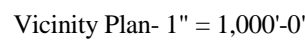


# 74 South Main Street

### DRAWING SYMBOLS



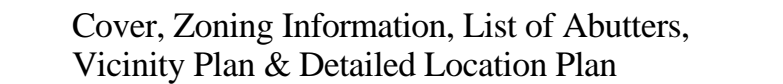
C	Cover, Zoning Information, List of Abutters, Vicinity Plan & Detailed Location Plan
EC	Existing Conditions Survey
SPR-1	Existing Site Plan and Elevations
SPR-2	Proposed Site Plan and Elevations
SPR-3	Landscape and Lighting Plan

		THIS PROJECT	CONCORD ORDINANCE
USE	EXISTING	PHARMACY W/ DRIVE-UP	ALLOWED
	PROPOSED	BANK W/ DRIVE-UP	

<b>BUILDING FOOTPRINT</b>		
EXISTING		
BUILDING	1,343.5 SF	
PORCH	228 SF	
TOTAL	1,571.5 SF	
% LOT SIZE	14%	80% MAX
<b>PROPOSED:</b>		
EXISTING BUILDING	1,343.5 SF	
NEW VESTIBULE	<u>45.0 SF</u>	
TOTAL	1,388.5 SF	
% OF LOT SIZE	12.5%	













<b>BUILDING HEIGHT</b>		
EXISTING	25.5 FT	45 FT MAX
PROPOSED	25.5 FT	

REGISTERED ARCHITECT



1807	As indicated	C
Job No	Scale	
16 Jan 19	5 Apr 19	
Date	Revised	

## MATERIAL SYMBOLS

	CONCRETE		RIGID INSULATION
	STONE		BATT INSULATION
	BRICK		SPRAYFOAM INSULATION
	CONCRETE BLOCK		CELLULOSE INSULATION
	STEEL		EARTH
	ALUMINUM		GYPSUM WALLBOARD

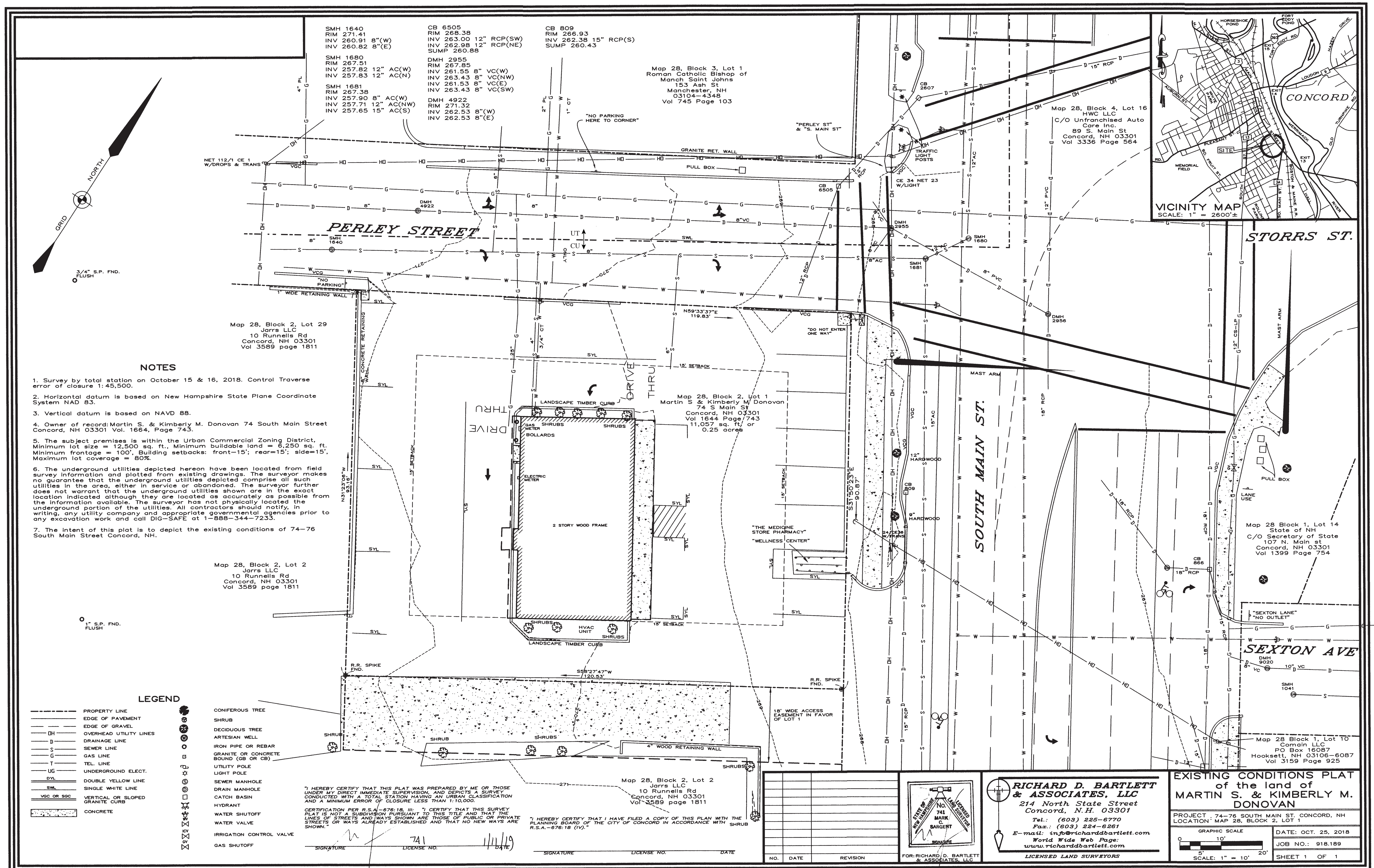
ABBREVIATIONS					
ADJ	Adjustable	FB	Face Brick	NIC	Not In Contact
ACT	Acoustical Ceiling Tile	FCU	Fan Coil Unit	NON-BRG	Non-Bearing
ACU	Air Conditioning	FE	Fire Extinguisher	NRC	Noise Reduction Coefficient
AF	Aluminum	FD	Flow Drum	NTS	Not To Scale
AFD	Above Finish Floor	FD	Finish Dumper	OA	Overall
ALT	Alternate	FF	Finish Floor	Obs	Obscure
AND	And/or	FL	Fiberglass	OCC	On Center
		FN	Finish	OD	Outside Diameter
BD	Board	FL	Flash	OPG	Opening
BIF	Intermittent	FLASH	Flashing	OPP	Opposite
BLDG	Building	FND	Foundation	PLAST	Plastic Laminates
BLKG	Blocking	FOF	Face of Foundation	PRCMT	Pre-Cast
BNC	Brickwork	FOS	Face of Stud	PRECAST	Pre-Cast
BPG	Butt-Piece Glass	FR	Fire Resistant	P.T.B	Porchless Tile
BSMT	Basement	FTG	Footing	PT	Pressure Treated
		FTR	Fire Tube Resistance	PTD	Painted
CAB	Cabinet	GA	Gauge	PVC	Poly Vinyl Chloride
CB	Chain Racin	GALV	Galvanized	QT	Quarry Tile
CCR	Ceramic	GC	General Contractor	R	Radius
CH	Chimney	GCBW	Gypsum Wallboard	RCP	Reflected Ceiling Plan
CIR	Circle	GYP	Gypsum	RD	Roof Drain
CL	Control Joint			RO	Roof
CLC	Control Line	HM	Half-Moon Metal	REQD	Required
CLG	Ceiling	HORZZ	Horizontal	RO	Roaming
CLR	Clear	HT	Height	ROB	Roof
CM	Concrete Masonry Unit	HVC	Heating Ventilating Air Con.	RUB	Rubber
CNTR	Center	HWD	Hardwood	SHG	Sheathing
CLM	Column			SHS	Shelves
COND	Concrete	INT	Interior	SM	Similar
COND	Condition	ID	Inside Diameter	SPEC	Specification
CONC	Construction	INS	Insulation	SQ	Square
CONT	Continuous	INL	In-Insulated Metal	SVL	Steel
CPT	Carpet	INCL	Included (dot) (mg)	STL	Steel
CS	Course	INSUL	Insulation or Insulated	STR	Structural
CT	Ceramic Tile	INT	Interior	SUSP	Suspended
CWS	Curtain Wall Studs	IPS	Inside Pipe Size		
		J	Joint	T	Tread
DF	Drinking Fountain	JT	Joint	TEL	Telephone
DIA	Diameter			T&G	Tongue & Groove
DM	Dimension	KIT	Kitchen	TL	True Line
DML	Door Lining	L	Length	TOP	Top of Plate
DTL	Detail	LK	Likely	TOS	Top of Steel
DW	Driveway	LAM	Lamination	TOW	Top of Wall
DWG	Drawing	LCC	Lead Coated Copper	TY	Typical
DWR	Dewiser	MAX	Maximum	UL	Underwriter's Lab
		MBR	Member	VCT	Vinyl Composition Tile
EA	Each	MD	Medium Density Fiberglass	VER	Vertical
EL	Elevation	MDO	Medium Density Overlay		
ELC	Electric	MED	Medium	VIP	Vent
ELV	Elevator	MAN	Manufacturer (ed)	W	Width
EP	Electrical Panel	MIN	Minimum	WC	Water Closet
EQ	Equal	MISC	Miscellaneous	WO	Wood
EXT	Exterior	MU	Masonry Opening	WIN	Window
EXP	Expansion	MR	Mechanically Resistant	W/O	Without
EXT	Exterior	MSTRY	Masonry	W	Width
EXT	Exterior	MOUN	Mounted	W/W	Wildfire Wire Fabric
EWC	Electric Water Cooler	MTL	Metal		

<b>LIST OF ABUTTERS</b>	
MAP 28/2/2 JARRS LLC 110 RUSSELLS ROAD CONCORD, NH 03303-3909	
MAP 28/2/29 JARRS LLC 110 RUSSELLS ROAD CONCORD, NH 03303	
MAP 28/3/1 & MAP 28/3/2 ROMAN CATHOLIC BISHOP OF MANCHESTER SAINT JOHNS 153 ASH STREET MANCHESTER, NH 03104	
MAP 28/4/16 HWH LLC 89 SOUTH MAIN STREET CONCORD, NH 03301	
MAP 28/1/14 STATE OF NH C/O SECRETARY OF STATE 107 NORTH MAIN STREET	
MAP 28/1/10 COMAIN LLC PO BOX 16087 HOOKSETT, NH 03106	
MAP 28/2/1 MARTY S & KIMBERLY M DONOVAN 74 SOUTH MAIN STREET CONCORD, NH 03301	
<b>PROJECT TEAM</b>	
GREG STEVERSON LEDYARD NATIONAL BANK 2 MAPLE STREET HANOVER, NH 03755	
RANDALL T MUDGE & ASSOCIATES 85 DARTMOUTH COLLEGE HIGHWAY LYME, NH 03768	
MARK SARGENT, LL.S RICHARD D BARTLETT & ASSOC., LLC 214 NORTH STATE STREET CONCORD, NH 03301	
JEFF BURD, PE RUB ENGINEERING, LLC 2 GLENDALE ROAD CONCORD, NH 03301	
<b>DEEDED EASEMENT</b>	
MERRIMACK COUNTY REGISTRY OF DEEDS BOOK 1664 PAGE 743	

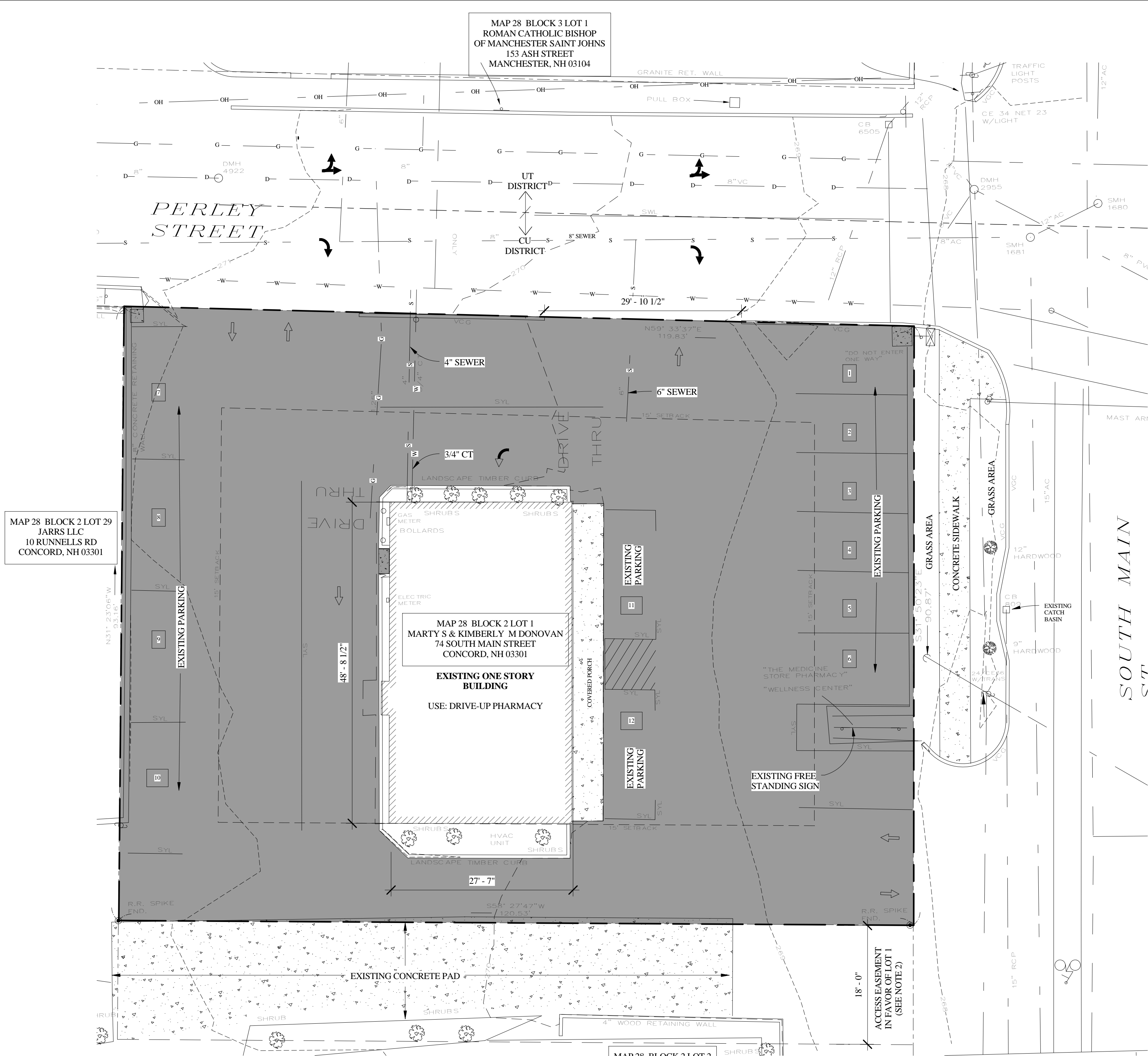


1807	As indicated	C
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16 Jan 19	5 Apr 19	
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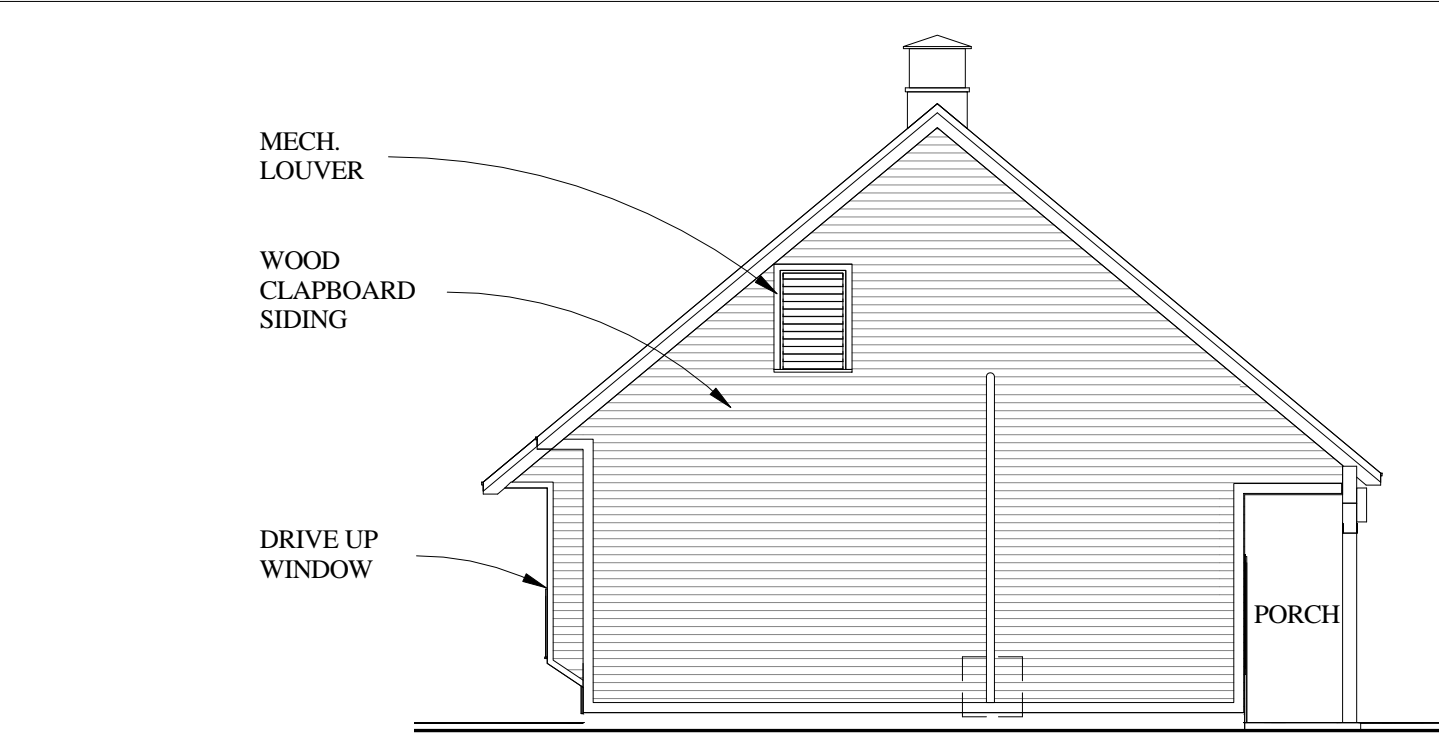




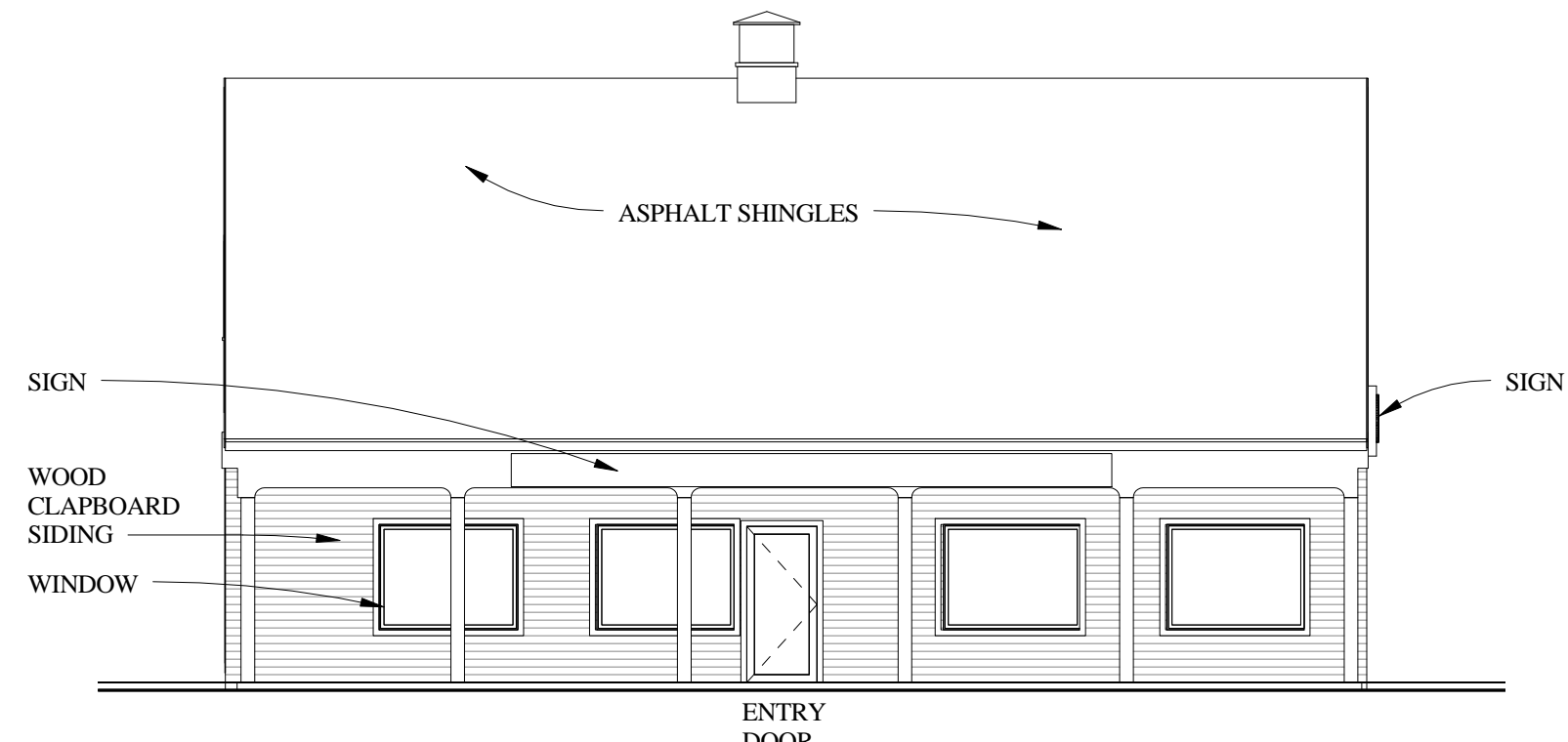
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1" = 10'-0"



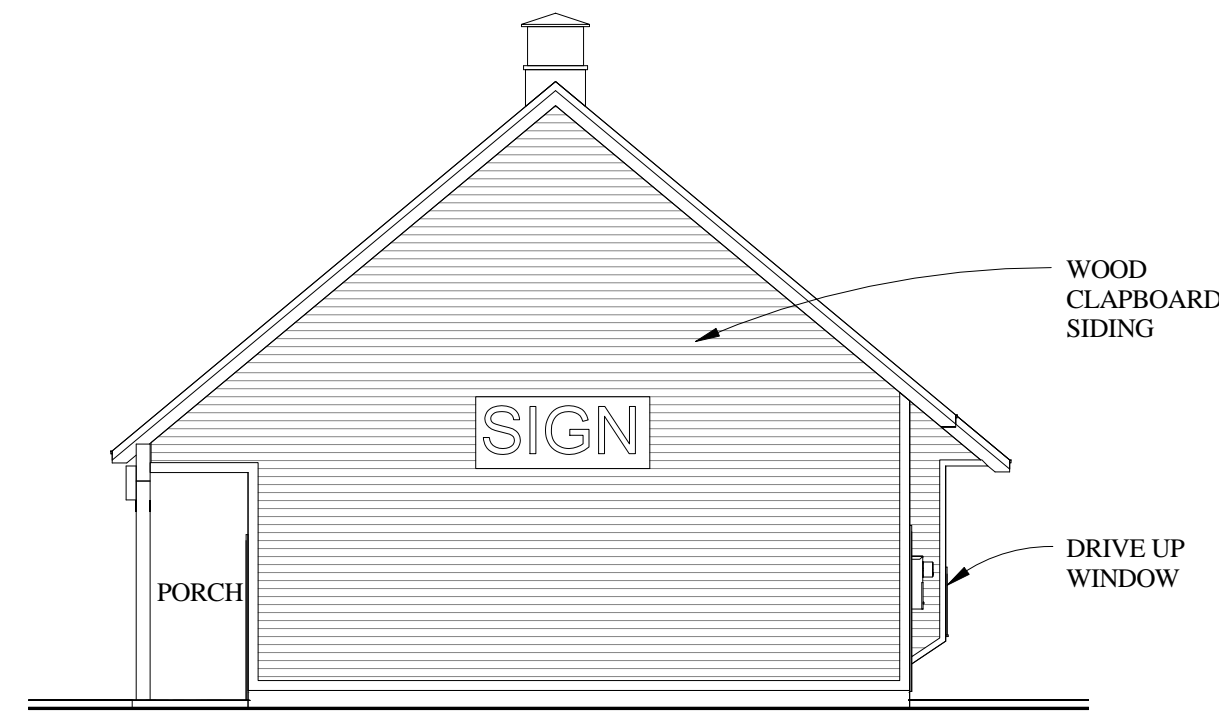
MAP 28 BLOCK 2 LOT 2  
JARRS LLC  
10 RUNNELLS RD  
CONCORD, NH 03301



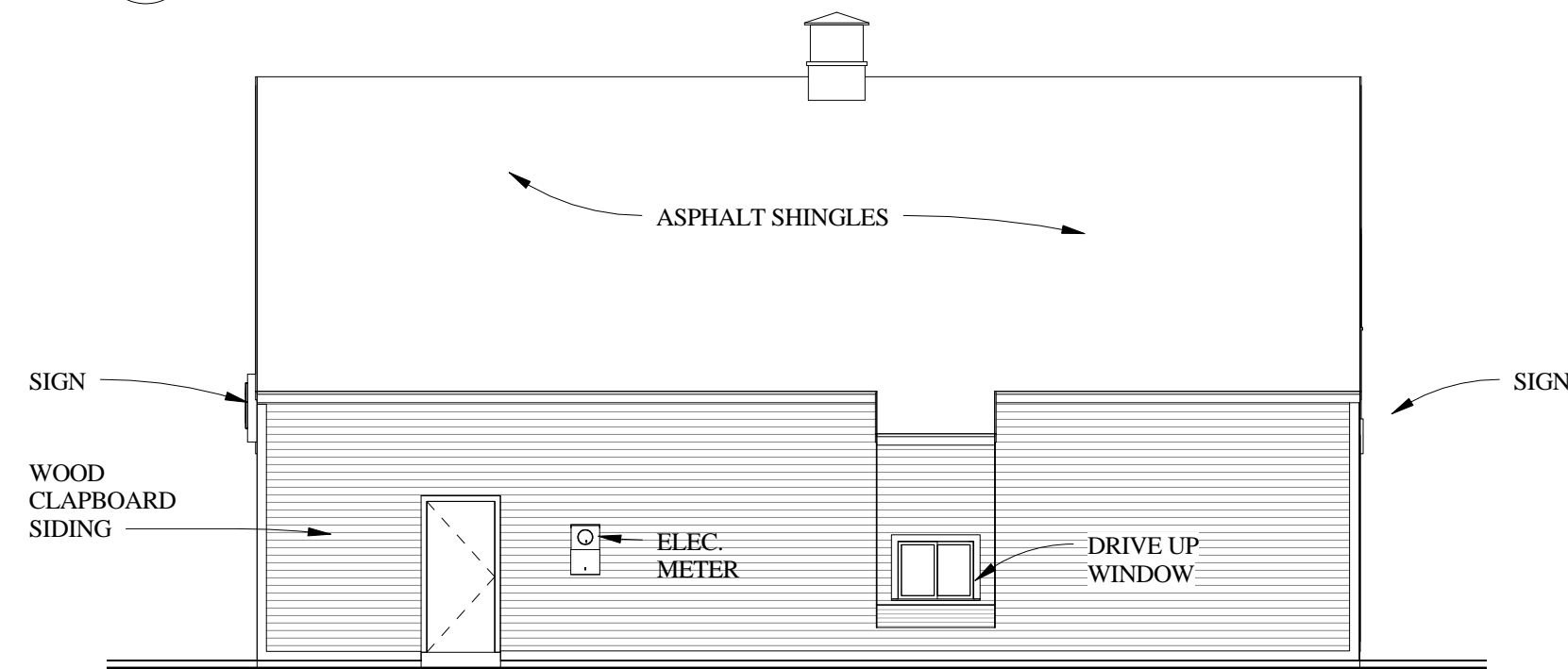
2 Existing South Elevation  
1/8" = 1'-0"



3 Existing East Elevation  
1/8" = 1'-0"



4 Existing North Elevation  
1/8" = 1'-0"



5 Existing West Elevation  
1/8" = 1'-0"



EXISTING VIEW FROM THE SOUTHEAST



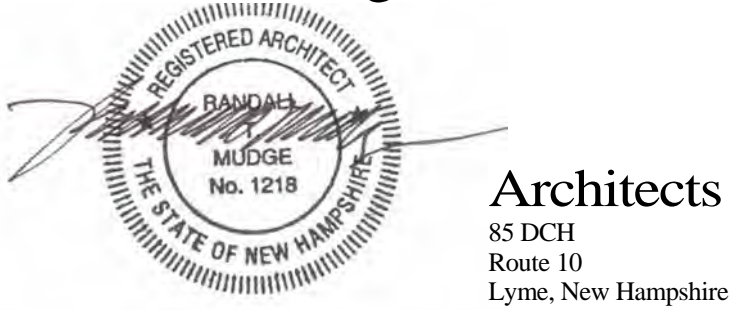
EXISTING VIEW FROM THE NORTHEAST

- NOTES:
1. BASE SITE PLANS WERE DERIVED FROM THE SURVEY TITLED "EXISTING CONDITIONS PLAT" DATED 25 OCTOBER 19 BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
  2. EASEMENT REFERENCE: MERRIMACK COUNTY REGISTRY OF DEEDS BOOK 1664 PAGE 743.

74 South Main Street  
Ledyard National Bank

Concord New Hampshire

Randall T Mudge & Associates



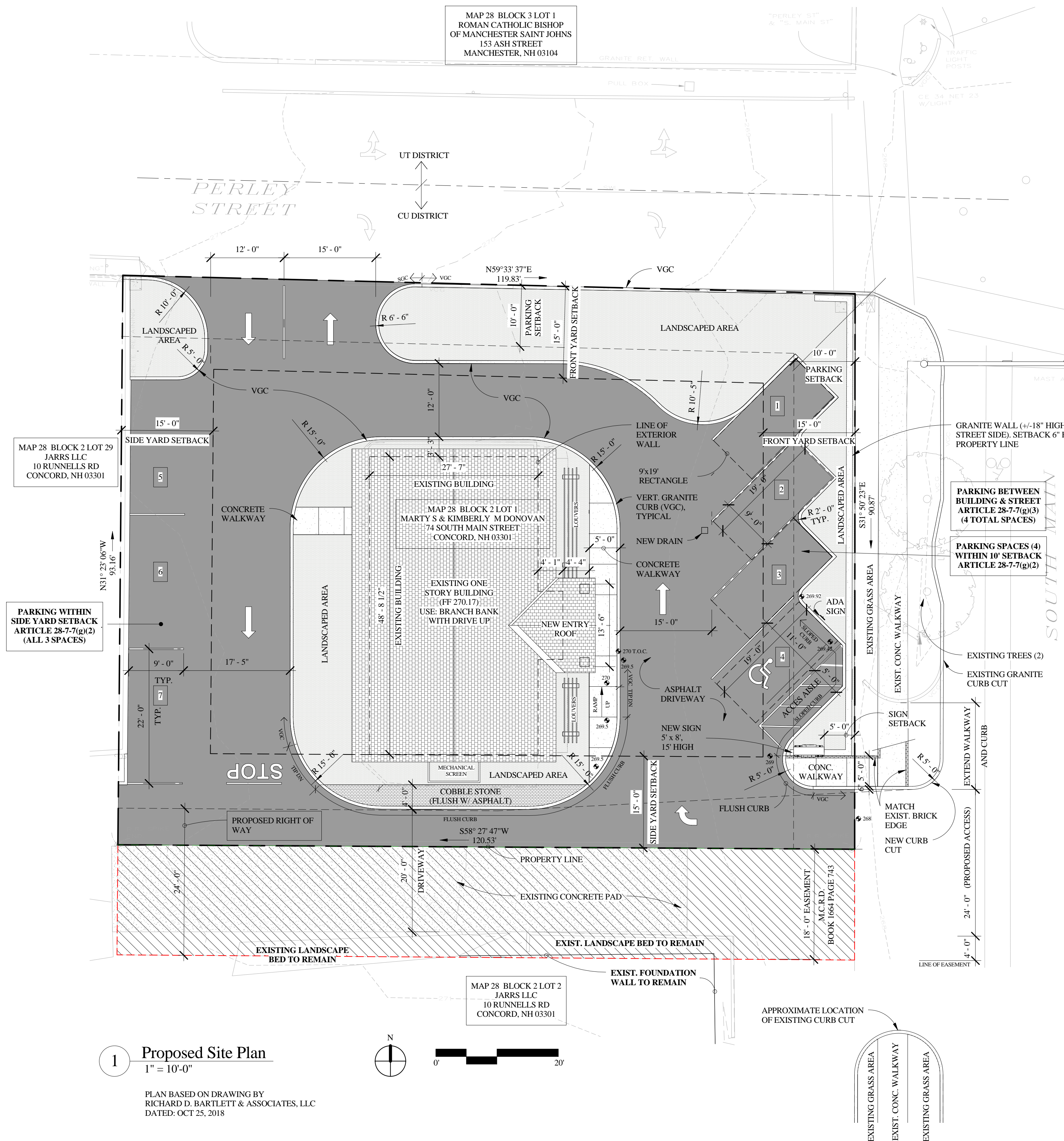
Existing Site Plan and Elevations

1807  
Job No  
16 JAN 19  
Date

As indicated  
Scale  
5 Apr 19  
Revised

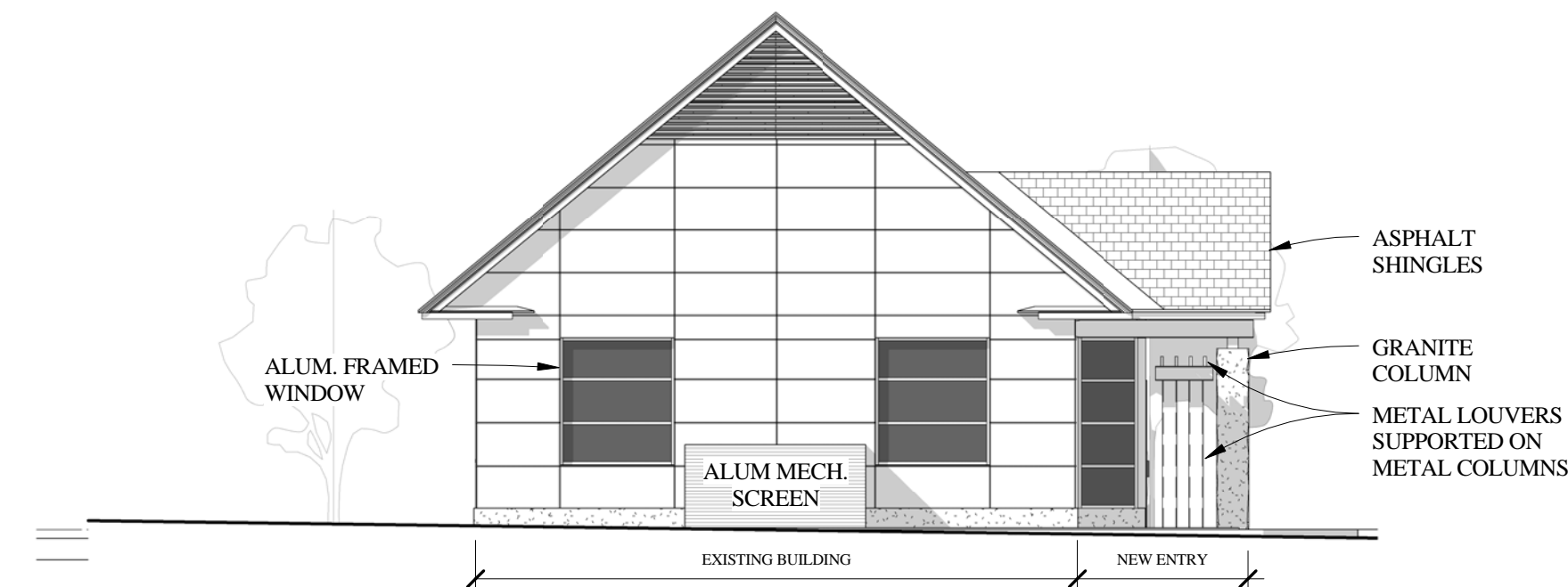
SPR-1



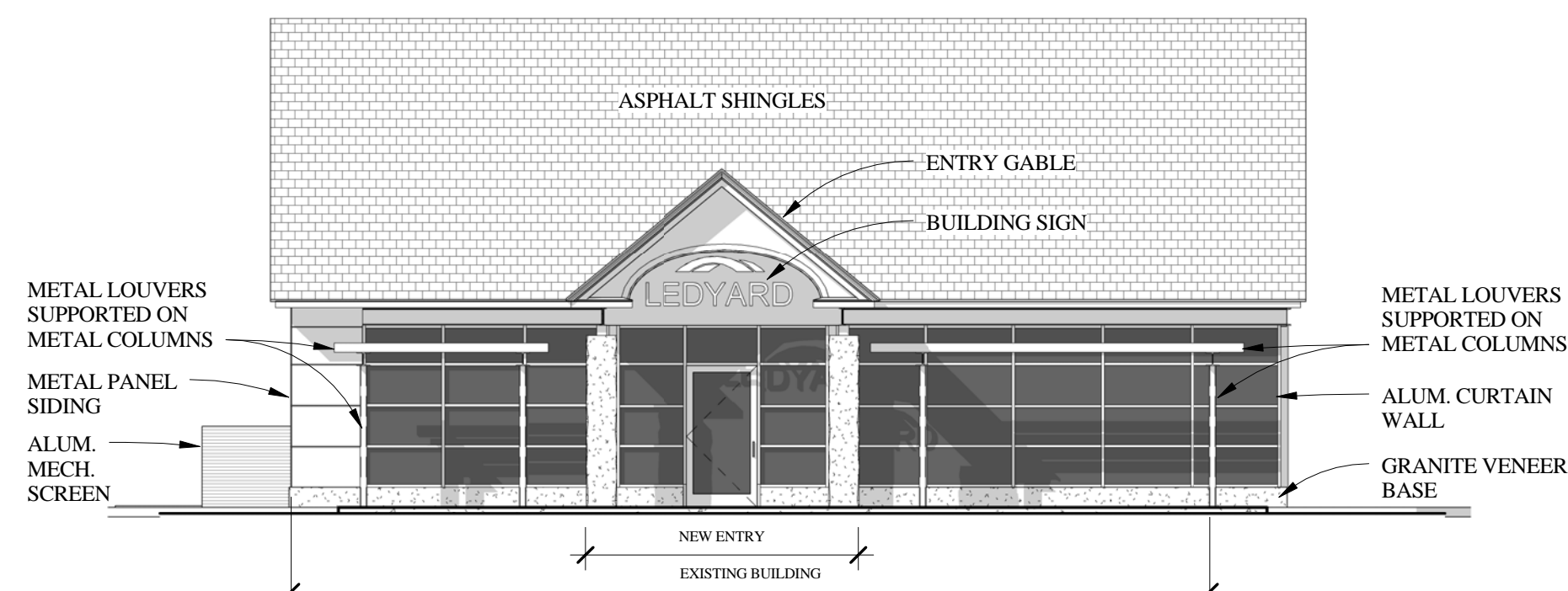


1 Proposed Site Plan  
1" = 10'-0"

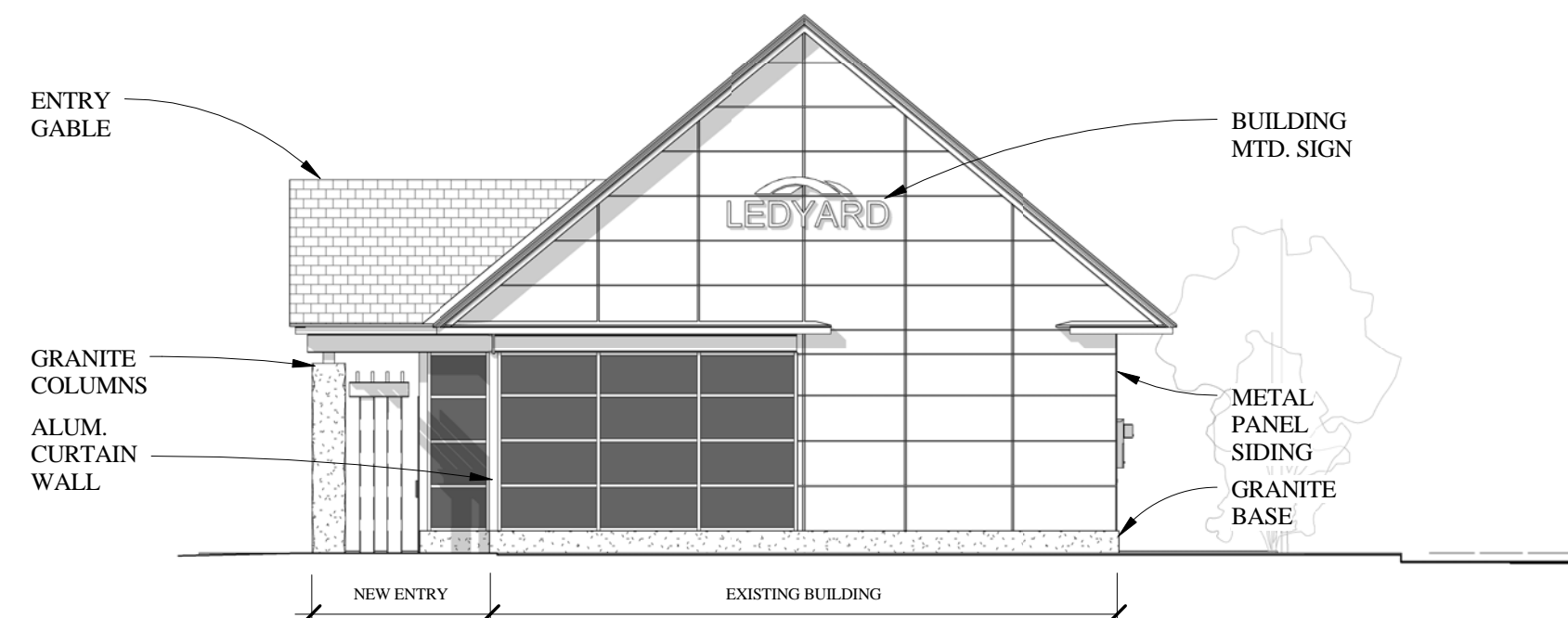
PLAN BASED ON DRAWING BY  
RICHARD D. BARTLETT & ASSOCIATES, LLC  
DATED: OCT 25, 2018



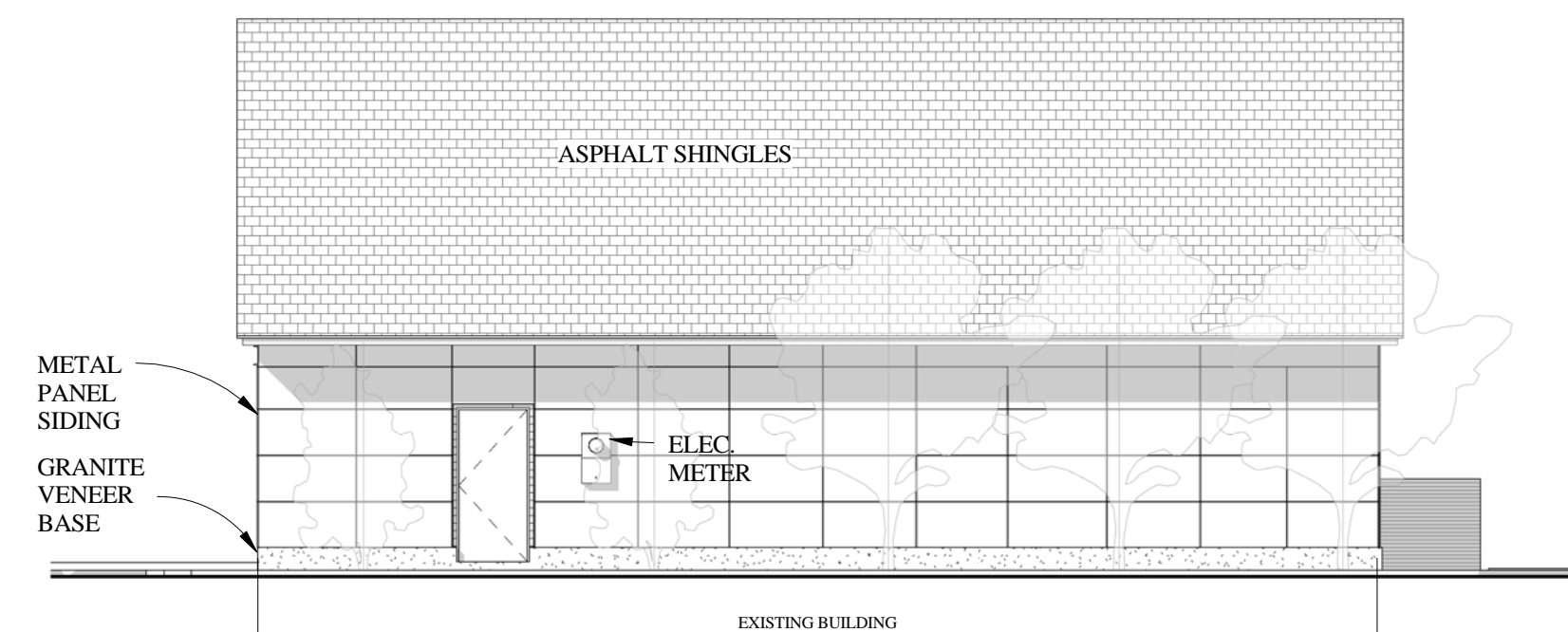
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3 Proposed East Elevation  
1/8" = 1'-0"



4 Proposed North Elevation  
1/8" = 1'-0"



5 Proposed West Elevation  
1/8" = 1'-0"



PROPOSED VIEW FROM THE SOUTHEAST



PROPOSED VIEW FROM THE NORTHEAST

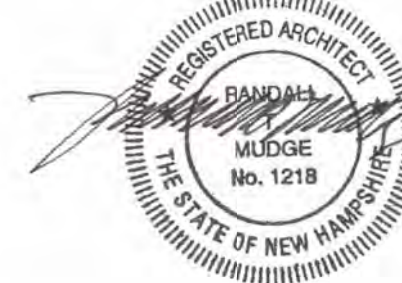
#### NOTES

1. EASEMENT REFERENCE: MERRIMACK COUNTY REGISTRY OF DEEDS BOOK 1664 PAGE 743. THE DEED IS DESCRIBED AS EIGHTEEN FEET IN WIDTH AND RUNNING WESTERLY ONE HUNDRED TWENTY FEET FROM SOUTH MAIN STREET.

74 South Main Street  
Ledyard National Bank

Concord New Hampshire

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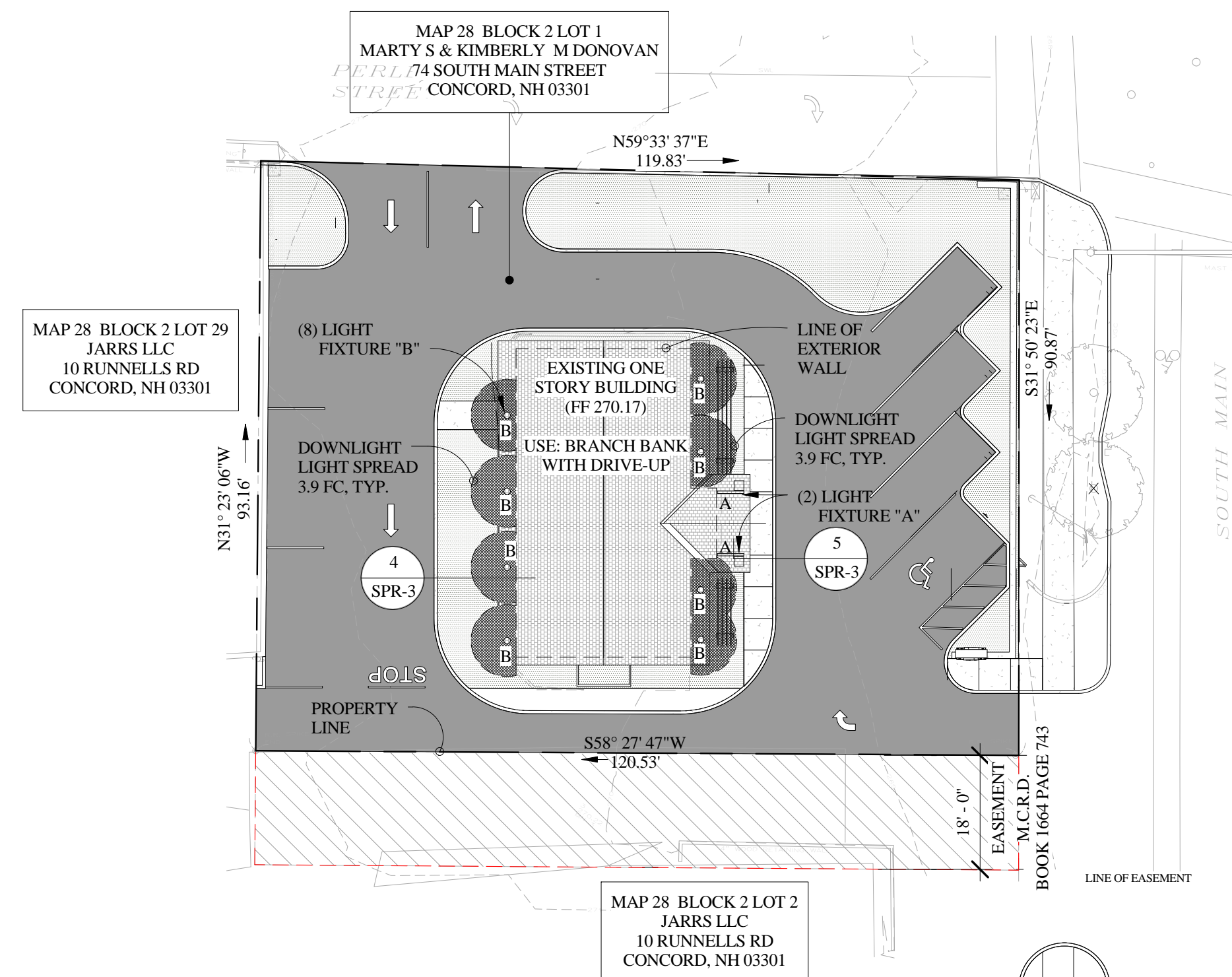
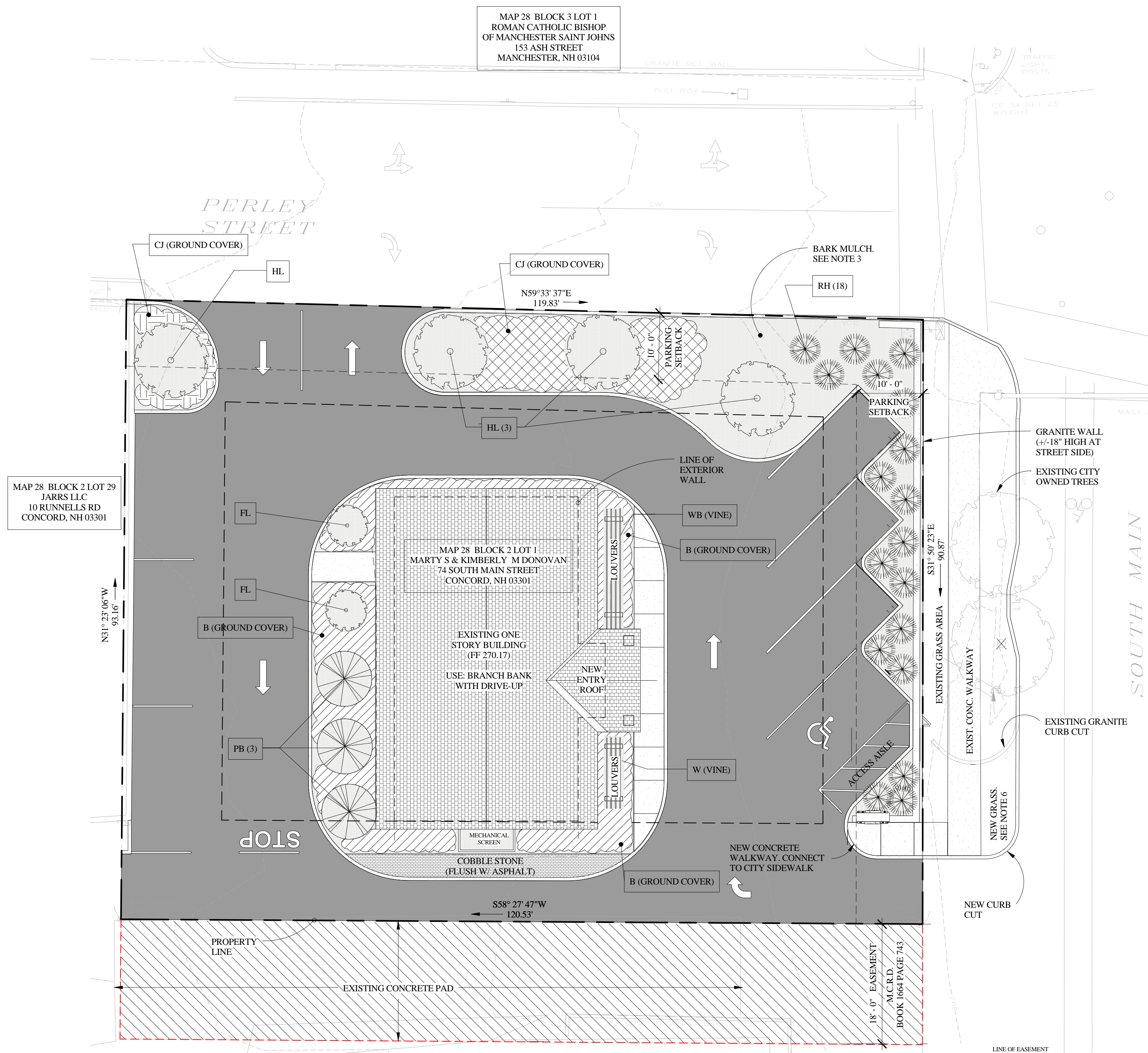
Architects  
85 DCH  
Route 10  
Lynde, New Hampshire

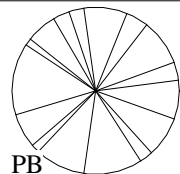
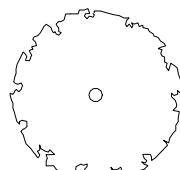
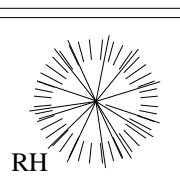
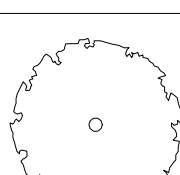
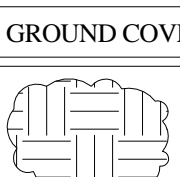
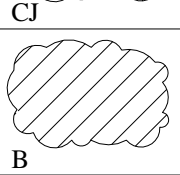
Proposed Site Plan and Elevations



1807  
Job No  
16 Jan 19  
Date  
As indicated  
Scale  
5 Apr 19  
Revised

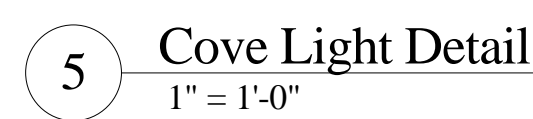
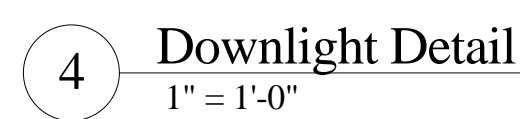
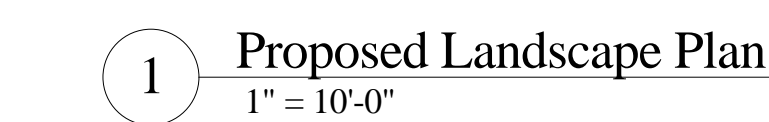
SPR-2





PLANT SCHEDULE			
KEY	BOTANICAL / COMMON NAME	SIZE	QUANTITY
TREES			
 PB	BETULA PAPYRIFERA PAPER BIRCH	70 FT HIGH	3
 HL	GLEDITSIA TRIACANTHOS INERMIS THORNLESS HONEY LOCUST	30-70 FT HIGH	4
SHRUBS			
 RH	RHODODENDRON CANADENSE RHODORA	3 FT HIGH	18
 FL	SYRINGA VULGARIS FRAGRANT LILAC	8-15 FT HIGH	2
GROUND COVER AND VINES			
 CJ	JUNIPERUS HORIZONTALIS CREEPING JUNIPER	1 FT HIGH	
 B	ARCTOSTAPHYLOS UVA-URSI BEARBERRY	6 INCHES HIGH	
	PARTHENOCESSUS QUINQUEFOLIA WOODBINE		

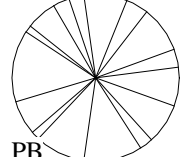


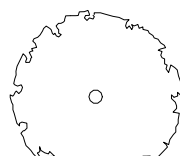
LUMINAIRE SCHEDULE			
SYMBOL	DESCRIPTION	SIZE/ HEIGHT	WATTAGE
	LINEAR LED COVE LIGHT	12" AND 48" LENGTHS	2-12 WATTS
	RECESSED DOWNLIGHT	4" DIA.	13 WATTS



## PARKING LOT LANDSCAPING

1. PARKING AREA = 6,606 SF  
6,047 SF/ 1,000 SF = 6.047 = 7 TREES TOTAL.
2. PERIMETER LANDSCAPING REQUIRED BETWEEN  
PARKING SPACES AND SOUTH MAIN (ARTERIAL) AND  
PERLEY (COLLECTOR) STREETS.

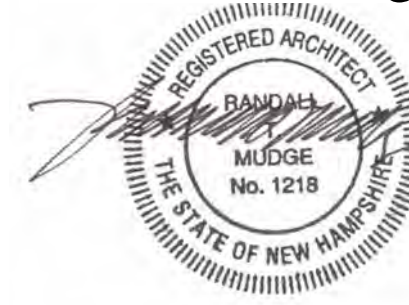
## NOTES

KEY	BOTANICAL / COMMON NAME	SIZE	QUANTITY
TREES			
 PB	BETULA PAPYRIFERA PAPER BIRCH	70 FT HIGH	3
 HL	GLEDDITSIA TRIACANTHOS INERMIS THORNLESS HONEY LOCUST	30-70 FT HIGH	4
SHRUBS			
 RH	RHODODENDRON CANADENSE RHODORA	3 FT HIGH	18
 FL	SYRINGA VULGARIS FRAGRANT LILAC	8-15 FT HIGH	2

74 South Main Street  
Ledyard National Bank

Concord New Hampshire

Randall T Mudge & Associates



Landscape and Lighting Plan

1807	As indicated
Job No	Scale
16 Jan 19	5 Apr 19
Date	Revised

As indicated  
Scale  
5 Apr 19  
Revised

Job No  
16 Jan 19  
Date

Scale  
5 Apr 19  
Revised

Date \_\_\_\_\_

Revised

Date \_\_\_\_\_

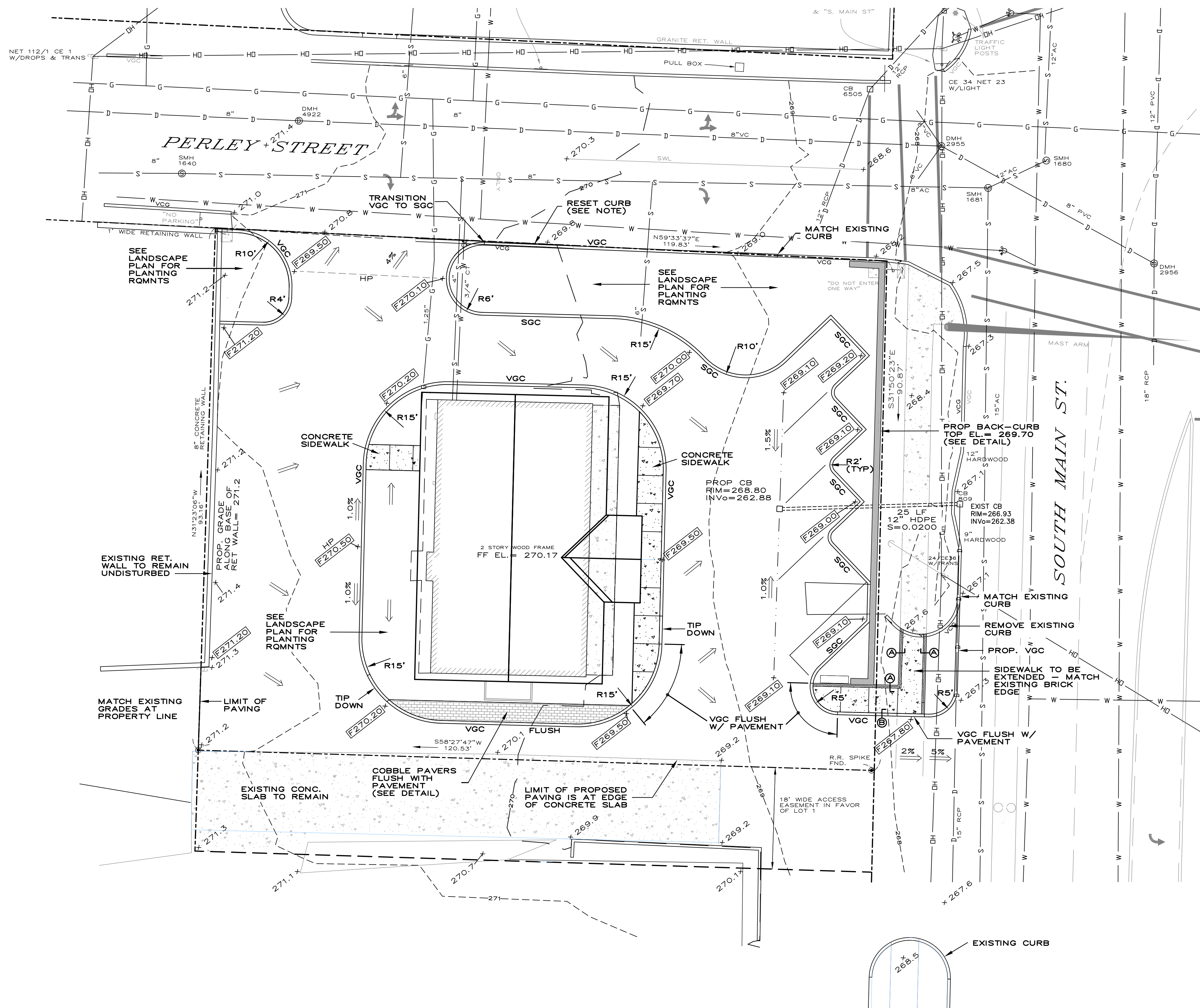
Revised

– SPR-3



SP-Alt





NOTES :

1. THE PURPOSE OF THIS PLAN IS TO SHOW PROPOSED FINISH GRADING AND DRAINAGE FOR THE PROPOSED PARKING LOT.
2. ALL PROPOSED SPOT SHOTS SHOWN ARE FINISH PAVEMENT ELEVATIONS (BOTTOM OF CURB).
3. THE INTENT IS TO REMOVE ALL EXISTING PAVEMENT ON THE SITE, REGRADE AS NECESSARY, AND REPAVE AS SHOWN HEREON - SEE TYPICAL SECTION.
4. EXISTING CURB THAT IS TO BE REMOVED IN THE CITY ROW MAY BE RESET AT THE DISCRETION OF THE CITY INSPECTOR. ALL SALVAGED CURB MAY BE USED ON THE SITE AT THE DISCRETION OF THE OWNER OR HIS REPRESENTATIVE.
5. ALL WORK SHALL CONFORM WITH NHDOT SPECIFICATIONS OR CITY REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
6. ALL WORK PERFORMED ON THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
7. THE CONTRACTOR SHALL NOTIFY DIG-SAFE TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY DIG-SAFE 72 HOURS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES (1-800-344-7233). THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
8. ALL IN-PAVEMENT MANHOLES (IF ANY) SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS SHOWN.
9. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
10. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
11. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS (EPA, NHDES, AND CITY REGULATIONS). PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. INSTALLATION OF STRAWBALE BARRIERS AND SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF WORK IN ANY SPECIFIC AREA.
12. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
13. NO STATE PERMITS ARE REQUIRED FOR THIS PROJECT.
14. THE TOTAL AREA OF DISTURBANCE FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS IS APPROXIMATELY 15,000 S.F. AS THIS AREA IS LESS THAN 1 ACRE, THE CONTRACTOR IS NOT REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE U.S.E.P.A. UNDER THE NPDES CONSTRUCTION GENERAL PERMIT.
15. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH CITY OF CONCORD ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC. PRIOR TO INITIATING CONSTRUCTION.

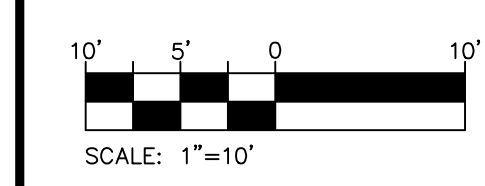
XXX.XX DENOTES FINISH GRADE

No.	DESCRIPTION	DATE
1.	REVISE PAVEMENT LAYOUT	04/02/2019

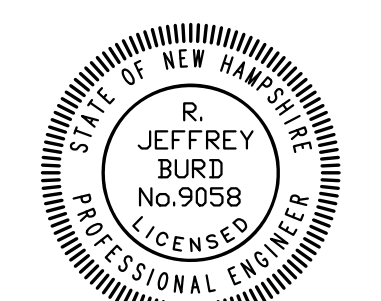
GRADING AND DRAINAGE PLAN  
MAP 28, BLOCK 2, LOT 1  
74 SOUTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

PREPARED FOR: LEDYARD BANK  
2 MAPLE STREET  
HANOVER, NEW HAMPSHIRE 03755

DATE: JANUARY 16, 2019



PREPARED BY:  
RJB ENGINEERING, LLC  
2 GLENDALE ROAD  
CONCORD, NH 03301  
PH. 603-219-0194



RJB Burd  
SHEET: C1