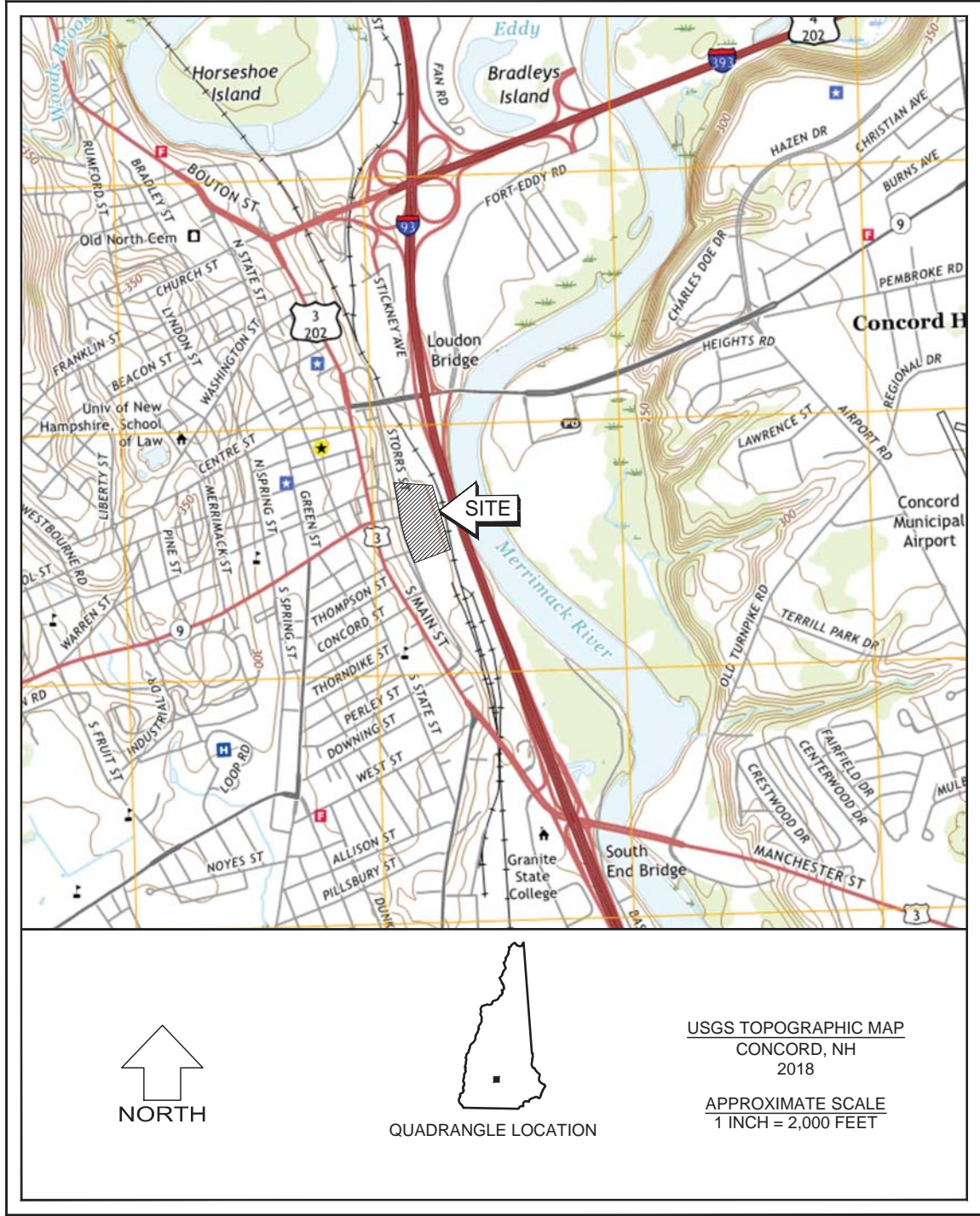


CAPITOL SHOPPING CENTER

80 STORRS STREET CONCORD, NEW HAMPSHIRE

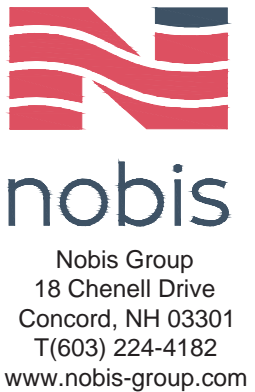
OWNER
BRIXMORE CAPITOL SC, LLC - NEW YORK, NY
SITE ENGINEER
NOBIS GROUP. - CONCORD, NH
LANDSCAPE ARCHITECT
WARRENSTREET ARCHITECTS INC - CONCORD, NH
LAND SURVEYOR
RICHARD D. BARTLETT & ASSOCIATES - CONCORD, NH



AUGUST 21, 2020

SHEET INDEX

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LEGEND

EXISTING	PROPOSED	
		SUBJECT PROPERTY LINE
		OTHER PROPERTY LINE
		SETBACKS
		EASEMENT
		STONE WALL
		RETAINING WALL
		EDGE OF WETLAND
		STREAM / RIVER
		TREE LINE
		CENTERLINE
		EDGE OF GRAVEL
		EDGE OF PAVEMENT
		VERTICAL GRANITE CURB
		VERTICAL CONCRETE CURB
		TIP DOWN
		MAJOR CONTOUR
		MINOR CONTOUR
		DRAIN LINE
		SILT FENCE / WATTLE
		OVERHEAD UTILITY WIRE
		UNDERGROUND ELECTRIC
		UNDERGROUND TELECOM
		SANITARY SEWER LINE
		SANITARY SEWER SERVICE
		WATER LINE
		WATER SERVICE
		GAS LINE

EXISTING	PROPOSED	
		DRAIN MANHOLE
		CATCH BASIN
		UTILITY POLE
		PAD MOUNTED TRANSFORMER
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEAN-OUT
		HYDRANT
		WATER VALVE
		WATER SHUT OFF
		WATER SUPPLY WELL
		GAS SHUT OFF
		GAS METER
		SPOT GRADE
		CURB SPOT GRADE
		SIGN POST
		LIGHT POLE
		CONCRETE
		GRAVEL
		RIP RAP
		INLET PROTECTION
		SLOPE & DIRECTION
		MANHOLE

GENERAL NOTES:

- THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT TITLED "STORMWATER MANAGEMENT REPORT FOR CAPITOL SHOPPING CENTER, 80 STORRS STREET, CONCORD, NH" DATED MAY 20,2020 PREPARED BY NOBIS GROUP.
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF LAND BRIXMOR CAPITOL SC, LLC", DATED NOVEMBER 19, 2018, PROVIDED TO NOBIS GROUP BY RICHARD D. BARTLETT & ASSOCIATES, LL.
- THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR BRIXMOR CAPITOL SC, LLC, FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON-SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.

EROSION CONTROL NOTES:

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BEGIN IN THE FALL, 2020 WITH A FINAL COMPLETION DATE IN SPRING/SUMMER 2021. NO WINTER EARTH DISTURBANCE IS EXPECTED FOR THIS PROJECT. SHOULD WINTER WORK BE REQUIRED, THIS PLAN AND THE ACCOMPANYING STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE MODIFIED ACCORDINGLY.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.

- * DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- * NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- * PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- * WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- * WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- * AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- * REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE
THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- * PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- * BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- * INSTALL PERMANENT STORM DRAIN SYSTEM.
- * INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- * REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- * PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:
EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE:

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DEWATERING:
SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

STORMWATER POLLUTION PREVENTION PLAN:
THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
WINTER RYE 80 (MIN.)	80 (MIN.)	85
RED FESCUE (CREEPING)	4 (MIN.)	80
PERENNIAL RYE GRASS	3 (MIN.)	90
RED CLOVER	3 (MIN.)	90
OTHER CROP GRASS	0.5 (MAX.)	
NOXIOUS WEED SEED	0.5 (MAX.)	
INERT MATTER	1.0 (MAX.)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN.)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES:

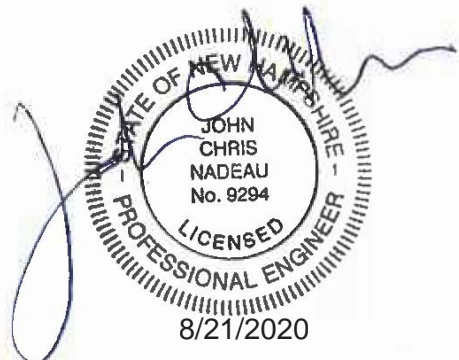
ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.



nobis
Nobis Group®
18 Chenell Drive
Concord, NH 03301
T(603) 224-4182
www.nobis-group.com



NOT ISSUED
FOR
CONSTRUCTION

CAPITOL SHOPPING CENTER

MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIXMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
REVISIONS		

SCALE:
AS NOTED

DATE:	AUGUST 2020
NOBIS PROJECT NO.	95250.00
DRAWN BY:	MD
CHECKED BY:	JCN
CAD DRAWING FILE:	95250.00-C-005-NOTES&LEGEND.dwg

SHEET TITLE

GENERAL NOTES AND LEGEND

SHEET

G-1

MAP 35, BLOCK 3 LOT 9
EFFIE RAFT TRUST
MARIA MCGARR, DEAN RAFT & JASON
RAFT, TRUSTEES
93 Storrs Street
Concord, NH 03301
V. 3435 P. 1244

MAP 35, BLOCK 3 LOT 11
MICHAEL J. & JUDITH C. MONTORRE REV.
TRUSTS
34 West Sugarball Road
Concord, NH 03301
V. 2146 P. 1419

MAP 35, BLOCK 2 LOT 1
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 2870 P. 953

MAP 35, BLOCK 2 LOT 8
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 2360 P. 1958

MAP 34, BLOCK 4 LOT 17
CITY OF CONCORD
41 Green Street
Concord, NH 03301
V. 758 P. 384

MAP 34, BLOCK 4 LOT 3
STATE OF NEW HAMPSHIRE
C/O Secretary of State
107 N. Main Street
Concord, NH 03301
V. 676 P. 136

MAP 35A, BLOCK 1 LOT 2
STATE OF NEW HAMPSHIRE
C/O Secretary of State
107 N. Main Street
Concord, NH 03301
V. 953 P. 228

CONCORD ELECTRIC
EASEMENT
V. 698 P. 73

BOSTON & MAINE CORP.
c/o Pan Am Railways
1700 Iron Horse Park
N. Billerica, Ma. 01862

CERTIFICATIONS

"I, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

CERTIFICATION PER R.S.A.-678:18, III: "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

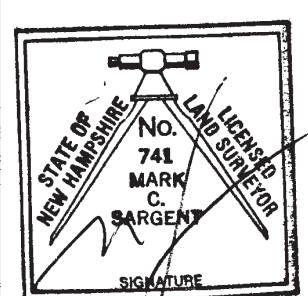
SIGNATURE: [Signature] LICENSE NO. 741 DATE: 8/14/20

LEGEND

- | | | | |
|-----|------------------------|---|--------------------------|
| --- | PROPERTY LINE | ● | CONIFEROUS TREE |
| --- | EDGE OF PAVEMENT | ● | SHRUB |
| --- | EDGE OF GRAVEL | ● | DECIDUOUS TREE |
| --- | OVERHEAD UTILITY LINES | ● | ARTESIAN WELL |
| --- | DRAINAGE LINE | ● | IRON PIPE OR REBAR |
| --- | SEWER LINE | ● | GRANITE OR CONCRETE |
| --- | GAS LINE | ● | BOUND (GB OR CB) |
| --- | TEL. LINE | ● | UTILITY POLE |
| --- | UNDERGROUND ELECT. | ● | LIGHT POLE |
| --- | DYL | ● | SEWER MANHOLE |
| --- | DOUBLE YELLOW LINE | ● | DRAIN MANHOLE |
| --- | SML | ● | CATCH BASIN |
| --- | VERTICAL OR SLOPED | ● | HYDRANT |
| --- | GRANITE CURB | ● | WATER SHUTOFF |
| --- | SHORE LINE | ● | WATER VALVE |
| --- | CHAIN LINK FENCE | ● | IRRIGATION CONTROL VALVE |
| --- | STOCKADE FENCE | ● | GAS SHUTOFF |
| --- | STONE WALL | ● | |
| --- | EDGE OF WOODS | ● | |
| --- | CONCRETE | ● | |

ZONING SUMMARY

	ZONING REQUIREMENT	EXISTING		ZONING REQUIREMENT	EXISTING
STREET FRONTAGE	150' MINIMUM	1,320.25'	BUILDING HEIGHT	45' MAXIMUM	
LOT AREA-SQ. FT.	NA MINIMUM	662,788	PARKING SPACES	MINIMUM	
OFFSETS TO PROPERTY LINES	FRONT 15' MINIMUM	65.55'	LOADING SPACES	MINIMUM	
	SIDE 15' MINIMUM	46.36'	BUILDING & PARKING COVERAGE	80% MAXIMUM	70%
	REAR 15' MINIMUM	22.86'	BUILDING COVERAGE	MAXIMUM	27%



FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

NO.	DATE	REVISION
1	8/19/20	DRAINAGE DETAILS

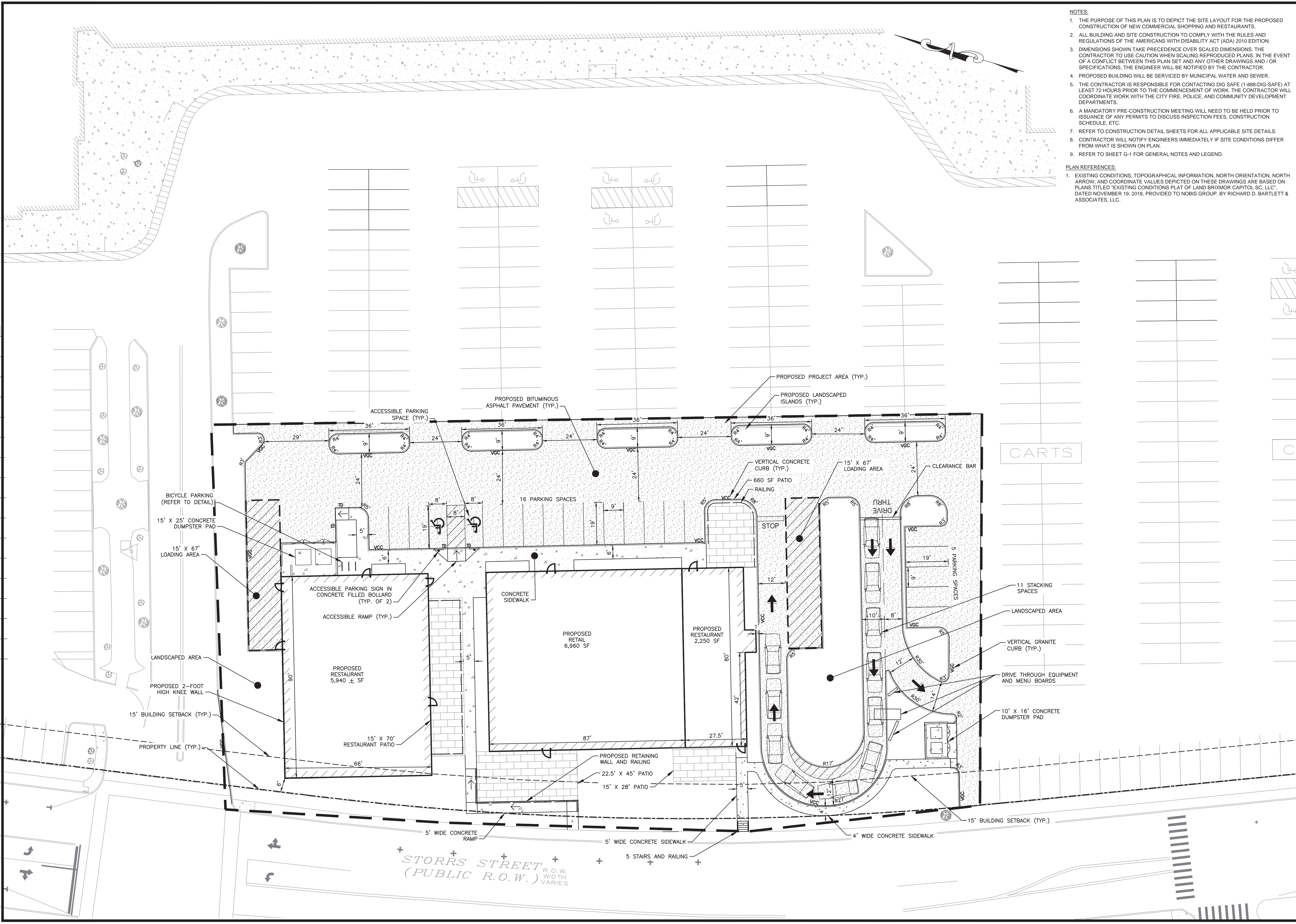
RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
info@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT
of land
BRIXMOR CAPITAL SC, LLC

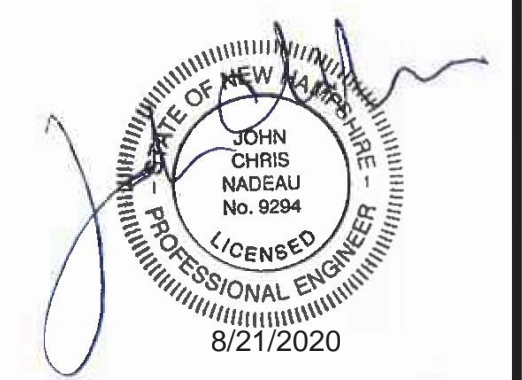
PROJECT: MAP 35B, BLOCK 1, LOT 1
LOCATION: 80 STORRS ST. CONCORD, NH

GRAPHIC SCALE
0' 40' 80'
1" = 40'
DATE: NOV. 19, 2018
JOB NO.: 918.184
SHEET 2 OF 2

J:\95250.00 - Capitol Shopping Center, Concord, NH\CAD (2018)\w\95250.00-C-200-SITE.dwg 8/21/2020 10:31 AM



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE LAYOUT FOR THE PROPOSED CONSTRUCTION OF NEW COMMERCIAL SHOPPING AND RESTAURANTS.
 2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
 3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
 4. PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND SEWER.
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 6. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
 7. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
 8. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 9. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.
- PLAN REFERENCES:**
1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF LAND BRIMOR CAPITOL SC, LLC, DATED NOVEMBER 19, 2018, PROVIDED TO NOBIS GROUP, BY RICHARD D. BARTLETT & ASSOCIATES, LLC."



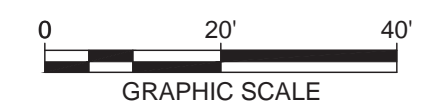
NOT ISSUED
FOR
CONSTRUCTION

CAPITOL SHOPPING CENTER

MAP 35B, BLOCK 1, LOT 1
80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
REVISIONS		



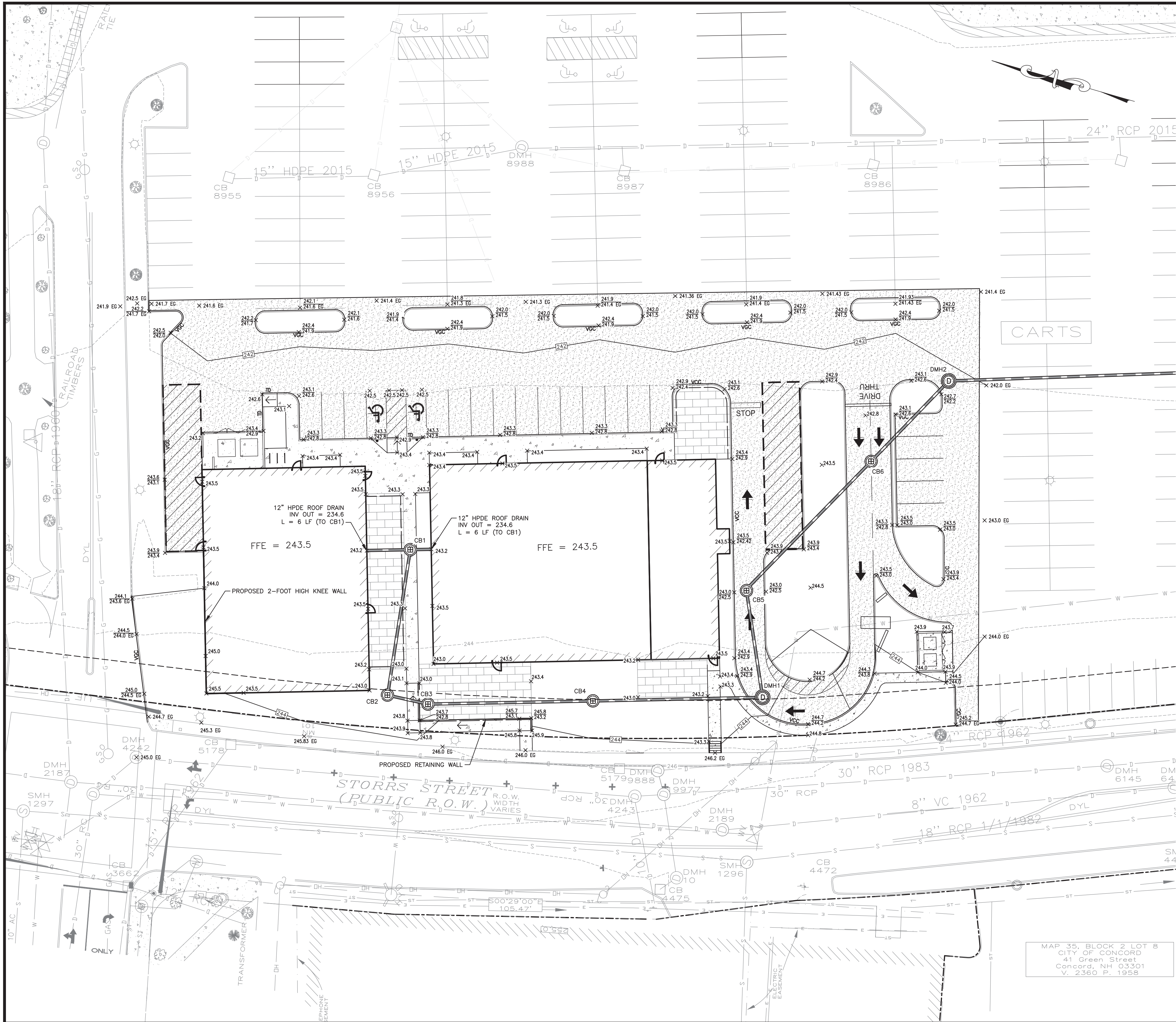
DATE:	AUGUST 2020
NOBIS PROJECT NO.	95250.00
DRAWN BY:	MD
CHECKED BY:	JCN
CAD DRAWING FILE:	95250.00-C-200-SITE.dwg

SHEET TITLE

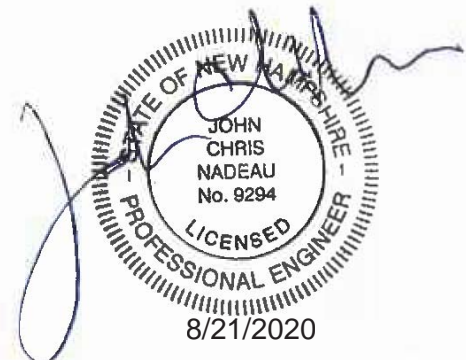
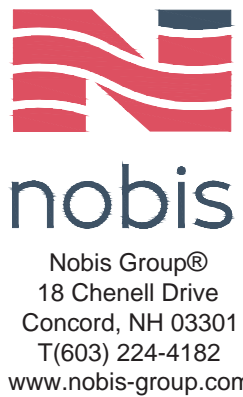
PROPOSED SITE PLAN

SHEET
C-3

J:\95250.00 - Capitol Shopping Center, Concord, NH\CAD (2018)\w\95250.00-C-300-G&D.dwg 8/21/2020 10:52 AM



- NOTES:
1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 5. STONE DRIP EDGE PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
 6. FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT.
 7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
 8. LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 9. ALL WORK ON SITE, ALL UTILITY WORK AND ALL WORK WITH CITY R.O.W. WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS, LATEST EDITION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 11. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER WILL BE OVERLAIN WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
 12. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.



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CONSTRUCTION

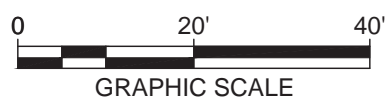
CAPITOL SHOPPING CENTER

MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	AUGUST 2020
NOBIS PROJECT NO.	95250.00
DRAWN BY:	MD
CHECKED BY:	JCN
CAD DRAWING FILE:	95250.00-C-300-G&D.dwg

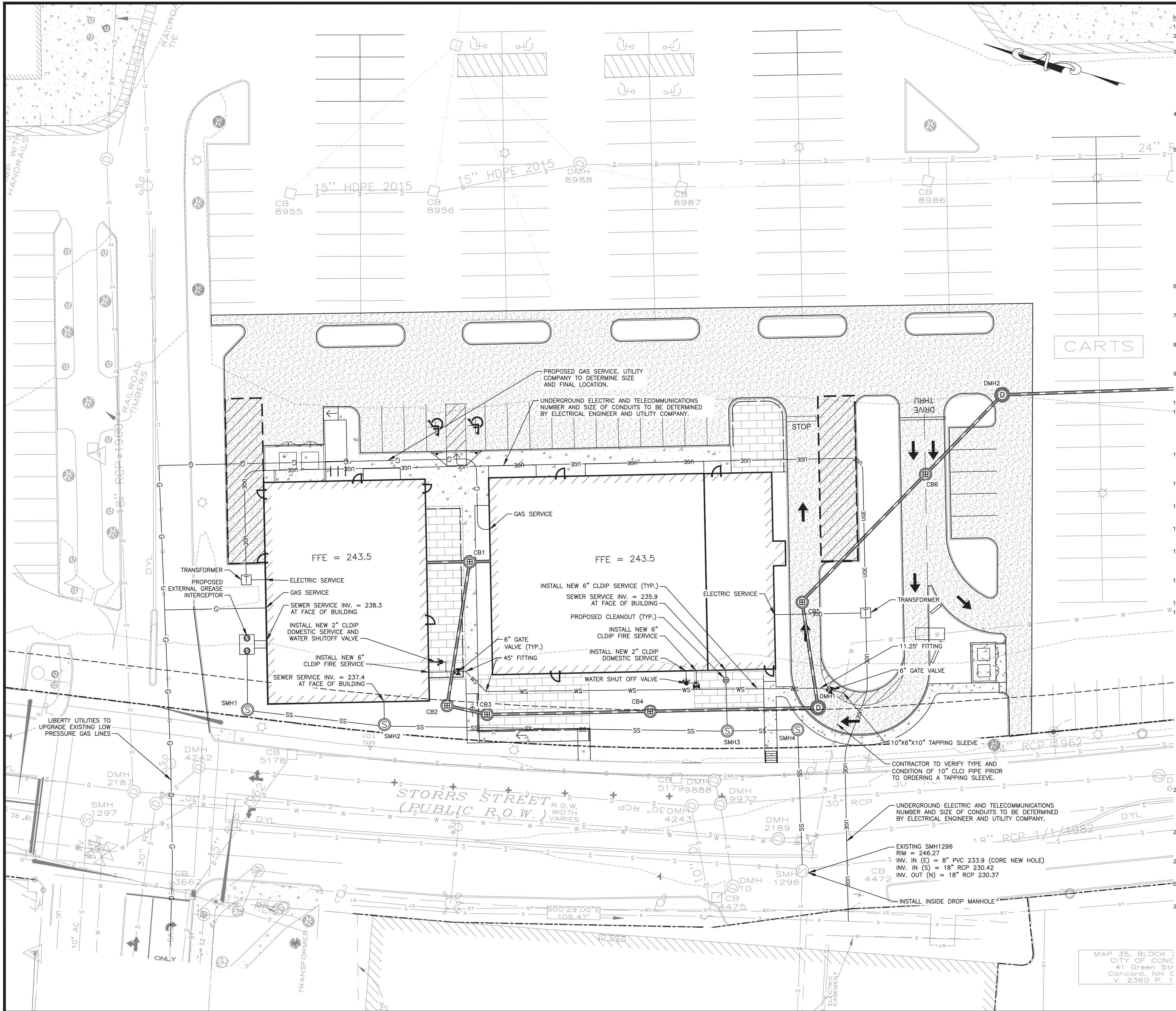
SHEET TITLE

GRADING AND DRAINAGE

SHEET

C-4

J:\9250.00 - Capitol Shopping Center, Concord, NH\CAD (2018)\9250.00-C-400-UTILITY.dwg 8/21/2020 10:59 AM



- NOTES:
1. REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
 4. LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 5. THERE WILL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE WILL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE. NO SEWER WILL BE LOCATED WITHIN THE WELL PROTECTIVE RADI ESTABLISHED IN ENV-WQS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL. SEWERS WILL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. A DEVIATION FROM THE SEPARATION REQUIREMENTS WILL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.06.
 - WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER WILL BE CONSTRUCTED AS FOLLOWS:
 - 5.1. VERTICAL SEPARATION OF THE SEWER AND WATER MAIN WILL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
 - 5.2. SEWER PIPE JOINTS WILL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
 6. THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
 7. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 8. ALL CONSTRUCTION WILL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 9. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 10. AS-BUILT PLANS WILL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
 11. INVERTS AND SHELVES: MANHOLES WILL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS WILL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES WILL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF WILL CONSIST OF GRADE SS HARD BRICK MASONRY.
 12. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
 13. WILLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING CAPABLE OF SUPPORTING H20 LOADS.
 14. CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
 15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) WILL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
 16. PROPOSED RIM ELEVATIONS OF SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
 17. ALL SANITARY SEWER SERVICE LATERALS, FOR FUTURE RESIDENTIAL CONNECTION, WILL END AT THE LIMITS OF THE R.O.W., AS SHOWN ON PLANS AND WILL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
 18. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
 19. ALL GRAVITY SEWER PIPE MANHOLES AND FORCE MAINS WILL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, CONFORMING TO THE FOLLOWING MIN. CRITERIA.

ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING:

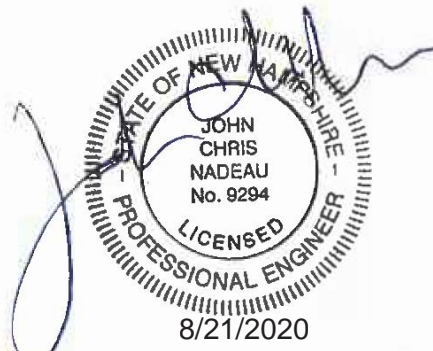
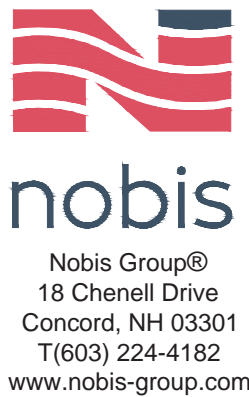
GRAVITY SEWERS WILL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-02(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES WILL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER, AND TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE. DEFLECTION TESTS WILL TAKE PLACE NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

ENV-WQ 704.09 FORCE MAIN AND PRESSURE SEWER TESTING

WILL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C900-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.

ENV-WQ 704.17 SEWER MANHOLES:

WILL BE TESTED FOR LEAKAGE USING A VACUUM TEST. TESTING WILL BE CONDUCTED PRIOR TO PLACEMENT OF SHELVES AND INVERTS
 20. SEWERS WILL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A NHDES WAIVER IS NEEDED IF THE MINIMUM REQUIRED DEPTH CANNOT BE MET.
 21. SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
 22. CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF BITUMINOUS OVERLAY.
 23. SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM TOWN INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
 24. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.



NOT ISSUED
FOR
CONSTRUCTION

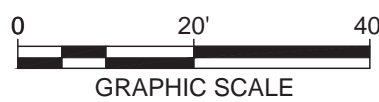
CAPITOL SHOPPING
CENTER

MAP 35B, BLOCK 1, LOT 1

80 STORRS STREET
CONCORD, NEW HAMPSHIRE

OWNER/APPLICANT:
BRIXMOR CAPITOL SC, LLC
450 LEXINGTON AVE. 13TH FLOOR
NEW YORK, NEW YORK 10017

NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	AUGUST 2020
NOBIS PROJECT NO.	95250.00
DRAWN BY:	MD
CHECKED BY:	JCN
CAD DRAWING FILE:	95250.00-C-400-UTILITY.dwg
SHEET TITLE	

UTILITY PLAN

SHEET
C-5

OWNER
BRIXMORE CAPITAL SC, LLC

80 STORRS STREET
CONCORD, NH 03301



SCALE: AS NOTED DWN BY: KL
JOB #: 3629 CHK BY: JH

PRINT DATE: 8/14/2020 11:37:29 AM

8/13/2020
ISSUED FOR REVIEW

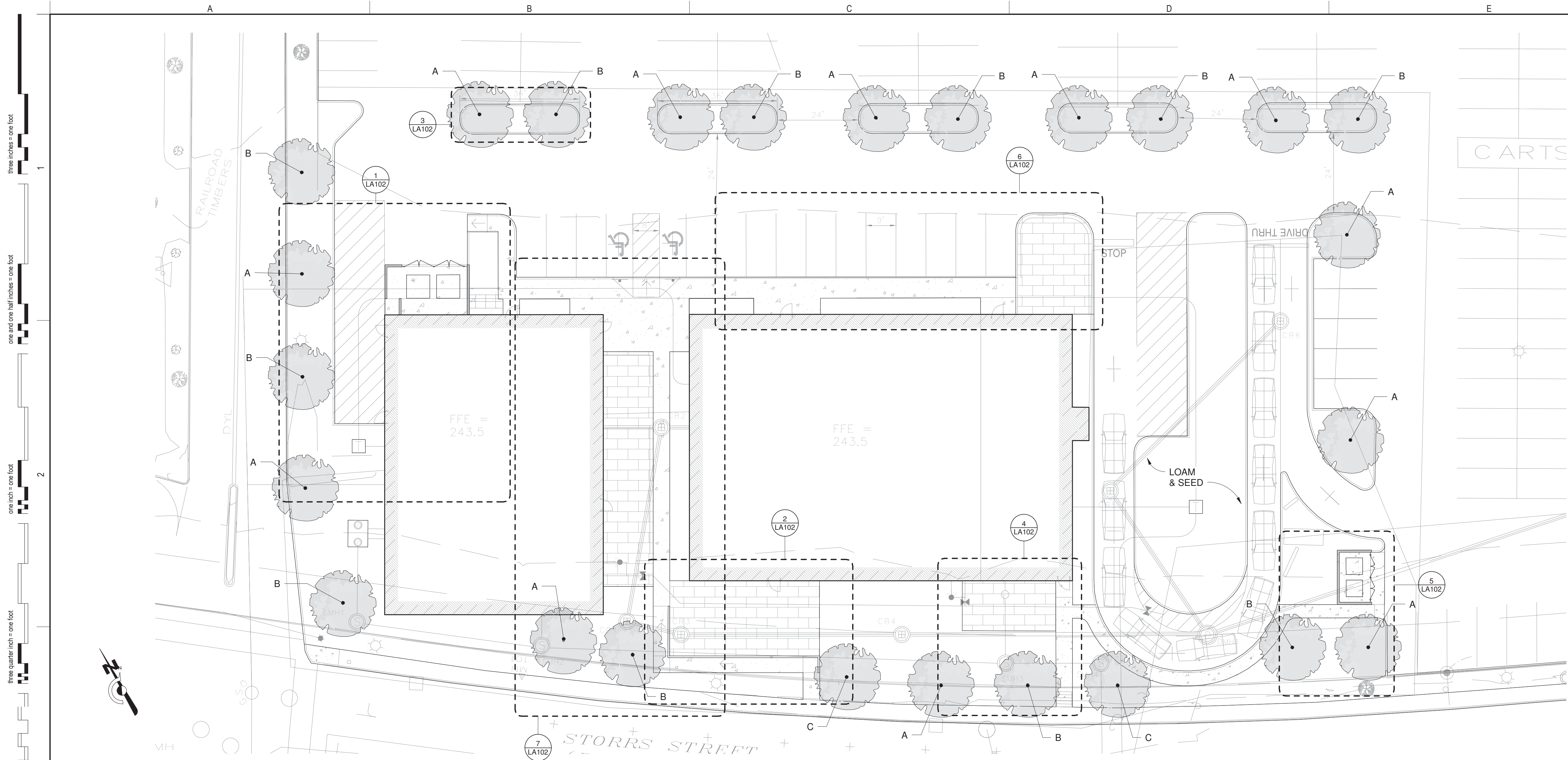
REV.	DATE	COMMENTS

LANDSCAPE PLAN

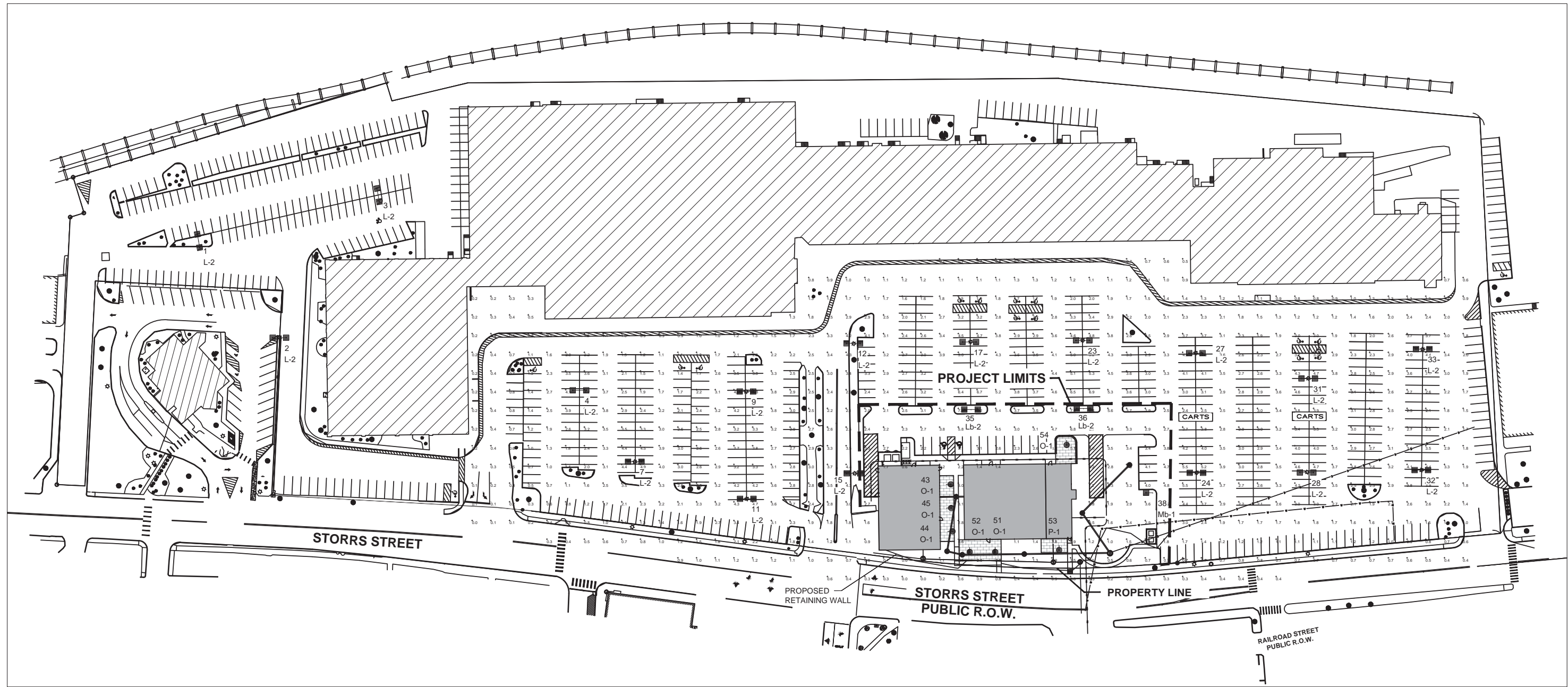
LA101

SHEET NUMBER: 1 OF 1 ARCHITECTURAL

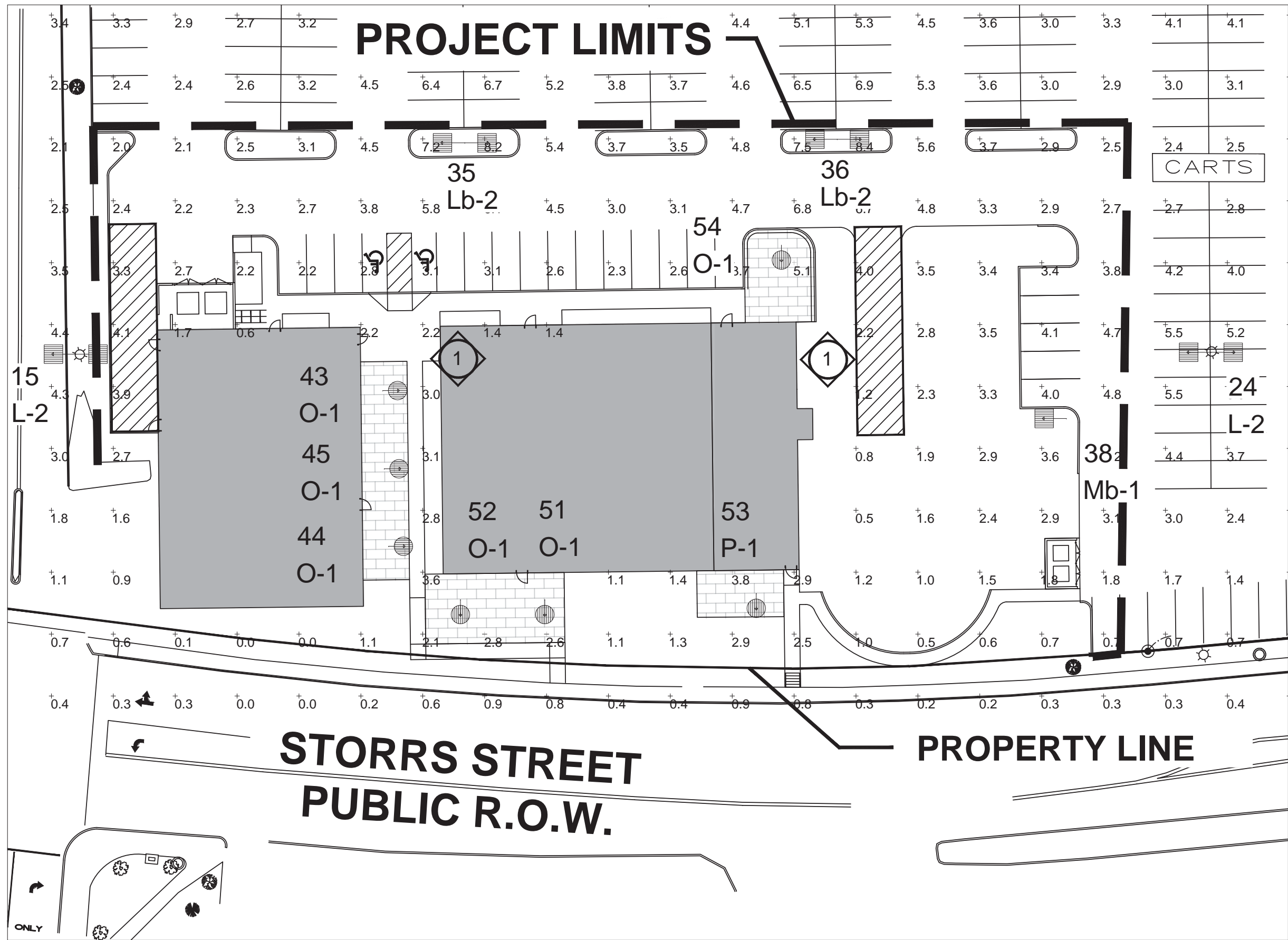
THE DRAWING AND ITS CONTENT IS THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS INC. WITH THE SOLE INTENT TO BUILD THE PROJECT TITLED ABOVE AT ONE LOCATION NOTED HEREIN. THE USE OF THE CONTENT FOR ANY OTHER PURPOSE IS PROHIBITED AND PROTECTED UNDER COPYRIGHT LAW.



1	SITE PLAN 1/16" = 1'-0"								
Capital Plaza, Concord, New Hampshire - Master Planting Schedule									
Warrenstreet Architects, Inc - 27 Warren St, Concord, New Hampshire 03301 (603) 738-9004 Attn: Jonathan Halle AIA, PLA								USDA Zone: 5A	
Key (S - Sun; S/Sh - Sun/Shade; S/PSh - Sun and Part Shade; PSh - Part Shade; PSh/Sh - Part Shade/Shade; FS - Full Shade)									
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth Height Spread		Installed Size/ Hgt	Type	Notes (hgt, exposure, bloom, color)
Large Deciduous Trees									
A	12	Autumn Flame Red Maple	Acer rubrum 'Autumn Flame'	4-8	40-60'	30-50'	2 1/2" - 3" cal	B&B	S/Ph - rapid growth shade or privacy soil and drought resistant lawn tree
B	11	American Sycamore Tree	Platanus occidentalis	4-9	70'	50'	2 1/2" - 3" cal	B&B	S/Ph - classic native tree urban tolerant mottled bark
C	2	Yoshino Cherry Tree	Prunus x yedoensis	5-8	20-30'	10-20'	2 1/2" - 3" cal	B&B	S/Psh - large pink spring blossoms, orange fall leaves, alkaline soils
Accessories / Mulch / Stone / Loam									
EEG	50	Everedge' bed edging or Equal (16.25' sections)	5" Heavy Duty Steel 2.5mm color 'brown'						Install continuous at all bed edges
WSMB	4	Weed Stopper 5oz landscape fabric (3'x300') /900sf	assumes 36" width application						Install under all mulch and rock beds
MULCH	25	Cedar shredded mulch color 'Black' /sy	4" thickness min						hydro mulch and rake smooth
RR	30	River Rock (2"-3" round) /sy	4" thickness min						
LOAM	200	Loam /sy	6" thickness min						
	12000	Hydroseed	Pennington Smart Seed Tall Fescue Blend or Equal						
CON1	500	Concrete slab Boom finish tooled joints 60"oc / sf	4" thickness with 1.5x1.5 WWM						
Con2	500	Concrete slab washed stone finish saw cut joints 60"oc /sf	4" thickness with 1.5x1.5 WWM						
SLAB	45	Flagstone Slab /ea.	36" x 60" x 4"min (chisel edge flame surface)						Install on 8" compacted granular gravel base
Opinion of Probable Cost to Install Soft and Hard Landscape Scope of Work									
General Notes									
1	Concord, New Hampshire Zip Code 03301 is USDA 2012 Plant Hardiness Zone '5A' (-15--20)								
2	All planting beds shall be mulched with a minimum of 4" of shredded cedar "BLACK" bark mulch.								
3	All sod and/or seeded lawn areas to have minimum 6" topsoil blanket.								
4	All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-1986.								
5	All fall bulbs shall be planted in the fall, plan accordingly, retainage will be held until plantings occur.								
6	All plantings shall be warranted for (1) one year from planting date.								
7	All mass planted shrubs beds and planters around building shall have minimum 18" deep topsoil blanket to compensate for typical NH very sandy granular sub-grade material.								
8	The landscape Contractor shall be responsible for two (2) lawn mowings and weedings prior to acceptance of installation.								
9	The Opinion of Costs may vary subject to various influences including qualifications of contractors, source and number of quotes, time of year, volume of work, weather conditions, nursery availability, such that this Opinion of Costs is not a Guaranteed Cost.								
10	The Opinion of Cost assumes all rough grading, drainage, utilities are by Others and/or complete and ready for Landscape installation.								



1 PROPOSED SITE PLAN
SCALE: 1"= 100'-0"

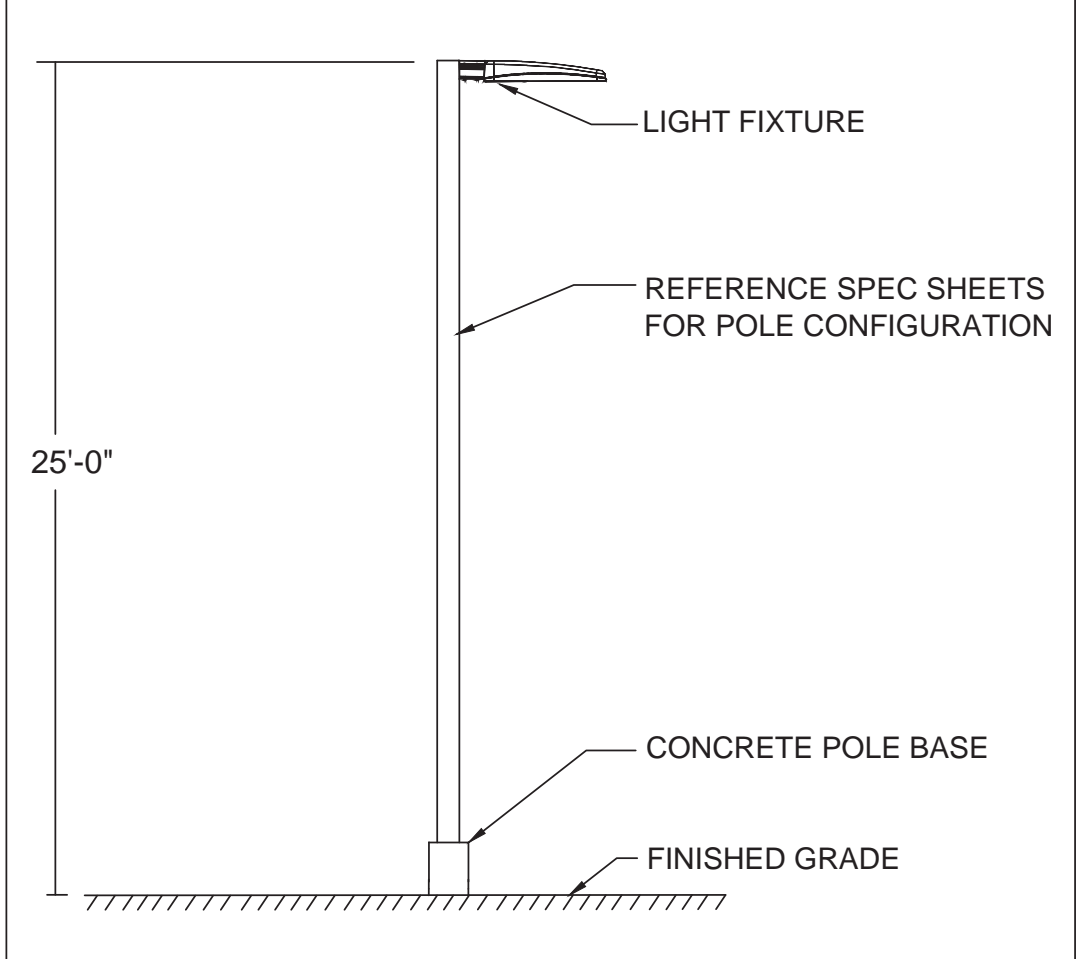


2 PROPOSED PHOTOMETRIC PLAN
SCALE: 1"= 30'-0"

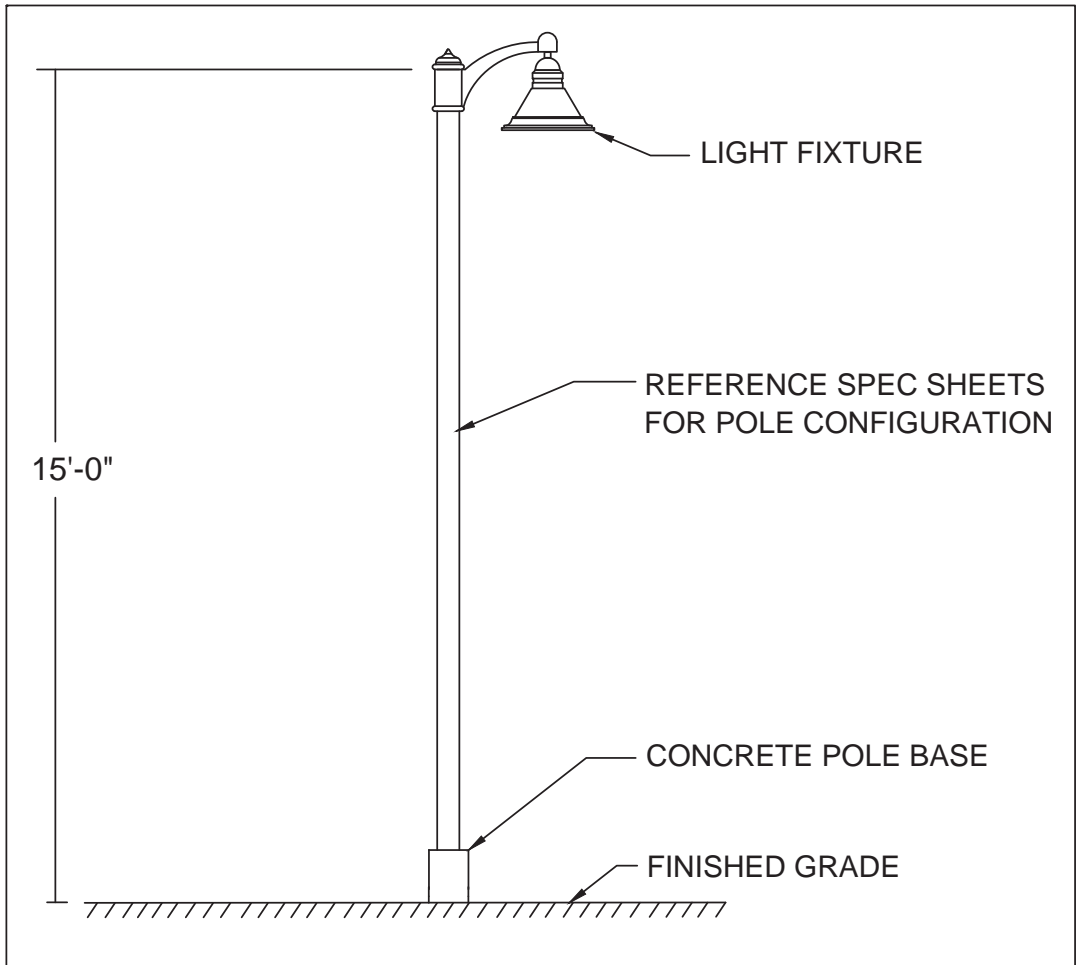
Luminaire Schedule							
Symbol	Qty	Label	Arranged	TLL	LLF	Description	BUG Rating
	2	Lb-2	BACK-BACK	N.A.	0.90	New Base & Pole, Relocated Fixt 215W LED T5W 25'-0 Mfg Ht (5000K/96 LED's/26875 Lumens/700mA) Visionaire VLX-1-T5W-96LC-7-5K	B5-U0-G3
	1	Mb-1	SINGLE	N.A.	0.90	New Base, Pole & Fixt 172W LED T5LS 25'-0 Mfg Ht (5000K/25360 Lumens) Visionaire VMX-II-T5LS-25L-5K	B5-U0-G3
	6	O-1	SINGLE	N.A.	0.90	New Base, Pole, & Deco Fixt 32W LED T5SR 15'-0 Mfg Ht (5000K/5206 Lumens) Visionaire ODN-1-T5SR-5L-5K	B3-U0-G1
	1	P-1	SINGLE	N.A.	0.90	New Base, Pole, & Deco Fixt 66W LED T5SR 15'-0 Mfg Ht (5000K/10193 Lumens) Visionaire ODN-1-T5SR-10L-5K	B3-U0-G2

KEY NOTES	
	PREVIOUS LOCATION OF RELOCATED FIXTURES.

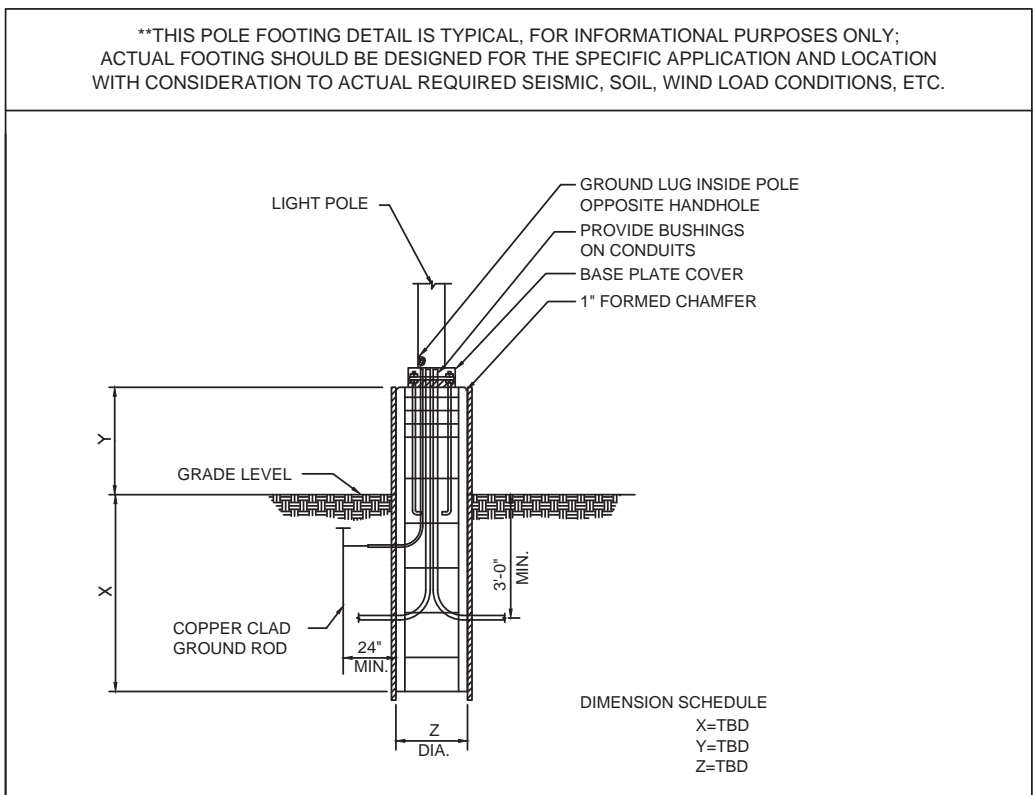
Calculation Summary							
Label	Avg	Max	Min	Avg/Min	Max/Min	# Pts	%PtsRange
New Development Area	2.98	8.4	0.0	N.A.	N.A.	110	74.5
New Development Parking Only	3.69	6.1	2.2	1.68	2.77	21	100.0



3 POLE DETAIL Lb-2, Mb-1
SCALE: NTS



4 POLE DETAIL TYPE O-1 & P-1
SCALE: NTS



5 LIGHT POLE BASE DETAIL TYP.
SCALE: NTS

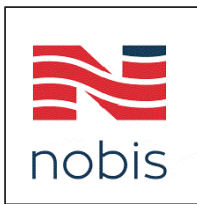
BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
PH: 763.684.1548

On-Site Lighting & Survey, LLC

1111 HIGHWAY 25 NORTH
SUITE 201
BUFFALO, MN 55313
PH: 763.684.1548
FAX: 763.682.9048



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CONCORD, NH 03301
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PH: (603) 224-4182



CAPITOL CENTER

80 STORRS STREET,
CONCORD, NH 03301

#	DATE	INIT	DESCRIPTION

PROPOSED PHOTOMETRIC PLAN

SHEET DESCRIPTION	PROJECT #	ISSUE DATE	DESIGN LEVEL	AGI	CAD	SHEET#	REV #
		06.09.2020	2	C.D.HEANER	C.D.HEANER	SL2.0	0



OVERALL WEST ELEVATION - FACING STORRS STREET



OVERALL EAST ELEVATION - FACING PARKING LOT



OUTPARCEL #2 AERIAL VIEW - LOOKING FROM STORRS STREET



OVERALL AERIAL VIEW - LOOKING FROM STORRS STREET



① EXT. ENTRY



② EXT. INTERSECTION

Stamp:

PROGRESS
NOT FOR CONSTRUCTION
01/07/2020

110 GRILL
CONCORD NH
CONCORD, NH

prepared for:	
location:	Approver
title	
EXTERIOR VIEWS	

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Mark	Date
Revisions	
Date	01/07/2020
Scale	
Job No.	2913
Sheet No.	