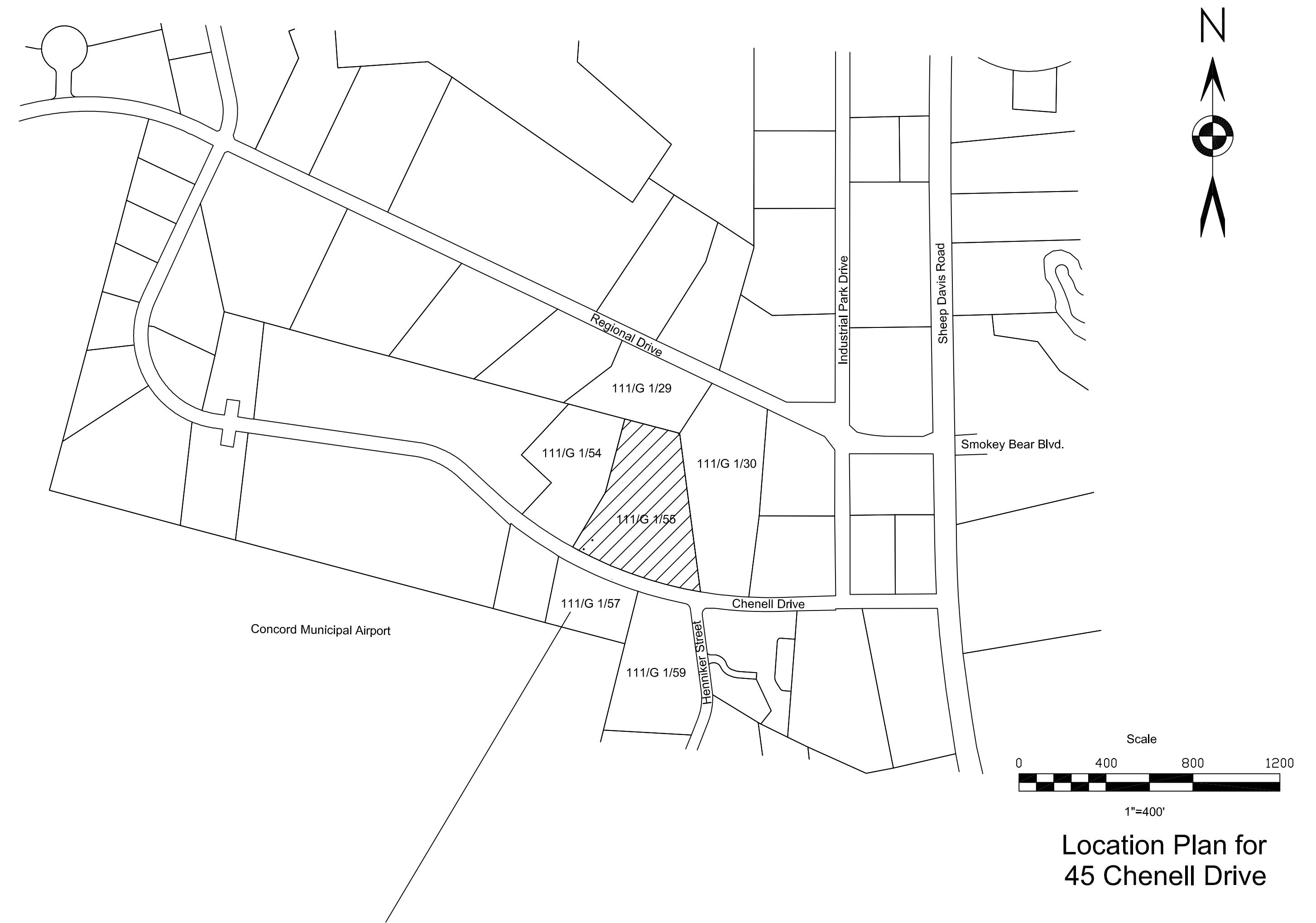
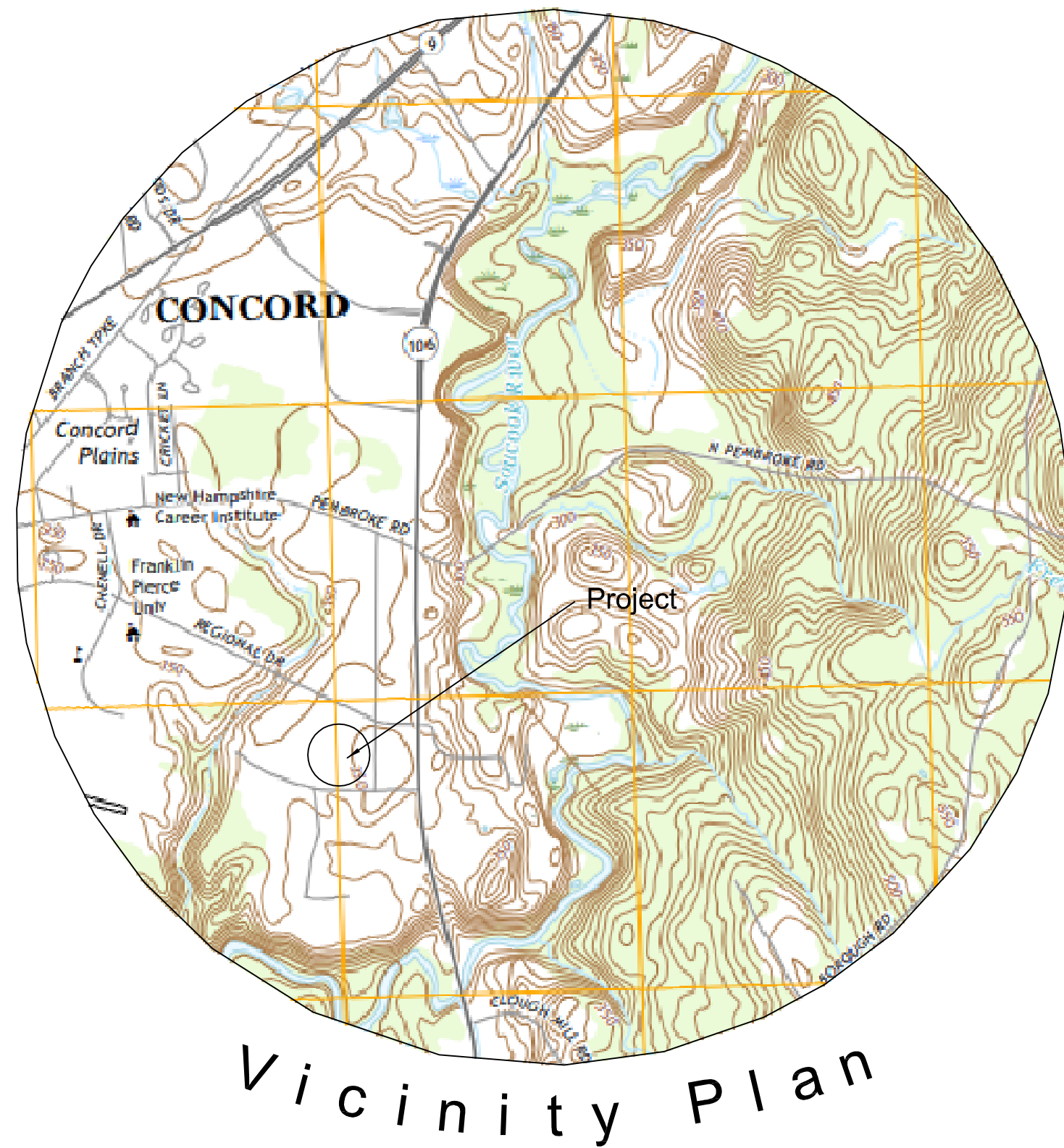
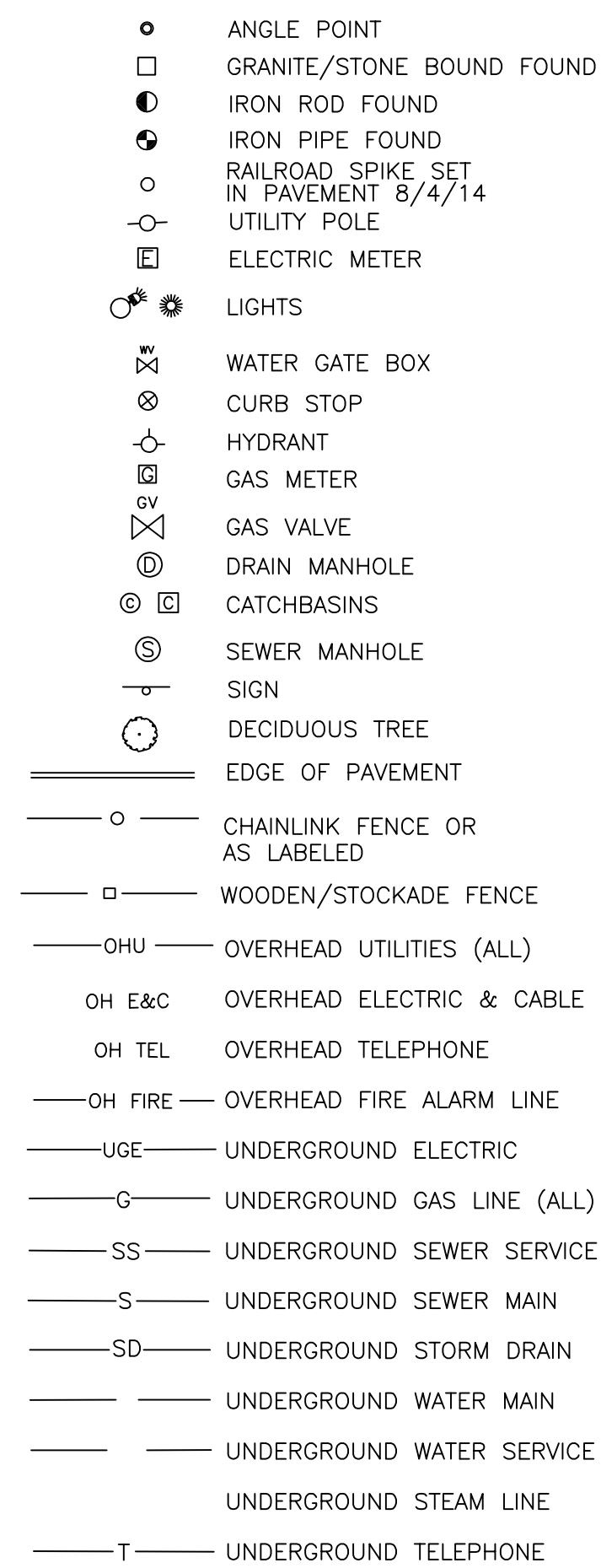
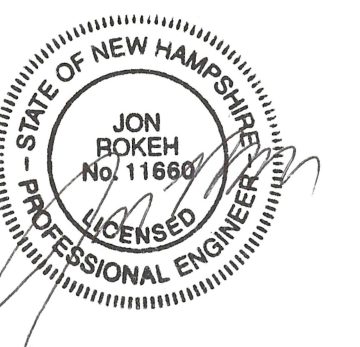


S I T E R E D E V E L O P M E N T P L A N S



		DWG NO.	DESCRIPTION
		1	COVER SHEET
<i>LIST OF CONSULTANTS</i>		2	EXISTING CONDITIONS PLAN (BY BELANGER)
<i>CIVIL ENGINEER</i>	<i>SURVEYOR</i>	3	SITE LAYOUT / DRAINAGE AND GRADING PLAN
JON ROKEH OF ROKEH CONSULTING, LLC 89 KING ROAD CHICHESTER, NH 03258	JACQUES BELANGER OF JE BELANGER LAND SURVEYING 61 OLD HOPKINTON ROAD DUNBARTON, NH 03046	4, 5	CONSTRUCTION DETAILS

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. ROKEH CONSULTING, LLC, MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY UTILITIES WHETHER THEY BE ABOVE OR BELOW GROUND. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 1-800-DIG-SAFE.



DEVELOPER	Vicinity & Location Plans	REVISIONS				SITE ENGINEERING PREPARED BY:		SCALE: NTS
	45 Chenell Drive	DATE	DESCRIPTION	DWN BY	CK BY	Rokeh Consulting, LLC	DR. BY: JR	CK. BY: JR
	Tax parcel 111 / G 1 / 55						DATE: DECEMBER 18, 2018	
	Concord, Merrimack County, New Hampshire						SHEET 1 of 5	
	89 KING ROAD, CHICHESTER, NH 03258							
	PH: 603-387-8688							

RESERVED FOR REGISTRY USE

TAX 111 BLOCK G1 LOT 57
CHENELL DRIVE TRUST
GERALD P. MCCARTHY TRUSTEE
P.O. BOX 100
WEST WAREHAM MA 02576-0100
BOOK 2804 PAGE 378

TAX 111 BLOCK G1 LOT 54
SECURE CARE PRODUCTS REALTY LLC
39 CHENELL DRIVE
CONCORD NH 03301-8501
BOOK 2074 PAGE 1502

BLOCK BUILDING

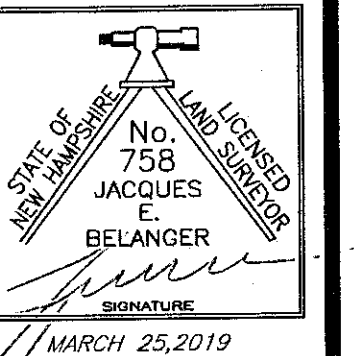
VICINITY MAP

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION.
MARCH 25, 2019
DATE
J.E. BELANGER
LICENSED LAND SURVEYOR

I HEREBY CERTIFY THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY & HAS
A MAXIMUM ERROR OF CLOSURE OF 1:10,000 ON ALL PROPERTY LINES IN &
BORDERING THE SUBJECT PROPERTY.
MARCH 25, 2019
DATE
J.E. BELANGER
LICENSED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY/PLAN IS NOT A SUBDIVISION PURSUANT TO THIS
TITLE & THAT THE LINES OF STREETS & WAYS SHOWN ARE THOSE OF PUBLIC
OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, & THAT NO NEW WAYS
ARE SHOWN.
MARCH 25, 2019
DATE
J.E. BELANGER
LICENSED LAND SURVEYOR



LEGEND

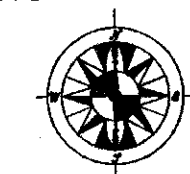
- CONCRETE/GRANITE BOUND
- IRON PIPE/PIN
- DRILL HOLE
- RE-BAR/STEEL PIN
- TEST PIT
- UTILITY POLE
- LOT LINE
- SETBACK LINE
- STREET SIGN
- TREE LINE
- EDGE OF GRAVEL
- 510 CONTOUR
- STONEWALL



EXISTING CONDITIONS
ASBUILT PLAN
TAX MAP 111 BLOCK G1 LOT 55
45 CHENELL DRIVE
CONCORD NH
MERRIMACK COUNTY

OWNED BY:
WHITTEMORE HOLDINGS, LLC
2 BLEVENS DRIVE
CONCORD NH 03301

J.E. BELANGER LAND SURVEYING PLLC
LICENSED LAND SURVEYOR
61 OLD HOPKINTON ROAD, DUNBARTON, NH 03046



* BOUNDARY SURVEYS
* SUBDIVISIONS
* LAND PLANNING
* SEPTIC DESIGN

TEL (603) 774-3601

PLAN DATE FEBRUARY 5, 2019
SCALE 1" = 40'
JN 191960
SHEET A1 OF A1

NOTES:

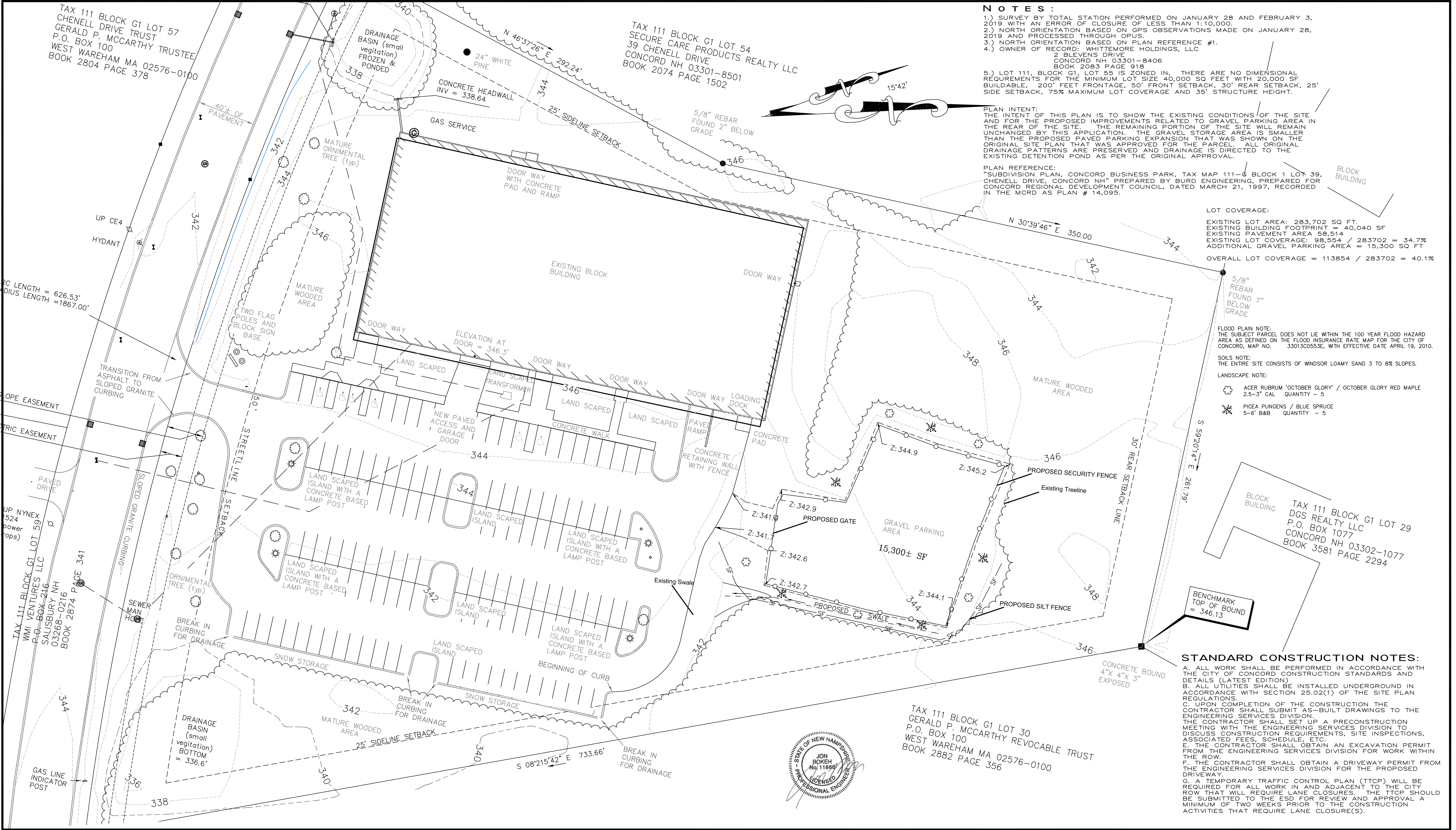
- 1.) SURVEY BY TOTAL STATION PERFORMED ON JANUARY 28 AND FEBRUARY 3, 2019 WITH AN ERROR OF CLOSURE OF LESS THAN 1:10,000.
- 2.) NORTH ORIENTATION BASED ON GPS OBSERVATIONS MADE ON JANUARY 28, 2019 AND PROCESSED THROUGH OPUS.
- 3.) NORTH ORIENTATION BASED ON PLAN REFERENCE #1.
- 4.) OWNER OF RECORD: WHITTEMORE HOLDINGS, LLC
2 BLEVENS DRIVE
CONCORD NH 03301-8406
BOOK 2083 PAGE 918
- 5.) UNDERGROUND UTILITIES SHOWN, WATER, DRAINAGE, ELECTRIC & GAS ARE SHOWN AS APPROXIMATE ONLY, AND ARE BASED ON THE VISIBLE UTILITIES AND THE SITE PLAN PROVIDED TO THIS OFFICE BY ROKH ENGINEERING, LLC.
- 6.) THERE WAS 4-6" OF SNOW ON THE GROUND WHEN THE SURVEY WAS PERFORMED, ANY DISCREPANCIES BETWEEN PLAN AND FIELD SHOULD BE BROUGHT TO OUR ATTENTION.

PLAN INTENT:
THE INTENT OF THIS PLAN IS TO SHOW THE AS-BUILT INFORMATION FOR THE SUBJECT LOT AND NO OTHER REASON.

PLAN REFERENCE:
"SUBDIVISION PLAN, CONCORD BUSINESS PARK, TAX MAP 111-G BLOCK 1 LOT 39, CHENELL DRIVE, CONCORD NH" PREPARED BY BURD ENGINEERING, PREPARED FOR CONCORD REGIONAL DEVELOPMENT COUNCIL, DATED MARCH 21, 1997, RECORDED IN THE MCRD AS PLAN # 14,095.

TAX 111 BLOCK G1 LOT 59
WMI VENTURES LLC
P.O. BOX 216
SALISBURY NH
03268-0216
BOOK 2874 PAGE 341

TAX 111 BLOCK G1 LOT 30
GERALD P. MCCARTHY REVOCABLE TRUST
P.O. BOX 100
WEST WAREHAM MA 02576-0100
BOOK 2882 PAGE 356



NOTES :

1.) SURVEY BY TOTAL STATION PERFORMED ON JANUARY 28 AND FEBRUARY 3, 2019 WITH AN ERROR OF CLOSURE OF LESS THAN 1:10,000.

2.) NORTH ORIENTATION BASED ON GPS OBSERVATIONS MADE ON JANUARY 28, 2019 AND PROCESSED THROUGH CRUS.

3.) NORTH ORIENTATION BASED ON PLAN REFERENCE #1.

4.) OWNER OF RECORD: WHITTEMORE HOLDINGS, LLC
2 BLEVENS DRIVE
CONCORD NH 03301-8406
BOOK 2083 PAGE 918

5.) LOT 111, BLOCK G1, LOT 55 IS ZONED IN. THERE ARE NO DIMENSIONAL REQUIREMENTS FOR THE MINIMUM LOT SIZE 40,000 SQ FEET WITH 20,000 SF BUILDABLE, 200' FEET FRONTAGE, 50' FRONT SETBACK, 30' REAR SETBACK, 25' SIDE SETBACK, 75% MAXIMUM LOT COVERAGE AND 35' STRUCTURE HEIGHT.

PLAN INTENT:
THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF THE SITE AND FOR THE PROPOSED IMPROVEMENTS RELATED TO GRAVEL PARKING AREA IN THE REAR OF THE SITE. THE REMAINING PORTION OF THE SITE WILL REMAIN UNCHANGED BY THIS APPLICATION. THE GRAVEL STORAGE AREA IS SMALLER THAN THE PROPOSED PAVED PARKING EXPANSION THAT WAS SHOWN ON THE ORIGINAL SITE PLAN THAT WAS APPROVED FOR THE PARCEL. ALL ORIGINAL DRAINAGE PATTERNS ARE PRESERVED AND DRAINAGE IS DIRECTED TO THE EXISTING DETENTION POND AS PER THE ORIGINAL APPROVAL.

PLAN REFERENCE:
"SUBDIVISION PLAN, CONCORD BUSINESS PARK, TAX MAP 111-6 BLOCK 1 LOT 39, CHENELL DRIVE, CONCORD NH" PREPARED BY BURD ENGINEERING, PREPARED FOR CONCORD REGIONAL DEVELOPMENT COUNCIL, DATED MARCH 21, 1997, RECORDED IN THE MCRD AS PLAN # 14,095.

LOT COVERAGE:
EXISTING LOT AREA: 283,702 SQ FT.
EXISTING BUILDING FOOTPRINT = 40,040 SF
EXISTING PAVEMENT AREA 58,514
EXISTING LOT COVERAGE: 98,554 / 283,702 = 34.7%
ADDITIONAL GRAVEL PARKING AREA = 15,300 SQ FT
OVERALL LOT COVERAGE = 113854 / 283702 = 40.1%

FLOOD PLAIN NOTE:
THE SUBJECT PARCEL DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD AREA AS DEFINED ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CONCORD, MAP NO. 33013C0553E, WITH EFFECTIVE DATE APRIL 19, 2010.

SOILS NOTE:
THE ENTIRE SITE CONSISTS OF WINDSOR LOAMY SAND 3 TO 8% SLOPES.

LANDSCAPE NOTE:

- ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE
2.5-3" CAL. QUANTITY - 5
- PICEA PUNGENS / BLUE SPRUCE
5-6" B&B QUANTITY - 5

STANDARD CONSTRUCTION NOTES:

A. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS (LATEST EDITION).

B. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 25.02(1) OF THE SITE PLAN REGULATIONS.

C. UPON COMPLETION OF THE CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.

D. THE CONTRACTOR SHALL SET UP A PRECONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULE, ETC.

E. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.

F. THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED DRIVEWAY.

G. A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) WILL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHOULD BE SUBMITTED TO THE ESD FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE LANE CLOSURE(S).

DEVELOPER
MATT BOYER
45 CHENELL DRIVE
CONCORD, NH 03301

PROPOSED SITE AND GRADING PLAN
45 CHENELL DRIVE
TAX MAP 11, BLOCK G1, LOT 55
CONCORD, NEW HAMPSHIRE

DATE	DESCRIPTION	DWN BY	CK BY
	EDITS PER SITE SURVEY PLAN	JR	JR
3-25-19			

SITE ENGINEERING PREPARED BY:
Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH 03258
PH: 603-387-8688

SCALE: 1" =
DATE: DECEMBER 18, 2018

TAX 111 BLOCK G1 LOT 54

1. CONTRACTOR SHALL OBTAIN APPROVAL FROM LANDSCAPE ARCHITECT PRIOR TO PURCHASING AND/OR INSTALLING SUBSTITUTE PLANT MATERIAL PRIOR TO PURCHASE OF ANY SUBSTITUTE MATERIALS.

4. CONTRACTOR TO REMOVE ALL DEBRIS GENERATED BY PLANT INSTALLATION. DEBRIS TO BE DISPOSED OF IN A LEGAL MANNER.

6. ALL BEDS TO BE MULCHED WITH 4" DEPTH SHREDDED BARK MULCH UNLESS NOTED OTHERWISE.

7. CONTRACTOR TO PROVIDE NECESSARY TEMPORARY IRRIGATION IF NEEDED BASED ON TIME OF YEAR THE PROJECT IS IMPLEMENTED.

311 kast hill road
hopkinton nh 03229
603. 491. 2322
terrainplanning.com

Site Location:
45 Chenell Drive
Concord, NH 03301
Tax Map: 11
Block: G1
Lot #: 55

LANDSCAPE PLAN

DATE: 04 - 17 - 19

SCALE: 1" = 30'


PROJECT #: 1922

Drawn By: RNM

Checked By: ERB

REVISIONS: _____ DATE: _____
Issued for Client Review

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REQUIRED: 1 SHADE TREE/1,000 SF OF PARKING
15,000 SF OF PARKING/1,000 = 15 SHADE TREES REQUIRED

PROPOSED: 15 SHADE TREES PROVIDED

Plant Schedule		Size	Label	Quantity	Mature Height
Botanical Name / Common Name					
Trees					
<i>Acer rubrum</i>	'October Glory' / October Glory Red Maple	2.5-3" Cal.	PR	6	40-60'
<i>Picea glauca</i>	White Spruce	6-7" B&B	AG	6	40-60'
<i>Quercus palustris</i>	/ Pin Oak	2.5-3" Cal.	QP	4	60+
<i>Syringa reticulata</i>	/ Japanese Lilac Tree	2.5-3" Cal.	SR	5	20-30'

NOTES:

1. GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.

2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT

3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
4. TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.

5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
6. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

1. DO NOT STAKE EVERGREEN TREES.
2. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
3. TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.

EVERGREEN TREE PLANTING



- STRUCTURES ARE TEMPORARY AND ARE TO BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS EXPIRED, WHEN A SOLID STAND OF GRASS HAS GROWN AND STABILIZED.

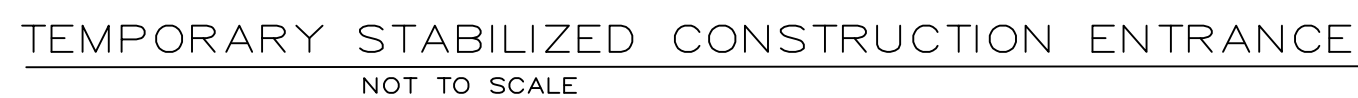
CONSTRUCTION NOTES

1. THE FOUNDATION AREA OF THE WATERWAY SHALL BE CLEARED AND GRUBBED OF ALL TREES, BRUSH, STUMPS AND OTHER OBJECTIONABLE MATERIAL. MATERIALS REMOVED SHALL BE DISPOSED OF SO THEY DO NOT INTERFERE WITH THE CONSTRUCTION OR PROPER FUNCTION OF THE WATERWAY.
2. THE WATERWAY SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE, AND CROSS SECTION AS REQUIRED TO MEET THE DESIGN CRITERIA. THE WATERWAY SHALL BE FREE OF IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.
3. EARTH FILLS REQUIRED TO MEET SUBGRADE REQUIREMENTS BECAUSE OF OVER EXCAVATION OR TOPOGRAPHY SHALL BE COMPACTED TO THE SAME DENSITY AS THE SURROUNDING SOIL TO PREVENT UNEQUAL SETTLEMENT. THAT COULD CAUSE DAMAGE TO THE COMPLETED WATERWAY. EARTH REMOVED AND NOT NEEDED IN CONSTRUCTION SHALL BE SPREAD OR DISPOSED OF SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE WATERWAY.
4. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE EROSION AND AIR AND WATER POLLUTION. ALL APPROPRIATE STATE AND LOCAL LAWS AND REGULATIONS SHALL BE COMPLIED WITH FOR DESIGN AND INSTALLATION.
5. THE WATERWAY SHALL BE STABILIZED USING THE APPROPRIATE "BEST MANAGEMENT PRACTICES" FOR VEGETATIVE MEASURES.

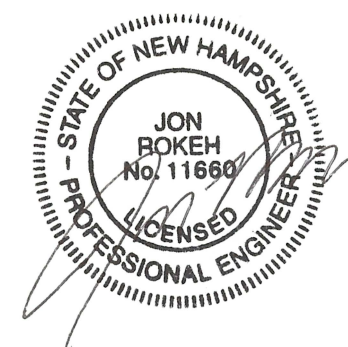
MAINTENANCE

MAINTENANCE OF THE VEGETATION IN THE GRASSED WATERWAY IS EXTREMELY IMPORTANT IN ORDER TO PREVENT RILLING, EROSION AND FAILURE OF THE WATERWAY. MOWING SHOULD BE DONE FREQUENTLY ENOUGH TO KEEP THE VEGETATION IN VIGOROUS CONDITION AND TO CONTROL ENCROACHMENT OF WEEDS AND WOODY VEGETATION. HOWEVER IT SHOULD NOT BE MOWED TOO CLOSELY AS TO REDUCE EROSION RESISTANCE IN THE WATERWAY. THE MOWING SHOULD BE DONE AT A TIME WHEN THE PRODUCTION OF SEEDS OF PERENNIAL WEEDS IS AT A MINIMUM. RILLS AND DAMAGED AREAS SHOULD BE PROMPTLY REPAIRED AND RE-VEGETATED AS NECESSARY TO PREVENT FURTHER DETERIORATION. FERTILIZE ON AN "AS-NEEDED" BASIS TO KEEP THE GRASS HEALTHY.

NOT TO SCALE



- NOTES:
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACES EVERY 24" AT TOP, MID SECTION, AND BOTTOM.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



EROSION CONTROL NOTES
45 CHENELL DRIVE
TAX MAP 11, BLOCK G1, LOT 55
CONCORD, NEW HAMPSHIRE

REVISIONS

DATE	DESCRIPTION	DWN BY	CK BY

Rokeh Consulting, LLC
89 KING ROAD, CHICHESTER, NH
PH: 603-387-8688

SCALE: 1" = 20'
DATE: DECEMBER 18, 2018
DR. BY: JR CK. BY: JR
JOB NO. _____
SHEET NO. 4 OF 5

CONSTRUCTION SEQUENCES:

(THESE SEQUENCES TO APPLY FOR BOTH ROAD & LOT CONSTRUCTION)

1. PRIOR TO CONSTRUCTION INSTALL FABRIC SILTATION FENCING ALONG THE LOW SIDE OF THE SITE. CONSTRUCT TEMPORARY STABILIZED ENTRANCE, AND INSTALL OTHER APPROPRIATE SEDIMENT AND EROSION CONTROL.
2. MILL SURFACE OF DIXON AVENUE. DEMOLISH PAVEMENT AREAS FOR LANDSCAPING AND THE REDEVELOPMENT. STOCKPILE OR REMOVE MATERIAL.
3. COMPLETE EXCAVATION AND CONSTRUCT NEW RETAINING WALLS AND DRAINAGE RUNS.
4. CONSTRUCT STORM DRAINAGE, AND OTHER UNDERGROUND UTILITIES. ALL CATCH BASIN OPENINGS TO BE PROTECTED WITH HAY BALES OR BLOCK AND GRAVEL INLET SEDIMENT FILTERS AS SHOWN.
5. FINISH GRADING & PAVING.
6. ALL PAVED AREAS TO BE COMPLETED BY NOVEMBER 15. ALL LANDSCAPED AREAS TO BE STABILIZED BY OCTOBER 15th, WITH HAY MULCH AND SEED.
7. REMOVE ACCUMULATIONS OF SEDIMENT FROM DRAINAGE STRUCTURES.

8. THE MAXIMUM AMOUNT OF AREA ALLOWED TO BE DISTURBED & UNSTABILIZED AT ONE TIME IS 5.0 ACRES. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS FROM INITIAL DISTURBANCE.

9. WINTER CONSTRUCTION NOTES:

A.) DURING WINTER CONDITIONS, THE MAXIMUM ALLOWABLE DISTURBED AREA SHALL BE 0.5 ACRES.

B.) ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MAXIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

C.) ALL DITCHES AND SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

D.) AFTER NOVEMBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WOTK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER N.H.D.O.T. ITEM 304.3.

EROSION CONTROL INSPECTION AND MAINTENANCE NOTES:

1. ALL TEMPORARY EROSION CONTROL MEASURES TO BE INSPECTED WEEKLY, AND FOLLOWING ANY STORM EVENT OF .5 INCHES OR GREATER. OR MORE FREQUENTLY AS REQUIRED. A DETAILED MAINTENANCE INSPECTION REPORT SHALL BE FILLED OUT AT THE TIME OF EACH INSPECTION BY A COMPETENT INDIVIDUAL APPOINTED BY THE SITE SUPERINTENDENT OR OWNER. THE INSPECTOR WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT. COPIES OF THE WEEKLY INSPECTION REPORTS SHALL BE AVAILABLE ONSITE FOR REVIEW.
2. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED AT ANY GIVEN TIME PRIOR TO STABILIZATION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STBIIZED.
3. SILT FENCE AND HAY BARRIERS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES A MAXIMUM DEPTH OF 1/3 THE HEIGHT OF THE FENCE OR HAY BALE.
4. IF EROSION IN DITCH LINES AND CHANNELS OCCURS THESE AREAS SHALL BE LINED WITH RIP-RAP OR CHANNEL STABILIZATION MATTING AS NECESSARY TO AVOID FURTHER EROSION.
5. SEDIMENT TRAPS AND SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AT A MINIMUM SEDIMENT WOULD BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL VOLUME WHEN SEDIMENT REACHES 1/2 OF THE ORIGINAL VOLUME.
6. DIVERSION BERMS AND DAMS SHALL BE INSPECTED AND ANY BREACHES PROMPTLY REPAIRED.
7. STONE CHECK DAMS SHOULD BE INSPECTED FOR THE ACCUMULATION OF SEDIMENT, AND DEBRIS WHICH MAY IMPEDE THE FILTERING AND VELOCITY REDUCTION OF STORM WATER RESULTING IN THE SEDIMENTATION AND EROSION OF CHANNELS. REPLACE STONE AS NECESSARY TO MAINTAIN THEM IN GOOD WORKING ORDER.
8. BLOCK AND GRAVEL INLET PROTECTION SHOULD BE INSPECTED FOR SEDIMENT BUILD UP. SEDIMENT SHOULD BE REMOVED WHEN IT HAS REACHED A DEPTH OF 1/2 THE DESIGN DEPTH OF THE TRAP.
9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED PROMPTLY. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
10. ALL TEMPORARY OR PERMANENTLY SEEDED AREAS SHOULD BE INSPECTED FOR EROSION AND BARE SPOTS. AREAS SHALL BE REPAIRED AND LOAMED SEEDED AND MULCHED AS NECESSARY.
11. ALL DISTURBED AREAS SHALL BE LOAMED, SEEDED, AND MULCHED WITH HAY. TOPSOIL SHALL BE APPLIED IN A 4 INCH MINIMUM THICKNESS, HAY TO BE APPLIED AT A RATE OF 70 TO 90 POUNDS PER 1000 SQUARE FEET. ANY HAY THAT HAS BEEN BLOWN AWAY SHALL BE RE-APPLIED.
12. THE SEED BED WILL BE PREPARED AS FOLLOWS:

a.) SURFACE AND SEEPAE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.

b.) STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA, WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
13. PERMANENT SEED MIX SHALL BE AS FOLLOWS:

SEED TYPE	APPLICATION RATE (POUNDS / ACRE)
TALL FESCUE	2
CREeping RED FESCUE	20
RED TOP	2
TOTAL	42

TEMPORARY SEEDING WILL BE ONE OF THE FOLLOWING, BASED ON TIME OF YEAR:

TIME PERIOD	SEED TYPE	APPLICATION RATE (POUNDS / ACRE)
1. AUGUST 15 TO SEPTEMBER 5	WINTER RYE	112
2. NO LATER THAN MAY 15	OATS	80
3. APRIL 1 TO JUNE 1 AND AUGUST 15 TO SEPTEMBER 15	PERENNIAL RYE GRASS	30
14. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM ALL EROSION CONTROL DEVICES AND THE AREAS DISTURBED BY THEIR REMOVAL WILL BE SMOOTHED, LOAMED, SEEDED, AND MULCHED WITH HAY.
15. ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHING 72 HOURS OF ACHIEVING FINISHED GRADE.
16. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT OCCUR UNTIL AFTER THE ROADWAY AND ASSOCIATED ASSOCIATED DRAINAGE HAVE BEEN COMPLETED AND STABILIZED.

NON STORM WATER DISCHARGES

THE FOLLOWING NON STORM DISCHARGES WILL ACCRUE FROM THE SITE DURING CONSTRUCTION AND WILL BE PROPERLY TREATED PRIOR TO DISCHARGE.

1. WATER FROM WATER LINE FLUSHING
2. PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED).
3. UNCONTAMINATED GROUNDWATER (FROM DEWATERING EXCAVATION)

WASTE DISPOSAL

1. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A METAL DUMPSTER SUPPLIED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY. THE DUMPSTER WILL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS .
2. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER.
3. THE DUMPSTER WILL BE EMPTIED WHEN IT HAS REACHED ITS DESIGN CAPACITY.

5. ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER.
6. PORTABLE SANITARY FACILITIES WILL BE SUPPLIED BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY LOCAL AND STATE REGULATIONS. THESE FACILITIES WILL BE CLEANED AS NECESSARY TO MAINTAIN A CLEAN AND SANITARY FACILITY.
7. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PROCEDURES MUST POSTED ON THE SITE.
8. THE INDIVIDUAL APPOINTED BY THE SITE CONTRACTOR OR OWNER TO DO SITE INSPECTIONS SHALL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.
4. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ONSITE.

EROSION CONTROL NOTES

45 CHENELL DRIVE

TAX MAP 11, BLOCK G1, LOT 55

CONCORD, NEW HAMPSHIRE

REVISIONS

DATE	DESCRIPTION	DWN BY	CK BY
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SPILL PREVENTION PLAN NOTES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

1. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
2. MATERIAL AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA
3. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY
4. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY
5. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM OCCURRING AGAIN AND IT WILL BE ADJUSTED IF ADDITIONAL HAZARDOUS MATERIALS ARE BROUGHT ONSITE.
6. THE ONSITE SUPERVISOR WILL APPOINT A PERSON RESPONSIBLE FOR DAILY AND WEEKLY INSPECTIONS AND REPORTS.

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ONSITE DURING CONSTRUCTION

- CONCRETE

- PETROLEUM BASED PRODUCTS

- WOOD

- MASONRY BLOCK

- ASPHALT
- PAINTS (ENAMEL, OIL, LATEX)

- CONCRETE

- TAR

- SHINGLES

SPILL PREVENTION PLAN NOTES:

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT

1. AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB

2. ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND , IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE

3. PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL

4. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER

5. WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER

6. MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.

7. THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.

HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

1. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINER UNLESS THEY ARE NOT RESEALABLE
2. ORIGINAL LABEL AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
3. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURE'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

PETROLEUM PRODUCTS

1. ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE
2. ALL VEHICLE REFUELING, OILING AND / OR GREASING, SHALL BE CONFINED TO THE VEHICLE MAINTENANCE PAD (CONSTRUCTION DETAIL SHOWN ON THIS PLAN) THROUGHOUT THE DURATION OF EARTH EXCAVATION AND PIT RESTORATION OPERATIONS.
3. SHOULD ANY FUEL, HYDRAULIC OIL OR ENGINE OIL SPILL OCCUR:

a.) THE PLASTIC ON IT SHALL BE SWIVELED UP AGAINST THE S AND

b.) ANY CONTAMINATED AND THROUGH , CONTRACTOR OFF-SITE AND DISPOSED OF OUS MATERIAL DISPOSAL
4. PLASTIC AREAS EXPOS MONTHS FOR U.V. DETE PAD SHALL BE UNDERL
5. IN THE EVENT OF A LI TO STATE OF NEW HAN FOR EVALUATION
6. PETROLEUM PRODUCTS REFUELING BARRELS S ASPHALT PRODUCTS U
7. : CHECKED EVERY TWO ASTIC BECOME BRITTLE, THE
- : MORE) CONTACT THE WASTE @ (603) 271-2942
- ✓ SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
- ✓ CONTAINMENT WALL OR BERM.
- ✓ AND STORED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS

FERTILIZERS

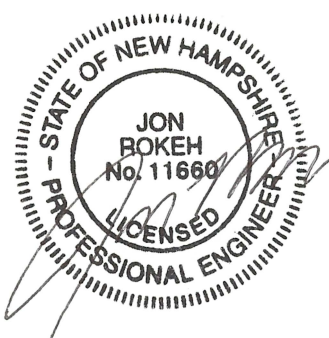
1. FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER
2. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER
3. STORAGE WILL BE IN A COVERED SHED
4. THE CONTENTS OF PARTIALLY USED BAGS WILL BE TRANSFERRED TO SEALABLE BAGS.

PAINTS:

1. ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE.
2. EXCESS PAINT AND CLEANING MATERIALS WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS

1. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.



NOTES:

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3/4" TO 2 INCH BLEND OF STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES
3. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
4. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED PROMPTLY
6. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
7. MOUNDABLE BERM MAY HAVE TO BE WIDENED TO INSURE THAT RESIDENTS ON PROVENCAL ROAD CAN ACCESS THE ROAD EASILY WITH SMALLER VEHICLES.

DEVELOPER

MATT BOYER

45 CHENELL DRIVE

CONCORD, NH 03301

EROSION CONTROL NOTES

45 CHENELL DRIVE

TAX MAP 11, BLOCK G1, LOT 55

CONCORD, NEW HAMPSHIRE

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Rokeh Consulting, LLC

89 KING ROAD, CHICHESTER, NH

PH: 603-387-8688

SCALE: 1" = 20'

DATE: DECEMBER 18, 2018

DR. BY: JR CK. BY: JR

JOB NO. _____

SHEET NO. 5 OF 5