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JUN 03 2019

CITY OF CONCORD

Code Administration

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MAY 23 2019

Planning Division
37 Concord, NH

Concord, New Hampshire 03301 • 225.8580 • Fax 225.8386

CODE ADMINISTRATION

APPLICATION TO ERECT A SIGN

Permit # _____

1) Address where sign is to be erected: 75-77 Fort Eddy Road2) Message as shown on sign: Verizon Sign #1

3)	Property Owner Information	Sign Installer Information	Sign Owner Information
Name >	Joseph Concord New Hampshire Trust 09	Frohling Sign Co.	Same as prop owner
Address >	do Joseph Nison & Joseph P. Nison Trust	711 Executive Blvd Suite G	
City/State/ Zip >	73 Cambridge Rd.	Valley Cottage, NY 10989	
Phone(s) >	Newton, MA	845-623-2258	
E-mail >	02459-2917	mickell4@FrohlingSign.com	

4) Property Information:

GWP1 26 50 ft N/A ft

Zone Building Frontage Lot Frontage

5) Type of Sign: ☐ New ☐ Relocation ☒ Replacement

☐ Freestanding ☐ Monument

☒ Wall ☐ Projecting ☐ Window ☐ Awning ☐ Roof ☐ Marquee ☐ Marker

5) Materials to be used: Aluminum and Acrylic6) How & to what is sign supported: Wall

7) Dimensions of sign: 15 ft x 3'-3 3/4" ft equals 49.7 sf

Length Height Total

8) Height Overall: Ground to bottom of sign _____ ft Ground to top of sign _____ ft

9) Illumination: ☐ None ☐ External ☒ Internal Internally illuminated signs are **NOT** permitted in CVP, IS, UT or any Residential Zones

10) Does sign project over public property or sidewalk? ☒ No ☐ Yes* > _____ ft in

11) How far back is leading edge of sign from any curb face? _____

NOTE: Any applicant for a permit to locate a projecting sign over a public right-of-way, in accordance with this Ordinance, shall file with the Code Administrator, a certificate of insurance indemnifying the City of Concord against any form of liability in a minimum amount as specified by the Finance Director. No permit shall be issued prior to the receipt of said certificate and the permit shall be valid only so long as the certificate remains in effect. The policy shall provide for advance notification to the Code Administrator in the event of cancellation. If the policy should lapse or be cancelled, the applicant shall remove the sign immediately. (Article 28-6-11.a)

12) Does the sign require Design Review? ☒ Yes ☐ No Historic District Review? ☐ Yes ☐ No

*Design review is **required** per Article 28-6-9.f, if any of the following apply:

- I. The sign is to be located in a Performance (P) District
- II. The Development requires Major Site Plan Review, Article 28-9-4.d.1
- III. The sign area is greater than the maximum in Column 1 of Table 28-6-9.a
- IV. The sign is the second or third freestanding sign on a lot.

Continued
on back →



EXISTING SIGNAGE:
EXISTING VERIZON SIGNAGE "V" HEIGHT 24"

EXISTING CONDITION



REVISED CONDITION

OPTICALLY CENTER VERTICALLY
AND HORIZONTALLY WITHIN SIGNBAND

NOTE:
ALL EXISTING, NON-STANDARD, WINDOW GRAPHICS AND SIGNAGE
TO BE REMOVED AND REPLACED WITH NEW STANDARD GRAPHICS.



STORE NUMBER	ADDRESS	SHEET TITLE	DATE	REVISION	PREPARED BY	SHEET NUMBER
	75 - 77 FORT EDDY ROAD CONCORD, NH 03301	SIGN 1 - EAST ELEVATION WALL SIGN RENDERING	2018.10.24		Frohling Sign Co.	5

KEY NOTES

1

2" DEEP, FACE-LIT, FABRICATED
ALUMINUM CHANNEL LETTERS
FLUSH MOUNTED TO WALL

COLORS

A

WHITE ACRYLIC FACES
PLASKOLITE OPTIX 240620
VINYL: 3M DUAL COLOR FILM 3635-2222 BLACK

B

BLACK SATIN TRIM & RETURNS

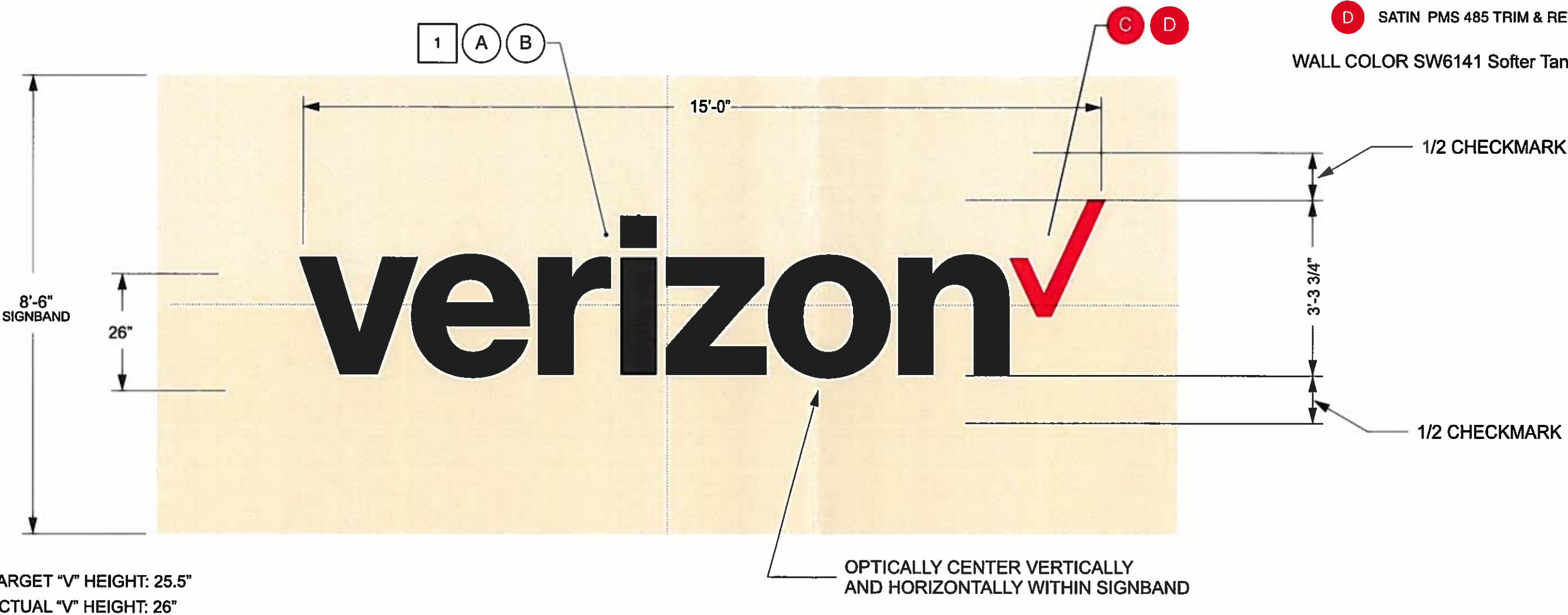
C

TRANSLUCENT POPPY RED 3M 3630-143

D

SATIN PMS 485 TRIM & RETURNS

WALL COLOR SW6141 Softer Tan LRV = 62



STORE NUMBER

ADDRESS

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DATE

REVISION

PREPARED BY

SHEET NUMBER

75 - 77 FORT EDDY ROAD
CONCORD, NH 03301

SIGN 1 - EAST ELEVATION WALL SIGN FABRICATION DETAIL

2018.10.24

Frohling Sign Co.

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Planning Division
37 State Street
Concord, NH

Concord, New Hampshire 03301 • 225.8580 • Fax 225.8586

CODE ADMINISTRATION

APPLICATION TO ERECT A SIGN

Permit # _____

1) Address where sign is to be erected:

75-77 Fort Eddy Road

2)

Message as shown on sign:

VerizonSign #2

3)

Property Owner Information

Sign Installer Information

Sign Owner Information

Name > Joseph Conrad Northrup TutorFrehling Sign Co.Same as prop ownerAddress > do Joseph Northrup & Josephine711 Executive Blvd Suite GCity/State/ Zip > 73 Countryside Rd.Valley Cottage, NY 10989Phone(s) > Newton, MA845-623-2258E-mail > 02459-2917Michelle@FrehlingSign.com

4) Property Information:

GWP1
Zone36 50 ft
Building FrontageN/A ft
Lot Frontage

5)

Type of Sign:

☐ New ☐ Relocation ☒ Replacement☐ Freestanding ☒ Monument (2) Tenant Panel Signs.☐ Wall ☐ Projecting ☐ Window ☐ Awning ☐ Roof ☐ Marquee ☐ Marker

5) Materials to be used:

Vinyl

6) How & to what is sign supported:

7) Dimensions of sign:

(1)

93 1/2" ft x23 1/2" ft

equals

15.3 sf

Length

Height

Total

8) Height Overall:

Ground to bottom of sign _____ ft

Ground to top of sign _____ ft

9) Illumination:

☐ None☐ External☒ InternalInternally illuminated signs are NOT permitted in CVP, IS, UT or any Residential Zones

10) Does sign project over public property or sidewalk?

☒ No☐ Yes* > *

ft in

11)

How far back is leading edge of sign from any curb face?

NOTE: Any applicant for a permit to locate a projecting sign over a public right-of-way, in accordance with this Ordinance, shall file with the Code Administrator, a certificate of insurance indemnifying the City of Concord against any form of liability in a minimum amount as specified by the Finance Director. No permit shall be issued prior to the receipt of said certificate and the permit shall be valid only so long as the certificate remains in effect. The policy shall provide for advance notification to the Code Administrator in the event of cancellation. If the policy should lapse or be cancelled, the applicant shall remove the sign immediately. (Article 28-6-11 a)

12) Does the sign require Design Review?

☒ Yes

No

Historic District Review? ☐ Yes ☐ No*Design review is **required** per Article 28-6-9.f, if any of the following apply:

- I. The sign is to be located in a Performance (P) District
- II. The Development requires Major Site Plan Review, Article 28-9-4.d.1
- III. The sign area is greater than the maximum in Column 1 of Table 28-6-9.a
- IV. The sign is the second or third freestanding sign on a lot.

Continued
on back →

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Planning Division
Concord, NH

Concord, New Hampshire 03301 • 225.8580 • CODE ADMINISTRATION

APPLICATION TO ERECT A SIGN

Permit # _____

1) Address where sign is to be erected:

75-77 Fort Eddy Road

2)

Message as shown on sign:

Verizon

Sign # 3

3)

Property Owner Information

Sign Installer Information

Sign Owner Information

Name >

Joseph Conrad Nulke, Jr. & John P. Nulke, Jr.

Frohling Sign Co.

Same as prop. owner

Address >

10 Joseph Nulke & John P. Nulke, Jr.

711 Executive Blvd, Suite G

City/State/ Zip >

73 Countryside Rd.

Valley Cottage, NY 10989

Phone(s) >

Nulke, MA

603-623-2258

E-mail >

02 459-2917

mickell@FrohlingSign.com

4) Property Information:

GWP

50

ft

ft

Zone

Building Frontage

Lot Frontage

5)

Type of Sign:

☐ New ☐ Relocation ☒ Replacement

☒ Freestanding ☐ Monument

tenant and sign

☐ Wall ☐ Projecting ☐ Window ☐ Awning ☐ Roof ☐ Marquee ☐ Marker

6) Materials to be used:

Vinyl

7) How & to what is sign supported:

8) Dimensions of sign:

144"

ft x

33"

ft

equals

33sf

sf

Length

Height

Total

9) Height Overall:

Ground to bottom of sign

ft

Ground to top of sign

ft

10) Illumination:

☐ None

☐ External

☐ Internal

Internally illuminated signs are **NOT** permitted in CVP, IS, UT or any Residential Zones

11) Does sign project over public property or sidewalk?

☒ No

☐ Yes* > *

ft

in

12)

How far back is leading edge of sign from any curb face?

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12) Does the sign require Design Review?

☒ Yes

☐ No

Historic District Review? ☐ Yes ☐ No

*Design review is **required** per Article 28-6-9.f, if any of the following apply:

I. The sign is to be located in a Performance (P) District

II. The Development requires Major Site Plan Review, Article 28-9-4.d.1

III. The sign area is greater than the maximum in Column 1 of Table 28-6-9.a

IV. The sign is the second or third freestanding sign on a lot.

Continued
on back →



EXISTING CONDITION



REVISED CONDITION

NOTE:
ALL EXISTING, NON-STANDARD, WINDOW GRAPHICS AND SIGNAGE
TO BE REMOVED AND REPLACED WITH NEW STANDARD GRAPHICS.



STORE NUMBER

ADDRESS

SHEET TITLE

DATE

REVISION

PREPARED BY

SHEET NUMBER

75 - 77 FORT EDDY ROAD
CONCORD, NH 03301

SIGN 2 - MONUMENT SIGN RENDERING

2018.10.24

 Frohling Sign Co.

8

KEY NOTES

2

WHITE LEXAN TENANT PANEL WTH
APPLIED VINYL FIELD & LOGO
MOUNTED TO EXISTING
DOUBLE-SIDED SIGN.

COLORS

A

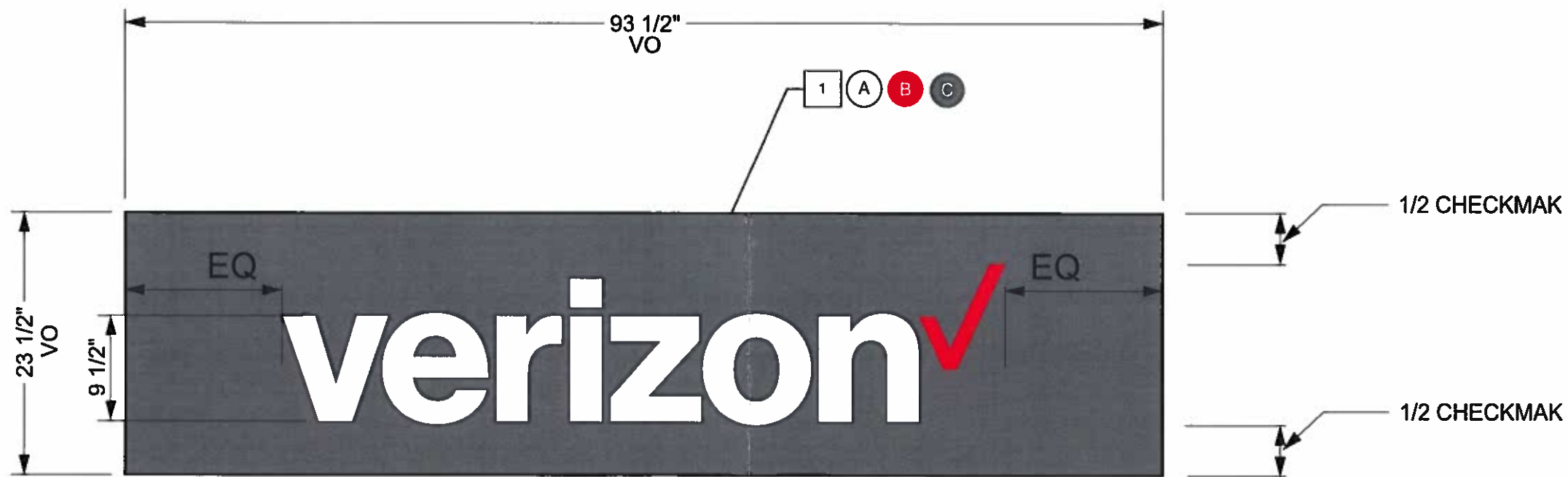
LEXAN PANEL

B

TRANSLUCENT POPPY RED 3M 3630-143

C

3M OPAQUE DARK GRAY 7725-41



STORE NUMBER

ADDRESS

SHEET TITLE

DATE

REVISION

PREPARED BY

SHEET NUMBER

75 - 77 FORT EDDY ROAD
CONCORD, NH 03301

SIGN 2 - MONUMENT SIGN FABRICATION DETAIL

2018.10.08

Frohling Sign Co.

9



EXISTING CONDITION



REVISED CONDITION

NOTE:
ALL EXISTING, NON-STANDARD, WINDOW GRAPHICS AND SIGNAGE
TO BE REMOVED AND REPLACED WITH NEW STANDARD GRAPHICS.



STORE NUMBER

ADDRESS

SHEET TITLE

DATE

REVISION

PREPARED BY

SHEET NUMBER

75 - 77 FORT EDDY ROAD
CONCORD, NH 03301

SIGN 3 - DIRECTIONAL SIGN RENDERING

2018.10.24

 Frohling Sign Co.

10



STORE NUMBER

ADDRESS

SHEET TITLE

DATE

REVISION

PREPARED BY

SHEET NUMBER

75 - 77 FORT EDDY ROAD
CONCORD, NH 03301

STREET / CONTEXT PHOTOS

2018.10.24

Frohling Sign Co.

4

VERIZON LETTERS	
1	0.040 ALUMINUM RETURNS (2" DEPTH); PAINTED MP BLACK SATIN
2	3/4" TRIM CAP: (WITH JEWELITE WASHER HEAD PHILLIPS SCREWS) PAINTED MP BLACK SATIN
3	3/16" ACRYLIC FACE: PLASKOLITE OPTIX 240620 VINYL: 3M™ DUAL COLOR FILM 3635-2222 BLACK
4	LED UNITS (WHITE): SLOAN PRISM #701269-6WS-J1-MB
CHECKMARK LOGO	
1	0.040 ALUMINUM RETURNS (2" DEPTH); PAINTED MP #643 SATIN: PMS 485
2	3/4" TRIM CAP: (WITH JEWELITE WASHER HEAD PHILLIPS SCREWS) PAINTED MP #643 SATIN: PMS 485
3	3/16" ACRYLIC FACE: #7328 WHITE ACRYLIC WITH APPLIED 3M 3630-143 VINYL
4	LED UNITS (RED): PRINCIPAL PL-FS3 RD1-P
IDENTICAL SPECS	
5	UL LISTED HOUSING: SECONDARY WIRING SPLICE POINT (WHEN NEEDED)
6	UL HOUSING W/ SLOAN 701507-MODW 60W PWR SUPPLY (QTY VARIES) DISCONNECT SWITCH FOR DEDICATED PRIMARY POWER CIRCUIT
7	PRIMARY POWER CIRCUIT (PROVIDED/PERMITTED BY OTHERS) TO BE PLACED WITHIN 5 FEET OF CENTER OF SIGN
8	CONDUIT: SECONDARY ELECTRICAL RUN
9	0.063 ALUMINUM BACK: PRECOAT WHITE FINISH
10	MOUNTING HARDWARE: VARIES ON FACADE TYPE AND SUPPORT STRUCTURE
11	WEEP HOLES WITH BAFFES ON INTERIOR

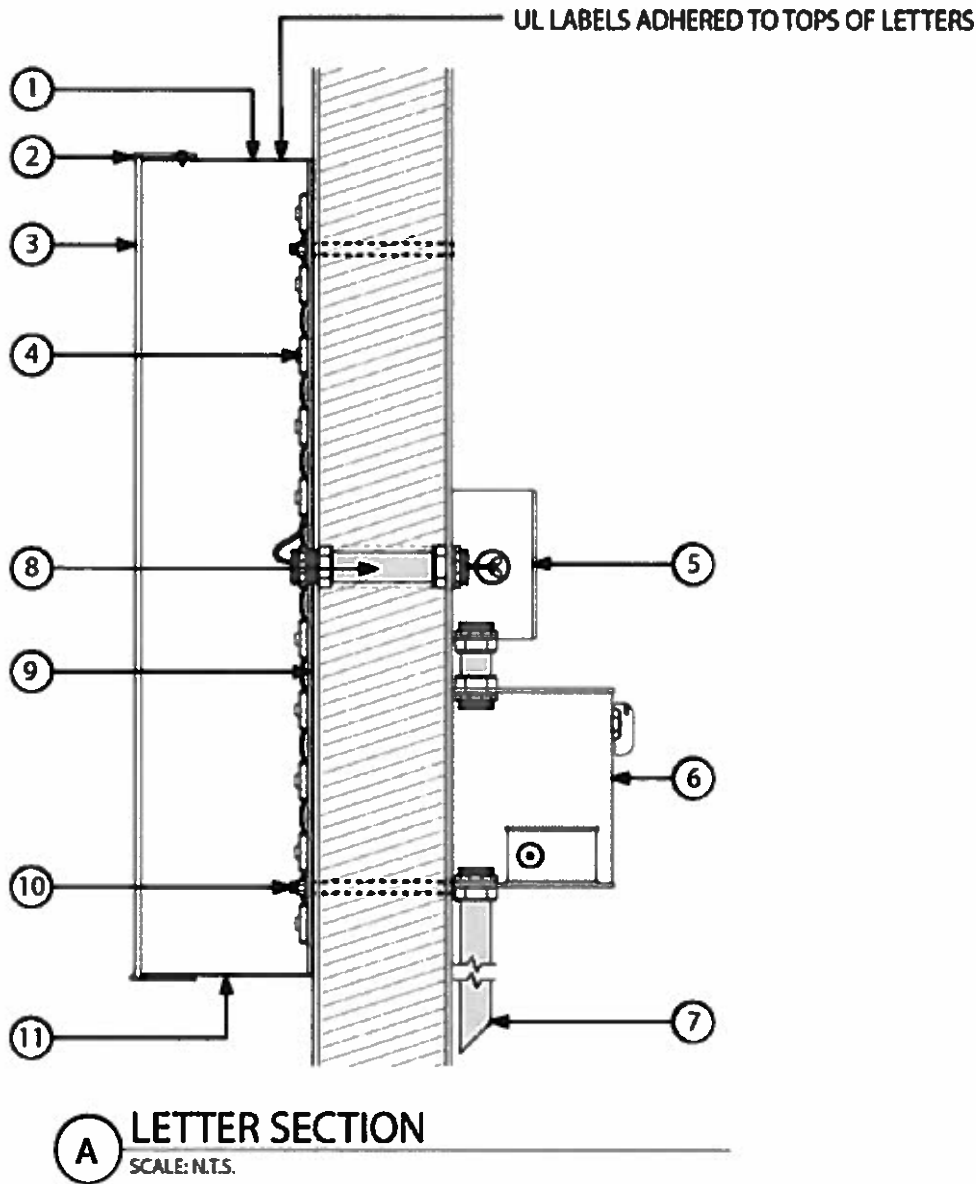


Table 3

Sign Letter Height Lookup Table

Sign Viewing Type
Parallel
Illumination Type
Internal Opaque

Sign Offset from Curb (Feet)	Required Sign Letter Height (Inches)							
	Total Number of Lanes on Roadway							
	1	2	3	4	5	6	7	8
5-9	3	5%	7%	9%	11%	14	16	19
10-14	4	6%	8%	10%	12%	15	17	19
15-19	5%	7%	9%	11%	14	16	18	20
20-24	6%	8%	10%	12%	15	17	19	21
25-29	7%	9%	11%	14	16	18	20	22
30-34	8%	10%	12%	15	17	19	21	23%
35-39	9%	11%	14	16	18	20	22	24%
40-44	10%	12%	15	17	19	21	23%	25%
45-49	11%	14	16	18	20	22	24%	26%
50-54	12%	15	17	19	21	23%	25%	27%
55-59	14	16	18	20	22	24%	26%	28%
60-64	15	17	19	21	23%	25%	27%	29%
65-69	16	18	20	22	24%	26%	28%	30%
70-74	17	19	21	23%	25%	27%	29%	32
75-79	18	20	22	24%	26%	28%	30%	33
80-84	19	21	23%	25%	27%	29%	32	34
85-89	20	22	24%	26%	28%	30%	33	35
90-94	21	23%	25%	27%	29%	32	34	36
95-99	22	24%	26%	28%	30%	33	35	37
100-109	23%	25%	27%	29%	32	34	36	38
110-119	25	27%	29%	32	33%	36	38%	40
120-129	27%	29%	32	33%	36	38%	40	42%
130-139	29%	32	33%	36	38%	40	42%	44%
140-149	32	33%	36	38%	40	42%	44%	47
150-159	33%	36	38%	40	42%	44%	47	49%
160-169	36	38%	40	42%	44%	47	48%	51
170-179	38%	40	42%	44%	47	48%	51	53
180-189	40	42%	44%	47	48%	51	53	55
190-199	42%	44%	47	48%	51	53	55	57
200-219	44%	47	48%	51	53	55	57	59%
220-239	46%	51	53	55	57	59%	61	63%
240-259	53	55	57	59%	61	63%	65%	68
260-279	57	59%	61	63%	65%	68	70%	72
280-299	61	63%	65%	68	69%	72	74	76
300-319	65%	68	69%	72	74	76	78%	80%
320-339	69%	72	74	76	78%	80%	83	84%
340-359	74	76	78%	80%	83	84%	87	89
360-379	78%	80%	83	84%	87	89	91	93
380-399	83	84%	87	89	91	93	95%	97
400+	87	89	91	93	95%	97	99%	101%



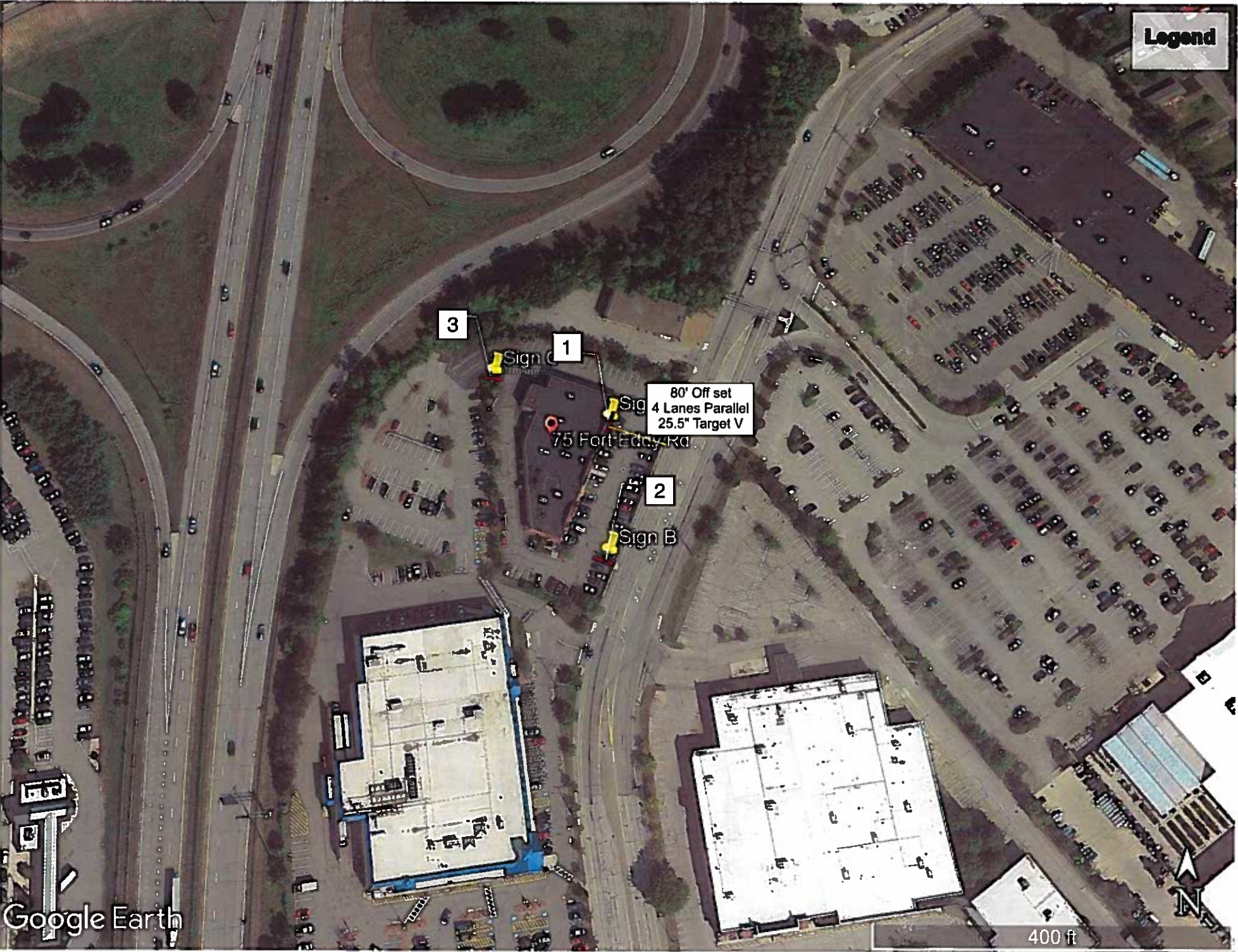
Confidential and proprietary materials for authorized Verizon personnel and outside agencies only. Use, disclosure, or distribution of this material is not permitted to any unauthorized persons or third parties except by written agreement.

Landlord and/or Zoning Restrictions

Concord, NH
Permitted Building Signs. The following building signs are permitted in nonresidential districts:
Maximum Sign Dimensions for Non-Residential Districts.
GWP = 200

- (1) For each building frontage, a maximum of three (3) building signs of any type are permitted provided that the total area of all signs on any side of a building does not exceed the lesser of the following:
- a. An area equal to one square foot per linear foot of building frontage; or
 - b. The maximum area specified in Section 28-6-9(a), Table of Maximum Sign Dimensions for Nonresidential Districts, of this ordinance.
- Where the building frontage is on the side of a building which does not contain the principal public entry to the primary floor of a principal use, the side which does contain the principal public entry may be used as building frontage in lieu of said side which does not contain the principal public entry.






LEGEND		QTY
1	EAST ELEVATION WALL SIGN	1
2	MONUMENT SIGN	1
3	PYLON SIGN	1

KEY

SIGN LOCATION —

BUILDING OUTLINE - - - -


NORTH

