

GENERAL INFORMATION

OWNER/APPLICANT

TAX MAP 1 BLOCK 2 LOT 3
CAPITAL HOTEL COMPANY VI, LLC
406 SOUTH MAIN STREET
CONCORD, NH 03301

PREPARED FOR

DUPREY HOSPITALITY
49 SOUTH MAIN STREET, SUITE 101
CONCORD, NH 03301

RESOURCE LIST

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT
41 GREEN STREET, 3RD FLOOR
CONCORD, NH 03301
PHONE: (603) 225-8515
CONTACT: CARLOS BAIA (DEPUTY CITY
MANAGER - DEVELOPMENT) & HEATHER
SHANK (CITY PLANNER)

ZONING DEPARTMENT

37 GREEN STREET, CONCORD, NH 03301
PHONE: (603) 225-8580
CONTACT: CHRIS CARLEY (CHAIR) &
ORIGI WALKER (ZONING ADMINISTRATOR)

CODE ADMINISTRATION

37 GREEN STREET, CONCORD, NH 03301
PHONE: (603) 225-8580
CONTACT: MICHAEL SANTA (CODE
ADMINISTRATOR)

CITY MANAGER

41 GREEN STREET, CONCORD, NH 03301
PHONE: (603) 225-8570
CONTACT: THOMAS J. ASPELL JR.

GENERAL SERVICES
(PUBLIC WORKS)

311 NORTH STREET, CONCORD, NH 03301
PHONE: (603) 228-2737
CONTACT: CHIP CHESLEY (DIRECTOR)

POLICE DEPARTMENT

35 GREEN STREET, CONCORD, NH 03301
PHONE: (603) 225-8600
CONTACT: BRADLEY C. OSGOOD (CHIEF
OF POLICE)

FIRE DEPARTMENT

41 GREEN STREET, CONCORD, NH 03301
PHONE: (603) 225-8570
CONTACT: DANIEL ANDRUS (FIRE CHIEF)

ABUTTERS

TAX MAP 1 BLOCK 2 LOT 1
IRVING OIL PROPERTIES NH CORP
FKA COBALT PROPERTIES NH CORP
PO BOX 1421
SAINT JOHN, NB E2L 4K1

TAX MAP 1 BLOCK 2 LOT 2
410 SOUTH MAIN STREET LLC
96 BOW LAKE ESTATES ROAD
STRAFFORD, NH 03884-6706

TAX MAP 5 BLOCK 3 LOT 1
UNITIL ENERGY SYSTEMS INC
6 LIBERTY LANE W
HAMPTON, NH 03842-1704

TAX MAP 1 BLOCK 1 LOT 15
FIVE N ASSOCIATES
40 TEMPLE STREET
NASHUA, NH 03060-3427

TAX MAP 5 BLOCK 3 LOT 2
PETROGAS GROUP NEW ENGLAND, INC.
3691 OLD YORKTOWN TOAD, SUITE 201
SHRUB OAK, NY 10588-1536

TAX MAP 1 BLOCK 2 LOT 4
FCFC REALTY LLC
121 SOUTH MAIN STREET
CONCORD, NH 03301-4806

TAX MAP 16 BLOCK 1 LOT 51
HLF ATS LLC
PO BOX 1200
CONCORD, NH 03301

TAX MAP 16 BLOCK 1 LOT 57
HLF CORPORATION
PO BOX 1200
CONCORD, NH 03302

TAX MAP 11 BLOCK 1 LOT 52
IRVING OIL LIMITED
ATTN: CORPORATE REAL ESTATE
PO BOX 868
CALAIS, ME 04619

STATE OF NEW HAMPSHIRE DOT
JOHN MORTON BUILDING
RIGHT OF WAY DIVISION
7 HAZEN DR
CONCORD, NH 03301

CONDITIONAL USE PERMIT

THE FOLLOWING CONDITIONAL USE PERMIT (CUP) WAS GRANTED BY THE PLANNING BOARD ON APRIL 17, 2019:

ARTICLE 28-7-11(a): TO ALLOW FOR REQUIRED PARKING TO BE PROVIDED OFF-SITE.

WAIVERS

THE FOLLOWING WAIVER WAS GRANTED BY THE PLANNING BOARD ON JANUARY 16, 2019:

SECTION 16.03(11): SIGNAGE

THE FOLLOWING WAIVERS WERE GRANTED BY THE PLANNING BOARD ON APRIL 17, 2019:

SECTION 6.03(2)(C): MAJOR SITE PLAN PROCEDURE

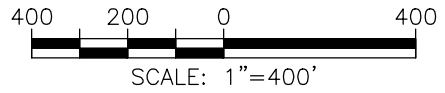
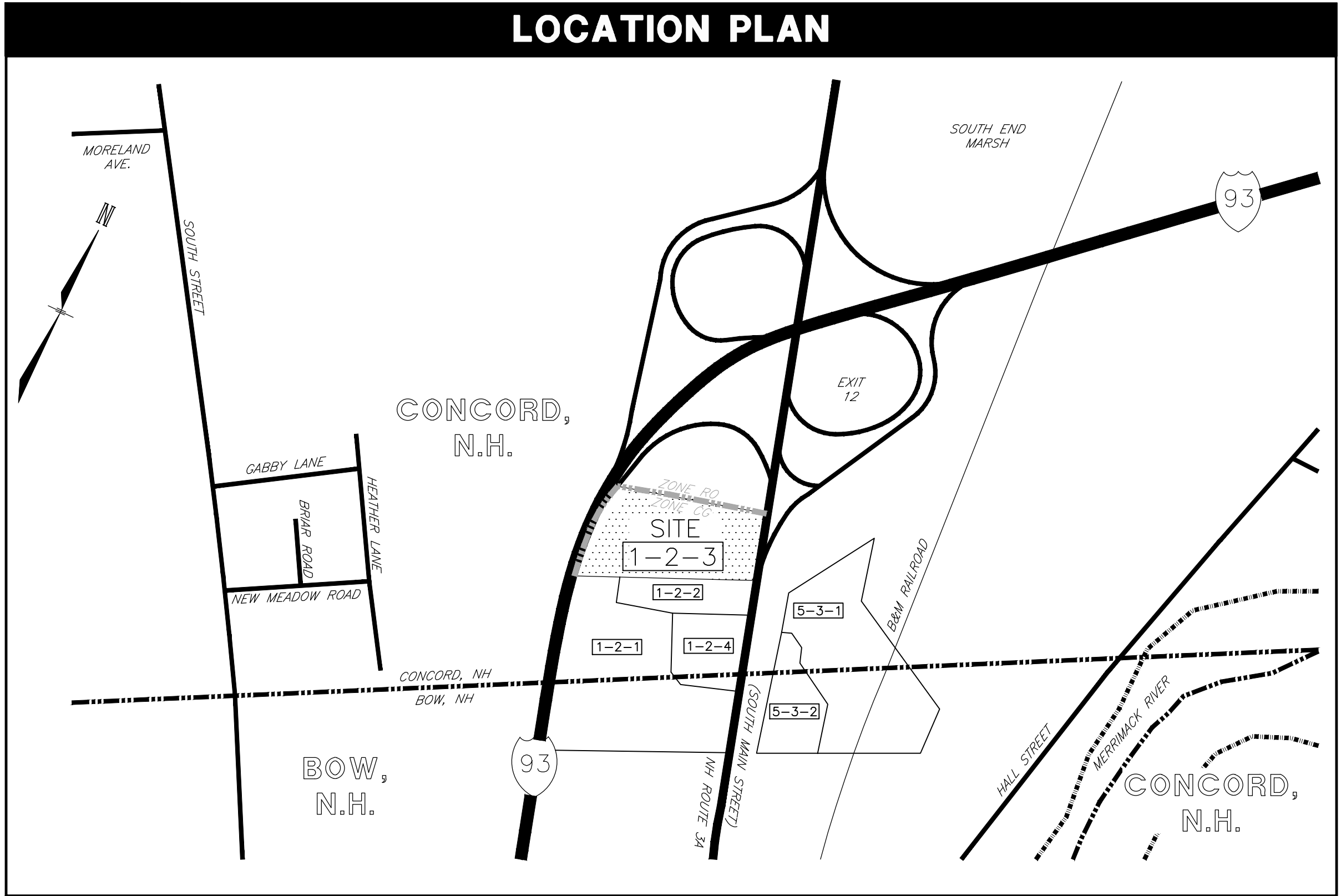
SECTION 16.03(11): SIGNAGE

SECTION 22.07(2): STORMWATER RECHARGE

DAYS INN
REDEVELOPMENT

406 SOUTH MAIN STREET
CONCORD, NEW HAMPSHIRE

LOCATION PLAN



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists



10	1/15/20	EXPANDED NHDOT LEASED PARKING	JB	NG
9	7/12/19	REVISED PER ARCHITECT	JB	NG
8	6/19/19	REVISED PER NHDES COMMENTS	CC	NG
7	6/6/19	REVISED PER NHDES COMMENTS	CC	NG
6	5/22/19	REVISED PER NOD	JB	NG
5	5/10/19	REVISED PER NHDES COMMENTS	JB	NG
4	3/20/19	REVISED LAYOUT FOR RESTAURANT	JB	NG
3	12/14/18	REVISED PER CITY COMMENTS	JB	NG
2	11/30/18	REVISED FOR ADDITIONAL INFORMATION	JB	NG
1	11/20/18	REVISED LAYOUT	JB	NG
REV.	DATE	DESCRIPTION	DR	CK

INDEX OF SHEETS

SHEET SHEET TITLE

1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE PREPARATION PLAN
4	SITE LAYOUT PLAN
5	GRADING & DRAINAGE PLAN
6	DRIVEWAY PLAN & PROFILE
7	ENTRANCE SIGHT LINE PLAN & PROFILE
8	UTILITY PLAN
9	SEWER PLAN & PROFILE
10	STORMWATER MANAGEMENT PLAN
11	LANDSCAPE PLAN
12-27	DETAILS
L1	LIGHTING PLAN (BY CHARRON LIGHTING)
05.02	ARCHITECTURAL ELEVATIONS (BY OPECHEE CONSTRUCTION CORP)
A2.00-A2.01	ARCHITECTURAL ELEVATIONS (BY MARKET SQUARE ARCHITECTS)

PERMITS / APPROVALS

	NUMBER	APPROVED	EXPIRES
EPA NOI	NHR1000OT	3/1/2019	
NHDES SEWER	D2019-0512	6/26/2019	6/26/2022
NHDES AOT	AOT-1601	5/14/2019	5/14/2024
CITY SITE PLAN	2018-62	1/16/2019	
CITY SITE PLAN	2019-21	4/17/2019	
CITY DRIVEWAY PERMIT			
CITY CUP		4/17/2019	
CITY ADR		4/30/2019	

VARIANCES

THE FOLLOWING VARIANCES WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON NOVEMBER 7, 2018:

ARTICLE 28-7-7(g)(3):	TO PERMIT PARKING TO BE LOCATED BETWEEN A BUILDING HOUSING A PRINCIPAL USE AND THE STREET, WHERE PARKING TO THE SIDE OR REAR OF A BUILDING HOUSING A PRINCIPAL USE IS REQUIRED
ARTICLE 28-7-3:	TO PERMIT DEDICATED OFF-SITE PARKING ON ADJACENT LAND IN THE RO RESIDENTIAL OPEN-SPACE DISTRICT WHEN PARKING IS REQUIRED TO BE PROVIDED ON THE SAME LOT AS THE USE OF USES THE PARKING SPACES ARE INTENDED TO SERVE
ARTICLE 28-2-4(j):	TO PERMIT PARKING IN THE RO DISTRICT WHERE NON-RESIDENTIAL PARKING LOTS ARE NOT PERMITTED AS A PRINCIPAL USE
ARTICLE 28-7-14(a):	TO PERMIT REFUSE CONTAINER(S) TO BE LOCATED OFF SITE ON AN ADJACENT LOT WHEN REFUSE CONTAINER SPACE IS TO BE PROVIDED IN THE SAME LOT AS THE USE IT SERVES
ARTICLE 28-7-14(d):	TO PERMIT REFUSE CONTAINER TO BE LOCATED WITHIN 10 FT OF A PROPERTY LINE AND 25 FT OF A RESIDENTIAL DISTRICT BOUNDARY WHEN REFUSE CONTAINER IS TO BE LOCATED MORE THAN 10 FT FROM THE PROPERTY LINE AND MORE THAN 25 FT FROM A RESIDENTIAL DISTRICT BOUNDARY

THE FOLLOWING VARIANCES WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON DECEMBER 5, 2018:

ARTICLE 28-7-2(e):	TO PERMIT 0.9 SPACES/ROOM WHERE 1.1 SPACES/ROOM ARE REQUIRED (HOTEL)
ARTICLE 28-7-2(e):	TO PERMIT 0.9 SPACES/75 SF GROSS FLOOR AREA WHERE 1 SPACE/75 SF GROSS FLOOR AREA IS REQUIRED (RESTAURANT)

THE FOLLOWING VARIANCE WAS GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON MAY 1, 2019:

ARTICLE 28-7-11(a):	TO PERMIT PERMANENT OFF-STREET PARKING
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SITE PLAN

TAX MAP 1 BLOCK 2 LOT 3

COVER SHEET

DAYS INN REDEVELOPMENT

406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE

OWNED BY

CAPITAL HOTEL COMPANY VI, LLC

PREPARED FOR

DUPREY HOSPITALITY

SCALE: AS NOTED

SEPTEMBER 19, 2018



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

F	95914-01	DR	JB	FB	—	SHEET 1 OF 27
E		CK	NG	CADFILE	95914-01 Details.dwg	

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated:

Approval of this plan is limited to the lots as shown

Chair Clerk

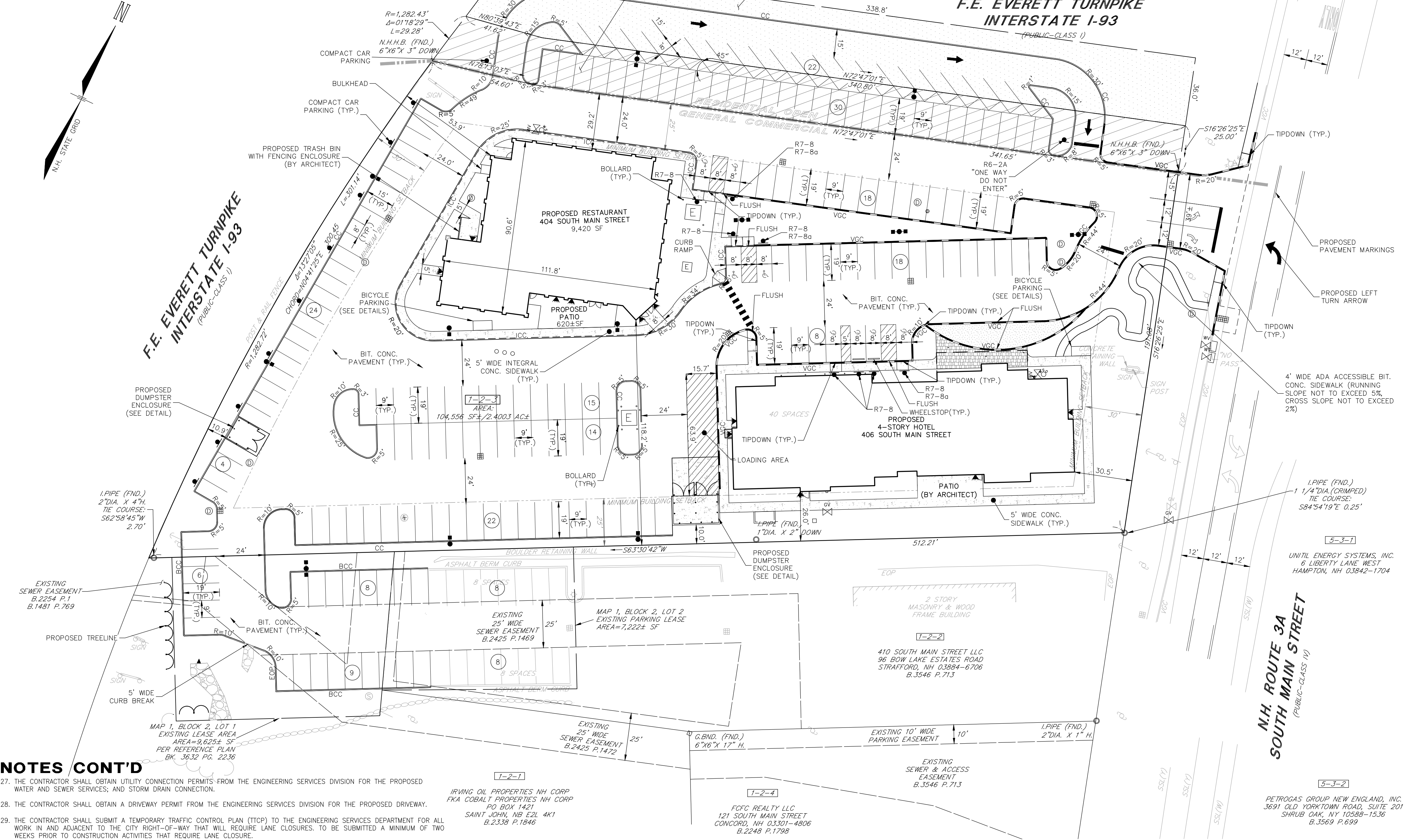
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This plan is not effective unless signed by a duly authorized officer of Thomas F. Moran, Inc.

REFERENCE PLAN

1. TAX MAP 1 BLOCK 2 LOT 3 CONDOMINIUM SITE PLAN DAYS INN REDEVELOPMENT CONCORD, NEW HAMPSHIRE 406 SOUTH MAIN STREET (N.H. ROUTE 3A) OWNED BY CAPITAL HOTEL COMPANY VI, LLC PREPARED FOR DUPREY HOSPITALITY NOVEMBER 20, 2018 AND REVISED 5/24/19 BY TFMORAN INC. M.C.R.D PLAN #201900008466



NOTES CONT'D

27. THE CONTRACTOR SHALL OBTAIN UTILITY CONNECTION PERMITS FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED WATER AND SEWER SERVICES; AND STORM DRAIN CONNECTION.
28. THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED DRIVEWAY.
29. THE CONTRACTOR SHALL SUBMIT A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) TO THE ENGINEERING SERVICES DEPARTMENT FOR ALL WORK IN AND ADJACENT TO THE CITY RIGHT-OF-WAY THAT WILL REQUIRE LANE CLOSURES, TO BE SUBMITTED A MINIMUM OF TWO WEEKS PRIOR TO CONSTRUCTION ACTIVITIES THAT REQUIRE LANE CLOSURE.
30. A PROPOSED LEASE AREA DEPICTED HEREON BETWEEN CAPITAL HOTEL COMPANY VI, LLC AND THE STATE OF NEW HAMPSHIRE LOCATED WITHIN THE INTERSTATE I-93 RIGHT-OF-WAY, NORTHERLY OF AND DIRECTLY ADJACENT TO THE SUBJECT PREMISES, IS TO ACCOMMODATE EXPANDED PROPOSED PARKING AND CONTAINS 9,782 SQUARE FEET, MORE OR LESS, AS DEFINED IN A STATE OF NEW HAMPSHIRE INTER-DEPARTMENT COMMUNICATION DATED NOVEMBER 14, 2018 BETWEEN NHDOT ADMINISTRATION AND THE LONG RANGE CAPITAL PLANNING AND UTILIZATION COMMITTEE. (LRCP 18-043)

APPROVED

UNDER THE PROVISIONS OF RSA 674:35 & RSA 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plan is limited to the lots as shown

Chair

Clerk

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IRVING OIL PROPERTIES NH CORP
TKA COBALT PROPERTIES NH CORP
PO BOX 1421
SAINT JOHN, NB E2L 4K1
B.2338 P.1846

TABULATIONS

	EXISTING	PROPOSED
GROSS ACREAGE	104,556 SF	104,556 SF
GROUND COVERAGE OF BUILDINGS & STRUCTURES (SF & %)		
IMPERVIOUS SURFACE COVERAGE	19,167 SF 18.3%	17,969 SF 17.2%
	62,357 SF 59.6%	64,317 SF 61.3%
NET LAND AREA CALCULATIONS		
MIN. LOT SIZE	25,000 SF	104,556 SF
BUILDABLE LAND	12,500 SF	104,556 SF
MIN. FRONTAGE	150 FT	191 FT
MIN YARD SETBACKS		
FRONT	30 FT	30.1 FT
REAR	30 FT	53.9 FT
SIDE	25 FT	26.0 FT
MAX. LOT COVERAGE	80%	78.7%
MAX. HEIGHT	45 FT	4-STORY
WETLAND BUFFER	N/A	N/A
SF OF FLOOR AREA BY USE		
HOTEL		38,800 SF
RESTAURANT		9,420 SF
PATIO		620 SF

VARIANCES

THE FOLLOWING VARIANCES WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON NOVEMBER 7, 2018:

- ARTICLE 28-7-7(g)(3)
ARTICLE 28-7-3
ARTICLE 28-2-4(j)
ARTICLE 28-7-14(c)
ARTICLE 28-7-14(d)

THE FOLLOWING VARIANCES WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON DECEMBER 5, 2018:

- ARTICLE 28-7-2(e)
ARTICLE 28-7-2(e)

THE FOLLOWING VARIANCE WAS GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON MAY 1, 2019:

- ARTICLE 28-7-11(a)

WAIVERS

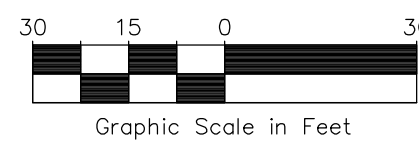
THE FOLLOWING WAIVER WAS GRANTED BY THE PLANNING BOARD ON JANUARY 16, 2019:

- SECTION 16.03(11): SIGNAGE

THE FOLLOWING WAIVERS WERE GRANTED BY THE PLANNING BOARD ON APRIL 17, 2019:

- SECTION 6.03(2)(C):
SECTION 16.03(11):
SECTION 22.07(2):

- MAJOR SITE PLAN PROCEDURE
SIGNAGE
STORMWATER RECHARGE



NOTES

1. OWNER OF RECORD OF MAP 1 BLOCK 2 LOT 3 IS CAPITAL HOTEL COMPANY VI, LLC 406 S. MAIN ST. CONCORD NH 03301-3466. PROPERTY ADDRESS 406 S MAIN ST., CONCORD, NH
2. DEED REFERENCE TO PARCEL IS BK. 3498 PG. 1178 IN THE MCRO.
AREA = 104,556 SF +/- or 2.4003 Acres +/-.
3. THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A 4-STORY, 85-ROOM HOTEL AND 9,420± RESTAURANT W/620± S.F. PATIO WITH EXPANDED NHDOT LEASED PARKING AREA.
4. CURRENT ZONING IS COMMERCIAL GENERAL (CG) AND RESIDENTIAL OPEN ZONING DISTRICT.
- MIN. LOT SIZE: REQUIRED 25,000 SF PROVIDED 104,556 SF
MIN. LOT FRONTAGE: 150' 191'
MIN. BUILDING SETBACKS:
FRONT 30' 30.1'
SIDE 25' 26.0'
REAR 30' 53.9'
MAX. BUILDING HEIGHT: 45' 4-STORIES (<45')
MAX. LOT COVERAGE: 80% 78.7%
5. PARKING CALCULATIONS:
REQUIRED:
HOTEL: 0.9 SP./ROOM = 82 ROOMS X 0.9 = 74 SPACES
1.1 SP./ROOM = 3 ROOMS X 1.1 = 4 SPACES
RESTAURANT: 0.9 SP./75 S.F. = 8,475 X 0.9 / 75 S.F. = 102 SPACES
1.0 SP./75 S.F. = 945 X 1.0 / 75 S.F. = 13 SPACES
TOTAL REQUIRED 193 SPACES (INCL. 8 ACCESSIBLE, 50 COMPACT)
PROPOSED: 214 SPACES
INCLUDES THE FOLLOWING LEASED AREAS RECORDED AT THE M.C.R.D.:
• 52 SPACES ON NHDOT PROPERTY; NOTICE OF LEASE AT BK. 3632 PG. 2239, BK. PG. PG.
• 16 SPACES ON 410 SOUTH MAIN STREET LLC PROPERTY; NOTICE OF LEASE AT BK. 3632 PG. 2236,
• 23 SPACES ON IRVING PROPERTY; NOTICE OF LEASE AT BK. 3642 PG. 886.
6. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:
DRAINAGE PRIVATE
SEWER MUNICIPAL
WATER MUNICIPAL
GAS LIBERTY UTILITIES
ELECTRIC UNITIL ENERGY
TELEPHONE FAIRPOINT COMMUNICATIONS
CABLE COMCAST
7. IN THE EVENT THAT THE SNOW STORAGE AREAS PROVIDED ON THE SITE ARE COMPLETELY UTILIZED, EXCESS SNOW SHALL BE TRANSPORTED OFF SITE FOR DISPOSAL IN ACCORDANCE WITH N.H.D.E.S. REGULATIONS. IF SNOW IS STORED WITHIN PARKING AREA KEEP CATCH BASINS CLEAR.
8. THE CONTRACTOR SHALL BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS AND STANDARDS.
9. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
10. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF HIS INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
13. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
14. LIGHTING, SIGNAGE, LANDSCAPING, AND SCREENING SHALL MEET THE REQUIREMENTS OF THE CITY OF CONCORD ZONING ORDINANCE AND SITE PLAN REGULATIONS.
15. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
16. ALL WORK IS TO CONFORM TO CITY OF CONCORD, DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS.
17. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
18. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
19. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
20. TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
21. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST ADDITION).
22. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 25.02(1) OF THE SITE PLAN REGULATIONS.
23. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
24. THE CONTRACTOR SHALL SET UP A PRECONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
25. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT FROM THE CODE ADMINISTRATION DIVISION FOR THE REMOVAL OF THE EXISTING BUILDING.
26. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE RIGHT-OF-WAY.

TAX MAP 1 BLOCK 2 LOT 3

SITE LAYOUT PLAN

DAYS INN REDEVELOPMENT

406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE

OWNED BY

CAPITAL HOTEL COMPANY VI, LLC

PREPARED FOR

DUPREY HOSPITALITY

SCALE: 1"=30' **SEPTEMBER 18, 2018**

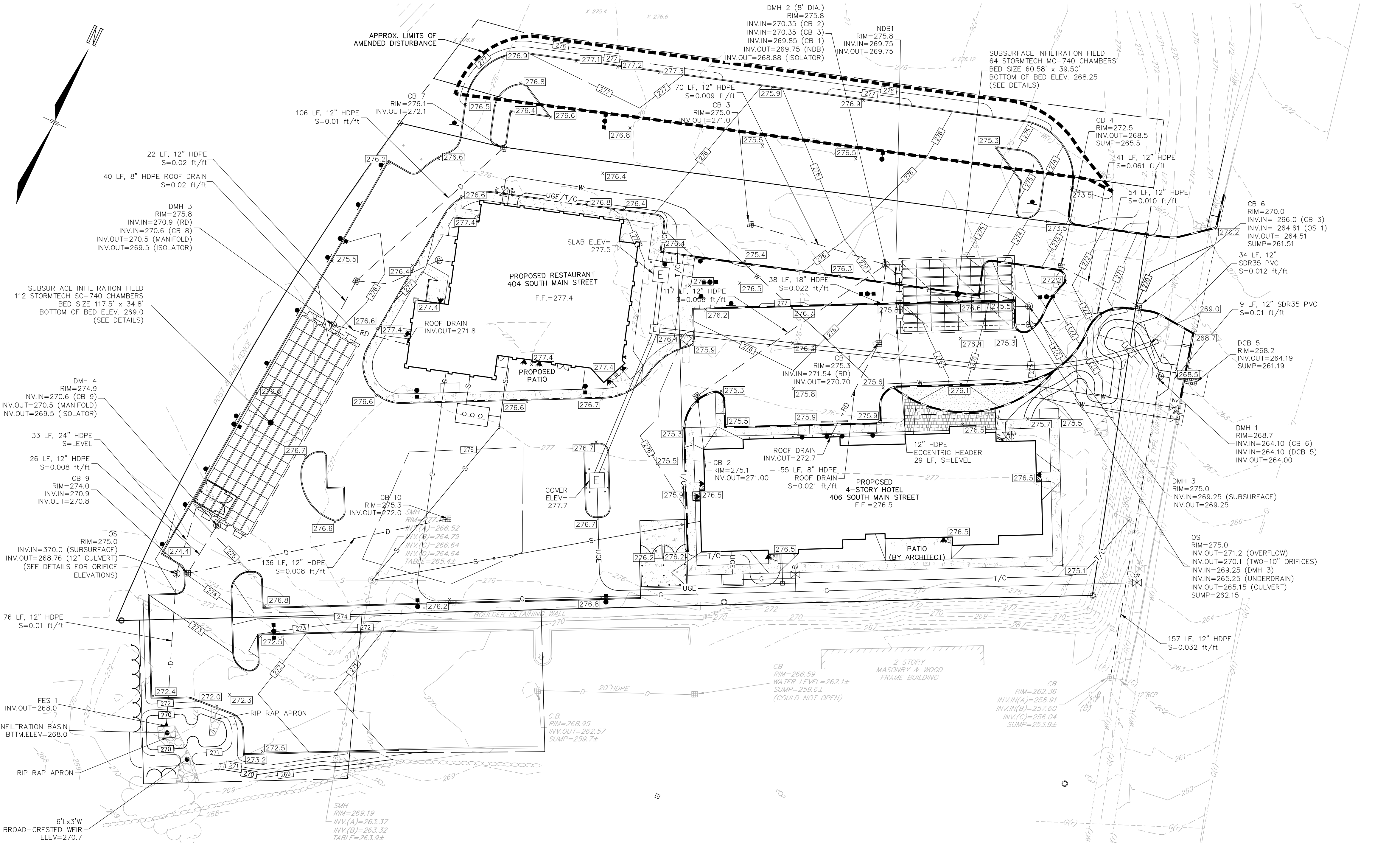
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Civil Engineers
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Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
6. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS; AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
7. STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
8. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
9. ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
11. THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
12. THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
13. THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
14. COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
15. COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
16. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
17. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
18. THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
19. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
20. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
21. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
22. IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
23. IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
24. THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-CONFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
25. TMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
26. THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WO 1500 AS APPLICABLE.
27. AT COMPLETION OF CONSTRUCTION, THE SITE CONTRACTOR SHALL PROVIDE A LETTER CERTIFYING THAT THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS, AND A LETTER STAMPED BY A QUALIFIED ENGINEER THAT THEY HAVE OBSERVED ALL UNDERGROUND DETENTION SYSTEMS, INFILTRATION SYSTEMS, OR FILTERING SYSTEMS PRIOR TO BACKFILL, AND THAT SUCH SYSTEMS CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS.
28. IF ANY DEVIATIONS FROM THE APPROVED PLANS AND SPECIFICATIONS HAVE BEEN MADE, THE SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS STAMPED BY A LICENSED SURVEYOR OR QUALIFIED ENGINEER ALONG WITH A LETTER STAMPED BY A QUALIFIED ENGINEER DESCRIBING ALL SUCH DEVIATIONS, AND BEAR ALL COSTS FOR PREPARING AND FILING ANY NEW PERMITS OR PERMIT AMENDMENTS THAT MAY BE REQUIRED.



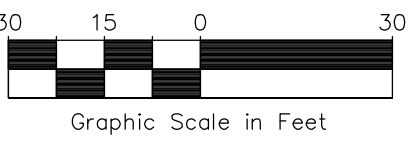
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CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION



REV.	DATE	DESCRIPTION	DR	CK
10	1/15/20	EXPANDED NHDOT LEASED PARKING	JB	NG
9	7/12/19	REVISED PER ARCHITECT	JB	NG
6	5/22/19	REVISED PER NOD	JB	NG
5	5/10/19	REVISED PER NHDES COMMENTS	JB	NG
4	3/20/19	REVISED LAYOUT FOR RESTAURANT	JB	NG
3	12/14/18	REVISED PER CITY COMMENTS	JB	NG
1	11/20/18	REVISED LAYOUT	JB	NG

TAX MAP 1 BLOCK 2 LOT 3

GRADING & DRAINAGE PLAN

DAYS INN REDEVELOPMENT

406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE

OWNED BY

CAPITAL HOTEL COMPANY VI, LLC

PREPARED FOR

DUPREY HOSPITALITY

SCALE: 1"=30' **SEPTEMBER 19, 2018**

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
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www.tfmoran.com

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E		CK	NG	CADFILE	95914-01 Site.dwg

SHEET 5 OF 27

CONSTRUCTION GENERAL PERMIT

- THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
- THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP'S), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. IN ADDITION, ONE CAN CONTACT ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

NOTES

- THE PURPOSE OF THIS PLAN IS TO CONSTRUCT A 4-STORY, 85-ROOM HOTEL AND 9,900± RESTAURANT W/547± S.F. PATIO.
- TOTAL SITE AREA: 2.4 AC.
TOTAL AREA OF DISTURBANCE: 3.2± AC. (INCLUDES AREAS ASSOCIATED WITH OFF-SITE PARKING CONSTRUCTION)
- SOILS SHOWN ARE FROM THE SOIL SURVEY OF MERRIMACK AND BELKNAP COUNTY, NH, PREPARED BY USDA-SOIL CONSERVATION SERVICES.
598B - WINDSOR-URBAN LAND COMPLEX, 0-8% SLOPES
- STORM WATER DRAINAGE SYSTEM IS SHOWN ON THE PLAN. SEE GRADING & DRAINAGE PLAN FOR RIM, INVERT, PIPE LENGTH AND SLOPE INFORMATION.
POST-CONSTRUCTION RUNOFF COEFFICIENT: C=0.73
IMPERVIOUS SURFACE AREA: 1.9± AC.
- STABILIZATION PRACTICES FOR EROSION AND SEDIMENTATION CONTROLS:

TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SQUARE FEET. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.

PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 S.F. TALL FESCUE, 0.20 LBS/1,000 S.F. CREEPING RED FESCUE, AND 0.20 LBS/1,000 S.F. BIRDSFOOT TREFOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE IF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.

6. STRUCTURAL PRACTICES FOR EROSION AND SEDIMENTATION CONTROL

SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY OTHERS. POSTS SHALL BE USED WITH AT LEAST 6 INCHES OF THE POST BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 8 INCHES OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.

STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SOILS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20 FEET WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12 INCHES OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARPULIN.

CATCH BASINS - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.

CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.

BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED.

STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.

7. STORM WATER MANAGEMENT

STORM WATER DRAINAGE FOR DEVELOPED AREAS WILL BE COLLECTED BY A PIPE AND CATCH BASIN CLOSED DRAINAGE SYSTEM. APPROXIMATELY 0.03 ACRES OF THE 2.4 ACRE SITE WILL REMAIN UNTOUCHED AND IN ITS NATURAL STATE.

ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.

- A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL CHEMICALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA, AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
 - NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
 - WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
 - MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.

GOOD HOUSEKEEPING:
THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT.

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
- ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
- MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
- TRASH DUMPSTERS SHALL BE GASKETED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS.
- THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:
THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:
THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:
ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

FERTILIZERS:
FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

PAINTS:
ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

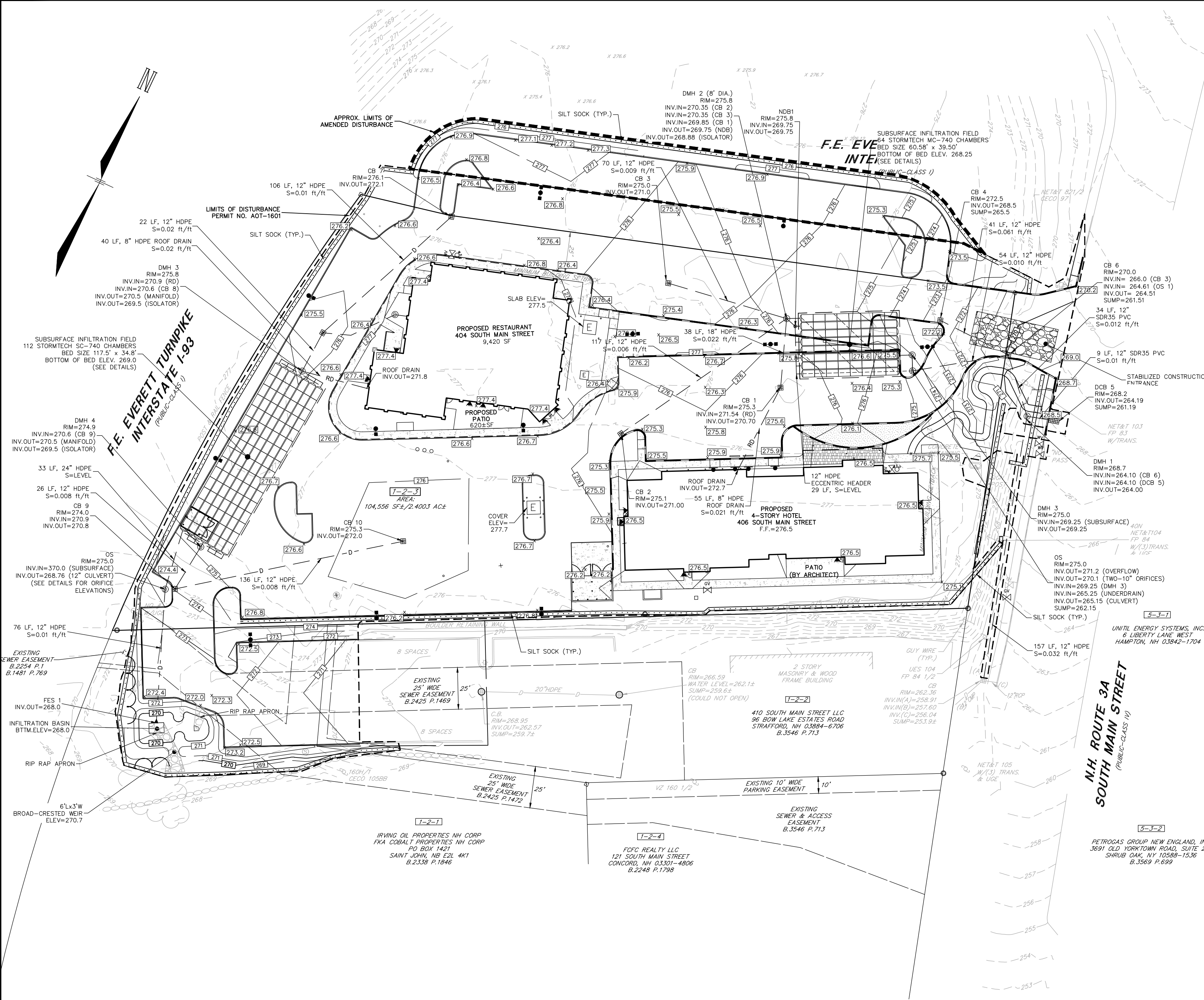
CONCRETE TRUCKS:
EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PAD. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.

SPILL CONTROL PRACTICES:
IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

- MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SPILL.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
- THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.

10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.

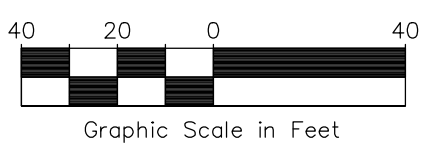
11. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCH OR GREATER. INSPECTIONS REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.



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TAX MAP 1 BLOCK 2 LOT 3

STORM WATER MANAGEMENT PLAN

DAYS INN REDEVELOPMENT

406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE

OWNED BY

CAPITAL HOTEL COMPANY VI, LLC

PREPARED FOR

DUPREY HOSPITALITY

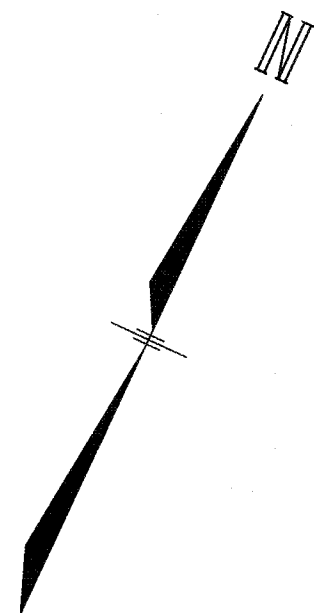
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SEPTEMBER 19, 2018

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

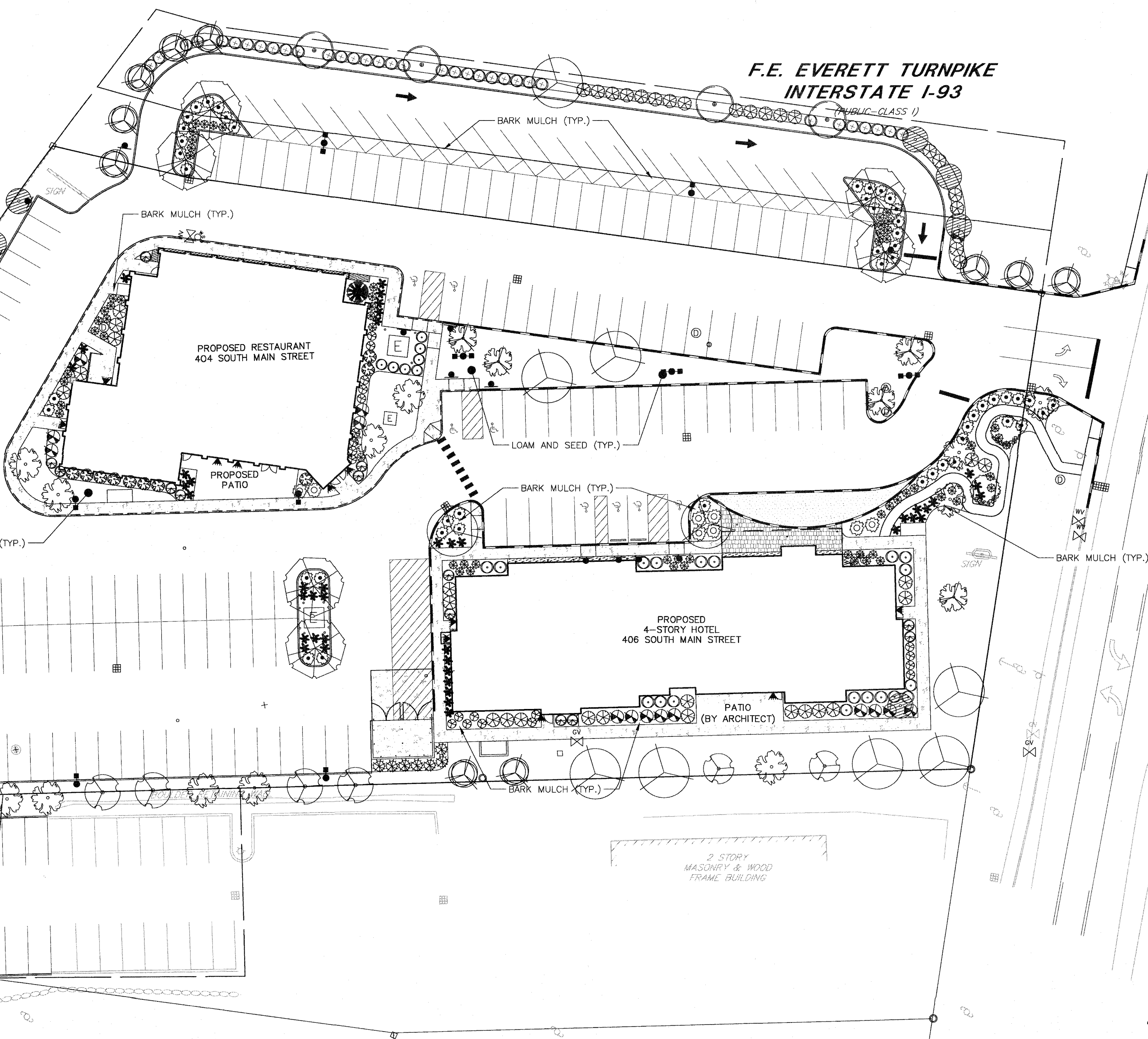
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CK NG CADFILE SHEET 10 OF 27



F.E. EVERETT TURNPIKE
INTERSTATE I-93
(PUBLIC-CLASS I)

PROPOSED TREELINE
SIGN



N.H. ROUTE 3A
SOUTH MAIN STREET
(PUBLIC-CLASS IV)



LANDSCAPE NOTES

(SEE DETAILS FOR ADDITIONAL NOTES)

GENERAL

- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
- THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
- ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
- ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.

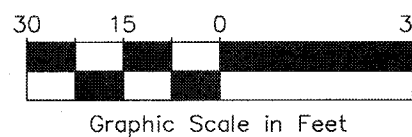
- ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
- ALL LANDSCAPED AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SEE IRRIGATION NOTES.
- IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE/LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
- REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.



LANDSCAPE LEGEND

SYMBOL	QTY	BOTANICAL NAME COMMON NAME	SIZE	REMARKS
	11	ACER RUBRUM 'BOWHALL' BOWHALL RED MAPLE	2 1/2" TO 3" CAL.	B&B
	14	ACER SACCHARUM 'SUGAR CONE' SUGAR CONE MAPLE	2 1/2" TO 3" CAL.	B&B
	2	AMELANCHIER G. 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY	2 1/2" TO 3" CAL.	B&B
	8	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' CRIMSON CLOUD HAWTHORN	2 1/2" TO 3" CAL.	B&B
	9	GLEDITSIA T.L. 'SKYLINE' SKYLINE HONEYLOCUST	2 1/2" TO 3" CAL.	B&B
	4	MAACKIA AMURENSIS AMUR MAACKIA	2 1/2" TO 3" CAL.	B&B
	12	MALUS ZUMI 'CALOCARPA' REDBUD CRABAPPLE	2 1/2" TO 3" CAL.	B&B
	12	PLATANUS ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE	2 1/2" TO 3" CAL.	B&B
	15	QUERCUS PALUSTRIS 'GREEN PILLAR' GREEN PILLAR OAK	2 1/2" TO 3" CAL.	B&B
	1	ABIES CONCOLOR 'BLUE CLOAK' BLUE CLOAK FIR	8' TO 10'	B&B
	32	ILEX MESERVEAE 'BLUE PRINCESS' BLUE PRINCESS HOLLY	4' TO 4 1/2'	B&B
	2	ILEX MESERVEAE 'BLUE PRINCE' BLUE PRINCE HOLLY	4' TO 4 1/2'	B&B
	8	JUNIPERUS C. 'PFITZERIANA COMPACTA' COMPACT PFITZER JUNIPER	3 GAL.	CONT.
	58	JUNIPERUS H. 'BAR HARBOR' BAR HARBOR JUNIPER	3 GAL.	CONT.
	13	PINUS M. 'MOPS' MOPS MUGO PINE	3 GAL.	CONT.
	26	TAXUS M. 'HICKSII' HICK'S YEW	2 1/2" TO 3'	B&B
	7	THUJA O. 'SMARAGD' EMERALD GREEN ARBORVITAE	5' TO 6'	B&B
	44	CORNUS ALBA 'IVORY HALO' IVORY HALO DOGWOOD	4' MIN.	B&B
	10	CORNUS SERICEA 'ARCTIC FIRE' ARCTIC FIRE RED-OSIER DOGWOOD	3' TO 3 1/2'	B&B
	15	FORSYTHIA 'N.H. GOLD' NEW HAMPSHIRE GOLD FORSYTHIA	3' TO 4'	B&B
	20	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' LITTLE DEVIL NINEBARK	3 GAL.	CONT.
	64	SPIRAEA J. 'LITTLE PRINCESS' LITTLE PRINCESS SPIREA	3 GAL.	CONT.
	50	PENNISETUM ALOPECUROIDES 'HADELN' HADELN FOUNTAIN GRASS	2 GAL.	CONT.
	118	HOSTA 'GOLDEN TIARA' GOLDEN TIARA HOSTA	12" O.C.	CONT.

CALCULATIONS

PARKING AREA SHADE TREES: ONE (1) ORNAMENTAL OR SHADE TREE PER 1,000 SQUARE FEET OF PARKING LOT AREA
TOTAL IMPERVIOUS PARKING AREA = 86,663 SF
TOTAL REQUIRED = 86,663 SF / 1,000 = 86.7 OR 87 TREES
TOTAL PROVIDED = 87 TREES
INTERIOR GREEN SPACE:
TOTAL PROPOSED PARKING LOT AREA = 86,663 SF
REQUIRED GREEN SPACE = 86,663 SF X .05 = 4,333 SF
PROPOSED GREEN SPACE = 7,310 SF (8.4%)

TAX MAP 1 BLOCK 2 LOT 3
LANDSCAPE PLAN
DAYS INN REDEVELOPMENT
406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE
OWNED BY
CAPITAL HOTEL COMPANY VI, LLC
PREPARED FOR
DUPREY HOSPITALITY
SCALE: 1"=30' **SEPTEMBER 19, 2018**



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists
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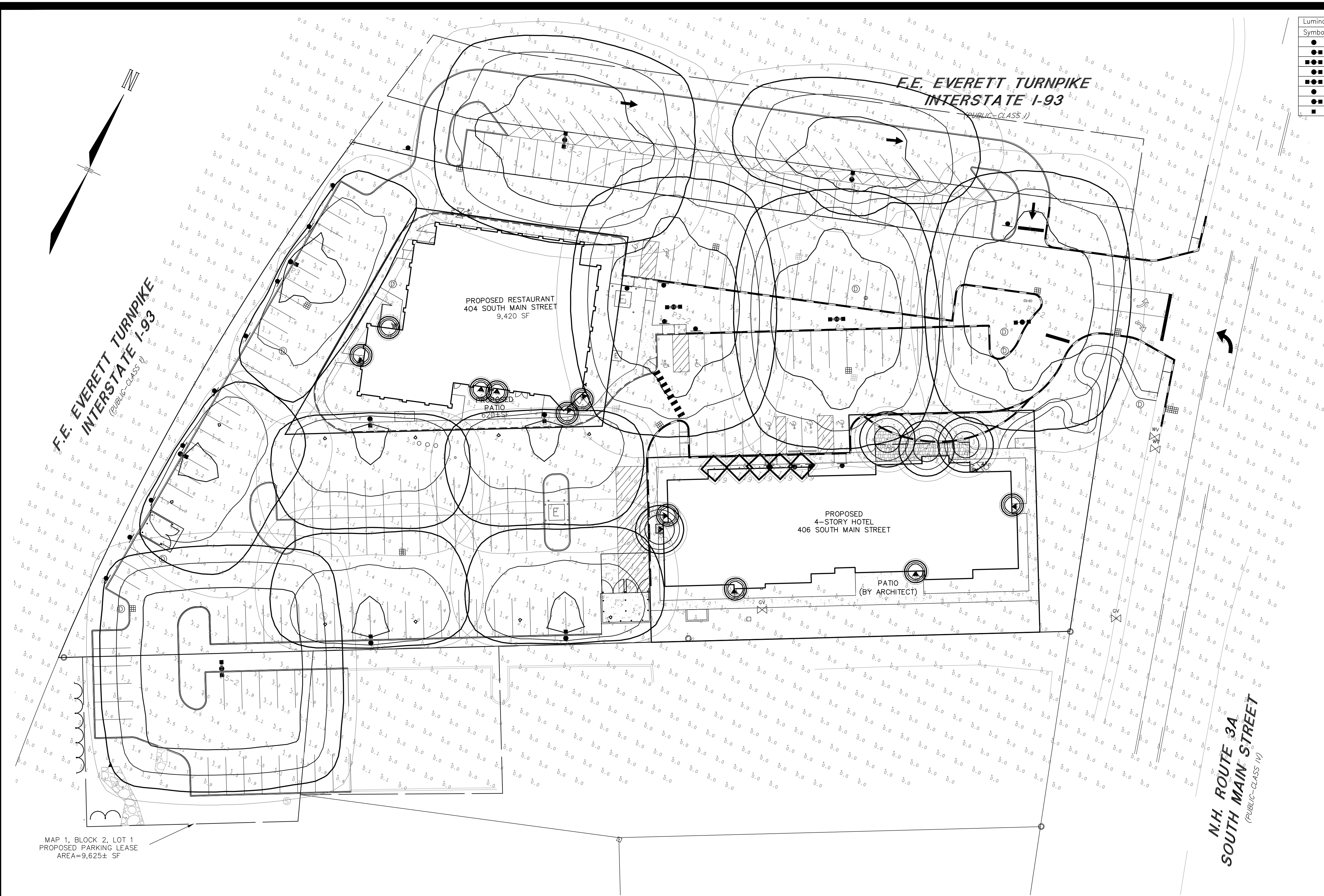
FILE 95914-01 DR JB FB
CK NG CADFILE 95914-01 Site.dwg SHEET 11 OF 27



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Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
●	5	L19	SINGLE	80218023-ERCO
●	1	P3	SINGLE	GLEON-AF-02-LED-E1-SL3-800-HSS/SSS4A20SFN1 MTD. ON 3" PEDESTAL BY OTHERS
●	4	P3-2	BACK-BACK	2- GLEON-AF-02-LED-E1-T3/SSS4A20SFN2 MTD. ON 3" PEDESTAL BY OTHERS
●	5	P4	SINGLE	GLEON-AF-02-LED-E1-SL4-800-HSS/SSS4A20SFN1 MTD. ON 3" PEDESTAL BY OTHERS
●	1	P5-2	BACK-BACK	2- GLEON-AF-03-LED-E1-5MQ-800/SSS4A20SFN2 MTD. ON 3" PEDESTAL BY OTHERS (23' AFG)
●	4	R01	SINGLE	NLCBC65130WW
●	1	T3	SINGLE	GLEON-AF-02-LED-E1-T3/SSS4A20SFN1 MTD. ON 3" PEDESTAL BY OTHERS (23' AFG)
■	10	W	SINGLE	ASPENTI 5 WALL

DRIVES AND PARKING AREAS

Illuminance (Fc)
Average = 1.76
Maximum = 5.6
Minimum = 0.5
Avg/Min Ratio = 3.52
Max/Min Ratio = 11.20



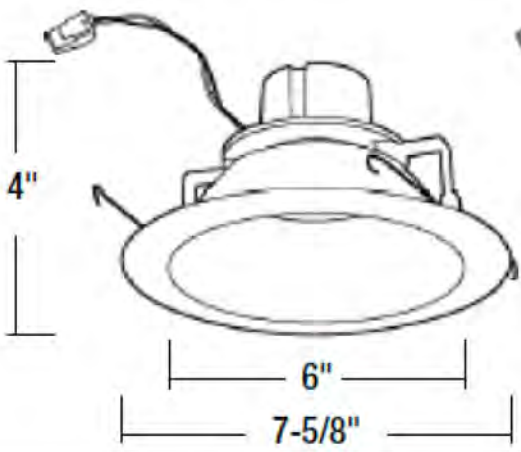
POLE FIXTURE

MCGRAW-GLEON LED



WALL FIXTURE

ASPENTI 5 OUTDOOR



DOWNLIGHT

NLCBC65130WW



DOWNLIGHT

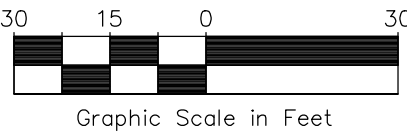
L-19

NOTE

LIGHTING DESIGN AND CALCULATIONS PROVIDED BY CHARRON INC.

TAX MAP 1 BLOCK 2 LOT 3
LIGHTING PLAN
DAYS INN REDEVELOPMENT
406 SOUTH MAIN ST, CONCORD, NEW HAMPSHIRE
OWNED BY
CAPITAL HOTEL COMPANY VI, LLC
PREPARED FOR
DUPREY HOSPITALITY
SCALE: 1"=30' SEPTEMBER 19, 2018

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REV.	DATE	DESCRIPTION	DR	CK
10	1/15/20	EXPANDED NHDOT LEASED PARKING	JB	NG
9	7/12/19	REVISED PER ARCHITECT	JB	NG
4	3/20/19	REVISED LAYOUT FOR RESTAURANT	JB	NG
3	12/14/18	REVISED PER CITY COMMENTS	JB	NG
1	11/20/18	REVISED LAYOUT	JB	NG



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FILE 95914-00 DR JB FB —
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