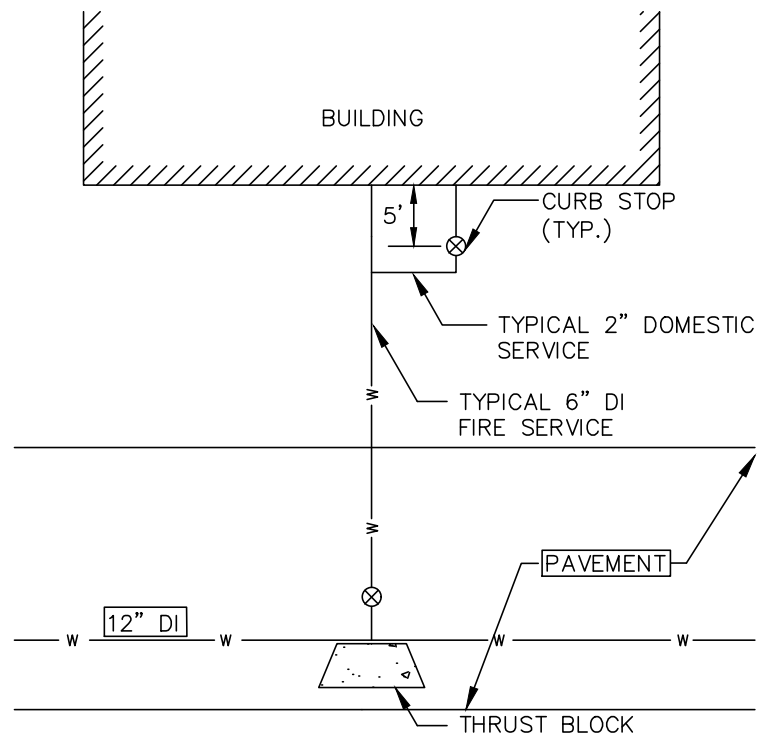


- NOTES:**
- DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
  - PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND PRIVATE SEWER.
  - THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
  - A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
  - CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.

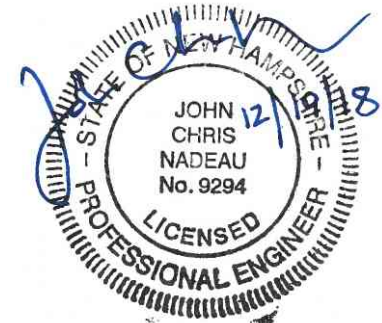
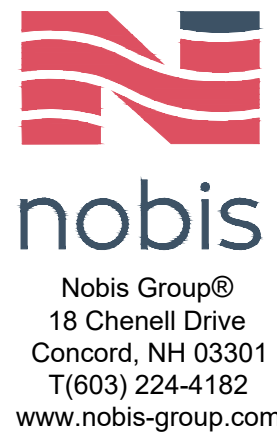
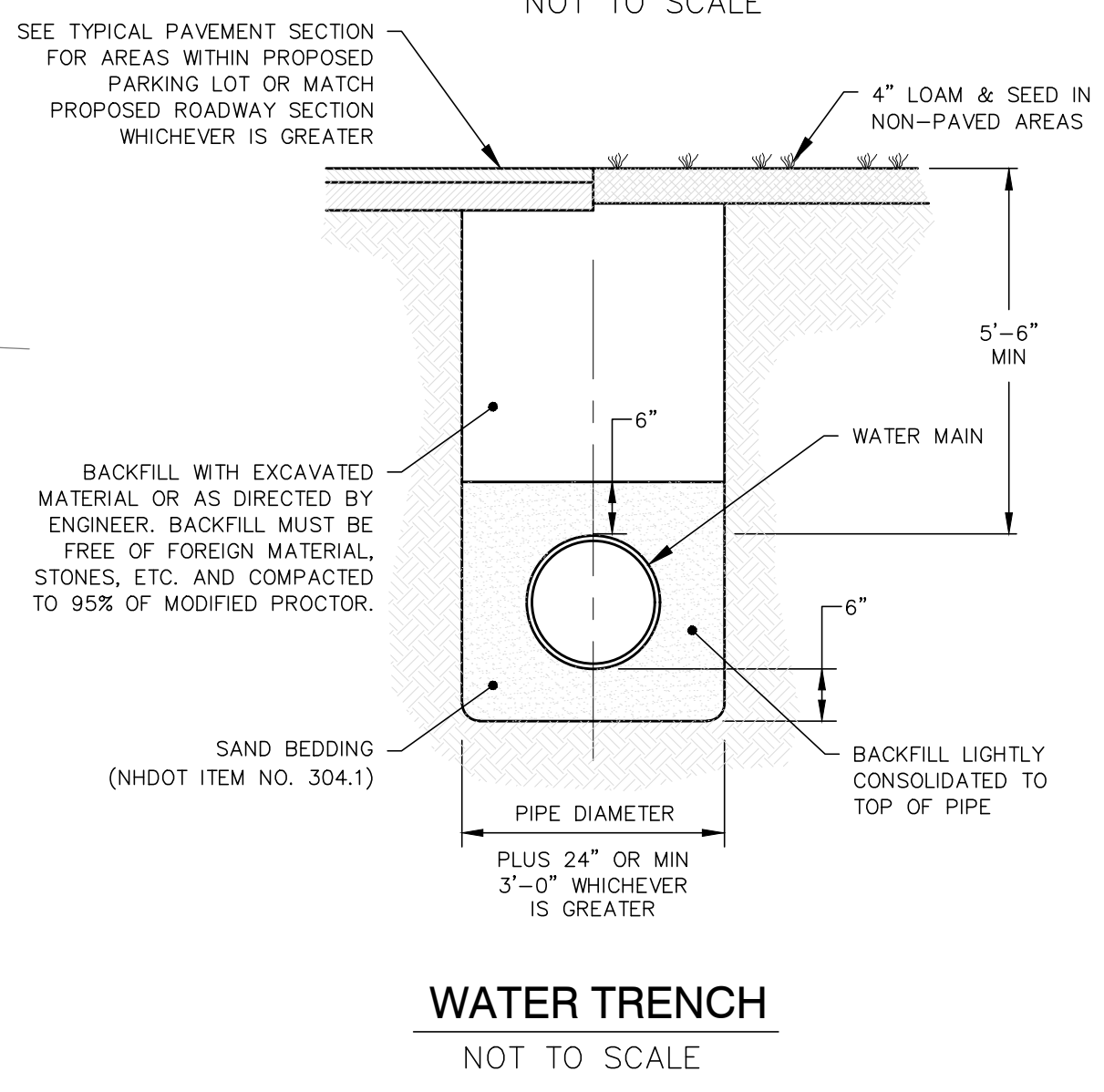
- PLAN REFERENCES:**
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "SUBDIVISION PLAT OF LAND OF ST. PAUL'S SCHOOL", DATED MAY 18, 2004, PROVIDED TO NOBIS GROUP BY RICHARD D BARTLETT & ASSOCIATES, INC.
  - SUPPLEMENTAL INFORMATION FOR ASPHALT DRIVEWAY EXISTING CONDITIONS DERIVED FROM SATELLITE IMAGERY DATED SEPTEMBER 2017.

**ZONING ANALYSIS**

TAX MAP/BLOCK/LOT:	MAP 100/BLOCK 1/LOT 4
ADDRESS:	52 LOOP ROAD CONCORD, NEW HAMPSHIRE
ZONING DISTRICT:	RO DISTRICT
MINIMUM LOT AREA	PROVIDED 87,120 SF
MINIMUM LOT FRONTAGE	PROVIDED 200'
MAXIMUM LOT COVERAGE	PROVIDED 10%
BUILDING SETBACKS REQUIRED	REQUIRED
FRONT YARD	50'
SIDE YARD	40'
REAR YARD	50'
REQUIRED PARKING SPACES	RESIDENTIAL = 1 SPACE / 2 BEDS
TOTAL SPACES:	REQUIRED 4
ACCESSIBLE SPACES:	EXISTING 0 PROPOSED 4



**DOMESTIC WATER/FIRE SERVICE**



NOT ISSUED  
FOR  
CONSTRUCTION

NEUROINTERNATIONAL  
52 LOOP ROAD  
CONCORD, NEW HAMPSHIRE

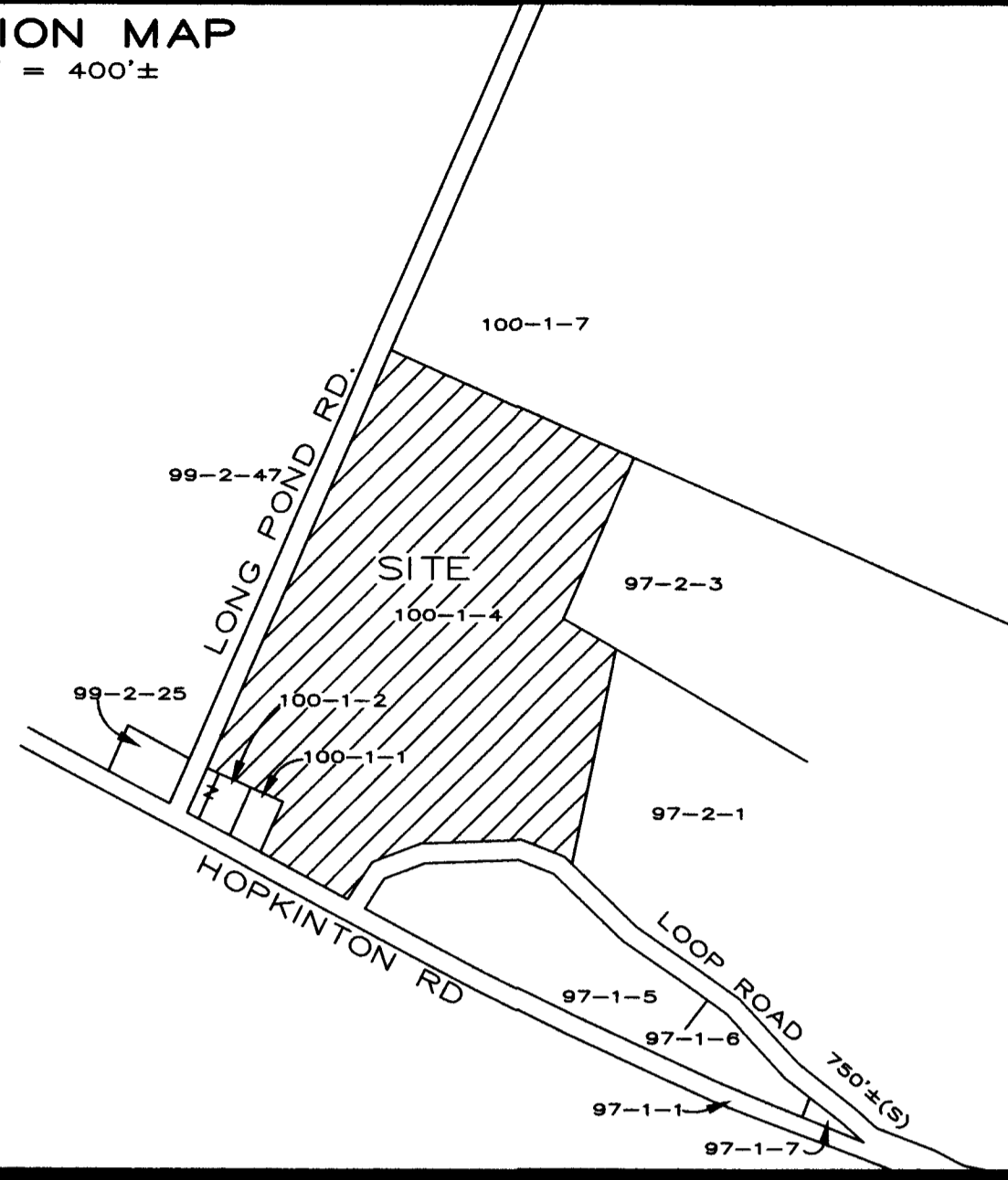
NO.	DATE	DESCRIPTION
REVISIONS		
0 30' 60' GRAPHIC SCALE		
DATE:	DECEMBER 2018	
NOBIS PROJECT NO.	95360.00	
DRAWN BY:	TWH	
CHECKED BY:	JCN	
CAD DRAWING FILE:	95360.00-C-200-SITE.dwg	
SHEET TITLE		

PROPOSED SITE  
PLAN

SHEET  
C-2

# LOCATION MAP

SCALE: 1" = 400'±



Allan & Joan Davis  
22 Long Pond Rd.  
Concord, NH, 03301  
Map 99, Block 2, Lot 7  
V. 1119 P. 208

## LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- OHW
- OVERHEAD WIRES
- DRAINAGE LINE
- SETBACKS
- EDGE OF WOODS
- IRON PIPE OR REBAR
- GRANITE OR CONCRETE BOUND
- UTILITY POLE
- HYDRANT
- WATER SHUT-OFF
- SIGN
- △ WETLAND FLAG
- STEEL PIN TO BE SET
- MAILBOX
- HARDWOOD TREE
- SOFTWOOD TREE

## NOTES

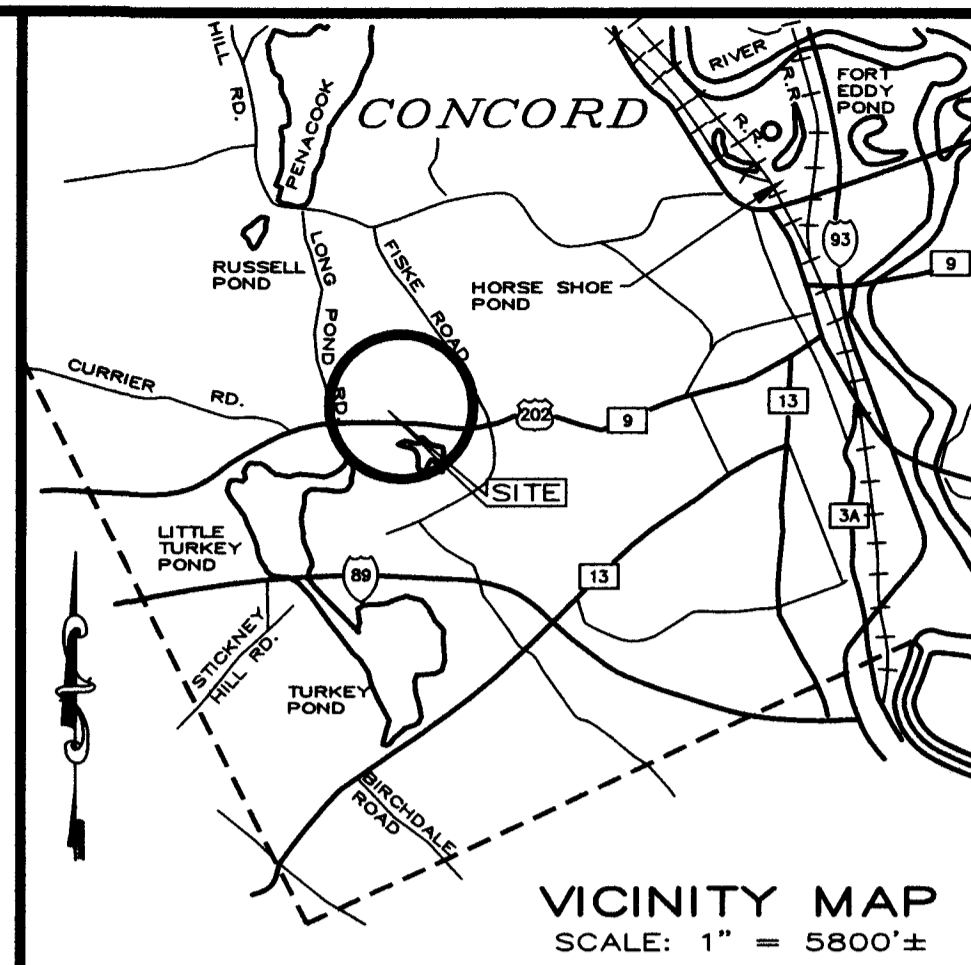
- Survey by total station between the dates of April 19 and April 22, 2004. Primary control traverse error of closure, 1'; 50,796'.
- Horizontal datum based on NH State Plane Coordinate System, NAD 83.
- Vertical datum based on N.G.V.D. 29.
- Owner of record: St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 100, Block 1, Lot 4  
V. 330 P. 132
- The subject premises lies within the "RO"-Open Space Residential Zoning District. Setbacks: front=50', rear=50', side=40'. Minimum lot frontage: 200', minimum lot size=2 Acres, minimum Buildable Area=20,000 Sq. ft.
- The 50' buffer along the perimeter of the delineated wetland is subject to the provisions of Article 28-4, Section 28-4-3 of the City of Concord Zoning Ordinance.
- The intent of this subdivision is to create one additional residential lot encompassing the home existing on the subject premises.

## WETLAND NOTES

- Wetlands were delineated by Gove Environmental Services, Inc. in April, 2004.
- Wetland delineation was performed to the standards of the Corps of Engineers Wetlands Delineation Manual, Technical Report Y-87-1, (January, 1987).
- Dominant hydric soil conditions within the wetlands were identified by Gove Environmental Services, Inc. utilizing the criteria of "Field Indicators For Identifying Hydric Soils in New England", version 2, July, 1998.
- Dominance of wetland vegetation was assessed by Gove Environmental Services, Inc. utilizing the National List of Plant Species That Occur in Wetlands: 1988 Northeast (Region 1) (Porter B. Reed, Jr.).
- Wetlands were classified by Gove Environmental Services, Inc. utilizing the criteria of the U.S. Fish and Wildlife Service Manual FWS/OBS-79/31 Classification of Wetlands and Deepwater Habitats of the United States (Cowardin et al, 1979).

## REFERENCES

- Plat entitled "Lot Line Revisions" dated Sept. 14, 1971, by E.N. Roberts and recorded at the M.C.R.D. as plan no. 2823
- Plat entitled "Tract No. 3987" dated Sept. 16, 1971, by E.N. Roberts and on file at the office of F.W.S. Land Surveying.
- Untitled Highway plans of Hopkinton Rd. on file at the City of Concord Engineering Dept. as plan no. 1005



VICINITY MAP  
SCALE: 1" = 5800'±

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 97, Block 2, Lot 1  
V. 1944 P. 977

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 99, Block 2, Lot 47  
V. 488 P. 229

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 97, Block 2, Lot 3  
V. 1922 P. 428

Gary L. & Martha A. McCarthy  
108 Hopkinton Rd.  
Concord, NH, 03301  
Map 100, Block 1, Lot 1  
V. 2284 P. 935

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 97, Block 1, Lot 2

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 100, Block 1, Lot 4  
Total Area=33.1± Acres  
Area After Subdivision=27.72± Acres

Gary L. & Martha A. McCarthy  
108 Hopkinton Rd.  
Concord, NH, 03301  
Map 100, Block 1, Lot 1  
V. 2284 P. 935

Virginia J. Mogavero  
114 Hopkinton Rd.  
Concord, NH, 03301  
Map 100, Block 1, Lot 2  
V. 2022 P. 349

Scott K. & Margaret A. Whitcomb  
122 Hopkinton Rd.  
Concord, NH, 03301  
Map 99, Block 2, Lot 25  
V. 1931 P. 137

St. Paul's School  
325 Pleasant St.  
Concord, NH, 03301  
Map 98, Block 3, Lot 44  
V. 1 P. 1

Glenn R. & Barbara Gagne  
107 Hopkinton Rd.  
Concord, NH, 03301  
Map 98, Block 3, Lot 24  
V. 2126 P. 755

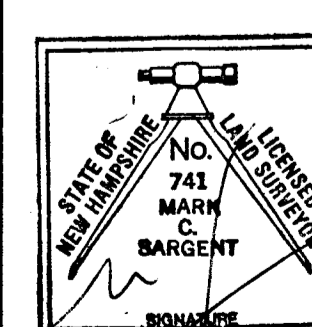
Thomas G. Eaton  
97 Hopkinton Rd.  
Concord, NH, 03301  
Map 98, Block 3, Lot 25  
V. 1857 P. 932

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE: [Signature] LICENSE NO. 741 DATE: 1/4/13

RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS  
ON SEPTEMBER 10, 2004 AS PLAN # 17049

NO.	DATE	REVISION
1	8/25/04	BOUNDS SET/CITY COMMENTS



**RICHARD D. BARTLETT & ASSOCIATES, INC.**  
7 Theatre St. Suite One  
Concord, N.H. 03301-3336  
Tel.: (603) 225-6770  
Fax.: (603) 224-6261  
E-mail: rdbat@richarddbartlett.com  
World Wide Web Page: www.richarddbartlett.com  
LICENSED LAND SURVEYORS

**SUBDIVISION PLAT**  
of land of  
**ST. PAUL'S SCHOOL**  
PROJECT: S2 LOOP RD., CONCORD, NH  
LOCATION: TAX MAP 100, BLOCK 1, LOT 4  
GRAPHIC SCALE  
0 25' 50' 100'  
SCALE: 1" = 50'  
DATE: MAY 18, 2004  
JOB NO.: 104.107  
SHEET 1 OF 1

**APPROVED**  
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
**CITY PLANNING BOARD**  
CITY OF CONCORD, NEW HAMPSHIRE  
In accordance with vote of the board dated:  
Approval of this plat is limited to lots as shown.  
Clerk \_\_\_\_\_ Chair \_\_\_\_\_