

MAP 481Z LOT 21
JAMES S. COLE REV. TRUST
8 Carpenter Street
Concord, N.H. 03301-5450
VOL. 3601 P. 1841

MAP 481Z LOT 22
LYNN AND DAVID
ANNICCHIARICO REV. TRUST
24 Eastman Street
Concord, N.H. 03301-5473
VOL. 2840 P. 0056

MAP 481Z LOT 16
SEAN MONAHAN
28 Eastman Street
Concord, N.H. 03301-5409
VOL. 3618 P. 0920
Lot area 20,995 Sq. ft. 0.48 Ac.

MAP 481Z LOT 15
PROTESTANT EPISCOPAL
BISHOP N.H.
30 Eastman Street
Concord, N.H. 03301-5409
VOL. 1060 P. 0231

LOCATION MAP
SCALE: 1" = 200'

VICINITY MAP
SCALE: 1" = 1000'

- LEGEND**
- | | | | |
|-----|------------------------|---|--------------------------------------|
| --- | PROPERTY LINE | ● | CONIFEROUS TREE |
| --- | EDGE OF PAVEMENT | ● | SHRUB |
| --- | EDGE OF GRAVEL | ○ | DECIDUOUS TREE |
| --- | OVERHEAD UTILITY LINES | ○ | IRON PIPE OR REBAR |
| --- | DRAINAGE LINE | □ | GRANITE OR CONCRETE BOUND (GB OR CB) |
| --- | SEWER LINE | ○ | UTILITY POLE |
| --- | GAS LINE | ○ | SEWER MANHOLE |
| --- | VGC OR SGC | ○ | DRAIN MANHOLE |
| --- | CONCRETE | ○ | CATCH BASIN |
| --- | | ○ | WATER VALVE |
| --- | | ○ | HYDRANT |

NOTES

- Survey by total station between the dates of March, 29th and April 15th 2019. Control Traverse error of closure is 1:21,334.
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
- Vertical datum is based on NAVD 88.
- Owner of record: Map 481Z Lot 16 Sean Monahan, 28 Eastman Street Concord, N.H. 03301-5409
- Parcel is zoned RN; Building setbacks: front 15', rear 25', and side 10'. Minimum Lot size = 10,000 sq. ft., Minimum frontage = 80', Maximum lot coverage = 50%, Maximum building height = 35'
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The intent of this plat is to show the Existing Conditions of Map 481Z Lot 16

REFERENCES

- Plan entitled "PLOT PLAN PREPARED FOR BISHOP OF THE PROTESTANT EPISCOPAL CHURCH IN N.H." Dated Feb, 8, 1988 by this office and on file here.
- Plan entitled "SUBDIVISION FOR THE BISHOP OF THE PROTESTANT EPISCOPAL CHURCH IN N.H.", Dated April 27, 1973 by this office and recorded at the M.C.R.D. as plan #3250

CERTIFICATIONS

"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000."

CERTIFICATION PER R.S.A. - 676:18, III: "I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

SIGNATURE LICENSE NO. DATE

"I HEREBY CERTIFY THAT I HAVE FILED A COPY OF THIS PLAN WITH THE PLANNING BOARD OF THE CITY OF CONCORD IN ACCORDANCE WITH R.S.A. - 676:18 (IV)."

SIGNATURE LICENSE NO. DATE

EXISTING CONDITIONS PLAT OF THE LAND OF SEAN MONAHAN

PROJECT: MAP 481Z, LOT 16
LOCATION: 28 Eastman Street Concord, N.H.

GRAPHIC SCALE
0' 20' 40'
1" = 20'

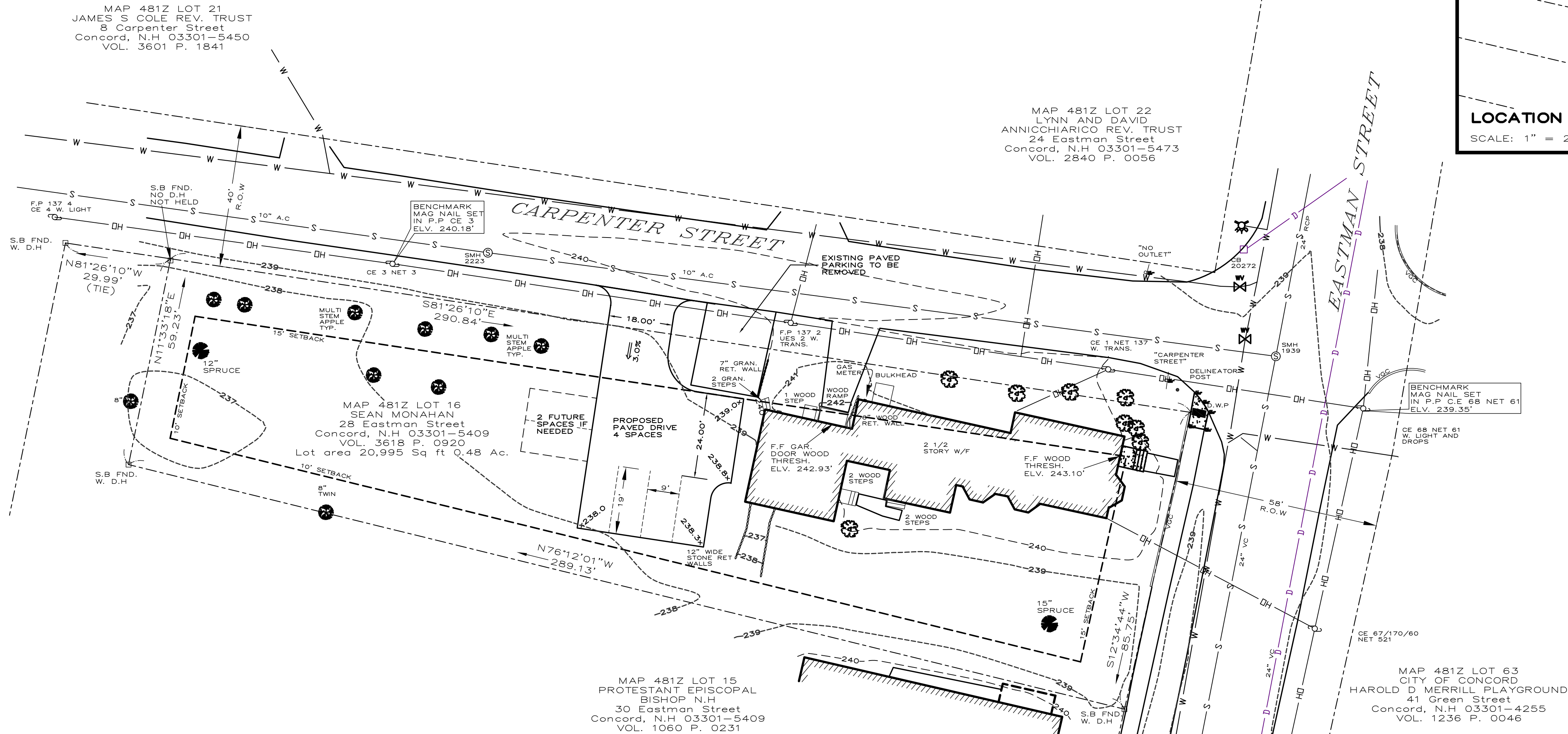
DATE: April 16, 2019

JOB NO.: 319.124

SHEET 1 OF 1

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
info@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

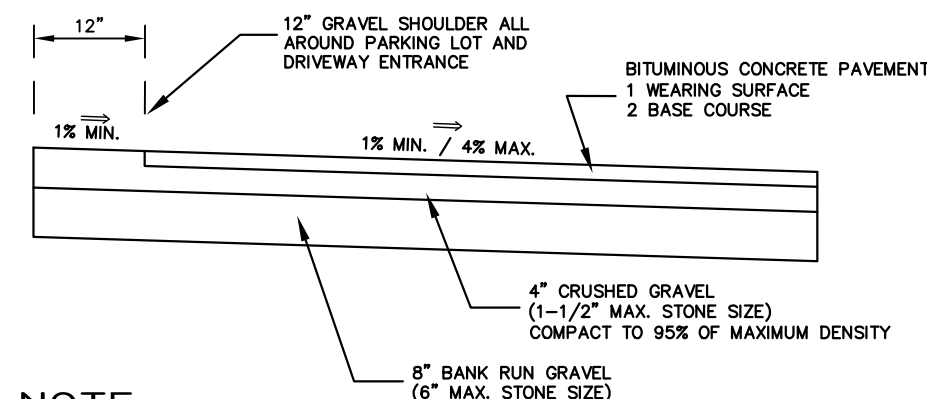


LOCATION MAP
SCALE: 1" = 200'

VICINITY MAP
SCALE: 1" = 1000'

NOTES

- The purpose of this plan is to show a change of use on the property from a two-family dwelling to a three-family dwelling and necessary proposed parking. Existing building footprint is approximately 2410 S.F. The second floor of the barn is currently vacant and to be renovated to a single apartment. No additions are proposed. Total livin area of the three units is 4135 S.F.
- The parking required is 2 spaces per dwelling unit = 6 spaces total. There are two existing spaces and four new spaces proposed.
- The site is serviced by City sewer and water.
- Survey by total station between the dates of March, 29th and April 15th 2019. Control Traverse error of closure is 1:21,334
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
- Vertical datum is based on NAVD 88.
- Owner of record: Map 481Z Lot 16 Sean Monahan, 28 Eastman Street Concord, N.H. 03301-5409
- Parcel is zoned RN; Building setbacks: front 15', rear 25', and side 10'. Minimum Lot size = 10,000 sq. ft., Minimum frontage = 80', Maximum lot coverage = 50%, Maximum building height = 35'
- The maximum allowable coverage is 50% of the lot area. The total building, pavement, and walkways shown is approximately 4850 S.F. equal to 23.1% of the total lot area.
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The NRCS Web Soil Survey indicates that the soils on this site are identified as 498, Urban Land - Pootatuck. There are no wetlands on the property



NOTE

- ALL PAVEMENT, BASE MATERIALS, AND WORKMANSHIP SHALL BE IN COMPLIANCE WITH N.H.D.O.T. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" APPROVED AND ADOPTED.
- SUB-BASE SHALL BE A MINIMUM OF 8 INCHES OF APPROVED BANK RUN GRAVEL WITH NO PARTICLE GREATER THAN 8 INCHES IN DIAMETER AND BOTTOM SLOPE SHALL BE 1/4 INCH PER FOOT. BASE SHALL BE A MINIMUM OF 4 INCHES OF CRUSHED GRAVEL OR EQUIVALENT, COMPACTED IN PLACE WITH NO PARTICLE GREATER THAN 1.5 INCHES IN DIAMETER AND SLOPE BASE SHALL BE SAME AS ROADWAY SURFACE

TYPICAL PARKING LOT SECTION

NOT TO SCALE



PREPARED BY:
RJB ENGINEERING, LLC
2 GLENDALE ROAD
CONCORD, NH 03301
PH. 603-219-0194

NO.	DATE	REVISION
1.	7/10/19	ADD FUTURE PARKING

FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

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LICENSED LAND SURVEYORS

SITE PLAN prepared for SEAN MONAHAN

PROJECT: MAP 481Z, LOT 16 LOCATION: 28 Eastman Street Concord, N.H.	
GRAPHIC SCALE 0' 20' 40' 1" = 20'	DATE: April 16, 2019
JOB NO.: 319.124	
SHEET 1 OF 1	