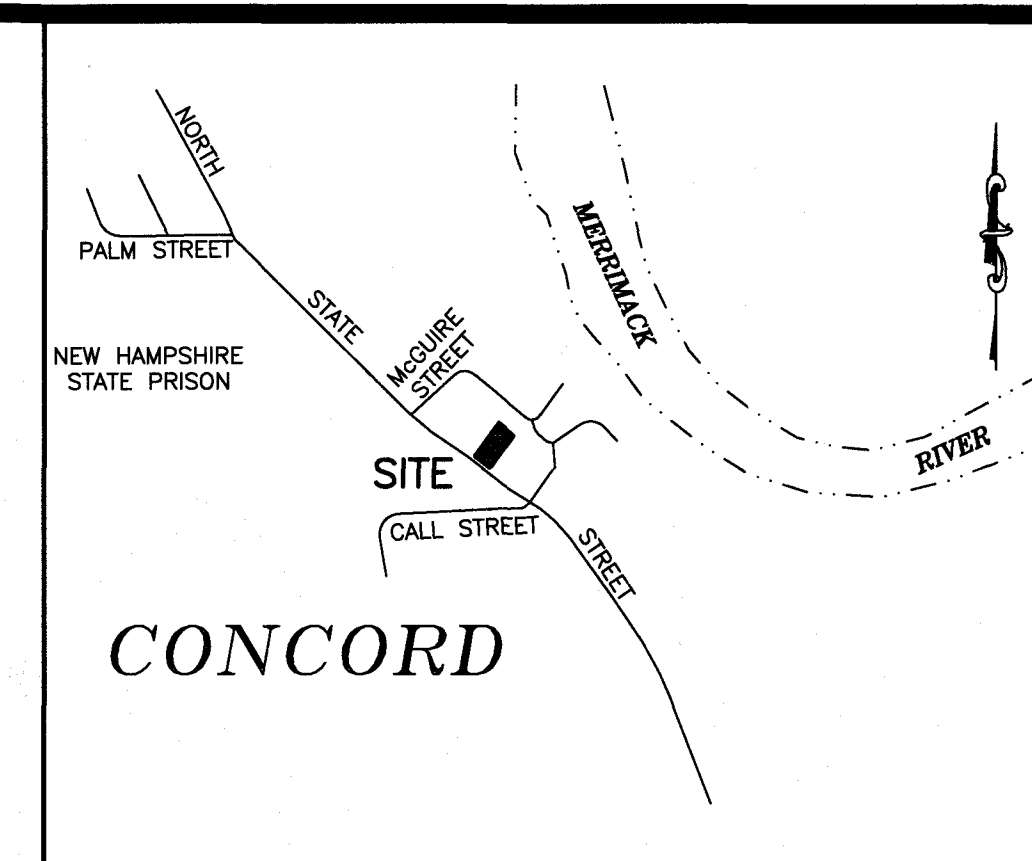
**OWNER/APPLICANT:**

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051

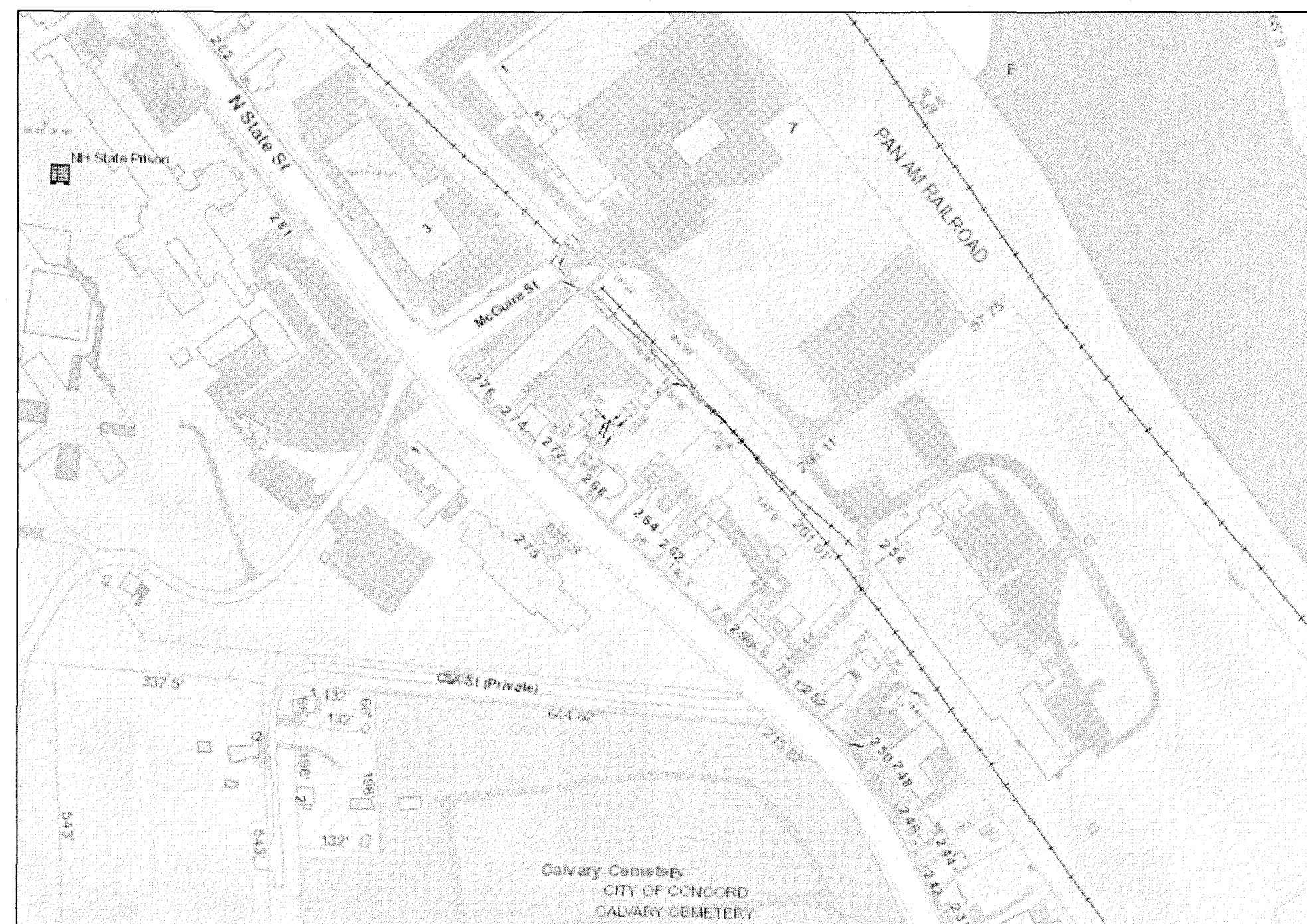
**PREPARED BY:**

KEACH-NORDSTROM ASSOCIATES, INC.  
10 COMMERCE PARK NORTH, SUITE 3B  
BEDFORD, NEW HAMPSHIRE 03110  
(603) 627-2881

# RESIDENTIAL SITE PLAN THE FIRE HOUSE MAP 58Z LOT 16 264-266 NORTH STATE STREET CONCORD, NEW HAMPSHIRE



VICINITY PLAN  
SCALE: 1" = 1,000'±



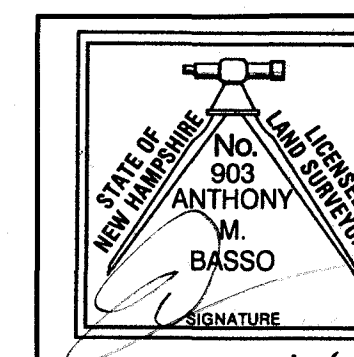
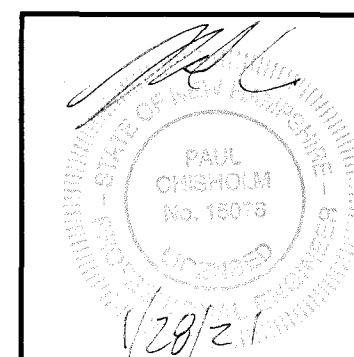
LOCATION PLAN  
SCALE: 1" = 200'±

**SHEET TITLE**

EXISTING CONDITIONS PLAN  
REMOVALS/DEMOLITION PLAN  
RESIDENTIAL SITE PLAN  
GRADING & DRAINAGE PLAN  
EROSION CONTROL PLAN  
UTILITY PLAN  
CONSTRUCTION DETAILS

**SHEET No.**

1  
2  
3  
4  
5  
6  
7 - 9



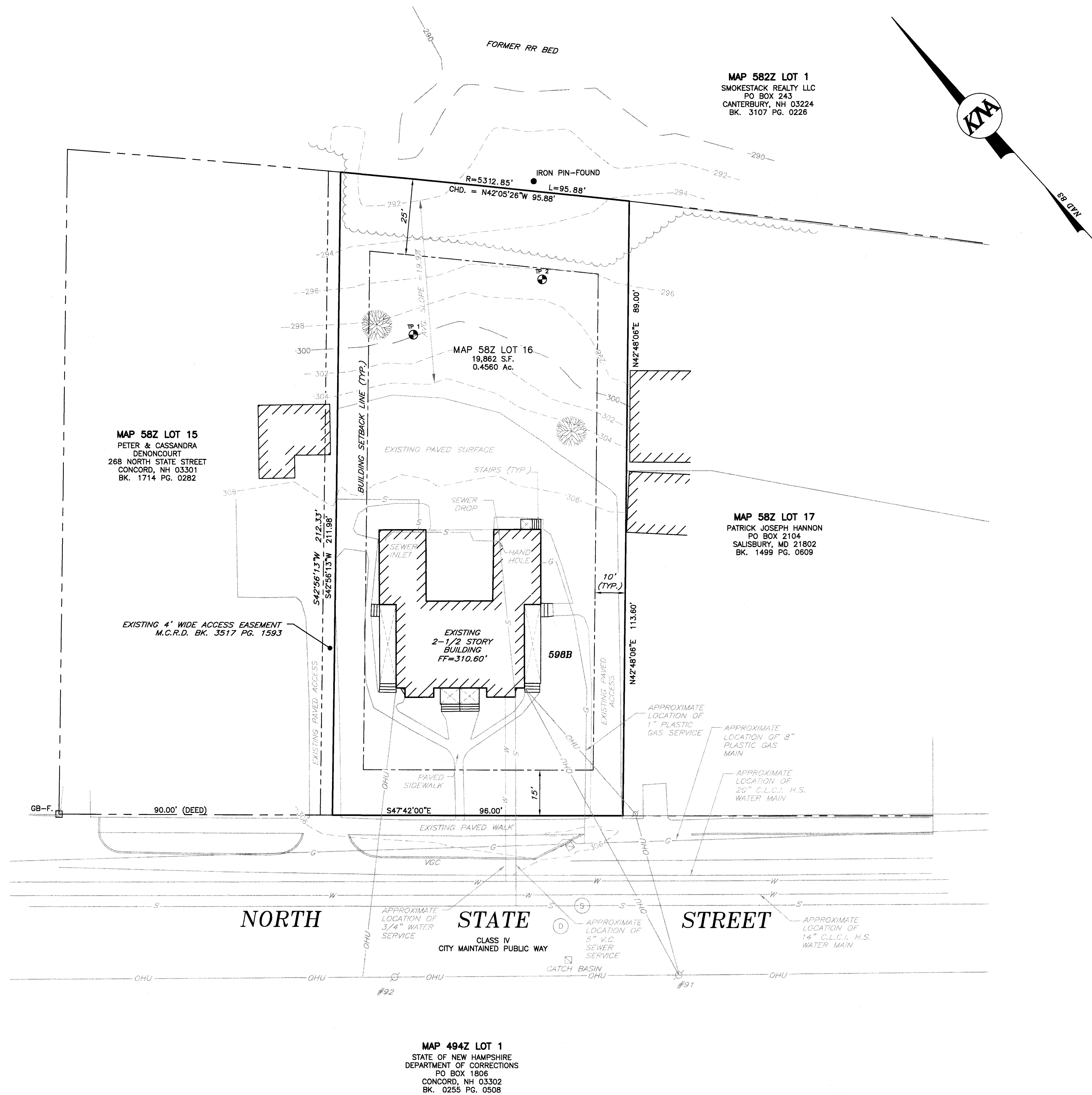
KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

DECEMBER 10, 2020  
LAST REVISED: JANUARY 28, 2021  
PROJECT NO. 20-0922-6

● GB-F	GRANITE BOUND FOUND
● IPIN-F	IRON PIN FOUND
● IPP-F	IRON PIPE FOUND
⊕	UTILITY POLE
⊗	SEWER MANHOLE
⊕	DRAINAGE MANHOLE
— — — — —	ABUTTER LINE
— — — — —	PROPERTY LINE
— OHU —————	OVERHEAD UTILITIES
~~~~~	TREELINE
=====	EDGE OF PAVEMENT
=====	VERTICAL GRANITE CURB
— — — — —	BUILDING SETBACK
10' —————	10' CONTOUR
2' —————	2' CONTOUR
• • • • •	SCS SOIL LINE
=====	PROPOSED EDGE OF PAVEMENT
=====	PROPOSED 2' CONTOUR

**598B** WINDSOR—URBAN LAND COMPLEX,  
0 TO 8% SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY  
HILLSBOROUGH COUNTY



THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN DRAWN FROM FIELD SURVEY INFORMATION AND ARE PLOTTED FROM EXISTING DRAWINGS. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, KEACH-NORDSTROM ASSOCIATES, INC. DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION AND ALTHOUGH THESE ARE LOCATED AS CLOSELY AS POSSIBLE FROM INFORMATION AVAILABLE. KEACH-NORDSTROM ASSOCIATES, INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

**LOCATION PLAN**  
SCALE: 1" = 1,000'±

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS FOR ASSESSOR'S MAP 58Z LOT 16, LOCATED AT 264-266 NORTH STATE STREET IN CONCORD, NEW HAMPSHIRE AND NO OTHER PURPOSE.
2. TOTAL LOT AREA = 19,862 SF, OR 0.456 ACRES.
3. TAX MAP 58Z LOT 16 INDICATES CITY OF CONCORD TAX ASSESSOR'S MAP AND LOT NUMBER.
4. OWNER OF RECORD: MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051
5. THE SUBJECT PARCEL IS LOCATED WITHIN THE URBAN TRANSITIONAL DISTRICT (UT) ZONING DISTRICT, AND SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

	REQUIRED	EXISTING
MINIMUM LOT AREA	10,000 SF	19,862 SF
MINIMUM LOT FRONTAGE	80'	96±
MINIMUM BUILDING SETBACKS:		
FRONT	15'	34.2'
SIDE	10'	14.2'
REAR	25'	107.4'
MAXIMUM LOT COVERAGE	75%	38%
MAXIMUM BUILDING HEIGHT	35'	<35'
USEABLE LAND AREA	5,000 SF	19,862 SF

\*\*USEABLE LAND AREA EXCLUDES WETLANDS AND EASEMENTS

6. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN NOVEMBER OF 2020.
7. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88.
8. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF CONCORD, NEW HAMPSHIRE, MERRIMACK COUNTY, MAP NUMBER 33010 0531E, PANEL NUMBER 531 OF 705, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
9. SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER AND SEWER.
10. THE INFORMATION ON THIS PLAN IS APPROXIMATE. THE INFORMATION ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
11. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.

1. PLAN FOR W.F. WHITNEY COMPANY, BY LLOYD & MANN, CIVIL ENGINEERS. DATED AUG. 1920. RECORDED AT THE MCRD AS PLAN #352

( IN FEET )

1 inch = 20 ft.

MAP 58Z LOT 16  
264-266 NORTH STATE STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051

Civil Engineering Land Surveying Landscape Architecture  
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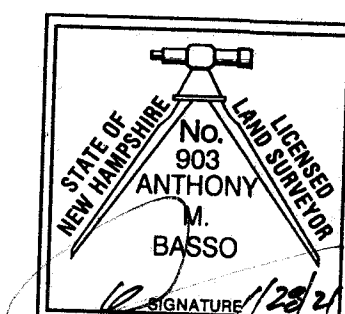
No.	DATE	DESCRIPTION	BY
1	1/28/21	TRC & CITY ENGINEERING COMMENTS	PCM


DATE: DECEMBER 10, 2020	SCALE: 1" = 20'
PROJECT NO: 20-0922-6	SHEET 1 OF 9

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING NOVEMBER OF 2020 BY THIS OFFICE. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

LICENSED LAND SURVEYOR

1/28/21  
DATE



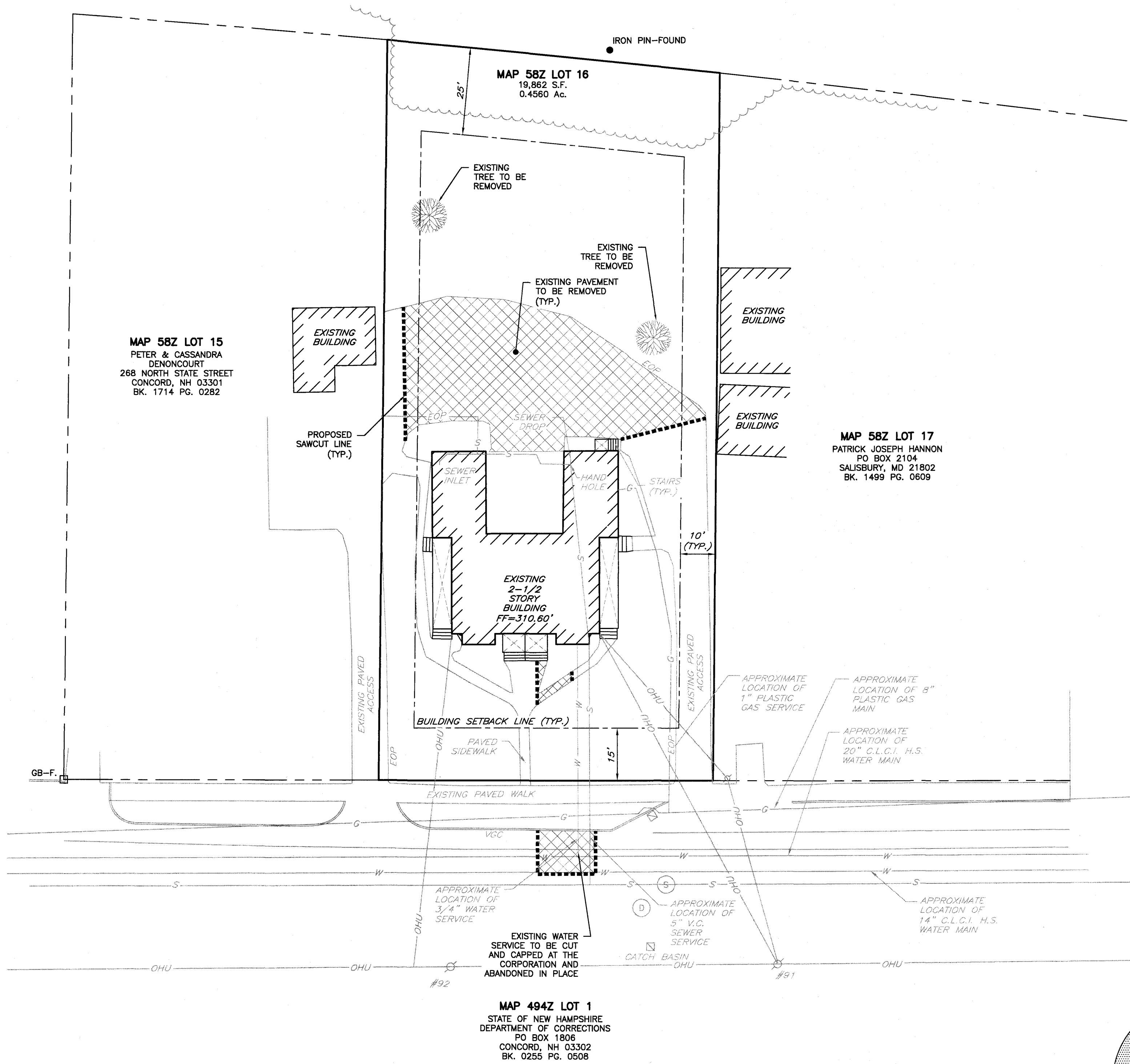


SEE SHEET 1 FOR  
REFERENCE PLANS

MAP 582Z LOT 1  
SMOKESTACK REALTY LLC  
PO BOX 243  
CANTERBURY, NH 03224  
BK. 3107 PG. 0226



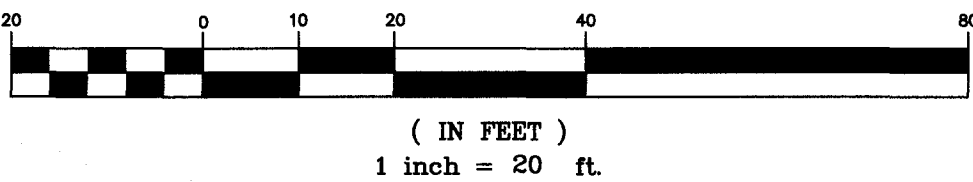
- REMOVALS/DEMOLITION NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED OR REPLACED.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
  3. CONTRACTOR TO REMOVE AND SALVAGE ITEMS SHOWN.
  4. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
  5. ALL EXISTING PAVEMENT WITHIN THE CROSS HATCHED AREA IS TO BE REMOVED DURING THE DEMOLITION PHASE OF THE PROJECT. EXCESS MATERIAL FROM THESE AREAS SHALL BE APPROPRIATELY DISPOSED OF OFFSITE BY AN APPROVED METHOD.
  6. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.



**LEGEND**

- IPIN-F IRON PIN FOUND
- UTILITY POLE
- S SEWER MANHOLE
- D DRAINAGE MANHOLE
- ABUTTER LINE
- PROPERTY LINE
- OHU OVERHEAD UTILITIES
- TREELINE
- EDGE OF PAVEMENT
- VERTICAL GRANITE CURB
- BUILDING SETBACK
- SAWCUT LINE
- ▨ PAVEMENT TO BE REMOVED

**GRAPHIC SCALE**



**REMOVALS/DEMOLITION PLAN**  
**THE FIRE HOUSE**  
MAP 58Z LOT 16  
264-266 NORTH STATE STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER/APPLICANT:**

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051



**KEACH-NORDSTROM ASSOCIATES, INC.**

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**REVISIONS**

No.	DATE	DESCRIPTION	BY
1	1/28/21	TRC & CITY ENGINEERING COMMENTS	PCM
DATE: DECEMBER 10, 2020		SCALE: 1" = 20'	
PROJECT NO: 20-0922-6		SHEET 2 OF 9	

PLANT LIST					
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
<b>TREES</b>					
Ck	2	CORNUS KOUSA 'SATOMI'	SATOMI KOUSA DOGWOOD	3" CAL.	15-20'
<b>SHRUBS</b>					
Sb	5	SPIRAEA BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	18-24"	3-4'

**LANDSCAPE NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPING WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
2. ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE; WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
3. IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
4. PLANTING BEDS AND SAUCERS SHALL RECEIVE A FOUR INCH (4") MINIMUM THICKNESS OF PINE/HEMLOCK BARK MULCH OVER A 5 OZ. POLYPROPYLENE WEED CONTROL FABRIC.
5. MINIMUM TOPSOIL DEPTH IN LAWN AREAS AND ALL OTHER DISTURBED AREAS SHALL BE 6".
6. MULCH SHALL BE MINIMUM 3" THICKNESS CONSISTING OF 50% SHREDDED BARK AND 50% WOOD CHIPS, 3/4 TO 2 INCH IN SIZE, UNIFORMLY MIXED AND FREE OF ELM WOOD. MULCH TO BE PLACED UNIFORMLY OVER THE PLANTING BED ALLOWING NO WEED BARRIER TO BE SEEN.
7. PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
8. THE APPLICANT OR THEIR SUCCESSORS SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL PLANTING AND OTHER LANDSCAPE FEATURES. PLANT MATERIALS SHALL BE MAINTAINED ALIVE, HEALTHY AND FREE FROM PESTS AND DISEASE.
9. ONLY LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZERS SHOULD BE USED.

**LEGEND**

GB-F	GRANITE BOUND FOUND
IPIN-F	IRON PIN FOUND
IPP-F	IRON PIPE FOUND
GB-TBS	GRANITE BOUND TO BE SET
IPIN-TBS	IRON PIN TO BE SET
U	UTILITY POLE
S	SEWER MANHOLE
D	DRAINAGE MANHOLE
1	UNIT NUMBER
---	ABUTTER LINE
---	PROPERTY LINE
OHU	OVERHEAD UTILITIES
~~~~~	TREELINE
=====	EDGE OF PAVEMENT
=====	VERTICAL GRANITE CURB
-----	BUILDING SETBACK
=====	PROPOSED EDGE OF PAVEMENT
=====	PROPOSED VERTICAL GRANITE CURB
-----	PROPOSED EASEMENT
-----	PROPOSED SNOW STORAGE

SEE SHEET 1 FOR  
REFERENCE PLANS



**APPROVED**

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD  
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plot is limited to lots as shown.

Clerk

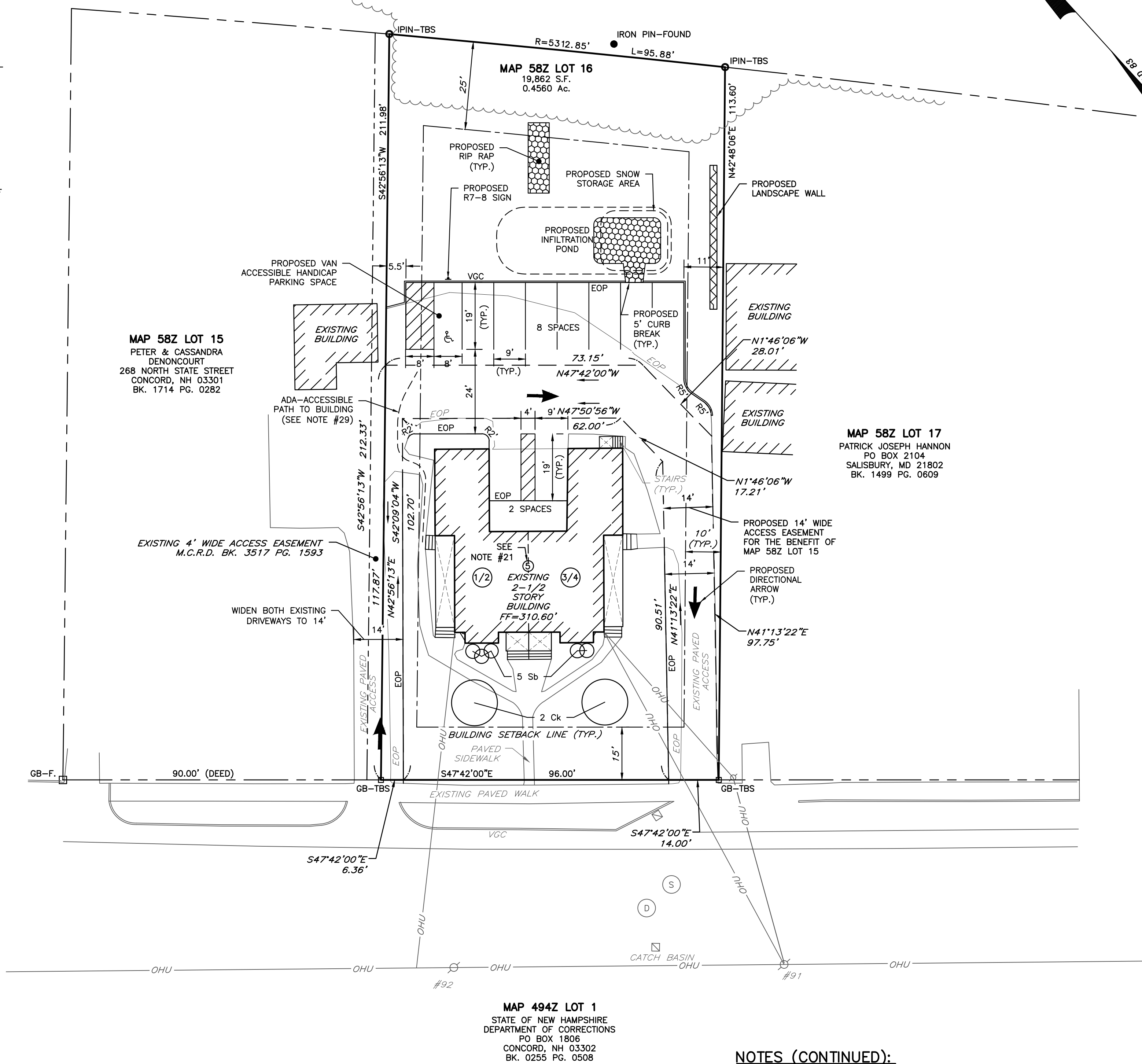
Chair

GRAPHIC SCALE



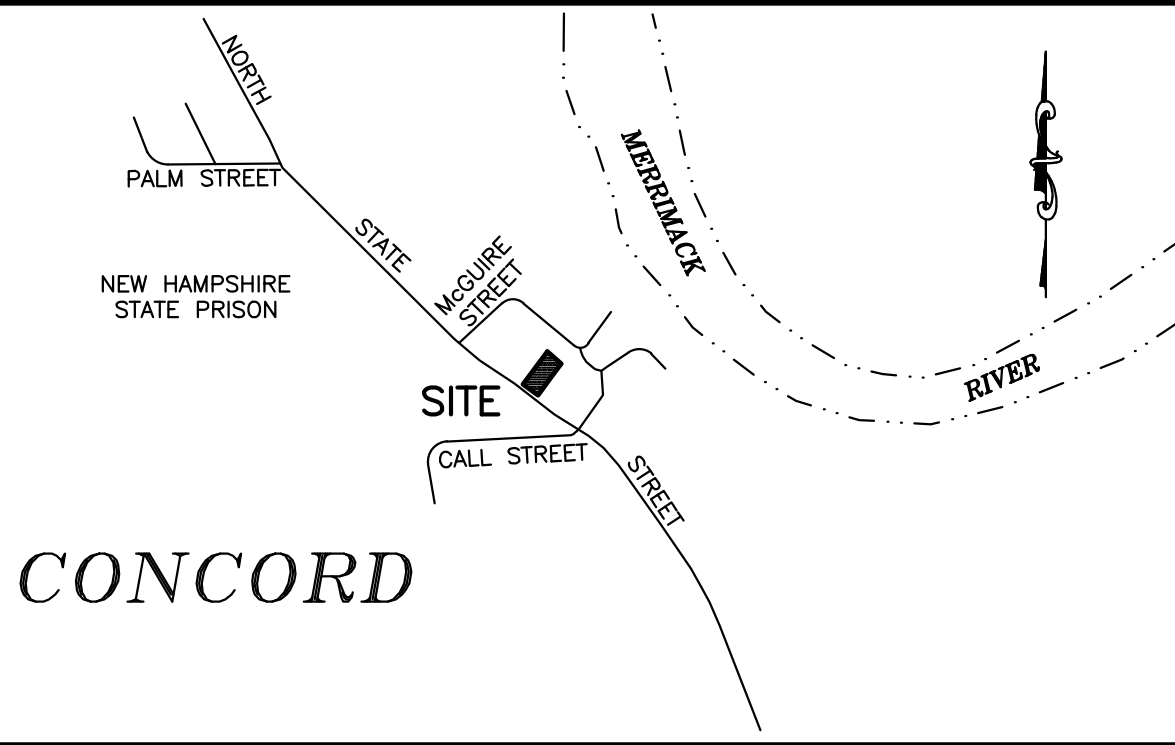
( IN FEET )  
1 inch = 20 ft.

MAP 582Z LOT 1  
SMOKESTACK REALTY LLC  
PO BOX 243  
CANTERBURY, NH 03224  
BK. 3107 PG. 0226



**NOTES (CONTINUED):**

23. THE FOLLOWING PERMITS WILL NEED TO BE OBTAINED FROM THE ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION:
  1. DRIVEWAY PERMIT
  2. EXCAVATION PERMIT (FOR WORK WITHIN THE RIGHT-OF-WAY)
  3. UTILITY CONNECTION PERMITS (WATER SERVICE(S); SEWER SERVICE IF NEEDED)
24. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES OR OCCUR ADJACENT TO THE EDGE OF ROAD. (SUBMIT TO ENGINEERING FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING)
25. SHOP DRAWINGS/SUBMITTALS SHOULD BE SUBMITTED TO ENGINEERING FOR THE PROPOSED WATER, SEWER, AND DRAINAGE IMPROVEMENTS.
26. PRIOR TO THE CONSTRUCTION OF ANY FUTURE SITE IMPROVEMENTS THE APPLICANT/OWNER SHOULD CONSULT THE PLANNING DIVISION TO DETERMINE IF SITE PLAN APPROVAL WILL BE REQUIRED.
27. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION. A COPY OF THE AS BUILT DRAWING REQUIREMENTS WILL BE PROVIDED AT THE PRECONSTRUCTION MEETING.
28. PRIOR TO FINAL ENGINEERING APPROVAL OF THE DESIGN PLANS, A FIRE PROTECTION ENGINEER SHALL PROVIDE, ON THEIR LETTERHEAD, A DOCUMENT CERTIFYING THAT THE NEW PROPOSED WATER SERVICE LINE IS ADEQUATELY SIZED AND DESIGNED FOR THE PROPOSED SITE CONDITIONS, INCLUDING ADDRESSING WHETHER DOMESTIC WATER IS ALSO TAPPED OFF OF THE SAME LINE.
29. THE EXISTING STAIRS AT THE END OF THE ADA-ACCESSIBLE PATH WILL BE CONVERTED TO A RAMP IN THE EVENT OF A HANDICAP TENANT.



**LOCATION PLAN**

SCALE: 1" = 1,000'±

**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO CONVERT THE EXISTING FOUR-UNIT APARTMENT BUILDING INTO A FIVE-UNIT APARTMENT BUILDING WITH THE REQUIRED INFORMATION LOCATED AT 264-266 NORTH STATE STREET IN CONCORD, NEW HAMPSHIRE.
2. TAX MAP 582Z LOT 16 INDICATES CITY OF CONCORD TAX ASSESSOR'S MAP AND LOT NUMBER.
3. OWNER OF RECORD: MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051
4. THE SUBJECT PARCEL IS LOCATED WITHIN THE URBAN TRANSITIONAL DISTRICT (UT) ZONING DISTRICT, AND SUBJECT TO THE FOLLOWING DIMENSIONAL REGULATIONS:

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF/0.230 ACRES	19,862 SF/0.456 ACRES	N/A
MINIMUM LOT FRONTAGE	80'	96'±	N/A
MINIMUM BUILDING SETBACKS:			
FRONT	15'	34.2'	N/A
SIDE	10'	14.2'	N/A
REAR	25'	107.4'	N/A
MAXIMUM BUILDING HEIGHT	35'	<35'	N/A
USEABLE LAND AREA	5,000 SF	19,862 SF	19,862 SF
BUILDING GROUND COVERAGE	N/A	2,018 SF/10%	2,018 SF/10%
PARKING GROUND COVERAGE	N/A	2,891 SF/15%	4,164 SF/21%
MAXIMUM LOT COVERAGE	38%	59%	59%
TOTAL DWELLING UNITS	N/A	4 UNITS	5 UNITS
DWELLING UNIT DENSITY	12.0 ALLOWED	8.8	11.0

- \*\*USEABLE LAND AREA EXCLUDES WETLANDS AND EASEMENTS
5. BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A FIELD SURVEY PERFORMED BY THIS OFFICE IN NOVEMBER OF 2020.
6. HORIZONTAL DATUM IS NAD 83. VERTICAL DATUM IS NAVD 88.
7. EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THE CITY OF CONCORD, NEW HAMPSHIRE, MERRIMACK COUNTY, MAP NUMBER 330110 0531E, PANEL NUMBER 531 OF 705, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PREMISES IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
8. SUBJECT PARCEL IS SERVICED BY MUNICIPAL WATER AND SEWER.
9. THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
10. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
11. SITE IMPROVEMENTS DEPICTED ON THE PLAN SHALL CONFORM WITH TITLE III OF THE AMERICANS WITH DISABILITIES ACT WITH REGARD TO DIMENSION AND GRADE.
12. PARKING CALCULATIONS:  
REQUIRED: 2 SPACES/DWELLING UNIT = 2 SPACES X 5 DWELLING UNITS = 10 SPACES REQUIRED PROVIDED: 9 SPACES + 1 HANDICAP SPACE = 10 TOTAL SPACES PROVIDED
13. THE EXISTING BUILDING SHALL BE SPRINKLER PROTECTED AS PART OF THE PROPOSED IMPROVEMENTS.
14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION), AND CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
15. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
16. THE CONTRACTOR SHALL SET UP A PRECONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
17. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
18. THE CONTRACTOR SHALL OBTAIN UTILITY CONNECTION PERMITS FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED WATER SERVICES, PLUS, IF APPLICABLE, ANY SEWER OR STORM DRAIN CONNECTIONS.
19. THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED DRIVEWAY MODIFICATIONS.
20. A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) WILL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHOULD BE SUBMITTED TO THE ESD FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE THE LANE CLOSURE(S).
21. APARTMENT UNITS ONE THROUGH FOUR WILL BE LOCATED ON THE FIRST AND SECOND FLOORS. UNIT FIVE WILL BE LOCATED IN THE ATTIC ABOVE.
22. MONUMENTATION FOR THE BOUNDARY LINES WILL NEED TO BE SET PRIOR TO ENGINEERING SIGN OFF ON THE BUILDING PERMIT.

**RESIDENTIAL SITE PLAN**

**THE FIRE HOUSE**

MAP 58Z LOT 16  
264-266 NORTH STATE STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER/APPLICANT:**

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051



KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISENS			
No.	DATE	DESCRIPTION	BY
1	1/28/21	TRC & CITY ENGINEERING COMMENTS	PCM
DATE: DECEMBER 10, 2020		SCALE: 1" = 20'	
PROJECT NO: 20-0922-6		SHEET 3 OF 9	

LOAM & SEED ALL  
DISTURBED AREAS (TYP.)

**MAP 582Z LOT 1**  
SMOKESTACK REALTY LLC  
PO BOX 243  
CANTERBURY, NH 03224  
BK. 3107 PG. 0226

**MAP 58Z LOT 15**  
**PETER & CASSANDRA**  
**DENONCOURT**  
**268 NORTH STATE STREET**  
**CONCORD, NH 03301**  
**BK. 1714 PG. 0282**




















**MAP 58Z LOT 17**  
PATRICK JOSEPH HANNON  
PO BOX 2104  
SALISBURY, MD 21802  
BK. 1499 PG. 0609

**MAP 494Z LOT 1**  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF CORRECTIONS  
PO BOX 1806  
CONCORD, NH 03302  
BK. 0255 PG. 0508

CONSTRUCTION NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED GRADING AND DRAINAGE SYSTEMS FOR THIS SITE.
2. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD, MASSACHUSETTS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, APPROVED AND ADOPTED 2016 ARE HEREBY INCORPORATED BY REFERENCE.
3. ALL LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED.
5. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS. SEE DETAILS FOR DRAINAGE SPECIFICATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES NOT IDENTIFIED BY THE ENGINEER. IMMEDIATE APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.

LEGEND

- |                                                                                     |        |                                |
|-------------------------------------------------------------------------------------|--------|--------------------------------|
|  | GB—F   | GRANITE BOUND FOUND            |
|  | IPIN—F | IRON PIN FOUND                 |
|  | IPP—F  | IRON PIPE FOUND                |
|  |        | UTILITY POLE                   |
|  |        | SEWER MANHOLE                  |
|  |        | DRAINAGE MANHOLE               |
|  |        | ABUTTER LINE                   |
|  |        | PROPERTY LINE                  |
|  |        | OVERHEAD UTILITIES             |
|  |        | TREELINE                       |
|  |        | EDGE OF PAVEMENT               |
|  |        | VERTICAL GRANITE CURB          |
|  |        | BUILDING SETBACK               |
|  |        | 10' CONTOUR                    |
|  |        | 2' CONTOUR                     |
|  |        | SCS SOIL LINE                  |
|  |        | PROPOSED EDGE OF PAVEMENT      |
|  |        | PROPOSED VERTICAL GRANITE CURB |
|  |        | PROPOSED 2' CONTOUR            |

### SCS SOILS LEGEND

**598B** WINDSOR-URBAN LAND COMPLEX,  
0 TO 8% SLOPES

SOURCE: USDA-SCS WEB SOIL SURVEY  
HILLSBOROUGH COUNTY

GRAPHIC SCALE



( IN FEET )  
1 inch = 20 ft.

## GRADING & DRAINAGE PLAN

### *THE FIRE HOUSE*

MAP 58Z LOT 16  
264-266 NORTH STATE STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER/APPLICANT:**

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051

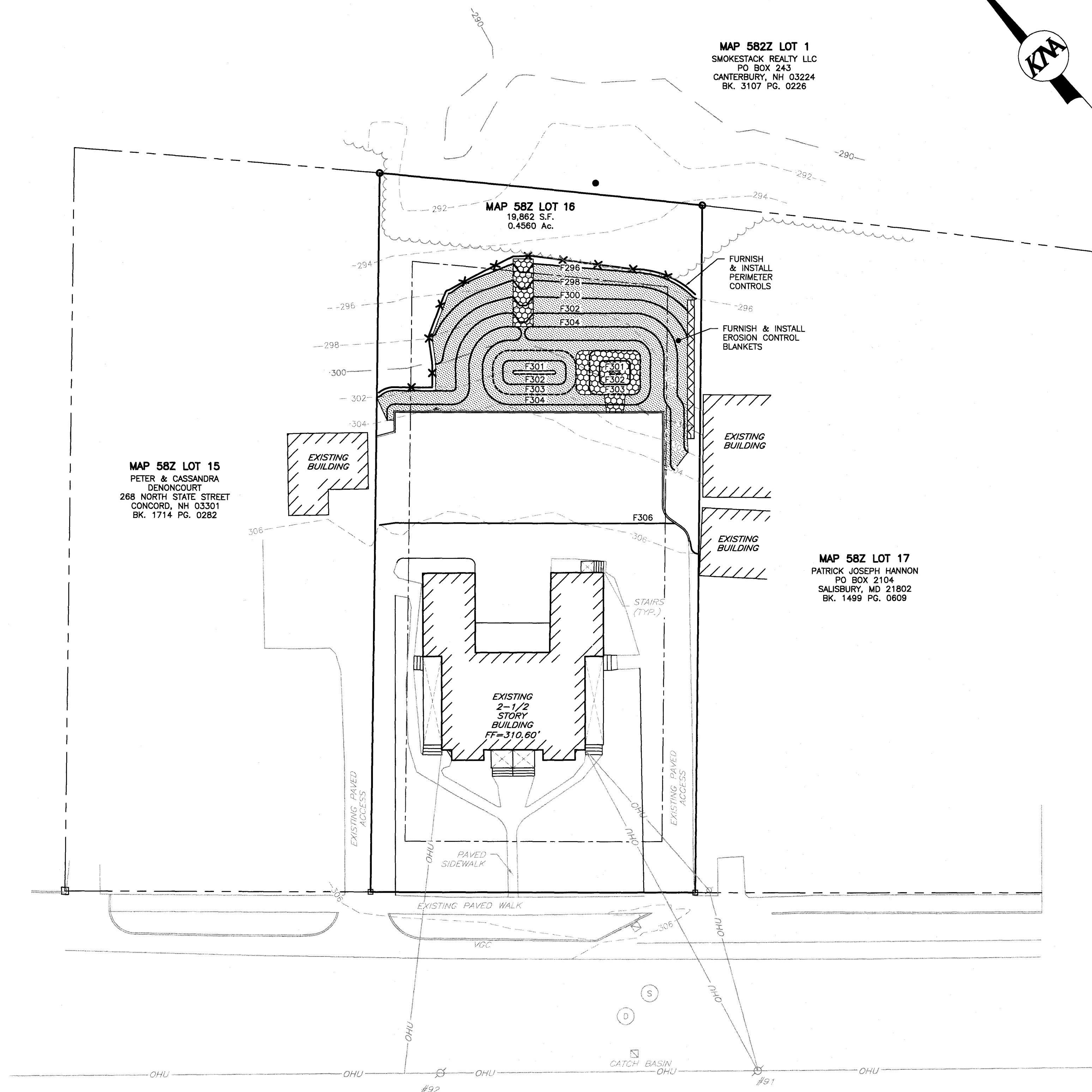
**KNA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-

## REVISIONS

[illegible]



LOAM & SEED ALL  
DISTURBED AREAS (TYP.)



#### EROSION CONTROL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION, WHEN NECESSARY, SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
10. THE CITY OF CONCORD SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

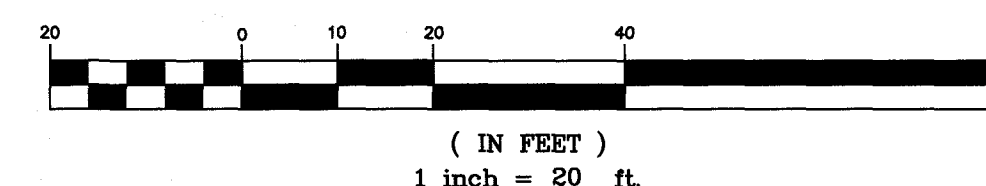
#### LEGEND

- |        |                                |
|--------|--------------------------------|
| GB-F   | GRANITE BOUND FOUND            |
| IPIN-F | IRON PIN FOUND                 |
| IPP-F  | IRON PIPE FOUND                |
| U      | UTILITY POLE                   |
| S      | SEWER MANHOLE                  |
| D      | DRAINAGE MANHOLE               |
| ---    | ABUTTER LINE                   |
| ---    | PROPERTY LINE                  |
| OHU    | OVERHEAD UTILITIES             |
| ---    | TREELINE                       |
| ---    | EDGE OF PAVEMENT               |
| ---    | VERTICAL GRANITE CURB          |
| ---    | BUILDING SETBACK               |
| ---    | 10' CONTOUR                    |
| ---    | 2' CONTOUR                     |
| ---    | SCS SOIL LINE                  |
| ---    | PROPOSED EDGE OF PAVEMENT      |
| ---    | PROPOSED VERTICAL GRANITE CURB |
| ---    | PROPOSED 2' CONTOUR            |

#### EROSION & SEDIMENT CONTROL LEGEND

- |  |                                                |
|--|------------------------------------------------|
|  | PERMANENT OUTLET PROTECTION<br>APRON (RIP RAP) |
|  | PERIMETER CONTROLS                             |
|  | EROSION CONTROL BLANKETS                       |

#### GRAPHIC SCALE



### EROSION CONTROL PLAN THE FIRE HOUSE

MAP 58Z LOT 16  
264-266 NORTH STATE STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

#### OWNER/APPLICANT:

MARTIN & MARYJANE CORONIS  
98 ROBINSON ROAD  
HUDSON, NH 03051

**KNA** KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

#### REVISIONS

No.	DATE	DESCRIPTION	BY
1	1/28/21	TRC & CITY ENGINEERING COMMENTS	PCM

DATE: DECEMBER 10, 2020

SCALE: 1" = 20'

PROJECT NO: 20-0922-6

SHEET 5 OF 9



LOAM & SEED ALL  
DISTURBED AREAS (TYP.)

MAP 582Z LOT 1  
SMOKESTACK REALTY LLC  
PO BOX 243  
CANTERBURY, NH 03224  
BK. 3107 PG. 0226

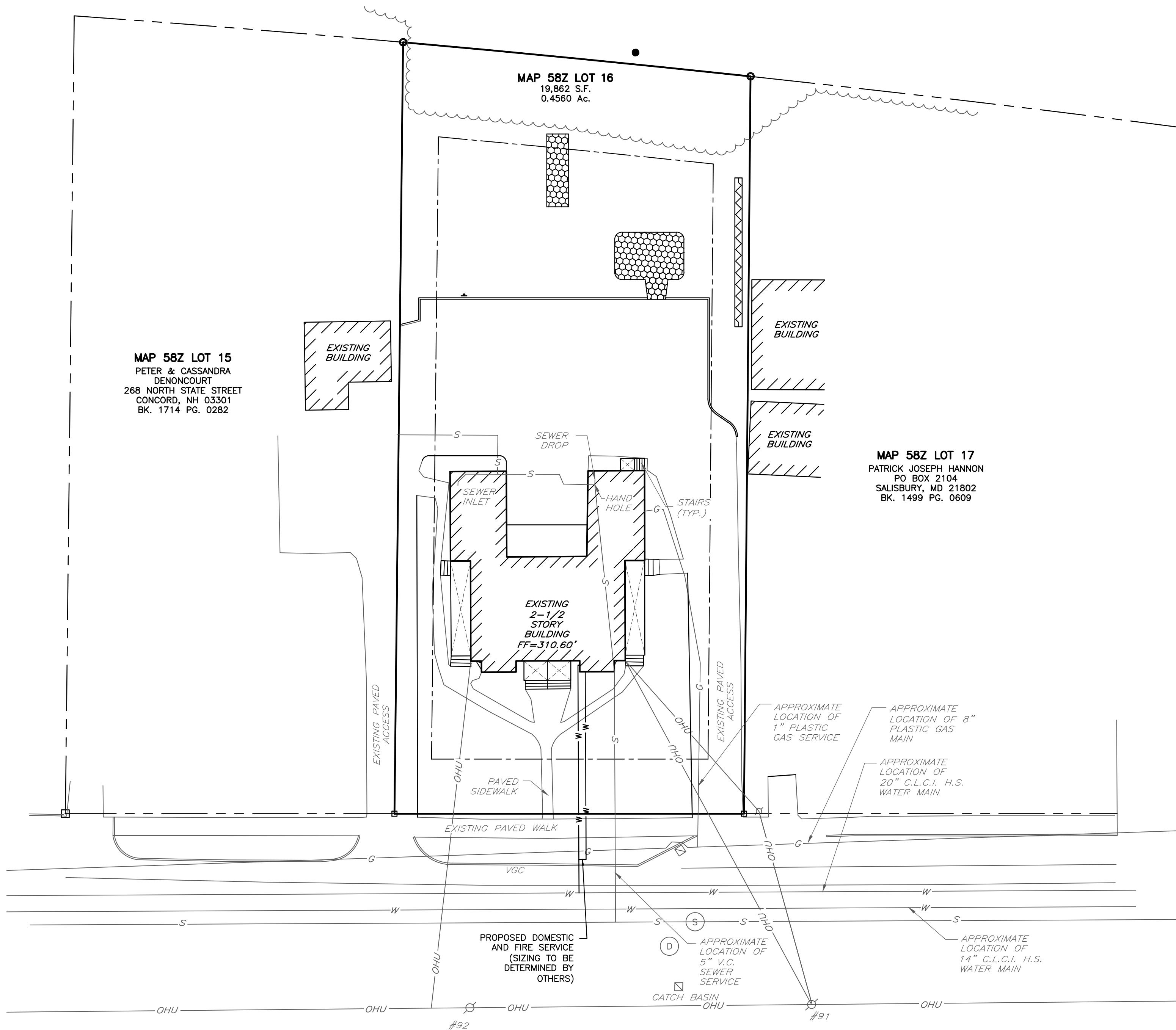
KMA

SB OFN

MAP 58Z LOT 16  
19,862 S.F.  
0.4560 Ac.

MAP 58Z LOT 15  
PETER & CASSANDRA  
DENONCOURT  
268 NORTH STATE STREET  
CONCORD, NH 03301  
BK. 1714 PG. 0282

MAP 58Z LOT 17  
PATRICK JOSEPH HANNON  
PO BOX 2104  
SALISBURY, MD 21802  
BK. 1499 PG. 0609



MAP 494Z LOT 1  
STATE OF NEW HAMPSHIRE  
DEPARTMENT OF CORRECTIONS  
PO BOX 1806  
CONCORD, NH 03302  
BK. 0255 PG. 0508

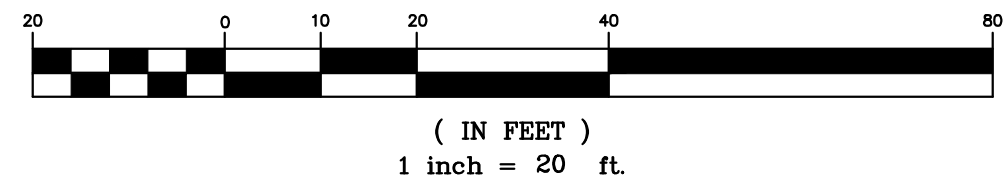
#### CONSTRUCTION NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED UTILITY SYSTEMS FOR THIS SITE.
2. ALL WORK SHALL CONFORM TO THE CITY OF CONCORD, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A TOWN STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE LOAMED AND SEEDED.
5. ALL PIPES SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. CONTRACTOR TO VERIFY SIZE OF WATER AND GAS SERVICE LINES WITH MECHANICAL CONTRACTOR/FIRE SUPPRESSION ENGINEER PRIOR TO THE START OF CONSTRUCTION.
7. PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO ORDERING ANY WATER SYSTEM/SERVICE PARTS, THE PROPOSED SIZE OF THE VARIOUS WATER SERVICES SHALL BE CONFIRMED BY THE PROJECT FIRE SUPPRESSION ENGINEER. ANY ADJUSTMENTS TO THE DESIGN MUST BE APPROVED BY THE CITY OF CONCORD.
8. THE PROPOSED BUILDING SHALL BE FULLY SPRINKLER PROTECTED.
9. FINAL LAYOUT OF UNDERGROUND UTILITIES TO BE APPROVED BY LOCAL PROVIDER PRIOR TO CONSTRUCTION.
10. CONTRACTOR IS RESPONSIBLE FOR SIZING WATER SERVICES AND/OR VERIFYING EXISTING WATER SERVICES ARE ADEQUATE FOR THE PROPOSED BUILDING.

#### LEGEND

GB-F	GRANITE BOUND FOUND
IPIN-F	IRON PIN FOUND
IPP-F	IRON PIPE FOUND
UT-P	UTILITY POLE
S	SEWER MANHOLE
D	DRAINAGE MANHOLE
---	ABUTTER LINE
---	PROPERTY LINE
OHU	OVERHEAD UTILITIES
---	TREELINE
---	EDGE OF PAVEMENT
---	VERTICAL GRANITE CURB
---	BUILDING SETBACK
---	10' CONTOUR
---	2' CONTOUR
---	SCS SOIL LINE
---	PROPOSED EDGE OF PAVEMENT
---	PROPOSED VERTICAL GRANITE CURB
---	PROPOSED 2' CONTOUR

#### GRAPHIC SCALE



### UTILITY PLAN THE FIRE HOUSE MAP 58Z LOT 16 264-266 NORTH STATE STREET CONCORD, NEW HAMPSHIRE MERRIMACK COUNTY

#### OWNER/APPLICANT:

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98 ROBINSON ROAD  
HUDSON, NH 03051

KMA

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#### REVISIONS

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1	1/28/21	TRC & CITY ENGINEERING COMMENTS	PCM
DATE: DECEMBER 10, 2020		SCALE: 1" = 20'	
PROJECT NO: 20-0922-6		SHEET 6 OF 9	

