

NOTES

1. Perimeter boundary information and portions of the base plan were taken from "Existing Conditions Land of Hannah Dustin Holdings" dated April 16, 2001, by FWS Land Surveying, PLLC, (information used by permission through the City of Concord). Site information on Crescent and Canal Streets based on control traverse survey by this office having a closure of less than 1' in 15,000'. A topographic survey of the site was conducted between the dates of February 10 and 17, 2015, there was approximately 12" of snow cover on the date of the survey.
2. Horizontal datum is based on the NH State Plan Coordinate System NAD 83, Vertical datum based on NAVD 88.
3. Owner of record: City of Concord 41 Green Street Concord, NH 03301 Map P-1, Block 7, Lot 6 V. 3058 P. 503.
4. The subject premises is within the Opportunity Corridor Performance District (OCP) there are no requirements for minimum lot size, minimum frontage = 150', building setbacks: front=15'; rear=15'; side=15', maximum lot coverage=85%. The premises is also subject to the provisions of the Shoreland Protection District; building setbacks 75' from the surface water reference line.
5. The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
6. The intent of this plot is to subdivide the parcel into two lots.
7. The premises is subject to the provisions of the Shoreland Water Quality Protection Act RSA 483:8.
8. The premises is subject to the provisions of a Cross Easement Agreement with Briar Hydro Associates as described in V. 3058 P. 486.
9. A portion of the premises lies within Zone "X" areas of 0.2% Annual chance of flood, areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 1% annual chance of flood. Areas within the Contoocook River fall within Floodway Areas Zone "AE" per the Flood Insurance Rate Map for Merrimack County, NH Number 33013c0336E effective date 4/19/2010.
10. Reference Notice of Lot Consolidation recorded at the MCRD in V. 3486, P. 1123.
11. On September 13, 2017 a variance was granted to Articles 28-4(e)(4) to permit all floors to be used for residential purposes.

CONTOOCCOOK RIVER

ACROSS RIVER
543P-13
GO MILL SPACE, LLC
P.O. BOX 256
HENNIKER, NH 03242
543P-14
378 VILLAGE STREET, LLC
378 VILLAGE STREET
PENACOOK, NH 03303
543P-1
369 VILLAGE STREET, LLC
55 TREMONT STREET
BOSCAWEN, NH 03303

543P-21
BRIAR HYDRO ASSOCIATES
55 UNION ST. 4TH FLOOR
BOSTON, MA 02108
V. 2024 P. 1573

NOTE: THERE IS A GENERAL ACCESS EASEMENT CONVEYED BY THE CITY OF CONCORD TO BENEFIT BRIAR HYDRO ASSOCIATES TO ACCESS THE PUMP HOUSE FOUNDATION AND RIVERBANK IN V. 3058 P. 503. LOCATION TO BE DETERMINED

MAP 543P LOT 18
CITY OF CONCORD
41 GREEN ST.
CONCORD, NH 03301
V. 3058 P. 503
V. 3311 P. 508
Total Area
175,676± sq. ft. or
4.03± acres
Area after Subdivision
Total 66,651± sq. ft. or
1.53± acres
Contiguous Buildable
45,405± sq. ft.

543P-36 & 37
JOHN HEFFERNAN
P.O. BOX 53
CONCORD NH
03301
V. 1505 P. 998

543P-35
UNITED CHURCH OF
PENACOOK
P.O. BOX 6178
PENACOOK, NH
03303
V. 2071 P. 665
30 CANAL STREET

543P-34
UNITED CHURCH OF
PENACOOK
P.O. BOX 6178
PENACOOK, NH
03303
V. 2771 P. 667
CANAL STREET

543P-26
UNITED CHURCH OF
PENACOOK
P.O. BOX 6178
PENACOOK, NH 03303
V. 2071 P. 663
4-10 WALNUT STREET

543P-26
Arthur Morse
27 Merrimack St
Penacook, NH 03303

LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- OVERHEAD UTILITY LINES
- DRAINAGE LINE
- SEWER LINE
- GAS LINE
- TEL. LINE
- UNDERGROUND ELECT.
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- VERTICAL OR SLOPED GRANITE CURB
- CHAIN LINK FENCE
- STOCKADE FENCE
- AUR BOUNDARY
- EDGE OF WOODS
- CONCRETE
- MONITORING WELL
- IRON PIPE OR REBAR
- GRANITE OR CONCRETE BOUND (GB OR CB)
- UTILITY POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- HYDRANT
- WATER SHUTOFF
- WATER VALVE
- GAS SHUTOFF

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk Chair

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richardbartlett.com
www.richardbartlett.com
LICENSED LAND SURVEYORS

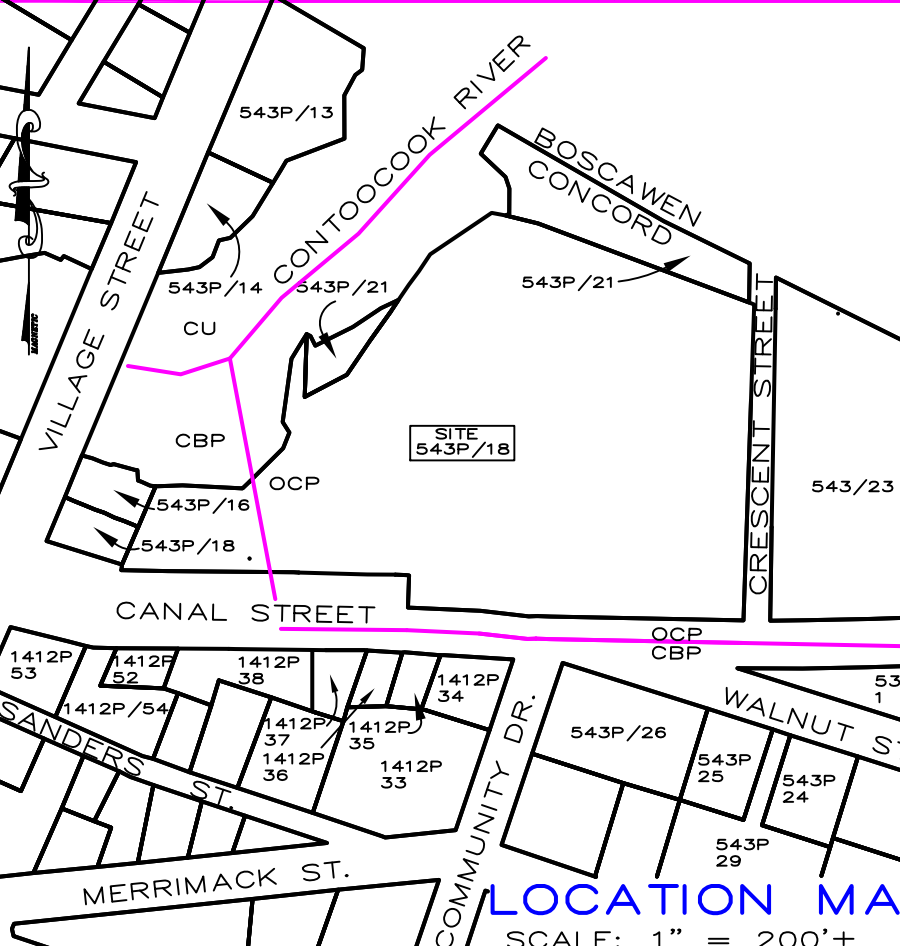
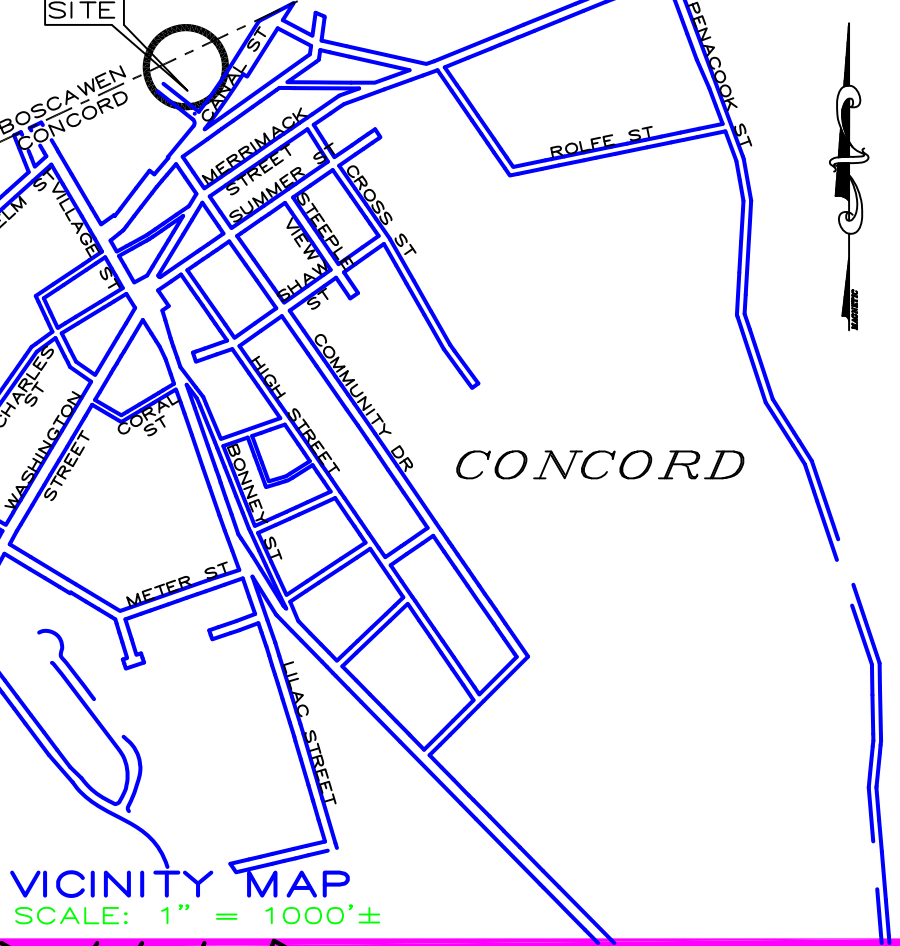
SUBDIVISION PLAT

of the land of the
CITY OF CONCORD

PROJECT: 11-35 CANAL STREET PENACOOK, NH
LOCATION: MAP 543P, LOTS 18

GRAPHIC SCALE
0 30' 60'
1" = 30'

DATE: MARCH, 2019
JOB NO.: 717.171
SHEET 1 OF 1



543P-23
DEW CRESENT STREET
PROPERTIES, LLC.
277 BLAIR PARK
ROAD, STE. 130
WILLISTON, VT 05459

CATCH BASIN 6406(RDB#)
RIM 313.33
INV. 309.72 12" RCP (E)
INV. 309.67 12" RCP (NW)
SUMP 306.44

CATCH BASIN 7072(CITY#)
RIM 313.98
INV. 310.67 18" RCP (E)
INV. 310.32 18" RCP (W)
SUMP 306.07

CATCH BASIN 7073(CITY#)
RIM 314.05
INV. 307.43 15" RCP (NE)
INV. 310.17 15" RCP (E)
INV. 307.30 18" RCP (SW)
SUMP 304.37

CATCH BASIN 7453(CITY#)
RIM 313.30
INV. 311.10 12" RCP (NW)
INV. 311.22 12" RCP (NE)
SUMP 306.94

CATCH BASIN 7459(CITY#)
RIM 313.27
INV. 308.99 12" RCP (NEW-SE)
INV. 309.17 12" RCP (EXIST-SW)
SUMP 306.07

CATCH BASIN 8139
RIM 302.83
INV. 8" PVC (E) 296.23
INV. 8" PVC (SE) 299.53
INV. 8" PVC (N) 296.18

CATCH BASIN 8139
RIM 315.42
INV. 313.00 (E) 306.95
INV. 18" RCP (S) 304.87
INV. 12" RCP (W) 306.94
INV. 18" RCP (N) 304.87

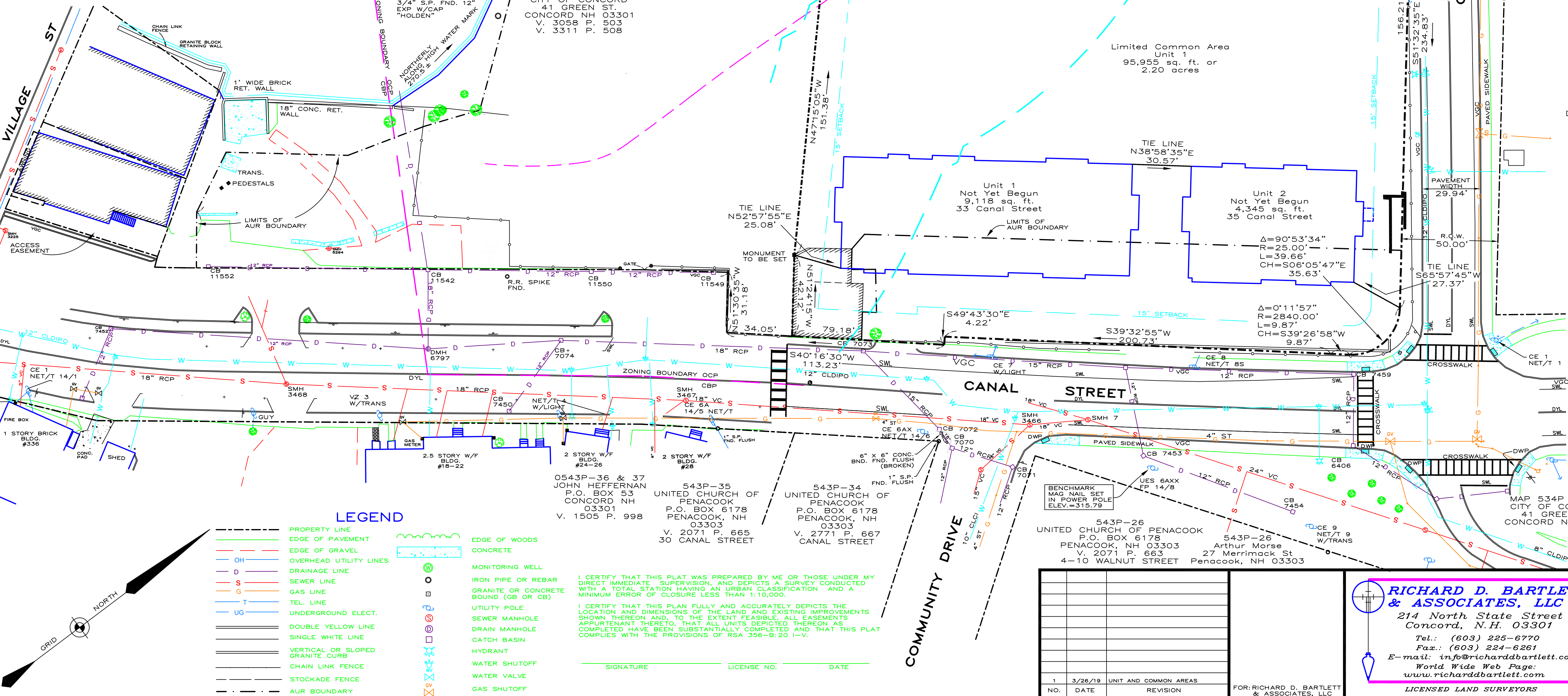
MAP 534P LOTS 1
CITY OF CONCORD
41 GREEN ST
CONCORD NH 03301

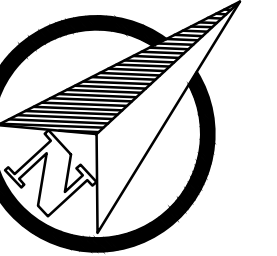
I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION AND THAT A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE LICENSE NO. DATE

NOTES

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2. Horizontal datum is based on the NH State Plan Coordinate System NAD 83. Vertical datum based on NAVD 88.
3. Owner of record: City of Concord 41 Green Street Concord, NH 03301 Map P-1, Block 7, Lot 6 V. 3058 P. 503 Total Area: 124,412 sq. ft. or 2.86 acres.
4. The premises is also subject to the provisions of the Shoreland Protection District; building setbacks 75' from the surface water reference line.
5. The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
6. The intent of this plot is to subdivide the parcel into two lots.
7. The premises is subject to the provisions of the Shoreland Water Quality Protection Act RSA 483-B.
8. The premises is subject to the provisions of a Cross Easement Agreement with Briar Hydro Associates as described in V. 3058 P. 486.
9. A portion of the premises lies within Zone "X" areas of 0.2% Annual chance of flood, areas of 1% annual chance of flood with average depths of less than 1 foot or with drainage areas less than 1 square mile and areas protected by levees from 1% annual chance of flood. Areas within the Contoocook River fall within Floodway Areas Zone "AE" per Flood Insurance Rate Map for Merrimack County, NH Number 33013c0336E effective date 4/19/2010.
10. Reference Notice of Lot Consolidation recorded at the MCRD in V. 3486, P. 1123.
11. The intent of this plot is to create a two unit condominium and associated limited common areas.





0 10' 20'
SCALE: 1"=10'

REV.	DESCRIPTION	DATE

DESIGNED BY: LPS
CHECKED BY: RH
DATE PLAN: 08/16/17
DATE SURVEY: 07/2017
PROJECT NO.: K2574
CAD NO.: K2574 SITE

SVE
Associates

Engineering
Surveying
Landscape Architecture
Planning
439 West River Road
Brattleboro, VT 05302
Phone (802) 257-0561
Fax (802) 257-0721
website: www.sveassoc.com

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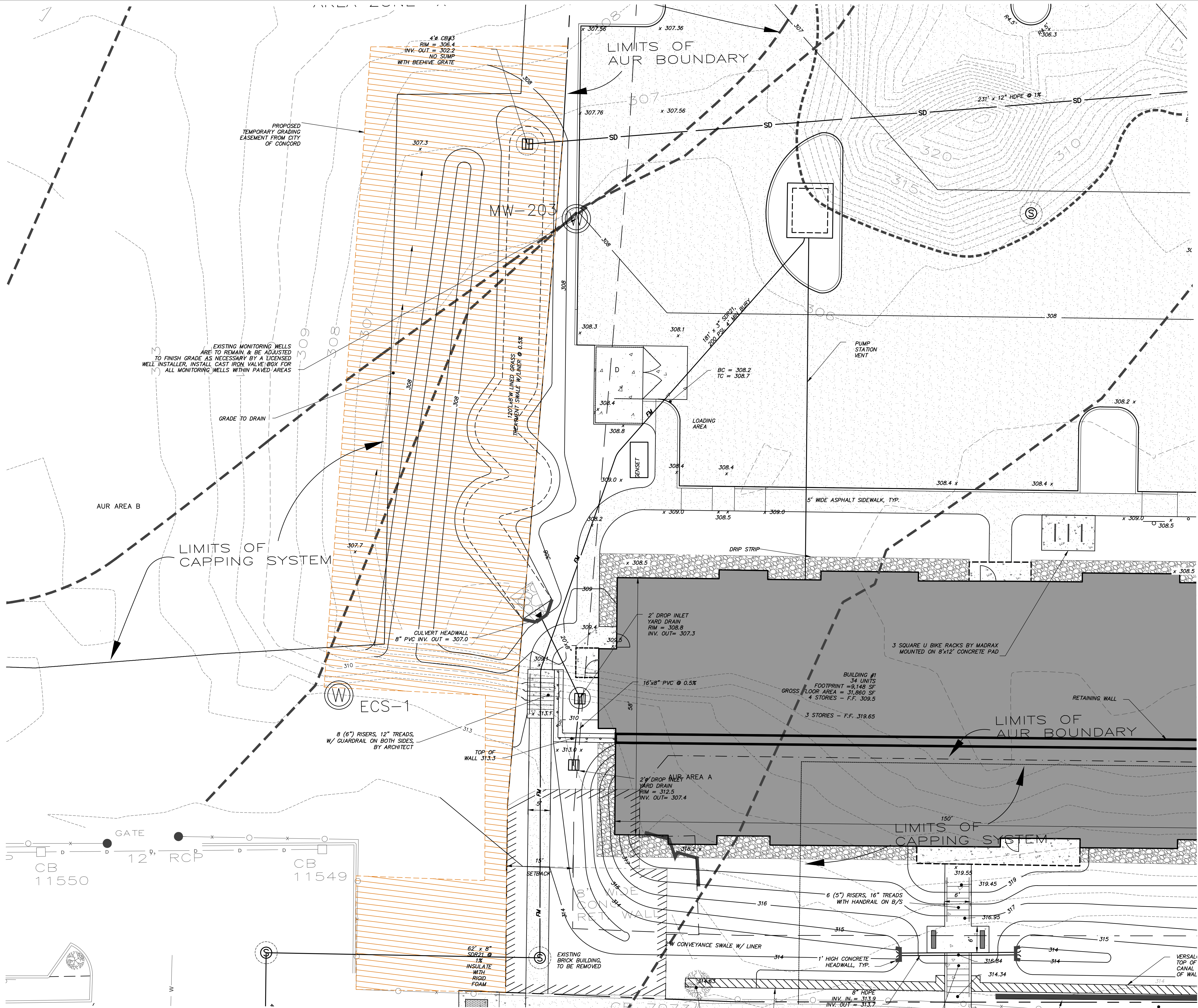
Project:
**PENACOOK
LANDING**
31 CANAL STREET
CONCORD, NEW HAMPSHIRE

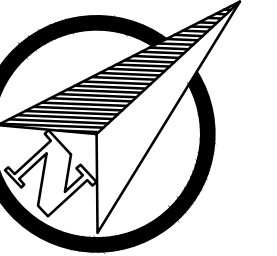
For:
**THE CALEB
DEVELOPMENT
CORP.**
491 HUMPHREY STREET
SWAMPSCOTT,
MASSACHUSETTS

TEMPORARY
GRADING
EASEMENT
EXHIBIT

EXHIBIT

A





0 10' 20'

SCALE: 1"=10'

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Project:
**PENACOOK
LANDING**
31 CANAL STREET
CONCORD, NEW HAMPSHIRE

For:
**THE CALEB
DEVELOPMENT
CORP.**
491 HUMPHREY STREET
SWAMPSCOTT,
MASSACHUSETTS

**PERMANENT
DRAINAGE
EASEMENT
EXHIBIT**

EXHIBIT

B

