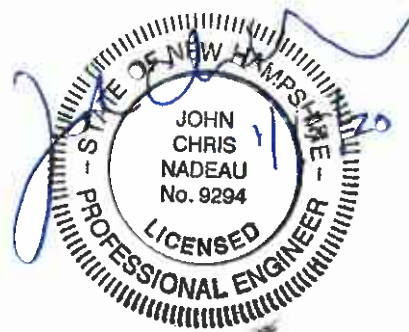




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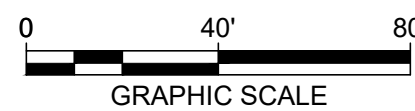
51 ANTRIM AVENUE
CONCORD, NEW HAMPSHIRE

OWNER:
CAPITAL REGIONAL
DEVELOPMENT COUNCIL
91 N. STATE ST. #101
CONCORD, NH 03301

APPLICANT:
CLOAS REALTY
MANAGEMENT, LLC
213 BLAKES HILL RD.
NORTHWOOD, NH 03261

NO.	DATE	DESCRIPTION
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REVISIONS



DATE: JANUARY 2020

NOBIS PROJECT NO. 96380.00

DRAWN BY: MD

CHECKED BY: JCN

CAD DRAWING FILE:

96380.00-C-200-SITE.dwg

SHEET TITLE

SITE OVERVIEW

SHEET

C-1

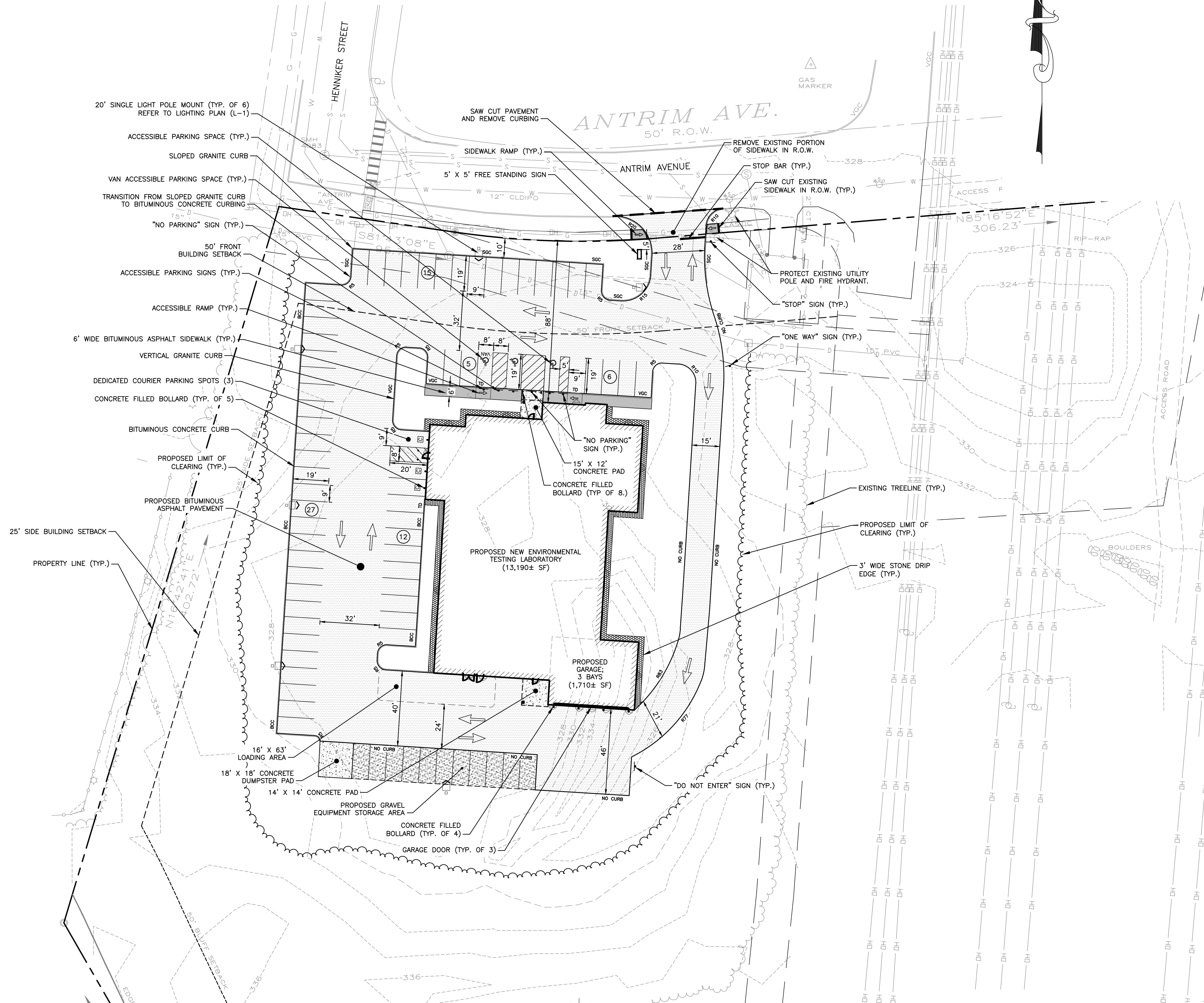
Map 111G, Block 1, Lot 62
Concord Six Associates, LLC
& Eight Grandchildren
Limited Partnership
160 Middlesex Turnpike
Bedford, Ma 01730
Book 3042 Page 1346

Map 111G, Block 1, Lot 2
PUBLIC SERVICE CO. OF NH
P.O. Box 330
Manchester, NH 03105-0330
V. 696 P. 22

Map 111G, Block 1, Lot 63
CAPITAL REGIONAL
DEVELOPMENT COUNCIL
664
Concord, NH 03302
357.30± ACRES
Book 299 Page 1699
Book 299 Page 1187

Map 111G, Block 1, Lot 1
Mahoney Ronald E & Martha
203 Sheep Davis Rd
Concord, NH 03301-8516
Book 1874 Page 0185

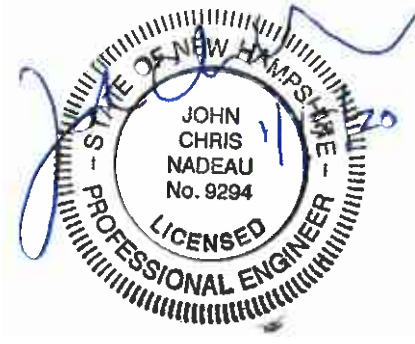
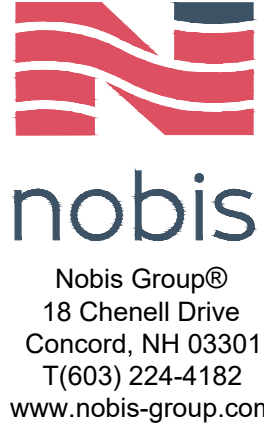
Map 110, Block 1, Lot 6
City of Concord
41 Green Street
Concord, NH 03302
Book 2693 Page 1655



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE LAYOUT FOR THE PROPOSED CONSTRUCTION OF A NEW ENVIRONMENTAL TESTING LABORATORY WITH GARAGE.
 2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
 3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
 4. BASED ON "OVERALL SUBDIVISION PLAN", DATED DECEMBER 8, 2004 BY BURD ENGINEERING ASSOCIATES, AN INSPECTION WAS MADE BY PETER SCHAUER, CERTIFIED WETLANDS SCIENTIST. NO JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT PARCEL BEYOND THE TOP OF THE BLUFF.
 5. PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND SEWER.
 6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 7. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
 8. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
 9. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 10. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

- PLAN REFERENCES:**
1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT OF THE LAND OF THE CAPITAL REGIONAL DEVELOPMENT COUNCIL", DATED JANUARY 2020, PROVIDED TO NOBIS GROUP, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
 2. BUILDING FOOTPRINT REPRESENTS FLOOR PLAN PROVIDED TO NOBIS GROUP, BY LAVALLEE BRENSINGER ARCHITECTS ON JANUARY 7, 2020. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.

SITE DATA			
TAX MAP/BLOCK/LOT:	MAP 111G/BLOCK 1/LOT 63		
ADDRESS:	51 ANTRIM AVENUE CONCORD, NEW HAMPSHIRE		
ZONING DISTRICT:	INDUSTRIAL (IN) DISTRICT AQUIFER PROTECTION (AP) OVERLAY		
TOTAL LOT AREA:	MINIMUM	EXISTING	PROPOSED
	40,000 SF	361,419 SF	361,419 SF (8.29 ACRES) (3.68 AC RESTRICTED, 4.52 AC UNRESTRICTED)
LOT FRONTAGE:	200 FT	508 FT	508 FT
LOT COVERAGE:	307,206 SF	0 SF	51,812 SF
	(85%)	(0%)	(14.3%)
BUILDING AREA:	N/A	0 SF	14,900 SF
			(4.12%)
BUILDING SETBACKS REQUIRED			
FRONT YARD	50'		
SIDE YARD	25'		
REAR YARD	30'		
TOP OF BLUFF	50'		
LANDSCAPING ANALYSIS:			
MAX ALLOWABLE LOT COVERAGE: 307,206 SF (85%)			
PROPOSED LOT COVERAGE: 51,812 SF (14.3%)			
PROPOSED PARKING/SIDEWALK AREA: 36,912 SF (10.2%)			
TOTAL REQUIRED INTERIOR LANDSCAPING: 1,846 SF (5%)			
TOTAL PROPOSED INTERIOR LANDSCAPING: 2,438 SF (6.6%)			
REQUIRED PARKING SPACES:			
OFFICE/WAREHOUSING/INDUSTRIAL FLEX USE			
= 1 SPACE/400 SF GROSS FLOOR AREA			
1 SPACE/400 SF X 14,900 SF = 38 SPACES			
TOTAL SPACES:	REQUIRED	EXISTING	PROPOSED
	38	0	65
ACCESSIBLE SPACES:	2	0	3
*COMPACT SPACES ALLOWED = 25% = 0 SPACES			
PARKING SETBACKS REQUIRED			
FRONT	10'		
SIDE	5'		
REAR	5'		



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51 ANTRIM AVENUE
CONCORD, NEW HAMPSHIRE

OWNER:
CAPITAL REGIONAL
DEVELOPMENT COUNCIL
91 N. STATE ST. #101
CONCORD, NH 03301

APPLICANT:
CLOAS REALTY
MANAGEMENT, LLC
213 BLAKES HILL RD.
NORTHWOOD, NH 03261

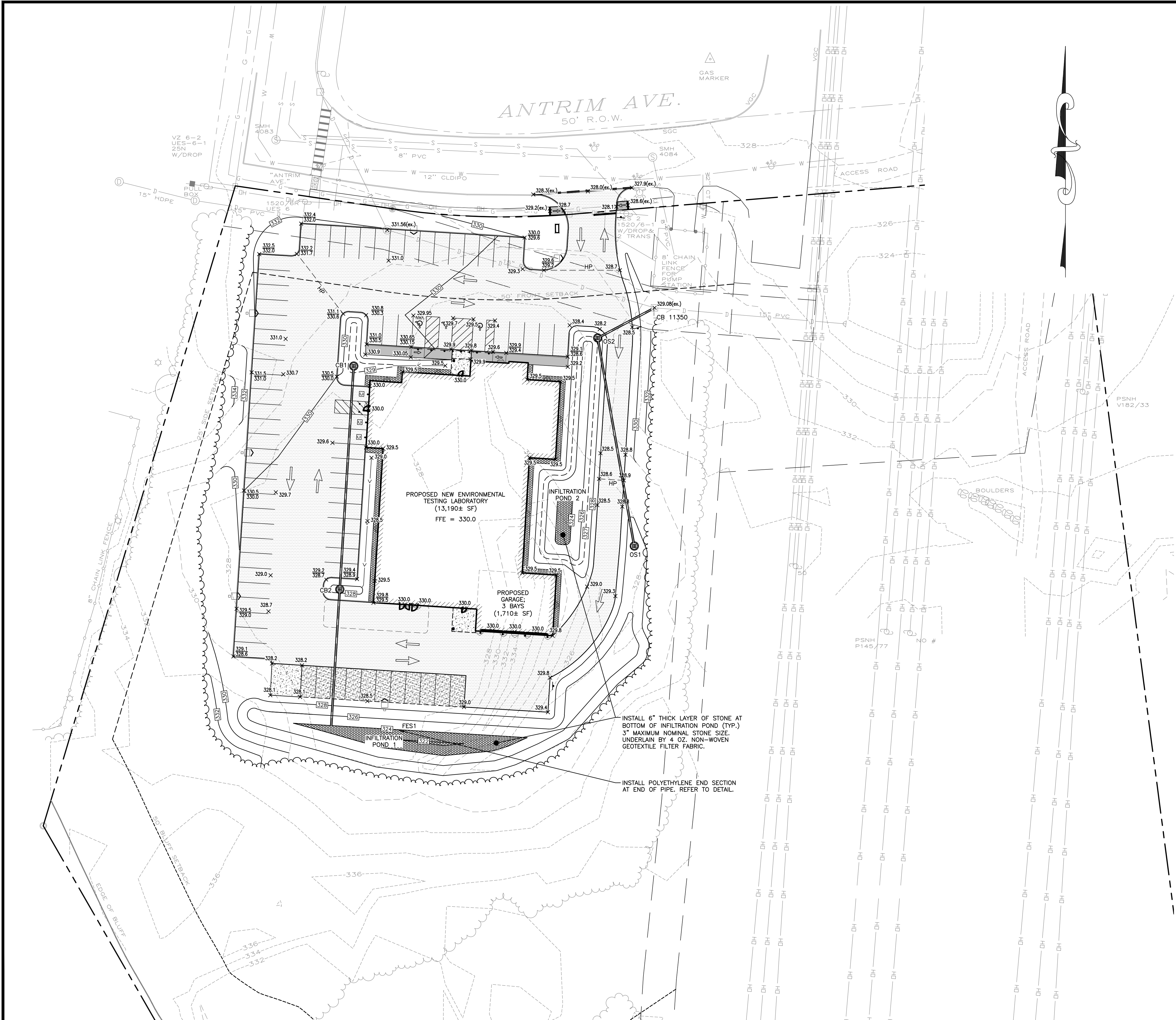
NO.	DATE	DESCRIPTION
REVISIONS		
0 30' 60'		
GRAPHIC SCALE		

DATE:	JANUARY 2020
NOBIS PROJECT NO.	96380.00
DRAWN BY:	MD
CHECKED BY:	JCN
CAD DRAWING FILE:	96380.00-C-200-SITE.dwg

SHEET TITLE
PROPOSED SITE PLAN

SHEET
C-2

J:\96380.00 Eastern Analytical 51 Antrim Ave Concord, NH\CAD\dwg\96380.00-C-300-G&D.dwg / 1/15/2020 10:34 AM



- NOTES:**
1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 5. STONE DRIP EDGE PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
 6. FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT.
 7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.
 8. LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 9. ALL WORK ON SITE, ALL UTILITY WORK AND ALL WORK WITH CITY R.O.W. WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS, LATEST EDITION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 11. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER WILL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
 12. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

DRAINAGE SCHEDULE

CB1 (4' DEEP SUMP)
RIM = 328.7
INV OUT = 325.2
L = 131 LF 12" HDPE (TO CB2)
S = 0.0056 FT/FT

CB2 (4' DEEP SUMP)
RIM = 327.8
INV IN = 324.5
INV OUT = 324.4
L = 80 LF 12" HDPE (TO FES1)
S = 0.0056 FT/FT

FES1
INV. OUT = 323.9

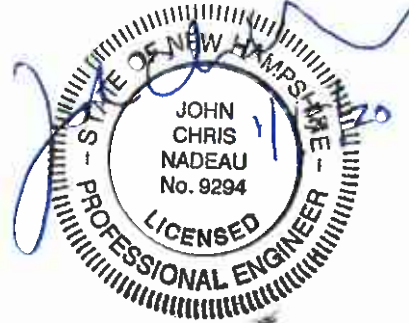
OS1
RIM = 327.7
INV OUT = 325.6
L = 124 LF 12" HDPE (TO OS2)
S = 0.0056 FT/FT

OS2
RIM = 327.7
INV IN = 324.9
INV OUT = 324.8
L = 35 LF 12" HDPE (TO CB 11350)
S = 0.0057 FT/FT

EX. CB 11350
RIM = 329.08
INV IN = 324.58 15" PVC
INV IN (NEW) = 324.6 (FROM OS2)
INV OUT = 324.48 15" PVC



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JOHN CHRIS NADEAU
No. 8294
LICENSED PROFESSIONAL ENGINEER
STATE OF NEW HAMPSHIRE

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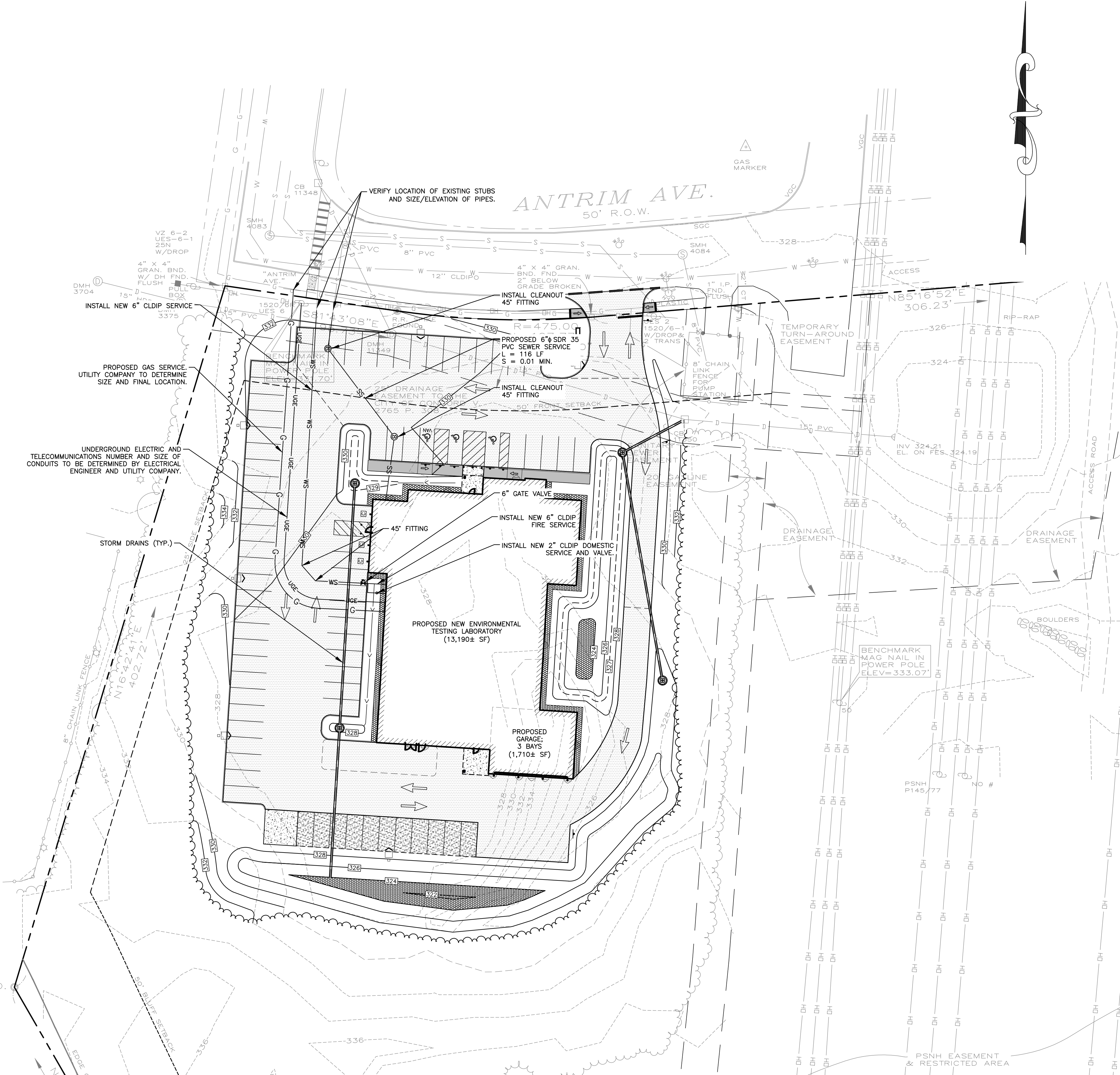
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NORTHWOOD, NH 03261

NO.	DATE	DESCRIPTION
REVISIONS		
		
DATE: JANUARY 2020		
NOBIS PROJECT NO. 96380.00		
DRAWN BY: SM		
CHECKED BY: JCN		
CAD DRAWING FILE: 96380.00-C-300-G&D.dwg		
SHEET TITLE		
GRADING & DRAINAGE PLAN		
SHEET C-3		

3/4" S.P. FND.
10" EXP.

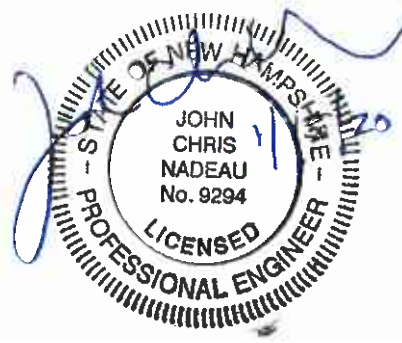


- NOTES:**
1. REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DISSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
 4. LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 5. THERE WILL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE WILL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE. NO SEWER WILL BE LOCATED WITHIN THE WELL PROTECTIVE RADI ESTABLISHED IN ENH-VIS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL. SEWERS WILL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. A DEVIATION FROM THE SEPARATION REQUIREMENTS WILL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENH-WQ 704.06.
 - WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER WILL BE CONSTRUCTED AS FOLLOWS:
 - 5.1. VERTICAL SEPARATION OF THE SEWER AND WATER MAIN WILL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
 - 5.2. SEWER PIPE JOINTS WILL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
 6. THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OF THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 7. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
 8. ALL CONSTRUCTION WILL CONFORM TO THE CITY STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 9. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 10. AS-BUILT PLANS WILL BE SUBMITTED TO THE ENGINEER.
 11. INVERTS AND SHELVES: MANHOLES WILL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS WILL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES WILL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT, AND SHELF WILL CONSIST OF GRADE SS HARD BRICK MASONRY.
 12. FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
 13. WILLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CARBON LOADS.
 14. CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
 15. ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) WILL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
 16. PROPOSED RIM ELEVATIONS OF SANITARY MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
 17. ALL SANITARY SEWER SERVICE LATERALS, FOR FUTURE RESIDENTIAL CONNECTION, WILL END AT THE LIMITS OF THE R.O.W., AS SHOWN ON PLANS AND WILL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
 18. DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
 19. ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS WILL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENH-WQ 700, CONFORMING TO THE FOLLOWING MIN. CRITERIA:
 - ENH-WQ 704.06 GRAVITY SEWER PIPE TESTING:
GRAVITY SEWERS WILL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES WILL BE CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER, AND TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE. DEFLECTION TESTS WILL TAKE PLACE NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION. THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.
 - ENH-WQ 704.09 FORCE MAIN AND PRESSURE SEWER TESTING
WILL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.
 - ENH-WQ 704.17 SEWER MANHOLES:
WILL BE TESTED FOR LEAKAGE USING A VACUUM TEST. TESTING WILL BE CONDUCTED PRIOR TO PLACEMENT OF SHELVES AND INVERTS
 20. SEWERS WILL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A NHDES WAIVER IS NEEDED IF THE MINIMUM REQUIRED DEPTH CANNOT BE MET.
 21. SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE. HOWEVER, THE TOWN REQUEST ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
 22. CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF BITUMINOUS OVERLAY.
 23. SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM TOWN INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
 24. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.



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51 ANTRIM AVENUE
CONCORD, NEW HAMPSHIRE

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213 BLAKES HILL RD.
NORTHWOOD, NH 03261

NO.	DATE	DESCRIPTION
REVISIONS		

0 30' 60'
GRAPHIC SCALE

DATE: JANUARY 2020

NOBIS PROJECT NO. 96380.00

DRAWN BY: MD

CHECKED BY: JCN

CAD DRAWING FILE:
96380.00-C-400-UTILITY.dwg

SHEET TITLE

**UTILITY LAYOUT
PLAN**

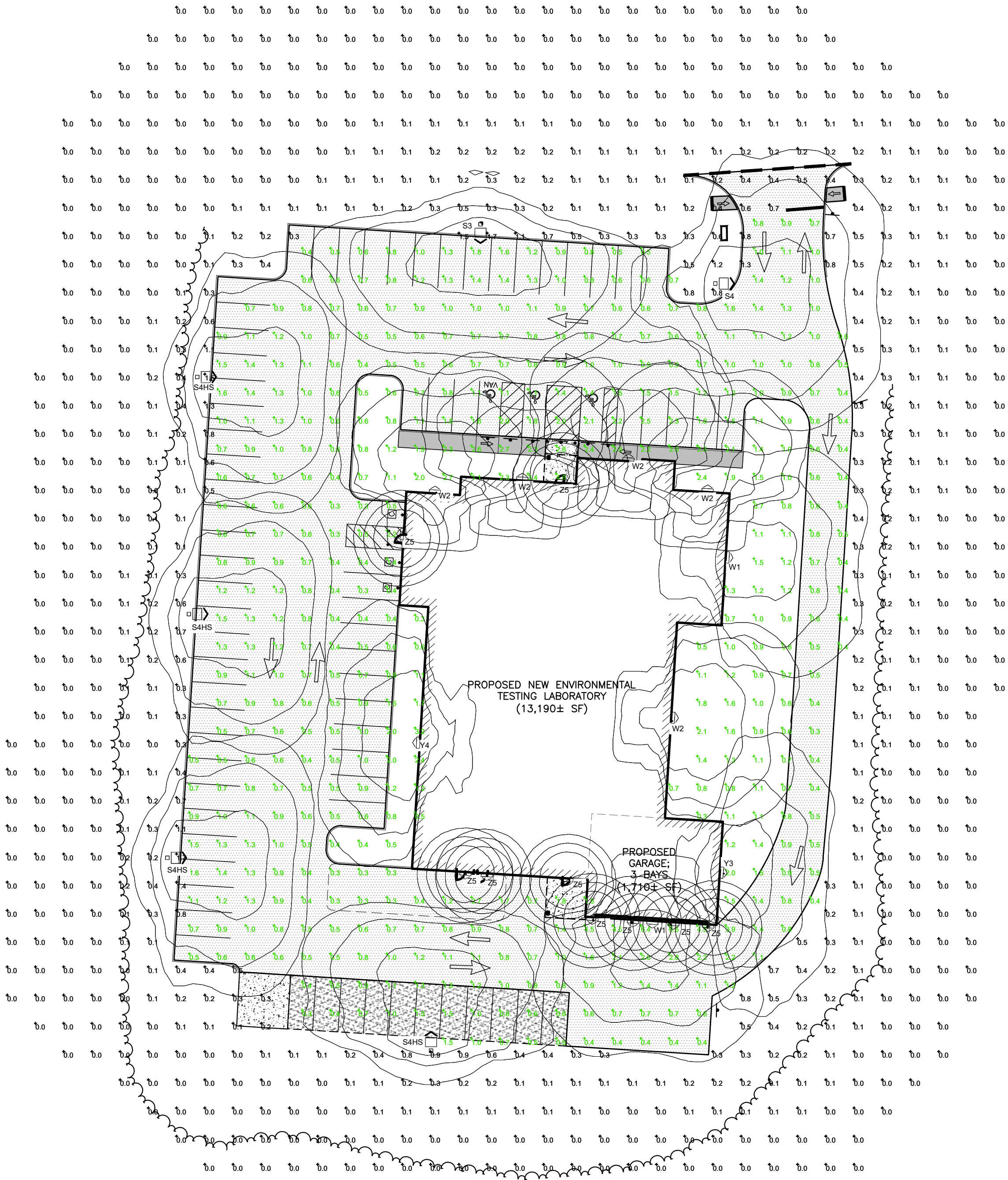
SHEET

C-4

J:\96380.00_Eastern Analytical 51 Antrim Ave Concord, NH\CAD.dwg 96380.00-C-800-LIGHT.dwg 1/15/2020 9:56 AM


DESIGNER:
HEIDI G. CONNORS
VISIBLE LIGHT INC.
24 STICKNEY TERRACE SUITE 6
HAMPTON, NH 03842

DATE: 01/13/2020



Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	S3	1	Lithonia Lighting	DSX0 LED P2 40K T3M MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P2_40K_T3M_MVOL T.ies	5835	0.9	49
	S4	1	Lithonia Lighting	DSX0 LED P2 40K TFTM MVOLT SPA DDBXD with SSS 18 4C DM19AS DDBXD	DSX0 LED Area Fixture; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P2_40K_TFTM_MVO LT.ies	6007	0.9	49
	S4HS	4	Lithonia Lighting	DSX0 LED P2 40K TFTM MVOLT HS SPA DDBXD with SSS18 4C DM19AS DDBXD	DSX0 LED Area Fixture with houseside shield; mounted at 20ft (18ft pole on 2ft base)	LED	1	DSX0_LED_P2_40K_TFTM_MVO LT_HS.ies	4690	0.9	49
	W1	2	Lithonia Lighting	DSXW1 LED 10C 1000 40K TFTM MVOLT DDBXD	DSXW1 LED Wallpack; mounted at 15ft	LED	1	DSXW1_LED_10 C_1000_40K_TF TM_MVOLT.ies	3945	0.9	38.8
	W2	5	Lithonia Lighting	DSXW1 LED 10C 1000 40K TFTM MVOLT DDBXD	DSXW1 LED Wallpack; mounted at 12ft	LED	1	DSXW1_LED_10 C_1000_40K_TF TM_MVOLT.ies	3945	0.9	38.8
	Y3	1	Lithonia Lighting	DSXW1 LED 10C 1000 40K T3M MVOLT	DSXW1 LED Wallpack; mounted at 15ft	LED	1	DSXW1_LED_10 C_1000_40K_T 3M_MVOLT.ies	3873	0.9	38.8
	Y4	1	Lithonia Lighting	DSXW1 LED 10C 1000 40K T3M MVOLT DDBXD	DSXW1 LED Wallpack; mounted at 12ft	LED	1	DSXW1_LED_10 C_1000_40K_T 3M_MVOLT.ies	3873	0.9	38.8
	Z5	9	Lithonia Lighting	OLWX1 LED 13W 40K DDB	13W 4000K LED WALL PACK; mounted at 10ft	LED	1	OLWX1_LED_13 W_40K_DDB.ies	1260	0.9	14



D-Series Size 1 LED Wall Luminaire

Specifications

Luminaire

Width: 13 3/4" (348 mm)
Depth: 10" (254 mm)
Height: 6 3/8" (163 mm)

Back Box (BBW, ELCW)

Width: 13 3/4" (348 mm)
Depth: 10" (254 mm)
Height: 6 3/8" (163 mm)

Weight

12 lbs (5.4 kg)

Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	Size	Color Temp	Lumen Output	Optics	Package	Mounting	Control System
DSXW1 LED	10C	1000K	1000 lm	40K	T3M	Typical Mount	Typical Control

Accessories

DSXW1 LED 10C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED 10C 1000 40K T3M MVOLT DDBTXD

DSXW1 LED 10C 1000 40K T3M MVOLT DDBTXD

NOTES

1. DSXW1 LED is available with PIR, PIR-C, PIR-CV or PIR-CV-CV.

2. DSXW1 LED is available with any low voltage from 12V to 277V (0.004V).

3. Single Pole (SP) requires 0.5" or 1" x 1" mounting plate. Double Pole (DP) requires 2" x 2" or 4" x 4" mounting plate.

4. Only available with 20C, 1000K or 1000K. Not available with PIR or PIR-C.

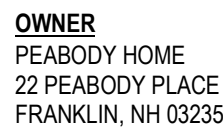
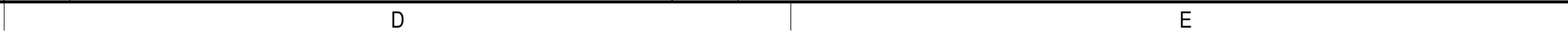
5. Back Box (BBW) is required. Back Box (BBW) is required. Control is required as an accessory.

6. DSXW1 LED is available with 10, 20, 30, 40, 50, 60, 70, 80, 90, 100, 110, 120, 130, 140, 150, 160, 170, 180, 190, 200, 210, 220, 230, 240, 250, 260, 270, 280, 290, 300, 310, 320, 330, 340, 350, 360, 370, 380, 390, 400, 410, 420, 430, 440, 450, 460, 470, 480, 490, 500, 510, 520, 530, 540, 550, 560, 570, 580, 590, 600, 610, 620, 630, 640, 650, 660, 670, 680, 690, 700, 710, 720, 730, 740, 750, 760, 770, 780, 790, 800, 810, 820, 830, 840, 850, 860, 870, 880, 890, 900, 910, 920, 930, 940, 950, 960, 970, 980, 990, 1000, 1010, 1020, 1030, 1040, 1050, 1060, 1070, 1080, 1090, 1100, 1110, 1120, 1130, 1140, 1150, 1160, 1170, 1180, 1190, 1200, 1210, 1220, 1230, 1240, 1250, 1260, 1270, 1280, 1290, 1300, 1310, 1320, 1330, 1340, 1350, 1360, 1370, 1380, 1390, 1400, 1410, 1420, 1430, 1440, 1450, 1460, 1470, 1480, 1490, 1500, 1510, 1520, 1530, 1540, 1550, 1560, 1570, 1580, 1590, 1600, 1610, 1620, 1630, 1640, 1650, 1660, 1670, 1680, 1690, 1700, 1710, 1720, 1730, 1740, 1750, 1760, 1770, 1780, 1790, 1800, 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5130, 5140, 5150, 5160, 5170, 5180, 5190, 5200, 5210, 5220, 5230, 5240, 5250, 5260, 5270, 5280, 5290, 5300, 5310, 5320, 5330, 5340, 5350, 5360, 5370, 5380, 5390, 5400, 5410, 5420, 5430, 5440, 5450, 5460, 5470, 5480, 5490, 5500, 5510, 5520, 5530, 5540, 5550, 5560, 5570, 5580, 5590, 5600, 5610, 5620, 5630, 5640, 5650, 5660, 5670, 5680, 5690, 5700, 5710, 5720, 5730, 5740, 5750, 5760, 5770, 5780, 5790, 5800, 5810, 5820, 5830, 5840, 5850, 5860, 5870, 5880, 5890, 5900, 5910, 5920, 5930, 5940, 5950, 5960, 5970, 5980, 5990, 6000, 6010, 6020, 6030, 6040, 6050, 6060, 6070, 6080, 6090, 6100, 6110, 6120, 6130, 6140, 6150, 6160, 6170, 6180, 6190, 6200, 6210, 6220, 6230, 6240, 6250, 6260, 6270, 6280, 6290, 6300, 6310, 6320, 6330, 6340, 6350, 6360, 6370, 6380, 6390, 6400, 6410, 6420, 6430, 6440, 6450, 6460, 6470, 6480, 6490, 6500, 6510, 6520, 6530, 6540, 6550, 6560, 6570, 6580, 6590, 6600, 6610, 6620, 6630, 6640, 6650, 6660, 6670, 6680, 6690, 6700, 6710, 6720, 6730, 6740, 6750, 6760, 6770, 6780, 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PROJECT TITLE / ADDRESS:
EASTERN ANALYTICAL
LANDSCAPE
51 ANTRIM AVENUE
CONCORD, NH 03301



SCALE: AS NOTED DWN BY: KL
JOB #: 3617 CHK BY: JH

PRINT DATE: 1/10/2020 2:53:44 PM

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SHEET NUMBER: 1 OF 3 ARCHITECTURAL

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