

LOCATION MAP
N.T.S.

LAND DEVELOPMENT PLANS FOR THE PROPOSED DEVELOPMENT

CP CONCORD CONDOMINIUM
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
CP CONCORD, LLC
60 BEECKMAN
AVENUE
CRANSTON, RI 02920

PREPARED BY:



100 CONSTITUTION PLAZA, 10TH FLOOR
HARTFORD, CONNECTICUT 06103
(860) 249-2200
(860) 249-2400 Fax



VICINITY MAP
SCALE: 1"=1000'



LOCATION PLAN
SCALE: 1"=400'

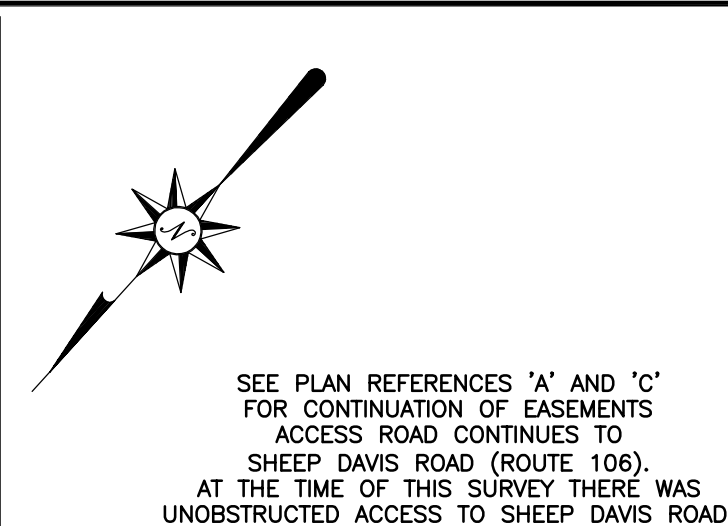
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DEVELOPER/OWNER:
CP CONCORD, LLC
60 BEECKMAN AVENUE
CRANSTON, RHODE
ISLAND 02920

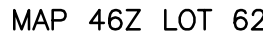
DATES

ISSUE DATE: OCTOBER 21, 2020
REVISION: NOVEMBER 17, 2020 (REV PER CITY COMMENTS)
DECEMBER 23, 2020 (REV PER CITY COMMENTS)



NOT TO SCALE

	SLOPED GRANITE CURB
	VERTICAL GRANITE CURB
	SLOPED CONCRETE CURB
	VERTICAL CONCRETE CURB
	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	SINGLE DASHED LINE WHITE
	WOOD GUARDRAIL
	METAL GUARDRAIL
	CHAIN LINK FENCE
	STOCKADE FENCE
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	PULL BOX
	SIGN
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	TELEPHONE MANHOLE
	DRAIN MANHOLE
	SEWER MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	MONITORING WELL
	LIGHT POLE
	WATER FEATURE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	ZONE LINE



A. "SUBDIVISION PLAN (LOT 111F-1-2), LOUDON ROAD & SHEEP DAVIS ROAD, CONCORD, NEW HAMPSHIRE"; SCALE: 1"=100'; DATED: 16 NOVEMBER 1988; PREPARED BY ALLAN H. SWANSON, INC.; MERRIMACK COUNTY REGISTRY OF DEEDS (M.C.R.D.) PLAN 10840.

- 1) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN DECEMBER 12 AND 16, 2019.
- 2) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 16, 2019.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON DECEMBER 16, 2019.
- 4) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33013C00551E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
- 5) A TOTAL OF 260 (252 REGULAR, 8 ACCESSIBLE) CLEARLY IDENTIFIABLE PAPER SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY (SIZES VARY).
- 6) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- 7) A ZONING REPORT OR LETTER WAS NOT PROVIDED AT THE TIME OF THIS SURVEY.
- 8) REFER TO FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-916045-100-CLE WITH AN EFFECTIVE DATE OF DECEMBER 3, 2019 AT 8:00 AM.
- 9) THE THE PROPERTY DESCRIBED IN EXHIBIT A OF THE COMMITMENT IS THE SAME AS THAT SHOWN ON THE PLAN, AND THAT THE LAND SHOWN ON THE SURVEY IS THE SAME AS SHOWN ON THE COMMITMENT, WITH NO GAPS OR GORES BETWEEN PARCELS.

PARCEL 1 (fee): A certain tract or parcel of land located on the southerly side of Loudon Road in the City of Concord, County of Merrimack, State of New Hampshire, being Lot #1 on a plan entitled "Subdivision Plan (Lot 111F-1-2), Loudon Road & Sheep Davis Road, Concord, New Hampshire", prepared for Hodges Development Corporation by Allan J. Swanson, Inc., dated November 16, 1988 and recorded in the Merrimack County Registry of Deeds on January 20, 1989 as Plan #10840 (the "Plan"), particularly bounded and described as follows:

Beginning at a stone bound corner on the southerly side of Loudon Road, said point being the northeast corner of land now or formerly of George & Dorothy B. Monticone and the northwest corner of land herein described, all as shown on the Plan; thence

1. N 63° 53' 22" E, a distance of 531.00 feet, more or less, along the southerly side of Loudon Road to an iron pin found; thence
2. S 13° 44' 36" E, a distance of 503.69 feet, more or less, to an iron pin to be set, said point being the northeast corner of Lot #2 and the southeast corner of the land herein described; thence
3. S 63° 53' 22" W, a distance of 265.00 feet, more or less, to an iron pin found; thence
4. Due west a distance of 95.43 feet, more or less, to an iron pin found, as shown on the Plan; thence
5. S 63° 53' 22" W, a distance of 93.89 feet, more or less to an old iron pin found and fence corner, said point being the southeast corner of land of said Monticone and the southwest corner of the land herein described; thence
6. N 23° 22' 48" W, a distance of 450.51 feet, more less, to the point of beginning.

PARCEL 2 (easement): Certain easement rights conveyed by Warranty Deed of Hodges Development Corporation to Toys "R" Us, Inc. recorded July 13, 1992, at Book 1888, Page 1420, in and to a certain access easement in Concord, County of Merrimack, State of New Hampshire, as "PROPOSED 50 FT. ACCESS EASEMENT" on recorded Plan 10840, and bounded and described as follows (and as Exhibit B in the Warranty Deed at Book 1888, Page 1420).

ITEMS 1 THROUGH ARE STANDARD/NON-SURVEY ITEMS.

(8) Portion of the subject premises which was conveyed to the State of New Hampshire by deed of Orrie L. Tilton, dated November 7, 1947 and recorded in Merrimack County Registry of Deeds at Book 648, Page 129. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREIN.**

(9) Obligation to construct and maintain fencing as such obligation is described in deed of Orrie L. Tilton to the State of New Hampshire dated November 7, 1947 and recorded in the Merrimack County Registry of Deeds at Book 648, Page 129. **MAY AFFECT THE SURVEY TRACT, BUT IS NOT PLOTTABLE.**

(10) Easement and right to extend and maintain slopes and embankments as described in deed of Orrie L. Tilton to the State of New Hampshire dated November 7, 1947 and recorded in said Registry at Book 648, Page 129. **AFFECTS THE SURVEY TRACT BUT IS NOT PLOTTABLE.**

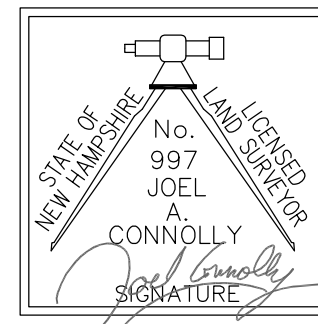
(11) Slope, Embankment, Drainage and Culvert Easement (Loudon Road/New Hampshire Route 9), recorded on July 5, 1989 in the Merrimack County Registry of Deeds at Book 1798, Page 550, from Hodges Development Corporation to the State of New Hampshire for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECTS THE SURVEY TRACT AND ARE SHOWN HEREIN.**

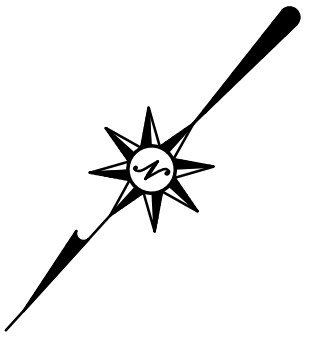
(12) Easement, Roadway Right-of-Way (Loudon Road and New Hampshire Route 9), recorded in said Registry on November 21, 1989 at Book 1822, Page 779, from Hodges Development Corporation to the State of New Hampshire for highway and easement for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREIN.**

(13) Slope, Embankment, Drainage and Culvert Easement (Loudon Road/New Hampshire Route 9), recorded in the Merrimack County Registry of Deeds at Book 1824, Page 1008 on December 6, 1989, from Hodges Development Corporation to the State of New Hampshire for highway and utility purposes over a portion of the property conveyed to Hodges Development Corporation. **AFFECTS THE SURVEY TRACT AND IS SHOWN HEREIN.**

TO CP CONCORD, LLC, 2005 RE 1, LLC, FIRST BANK AND TRUST COMPANY OF ILLINOIS, & FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2.3,4,6(a),6(b),7(a),7(b),1(1),7(c),8,9,11(SURFACE FEATURES ONLY) AND 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2019.





PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

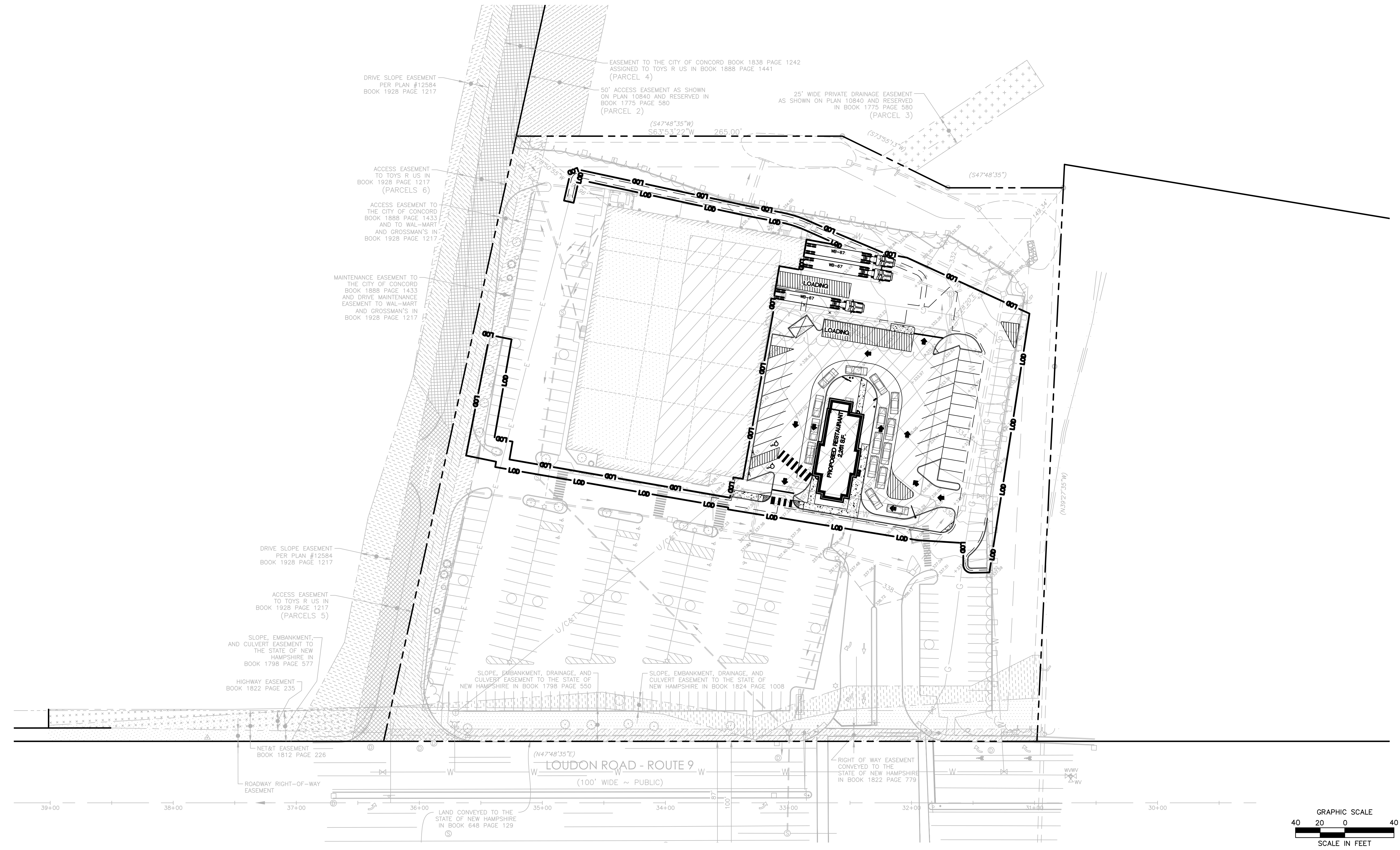
REVISIONS		Desc.	REVIEWED PER CITY COMMENTS	REVIEWED PER CITY COMMENTS
No.	Date			
1	11/17/2020			
2	12/21/2020			

Designed	S.E.L.
Drawn	S.E.L.
Reviewed	
Scale	1"=40'
Project No.	1902081
Date	10/21/2020
CAD File:	OSP190208101

**OVERALL
SITE PLAN**

Sheet No.

OSP-1



LOCATION: CONCORD, NH					
ZONE: GWP (GATEWAY PERFORMANCE DISTRICT)					
USE: RESTAURANT (PERMITTED USE)					
ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
1	MINIMUM LOT AREA	NONE REQUIRED	±234,030 S.F. (±5.4 AC.)	±234,030 S.F. (±5.4 AC.)	NO
2	MINIMUM LOT WIDTH	NONE REQUIRED	±264.6 FEET	±264.6 FEET	NO
3	MINIMUM LOT FRONTAGE	300 FEET	±531 FEET	±531 FEET	NO
4	MINIMUM FRONT SETBACK	25 FEET	±207.5 FEET	±207.5 FEET	NO
5	MINIMUM SIDE SETBACK	25 FEET	±84.4 FEET	±84.4 FEET	NO
6	MINIMUM REAR SETBACK	25 FEET	±56.5	±56.5 FEET	NO
7	MAXIMUM BUILDING HEIGHT	45 FEET	EXISTING BUILDING HEIGHT UNCHANGED	<45 FEET	NO
8	MAXIMUM IMPERVIOUS COVERAGE	85 PERCENT	±69.9%	±80.3%	NO

PROPERTY LINE
LIMIT OF DISTURBANCE AND SITE WORK
CONTRACT LIMIT LINE

SAWCUT LINE

PROVIDE AND INSTALL CURB, SEE
PLAN FOR MATERIAL TYPE

PROVIDE AND INSTALL CONCRETE
PAVEMENT, CONCRETE SIDEWALK, OR
MONOLITHIC CONCRETE CURB AND
SIDEWALK STRUCTURE

PROVIDE AND INSTALL FULL DEPTH
BITUMINOUS CONCRETE PAVEMENT
STRUCTURE

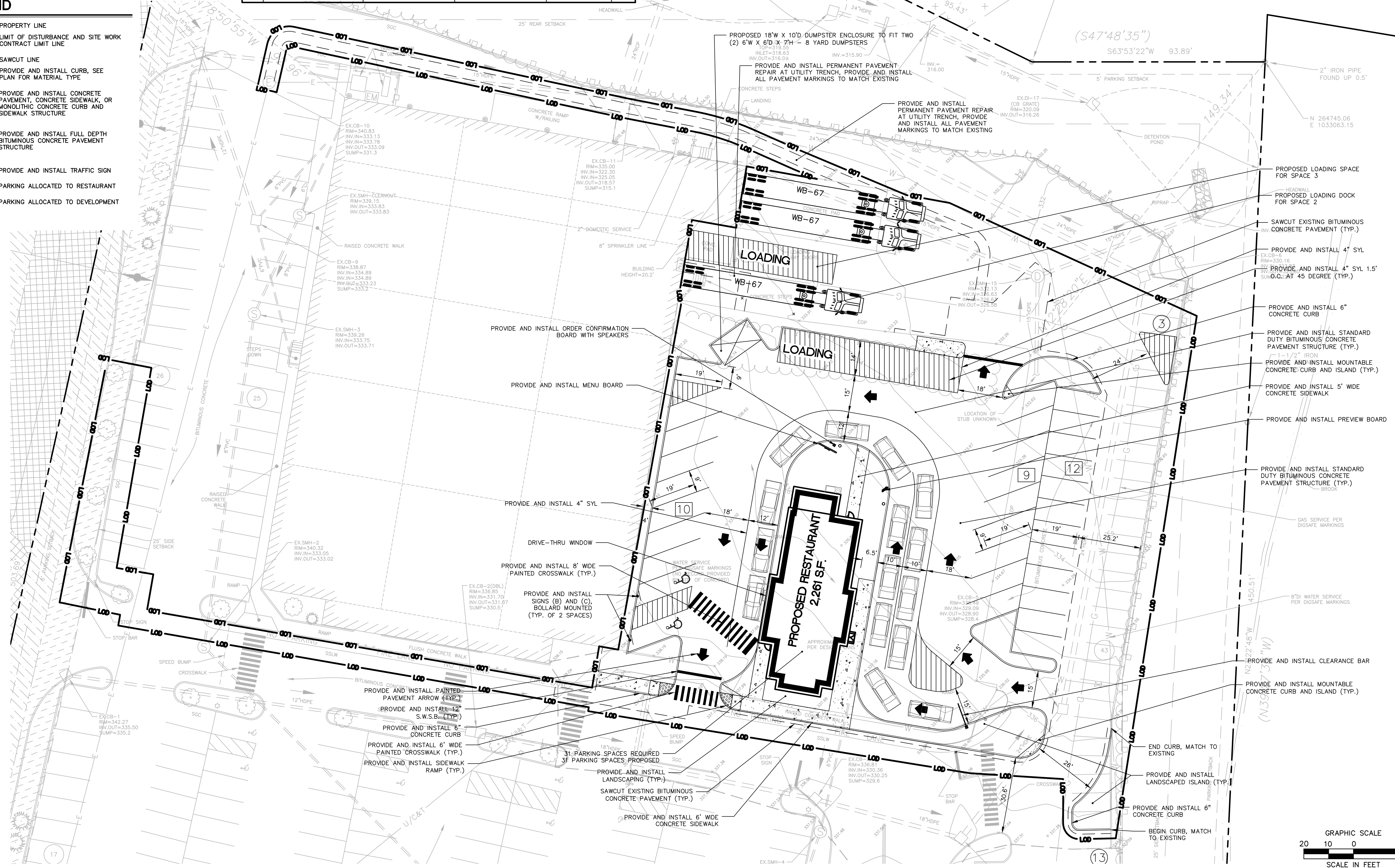
PROVIDE AND INSTALL TRAFFIC SIGN

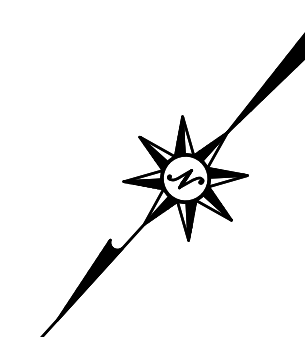
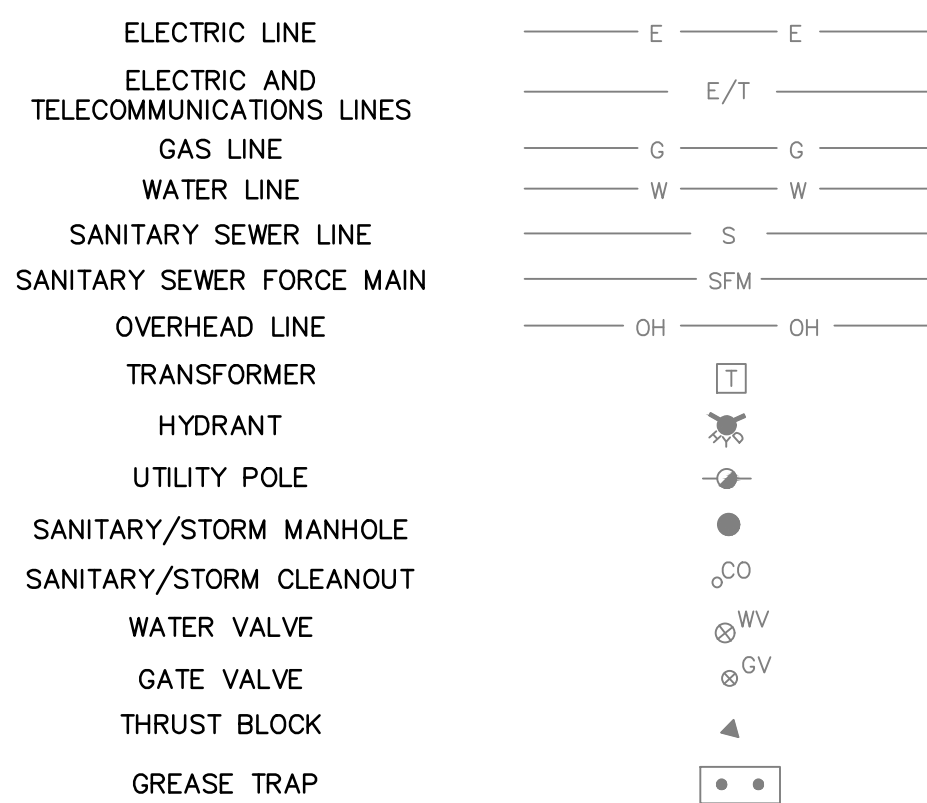
PARKING ALLOCATED TO RESTAURANT

PARKING ALLOCATED TO DEVELOPMENT

ITEM #	ITEM	REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	RETAIL: 30,713 S.F.	RETAIL: 30,713 S.F. RESTAURANT: 2,261 S.F.	NO
2	PARKING REQUIRED	RETAIL: 1 SPACE PER EVERY 250 S.F. OF GROSS FLOOR AREA (30,713 S.F. / 250 = 123 SPACES) RESTAURANT: 1 SPACE PER EVERY 75 S.F. PLUS 11 STACKING SPACES PER WINDOW. GROSS FLOOR AREA (2,261 S.F. / 75 = 31 SPACES) TOTAL REQUIRED = 154 SPACES	RETAIL: 230 SPACES	RETAIL: 203 SPACES RESTAURANT: 31 SPACES TOTAL = 234 SPACES	NO
3	MINIMUM HANDICAPPED PARKING SPACES REQUIRED	7 SPACES	8 SPACES	10 SPACES	NO
4	MINIMUM PARKING DIMENSIONS	9 FEET X 19 FEET	9 FEET X 19 FEET	9 FEET X 19 FEET	NO
5	MINIMUM AISLE WIDTH	24 FEET – 2-WAY 18 FEET – 1-WAY(60')	24 FEET – 2-WAY 18 FEET – 1-WAY	24 FEET – 2-WAY 18 FEET – 1-WAY(60')	NO
6	MINIMUM FRONT SETBACK	5 FEET	25 FEET	25 FEET	NO
7	MINIMUM SIDE SETBACK	5 FEET	±23.5 FEET	±23.5 FEET	NO
8	MINIMUM REAR SETBACK	5 FEET	±50 FEET	±50 FEET	NO

ITEM #	ITEM	REQUIREMENT	PROPOSED
1	MAX. FREESTANDING SIGN AREA	150 S.F. (WITH ARCHITECTURAL DESIGN REVIEW)	TBD
2	MAXIMUM SIGN HEIGHT	20 FEET	TBD
3	MAX. WALL SIGN AREA	200 S.F. (WITH ARCHITECTURAL DESIGN REVIEW)	TBD



[illegible]

B Architecture
Engineering
Environmental
Land Surveying

100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200
(860) 249-2400 Fax

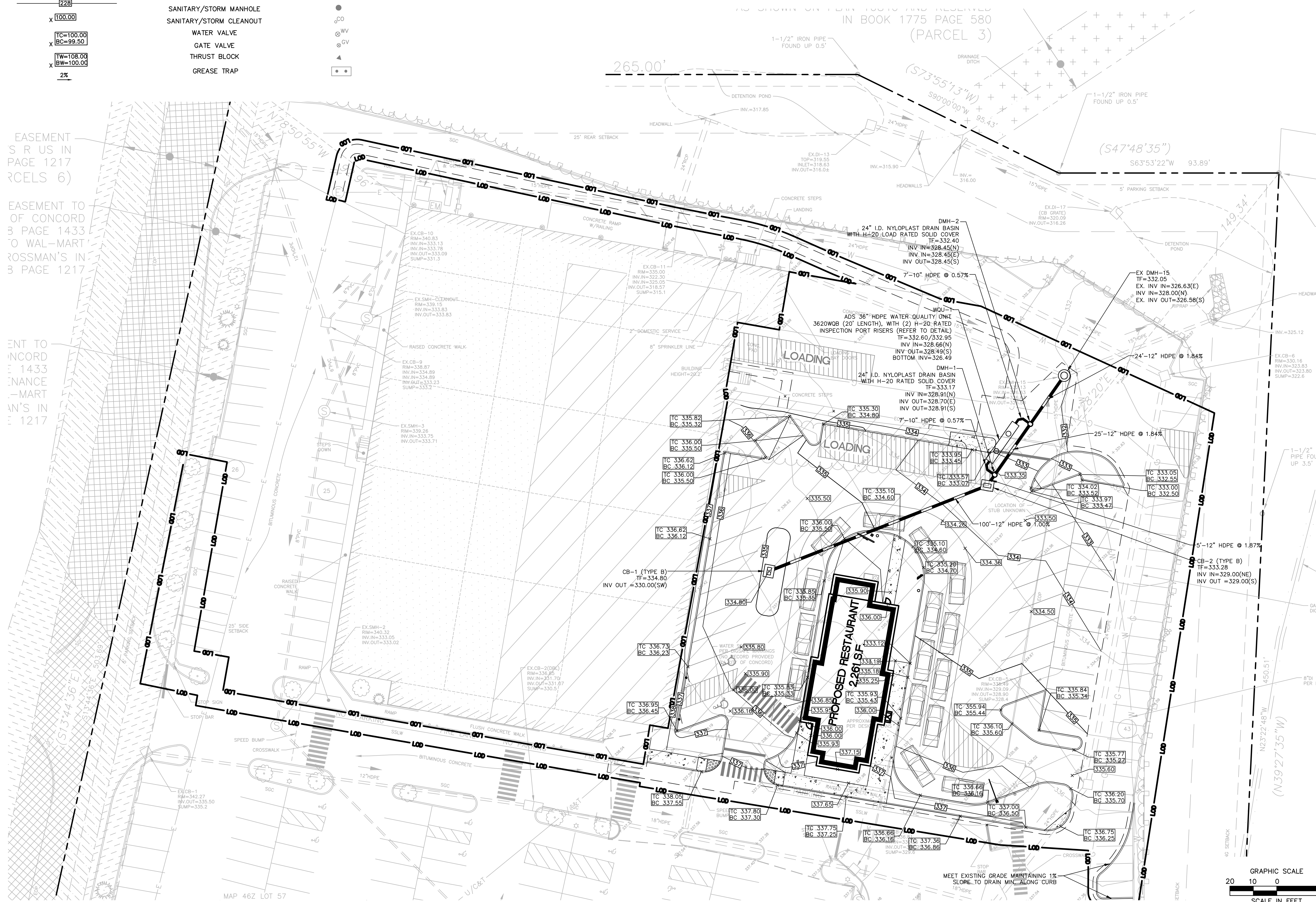
PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

No.	Date	Desc.
1.	11/17/2020	REVISED PER CITY COMMENTS
	12/23/2020	REVISED PER CITY COMMENTS

GRADING AND DRAINAGE PLAN

Sheet No.

GD-1



2/21/2020, SIECLERC, G:\JOBS 19\20\1902081\DWG\GD190208101.DWG.GD-1 24X36 405C.

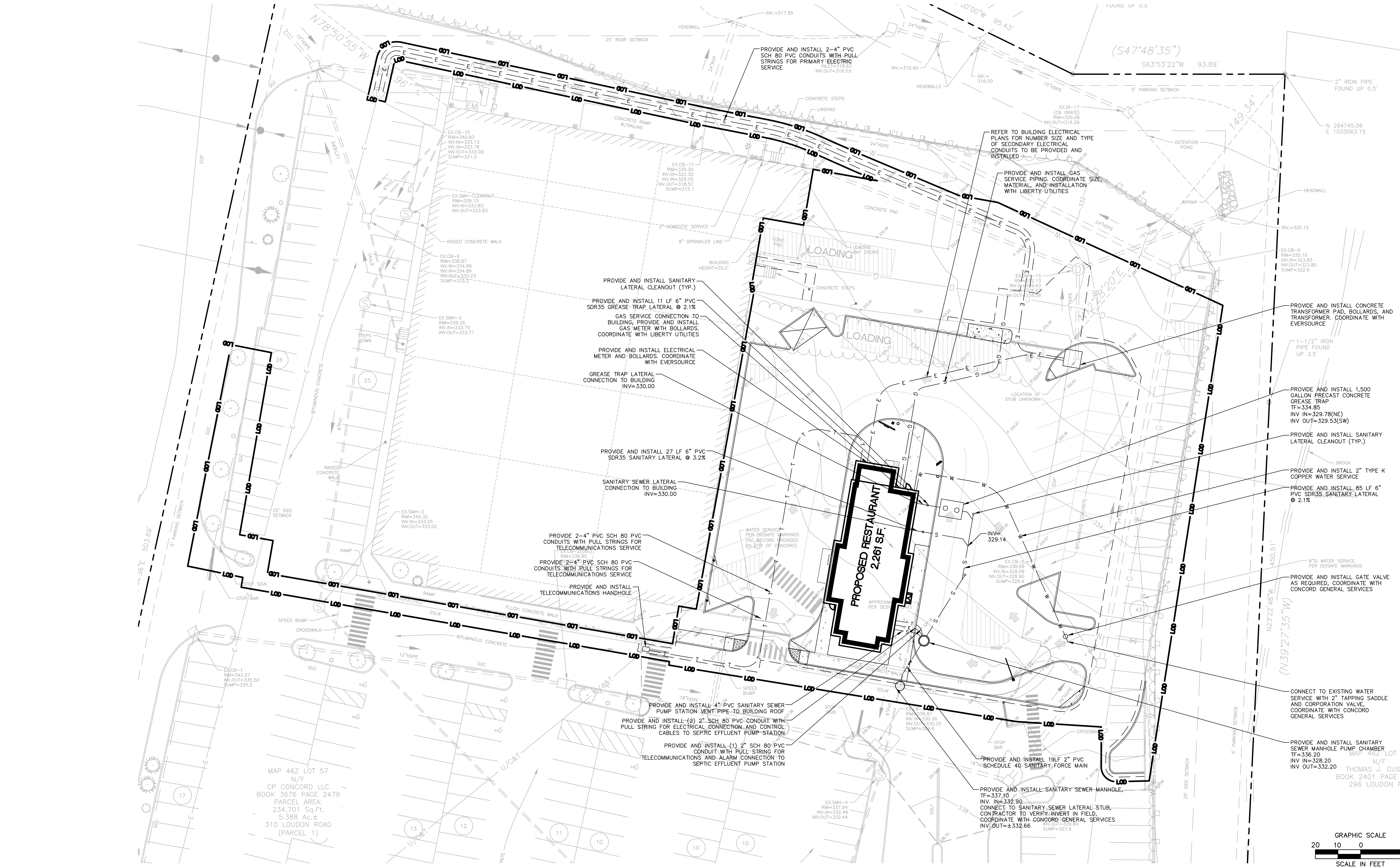
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SITE UTILITIES LEGEND

- PROPERTY LINE
- LIMIT OF DISTURBANCE AND SITE WORK CONTRACT LIMIT LINE
- SAWCUT LINE
- PROVIDE AND INSTALL WATER SERVICE LINE
- PROVIDE AND INSTALL SANITARY SEWER SERVICE LINE
- PROVIDE AND INSTALL PROPANE GAS SERVICE LINE
- PROVIDE AND INSTALL CONDUIT(S) FOR ELECTRICAL SERVICE
- PROVIDE AND INSTALL CONDUIT(S) FOR TELECOMMUNICATIONS SERVICE

NOTES

CONTRACTOR SHALL CONFIRM LOCATION, SIZE, CONDITION AND ELEVATION OF ALL UTILITY LATERAL STUBS, WATER MAINS, GAS MAINS AND ELECTRICAL SERVICES PRIOR TO CONSTRUCTION.



PROPOSED DEVELOPMENT
310 LOUDON ROAD
CONCORD, NEW HAMPSHIRE

REVISIONS	Desc.	REVISED BY	CITY COMMENTS	REVISED BY	CITY COMMENTS
No.	Date				
2	12/21/2020				
Designed				S.E.L.	
Drawn				S.E.L.	
Reviewed					
Scale				1"=20'	
Project No.				1902081	
Date				10/21/2020	
CAD File:				SU190208101	
Title					
SITE UTILITIES PLAN					
Sheet No.					
SU-1					

LANDSCAPE PLANT SCHEDULE

TREES

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
GT	3	GLEDTISIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	B&B	2"-2.5" CAL.	MIN. 6' BRANCH HT.
PC	7	PYRUS CALLERYANA 'GLEN'S FORM'	CHANTICLEER FLOWERING PEAR	B&B	2"-2.5" CAL.	
TO	14	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	B&B	6'-7' HT.	5' O.C. SPACING

SHRUBS

HM	6	HYDRANGEA MACROPHYLLA	BIG LEAF HYDRANGEA	CONT.	24"-30" HT.	4" O.C. SPACING
IG	16	ILEX GLABRA	INKBERRY	CONT.	24"-30" HT.	4" O.C. SPACING

GROUNDCOVERS

HH	35	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	CONT.	12"-18" HT.	24" O.C. SPACING
JC	16	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENT JUNIPER	CONT.	12"-18" SPD	36" O.C. SPACING
PA	35	PENNISETUM ALOPECUROIDES 'HAMELN'	DWARF FOUNTAIN GRASS	CONT.	12"-18" HT.	36" O.C. SPACING
PV	16	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCHGRASS	CONT.	12"-18" HT.	24" O.C. SPACING

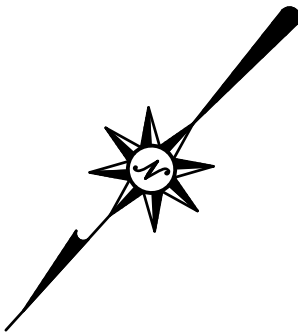
- NOTES:
- 1) ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
 - 2) PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
 - 3) IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.

ZONING INFORMATION

ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	LANDSCAPE MATERIAL STANDARDS	ONE (1) SHADE OR ORNAMENTAL TREE (MIN 2" CAL) PER 2,000 SQUARE FEET OF PARKING AREA.	PARKING AREA = 18,000 SF ± REQUIRED = 9 TREES PROPOSED = 9 TREES	NO

LANDSCAPE PLAN LEGEND

- PROPERTY LINE
LIMITS OF DISTURBANCE LINE AND CONTRACT LIMIT LIMIT LINE
- PROVIDE AND INSTALL DECIDUOUS CANOPY TREE
- PROVIDE AND INSTALL EVERGREEN TREE
- PROVIDE AND INSTALL SHRUB
- PROVIDE AND INSTALL GROUND COVER PLANTINGS



REVISIONS	Desc.	Date	By	App.
No. 1	REVISED PER CITY COMMENTS	11/17/2020		
No. 2	REVISED PER CITY COMMENTS	12/21/2020		

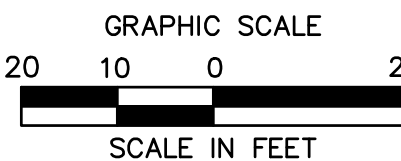
Designed	W.E.V.
Drawn	W.E.V.
Reviewed	
Scale	1"=20'
Project No.	1902081
Date	10/21/2020
CAD File:	LL190208101


Title
LANDSCAPE PLAN

Sheet No.

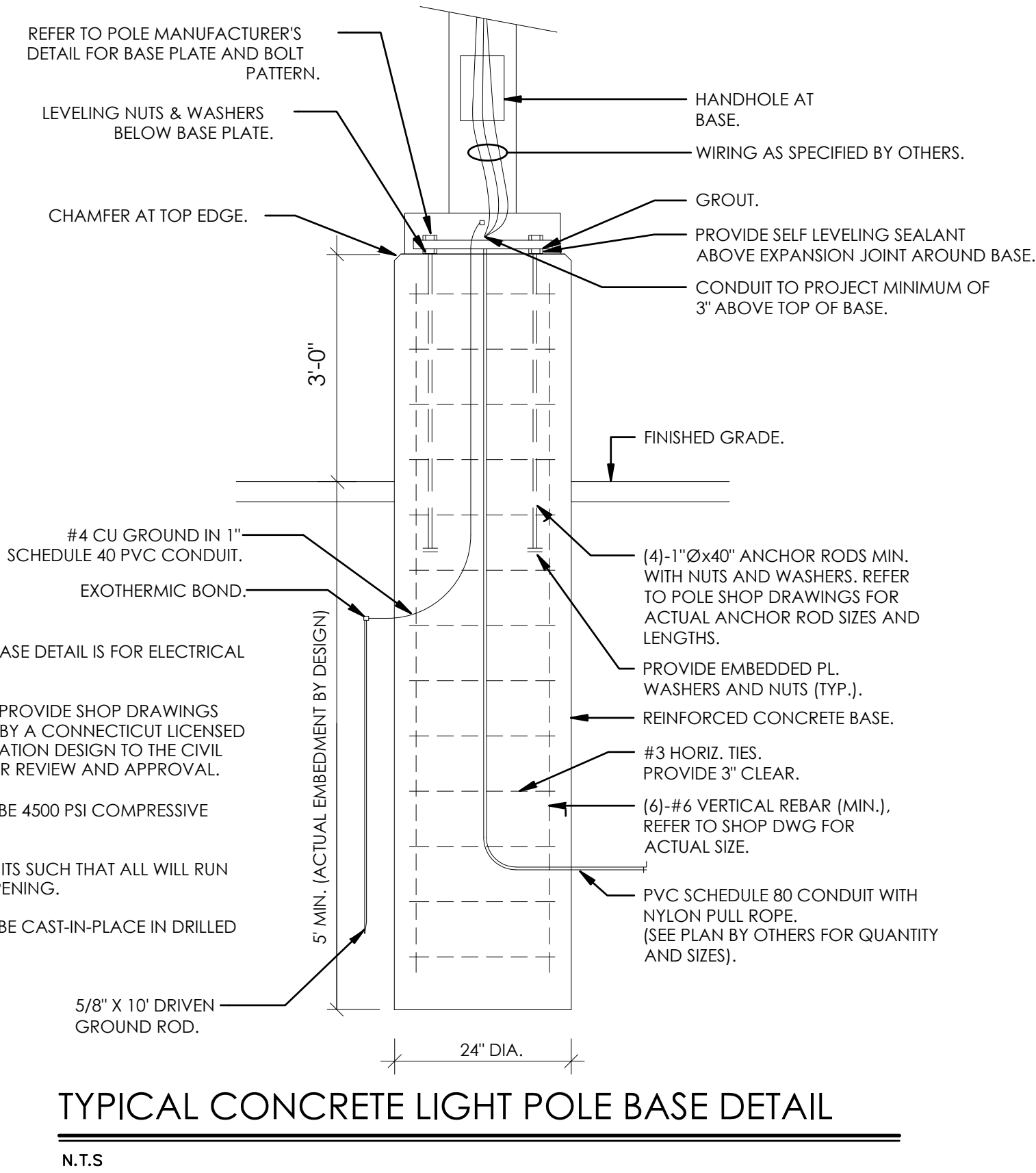
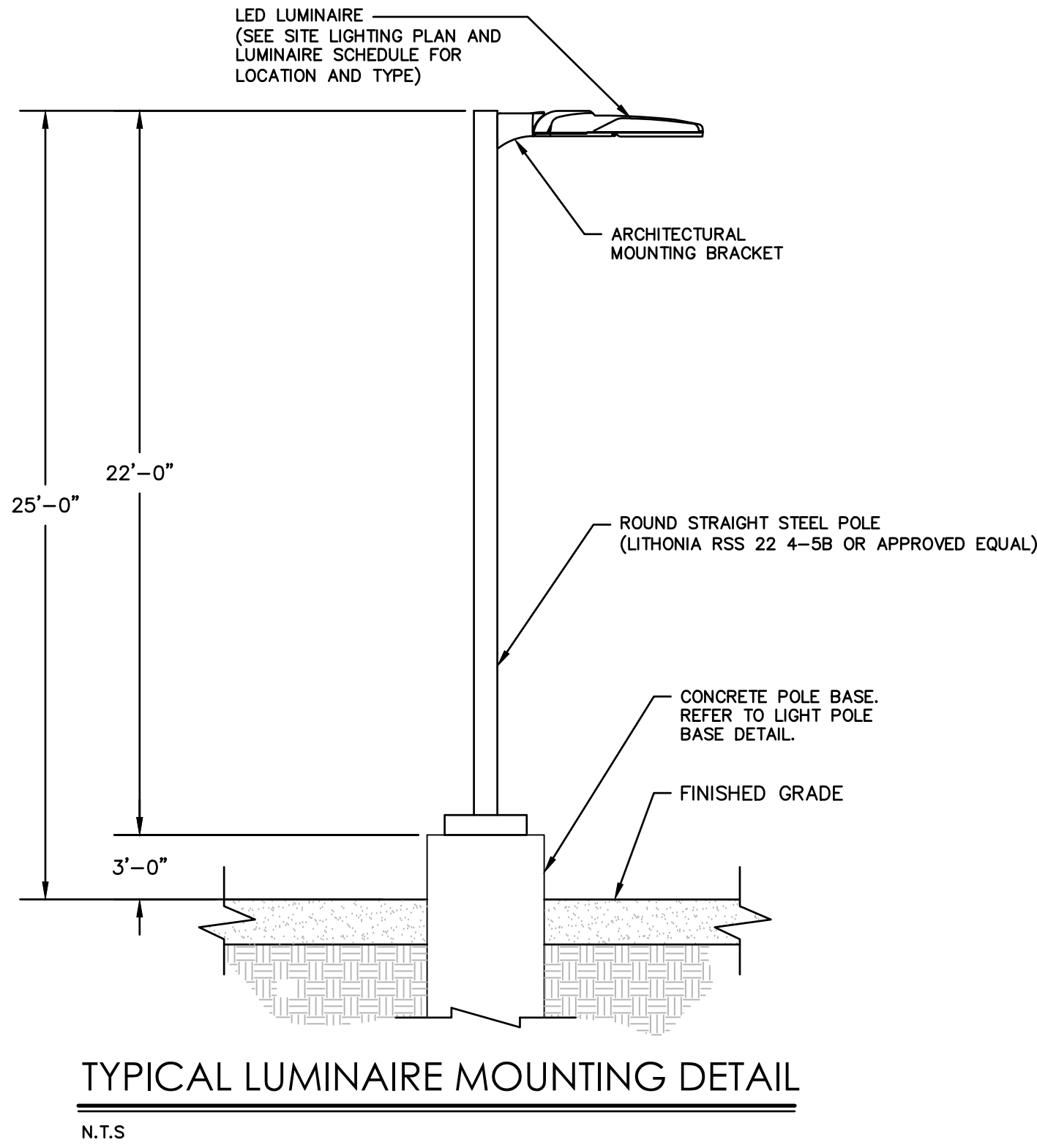
LL-1

SEE SHEET LL-2 FOR
LANDSCAPE NOTES AND DETAILS



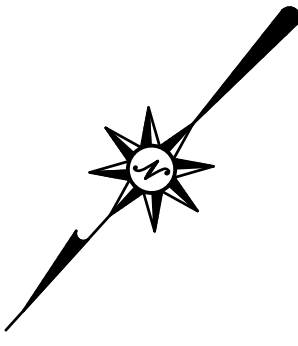
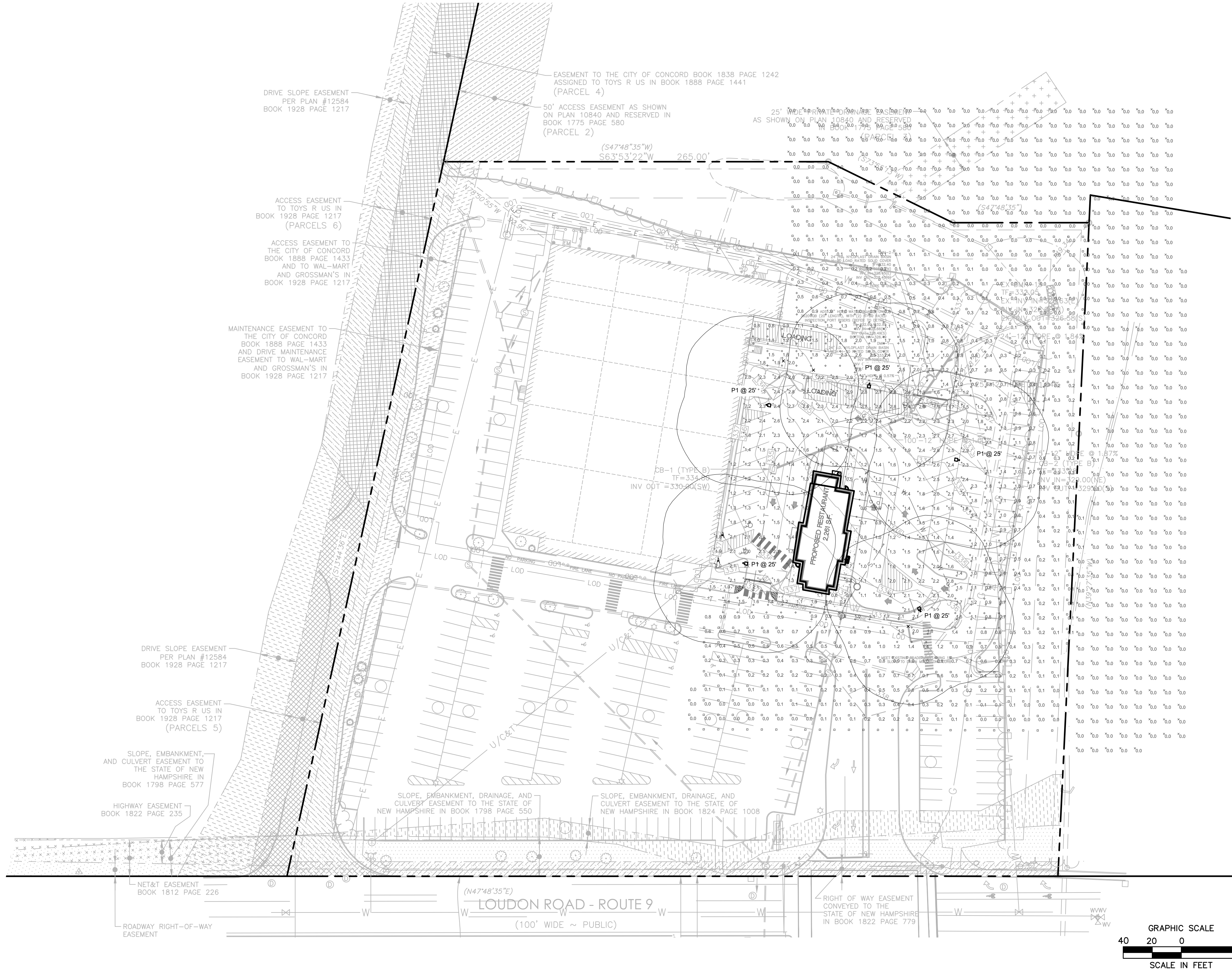
Schedule														
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency	Distribution
	P1	5	Lithonia Lighting	DSX1 LED P6 40K TSM MVOLT	DSX1 LED P6 40K TSM MVOLT	LED	1	DSX1_LED_P6_40K_TSM_MVOL.Ties	19765	1	0.9	163	100%	TYPE VS, BUG RATING: 84 - U0 - G2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Adjacent Site Area		1.1 fc	2.8 fc	0.2 fc	14.0:1	5.5:1
Lease Area		1.8 fc	2.9 fc	0.5 fc	5.8:1	3.6:1
Spill		0.0 fc	0.1 fc	0.0 fc	N/A	N/A
Wider Site Area		0.2 fc	1.4 fc	0.0 fc	N/A	N/A

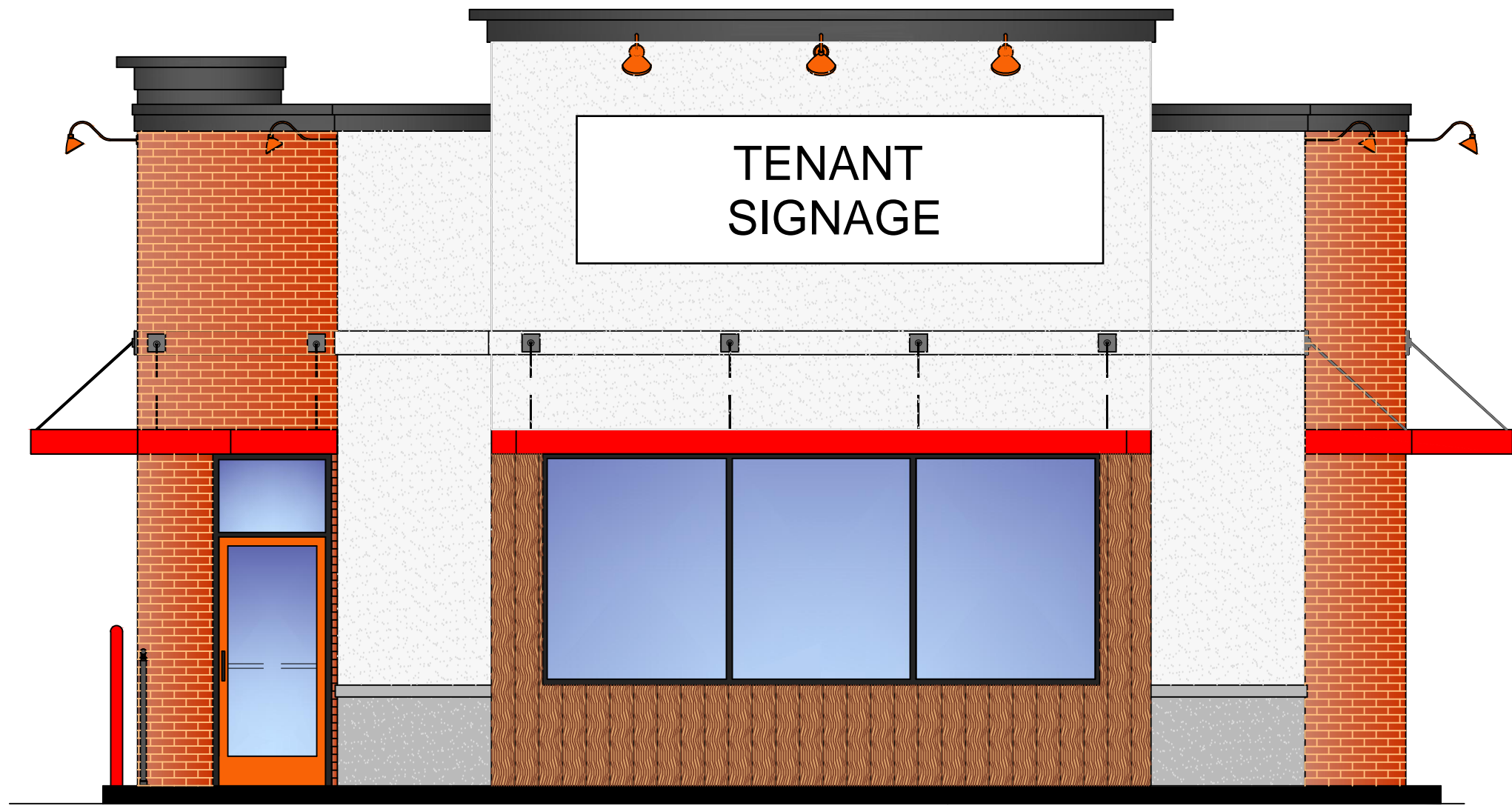


LIGHTING NOTES

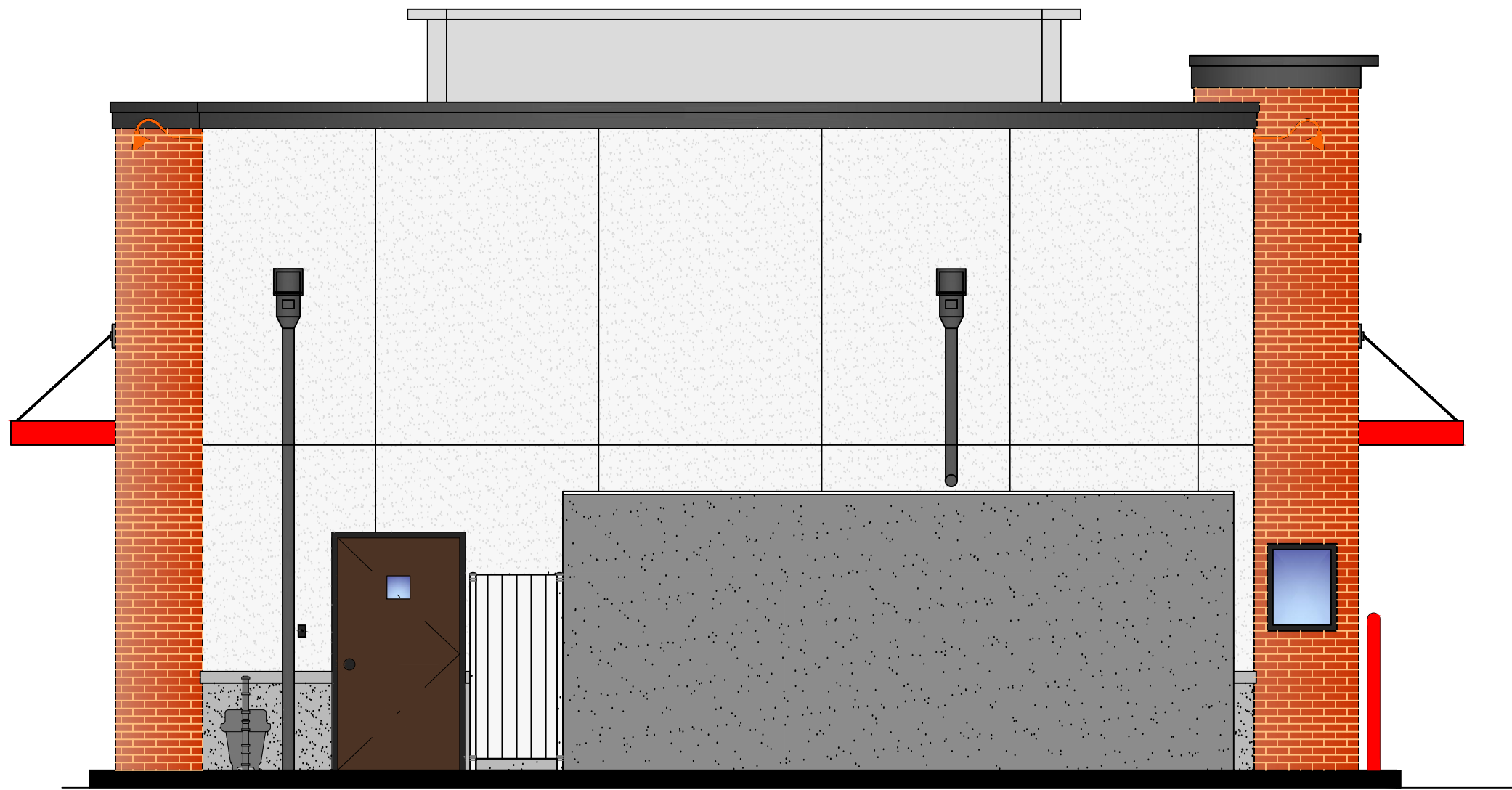
1. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANY REGULATIONS, STATE CODE, AND NATIONAL ELECTRICAL CODE WITH INTERIM AMENDMENTS THERETO.
2. ALL MATERIALS SHALL CONFORM TO THE LATEST ISSUE OF ALL APPLICABLE STANDARDS AS ESTABLISHED BY EEC, NEMA, ASTM, IPCEA, NATIONAL BOARD OF FIRE UNDERWRITERS, AND UNDERWRITERS LABORATORIES, INC.
3. THE CONTRACTOR SHALL TEST THE LIGHTING AFTER INSTALLATION WITH THE DEVELOPER/OWNER, AND PROVIDE TO DEVELOPER/OWNER WARRANTY AND MAINTENANCE INFORMATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR MODIFICATIONS AS REQUIRED BY THE DEVELOPER/OWNER TO OBTAIN EVEN LIGHT DISTRIBUTION.
4. CONTRACTOR SHALL LEAVE ENTIRE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR IN PROPER WORKING CONDITION AND REPLACE WITHOUT ADDITIONAL CHARGE ALL WORK OR MATERIALS WHICH MAY DEVELOP DEFECTS WITHIN A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
5. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, BASES AND CONDUITS TO SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY OF MATERIAL TO SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. IF ALTERNATIVE LIGHTING IS PROPOSED SUBMIT A PHOTOMETRIC FOOT-CANDLE LAYOUT ALONG WITH ANNUAL MAINTENANCE REQUIREMENTS AND ANTICIPATED COSTS.
6. LIGHTS ARE DESIGNED TO PROVIDE EVEN LEVELS OF ILLUMINATION AND AVOID GLARE ONTO NEIGHBORING PROPERTIES. FINAL DESIGN MAY VARY PENDING MANUFACTURER'S RECOMMENDATIONS.
7. ALL LIGHTING CONTROLS, PANELS, CIRCUIT BREAKERS ETC. ARE TO BE PROVIDED UNDER A SEPARATE CONTRACT BY BUILDING CONTRACTOR. CAREFUL COORDINATION IS REQUIRED BETWEEN SITE CONTRACTOR AND BUILDING CONTRACTOR TO PROVIDE A COMPLETE INSTALLATION FOR SITE LIGHTING.
8. THE CONTRACTOR WILL PROVIDE AND INSTALL ALL MATERIAL NECESSARY TO COMPLETE THE SITE LIGHTING SYSTEM INCLUDING BUT NOT LIMITED TO CONDUIT, BASES, ANCHOR BOLTS, POLES, SITE LIGHTS AND LAMPS. THE CONTRACTOR WILL COORDINATE WIRING AND POWERING OF LIGHTS WITH OWNER, ARCHITECT, AND BUILDING CONTRACTOR IF DIFFERENT FROM THE SITE CONTRACTOR.
9. ALL LIGHTS TO BE AS LISTED IN SCHEDULE OR APPROVED EQUIVALENT. LIGHTS SHALL BE MOUNTED ON ROUND STRAIGHT STEEL POLES ATOP 3' HIGH CONCRETE BASES THAT ARE SET 3' (CLEAR) BEHIND CURBS UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS. ILLUMINATION ANALYSIS MODELED USING LIGHTING FIXTURES LISTED IN SCHEDULE.
10. LIGHT POLES AND BRACKETS TO BE AS SHOWN ON DETAILS OR APPROVED EQUIVALENT.
11. WIRE AND CABLE SHALL BE COPPER AND CONFORM TO THE FOLLOWING NEC TYPE THHN/THWN SOLID FOR NO. 12 AND NO. 10, NEC TYPE THHN/THWN STRANDED FOR NO. 8 AND LARGER. RIGID STEEL CONDUIT SHALL BE GALVANIZED. FITTINGS SHALL BE CAST FERROUS MATERIAL WITH A CADMIUM OR ZINC PLATED FINISH.
12. ALL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE TO NEC.



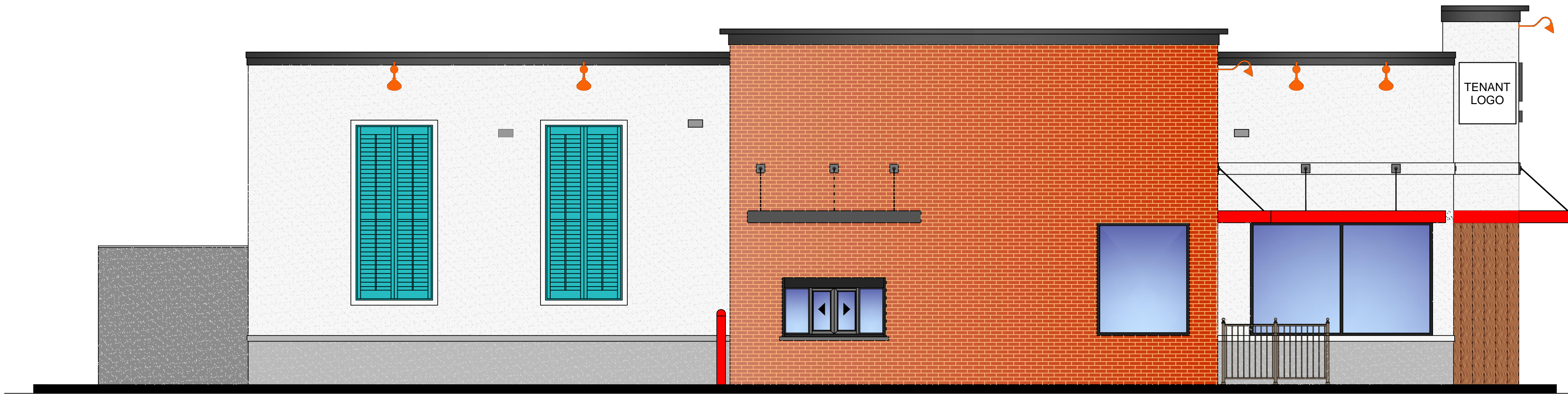
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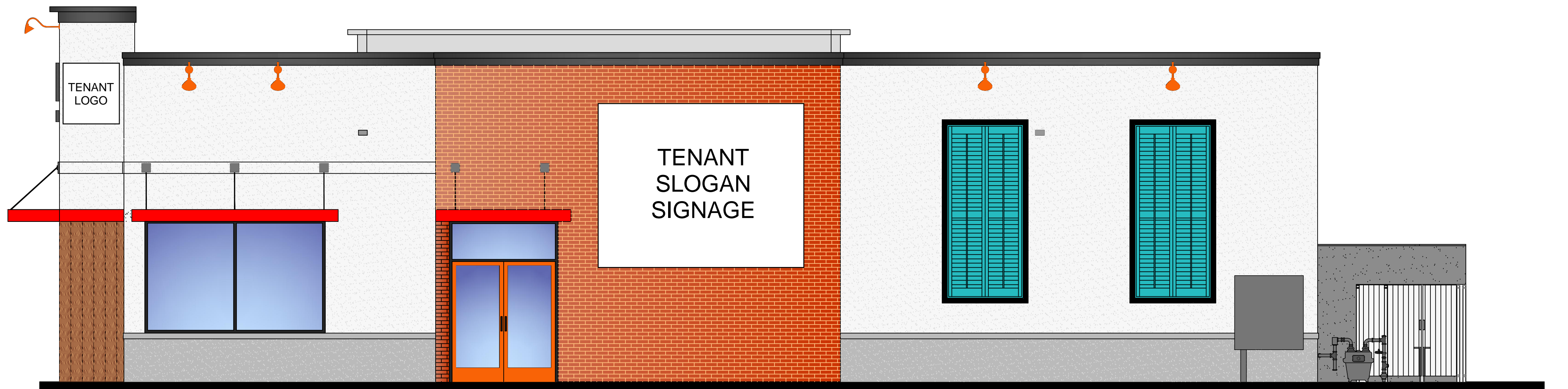
1 FRONT ELEVATION
RE-1 1/4"=1'-0"



2 REAR ELEVATION
RE-1 1/4"=1'-0"



3 DRIVE THRU ELEVATION
RE-1 1/4"=1'-0"



4 RIGHT ELEVATION
RE-1 1/4"=1'-0"

G 141 ARCHITECTURE LLC

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MA 951751
MD 18745
DC AEC103027

310 LOUDON ROAD
CONCORD, NH

RENDERING ELEVATIONS

Revisions

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△
△
△
△
△

Drawn By MC	Checked By RAG
Scale AS NOTED	Date 2020/11/10
Job No. 20-0072	
Sheet No. RE-1	