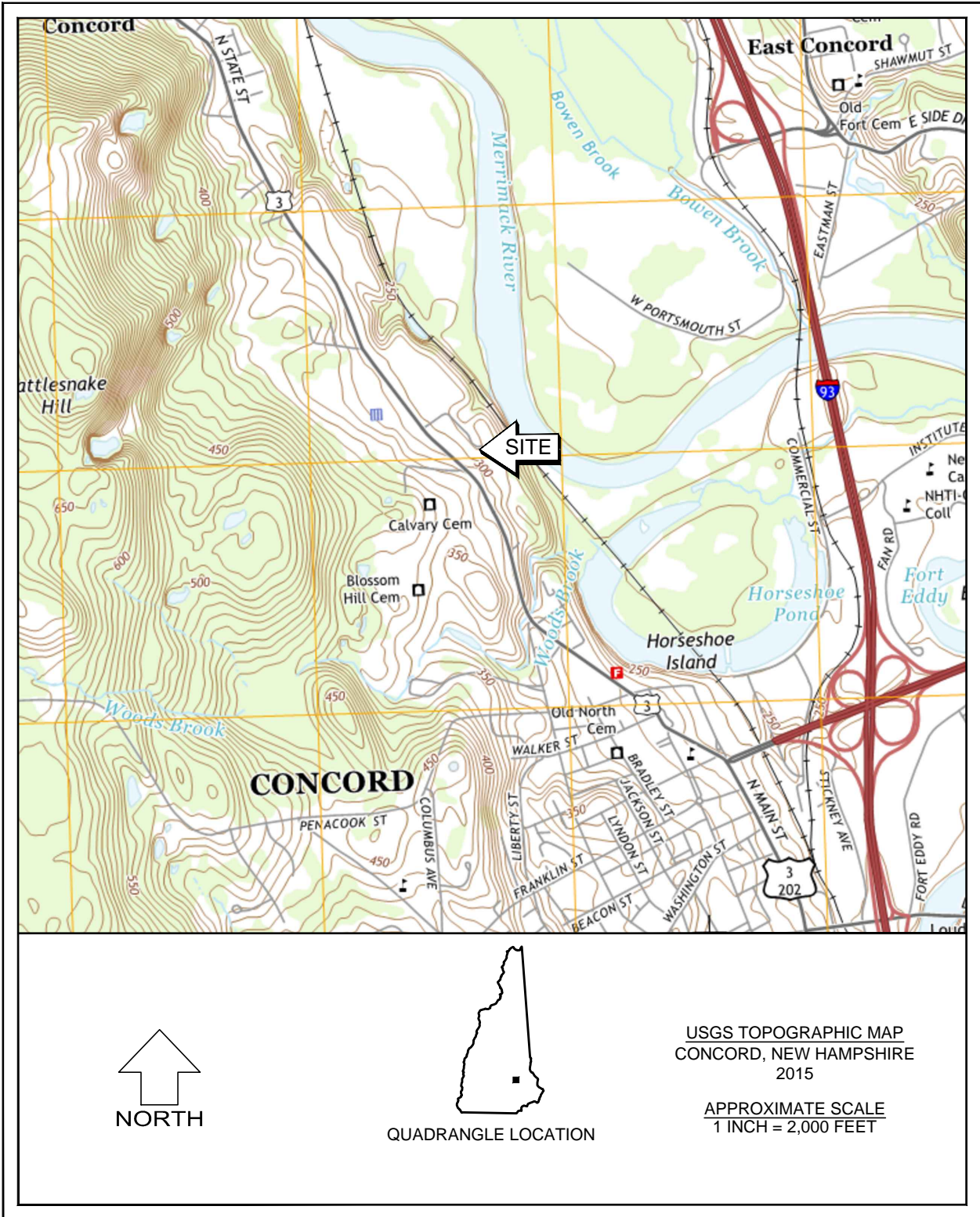


REVISED PHASE 4 PARKING AND ACCESS ROAD SMOKESTACK CENTER

254 NORTH STATE STREET
CONCORD, NH

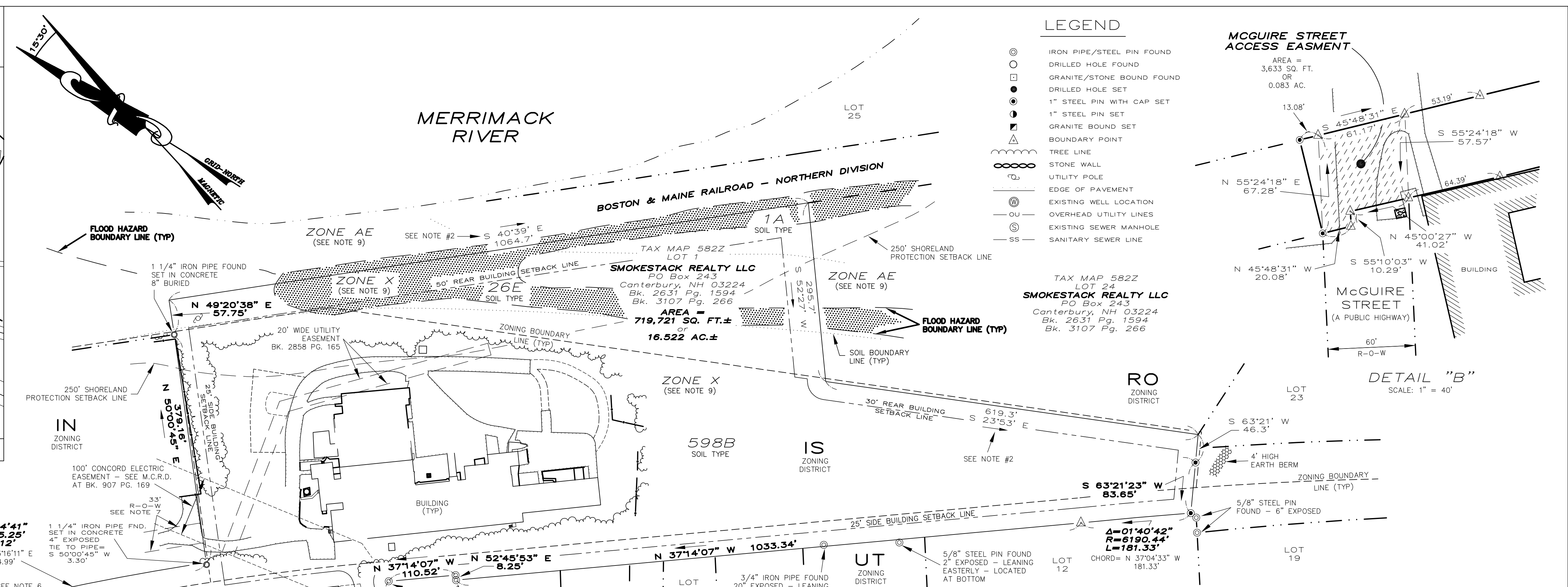


JULY, 2018
REVISED OCTOBER 5, 2018

SHEET INDEX

I.D.	NO.	DRAWING NAME
CS		COVER SHEET
G1.0	1	GENERAL NOTES AND LEGEND
S1.0	2	EXISTING CONDITIONS PLAN
S1.1	3	EXISTING CONDITIONS PLAN
C1.0	4	DEMOLITION PLAN
C2.0	5	OVERALL SITE PLAN
C2.1	6	PHASE 4 SITE PLAN
C3.0	8	OVERALL GRADING AND DRAINAGE PLAN
C3.1	9	PHASE 4 GRADING AND DRAINAGE PLAN
C4.0	10	CONSTRUCTION DETAILS
C4.1	11	CONSTRUCTION DETAILS

PLANNING BOARD APPROVAL	
APPROVED BY CITY OF CONCORD, NEW HAMPSHIRE PLANNING BOARD	
ON _____	DATE _____
CONCORD PLANNING BOARD CLERK _____	DATE _____



- ZONE AE = Base Flood Elevations determined**
- FLOODWAY AREAS IN ZONE AE**
The floodway is the channel of a stream plus any adjacent floodplain that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.
- ZONE X (shaded) = Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.**
- ZONE X = Areas determined to be outside the 0.2% annual chance floodplain.**

1. Plan entitled "RESUBDIVISION PLAT LAND OF EDNA S. BECKETT" dated November 13, 2000. Prepared by this office and recorded at the Merrimack County Registry of Deeds as plan number 13555.
2. Plan entitled "RESUBDIVISION PLAT LANDS OF SMOKESTACK REALTY LLC AND BOSTON & MAINE RAILROAD" dated July 16, 2007. Prepared by this office and recorded at the Merrimack County Registry of Deeds as plan number 18685.
3. Plan entitled "LAND IN CONCORD, NH NORTHERN RAILROAD TO JOHN SWENSON GRANITE CO. INC." dated October 1966. Prepared by J. D. Batchelder and recorded at the M.C.R.D. as plan number 2122.
4. Plan entitled "LAND IN CONCORD, NH NORTHERN RAILROAD TO JOHN SWENSON GRANITE COMPANY, INC" dated September 1964. Prepared by J.F. Kennison and recorded at the M.C.R.D. as plan number 1947.
5. Plan entitled "PLAN OF LAND BELONGING TO CHARLES H. FARNUM EAST OF B & M R.R. NORTHERN DIV." dated June 1926. Prepared by Lloyd & Mann and on file at this office.
6. Plan entitled "PLAN OF LAND BELONGING TO CONCORD ELECTRIC CO. CONCORD, NH" dated April 1925. Prepared by Lloyd & Mann and on file at this office.
7. Plan entitled "CONCORD ELECTRIC COMPANY" dated January 21, 1964. Prepared by E.N. Roberts and on file at this office.
8. Plan entitled "RIGHT-OF-WAY AND TRACK MAP CONCORD & CLAREMONT N.H.R.R." Dated June 30, 1914. On File at the State of New Hampshire Department of Transportation.
9. Plan entitled "SITE PLAN PETIT PAPILLON 8J McGUIRE STREET" dated February 24, 2003. Prepared by Sanford Surveying & Engineering and on file at the City of Concord Engineering Department.
10. Plan entitled "SUBDIVISION & RESUBDIVISION PLAT PREPARED FOR RANDY J. SENTER" dated August 11, 1994. Prepared by Richard D. Bartlett & Associates and on file at the City of Concord, Engineering Department.
11. Plan entitled "PLAN OF LAND BELONGING TO THE JOHN SWENSON GRANITE CO." On file at the City of Concord Engineering Department.
12. Plan entitled "PLAN OF LAND OF N.H. STATE PRISON" dated September 13, 1957. On file at the City of Concord Engineering Department.
13. Plan entitled "PART OF THE NEW ENGLAND BOX CO'S MILL-D-YARD CONCORD NH." On file at the City of Concord Engineering Department.

SOILS INFORMATION HAS BEEN ELECTRONICALLY REPRODUCED FROM THE
USDA - NRCS - NATURAL RESOURCES CONSERVATION SERVICES

1A = OCCUR VERY FINE SANDY LOAM, 0 TO 3 PERCENT SLOPES - WELL DRAINED SOILS - SOIL GROUP 2.

26E = WINDSOR LOAMY SAND, 15 TO 60 PERCENT SLOPES - EXCESSIVE DRAINED SOIL - SOIL GROUP 1.

598B = WINDSOR - URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES - EXCESSIVELY DRAINED SOIL - SOIL GROUP 1.

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

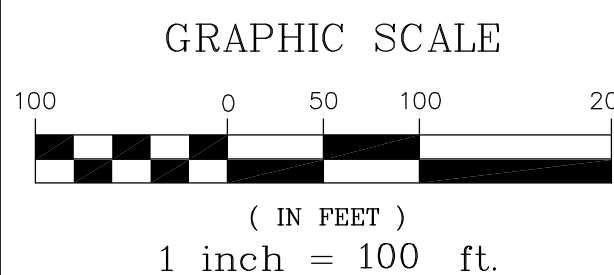
In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown

_____ Clerk _____ Chair

I hereby certify that this plat was prepared by me or those under my direct immediate supervision.

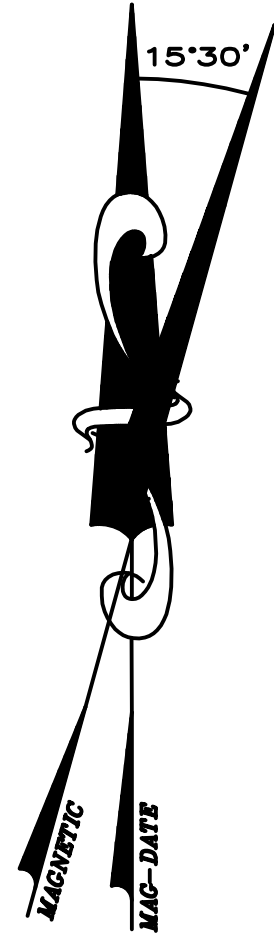
Signature	License No.	Date
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NO.	DATE	REVISION

DATE: AUGUST 24, 2018
PROJECT NO. 17-018
RECORDING NO:
DATE:

BOUNDARY PLAT
LAND OF
SMOKESTACK REALTY LLC
LOCATION
CONCORD, NH - MERRIMACK CO
TAX MAP 582Z LOT 1



100' CONCORD ELECTRIC
EASEMENT - SEE M.C.R.D.
AT BK. 907 PG. 169

CATCH BASIN
RIM ELEV.=289.17
INV. IN (SE) 12" HDPE ELEV.=284.84
INV. OUT (N) 12" HDPE ELEV.=284.75

$\Delta=02^{\circ}50'21''$
 $R=4279.25'$
 $L=212.06'$
CHORD= N 39°19'21" W
212.03'

2' WIDE GRANITE BLOCK
RETAINING WALL

ALUMINUM LIGHT
POLE (TYP)

5/8" STEEL PIN
FOUND - 3" BURIED

ILLUMINATED
254 DIRECTORY
SIGN

1" STEEL PIN WITH CAP
FOUND "BARTLETT & ASSOC."
6" EXPOSED

1" STEEL PIN WITH CAP
FOUND "BARTLETT & ASSOC."
6" EXPOSED

6" X 6" GRANITE BOUND
WITH DRILLED HOLE
FOUND - FLUSH

1" STEEL PIN WITH CAP
FOUND "BARTLETT & ASSOC."
6" EXPOSED

LOT 4

1" STEEL PIN FOUND
12" EXPOSED

LOT 5

CATCH BASIN
RIM ELEV.=288.39
INV. OUT (NW) 12" HDPE ELEV.=284.93
INV. IN (SE) 4" PVC ELEV.=285.74

ELEC. BOX WITH
UNDERGROUND CONDUIT

3" DIAMETER CONCRETE
FILLED BOLLARDS (TYP)

AC UNITS ON
PADS (TYP)

GRANITE SLAB (TYP)

GRANITE BLOCK
RETAINING WALL

WOOD STEPS AND DECK (TYP)
UNLESS OTHERWISE NOTED

WOOD DECK FOR AC UNITS
SET ON CONCRETE POSTS

METAL STEPS
AND DECK

GAS LINE OUT OF
GROUND TO METERS

SECOND FLOOR DECK
ELEC. COOLING OR
HEATING UNITS

OLD METAL AC UNIT
ON CONCRETE POSTS

DISCONNECTED
UNDERGROUND
GAS LINE

DISCONNECTED
UNDERGROUND
GAS LINE

4" HIGH WIRE
MESH FENCE

W/F SHED
ON CONCRETE PAD

CONCRETE BLOCK
RETAINING WALL

ROW OF GRANITE BLOCKS

50' BLUFF BUFFER
SETBACK LINE

TOP OF BLUFF

25% SLOPES OR GREATER

ZONING REQUIREMENTS

Property is Zoned: IS = INSTITUTIONAL DISTRICT

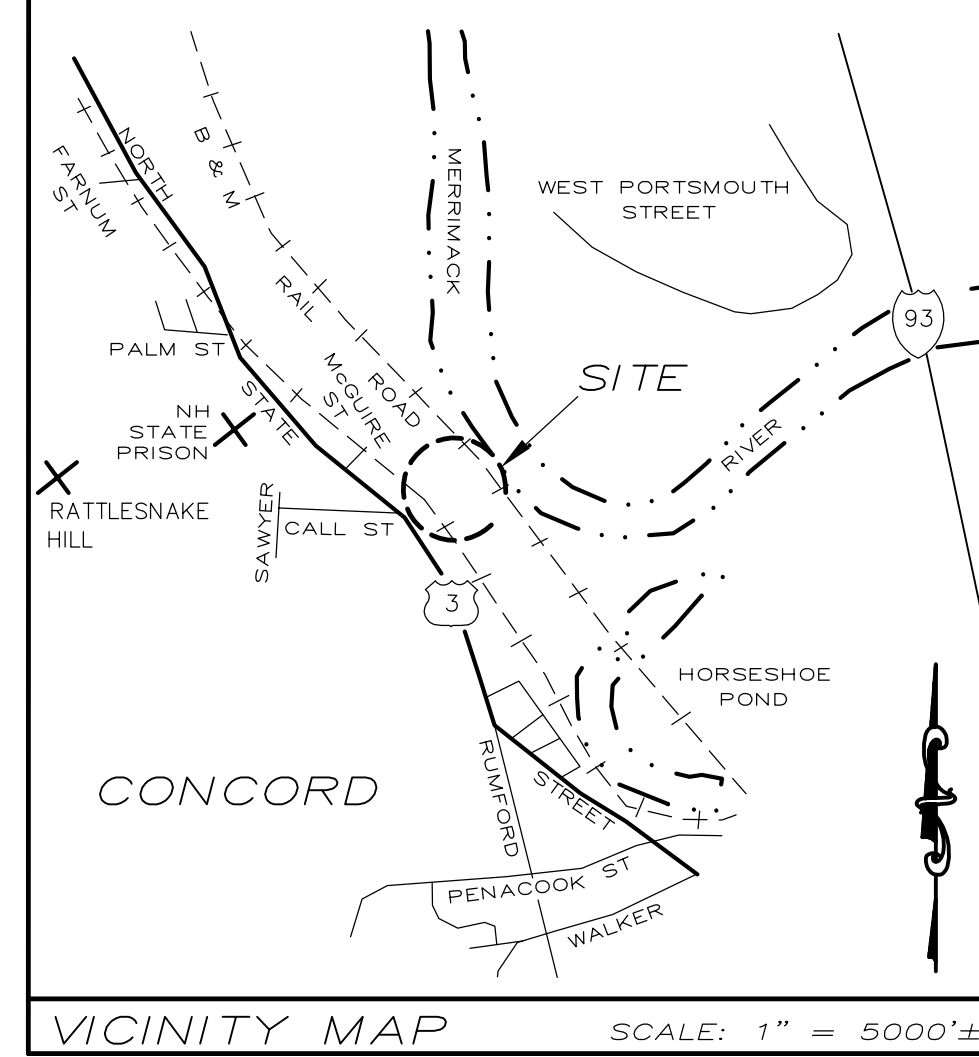
Minimum Lot Size = 25,000 Sq. Ft. with 12,500 Sq. Ft. of buildable land
Minimum Frontage = 150 feet
Maximum Lot Coverage = 75%
Structure Setbacks:

Front = 30 feet
Side = 25 feet
Rear = 30 feet

Property is Zoned: RO = OPEN SPACE RESIDENTIAL DISTRICT

Minimum Lot Size = 2.00 Acres with 20,000 Sq. Ft. of buildable land
Minimum Frontage = 200 feet
Maximum Lot Coverage = 10%
Structure Setbacks:

Front = 50 feet
Side = 40 feet
Rear = 50 feet



LEGEND

- IRON PIPE/STEEL PIN FOUND
- DRILLED HOLE FOUND
- GRANITE/STONE BOUND FOUND
- DRILLED HOLE SET
- 1" REBAR WITH CAP SET
- 1" REBAR SET
- GRANITE BOUND SET
- BOUNDARY POINT
- TREE LINE
- STONE WALL
- EDGE OF PAVEMENT
- EXISTING WELL LOCATION
- OVERHEAD UTILITY LINES
- WATER LINE
- WOOD FRAME
- METAL FRAME
- UTILITY POLE
- UTILITY POLE WITH GUY WIRE(S)
- UTILITY POLE WITH LIGHT
- WATER SHUTOFF
- FIRE HYDRANT
- SEWER MANHOLE
- GAS VALVE

NOTES

- The topography and physical features shown are from a field survey performed by this office between the dates of July 12 and July 26, 2017.
- The horizontal datum of this plan is NAD 83 (CORS 96). This datum was established at the site using GPS data from the State of New Hampshire Department of Transportation base station and Ashtech Promark 2 receivers at the site. Static field procedures were used.
- The vertical datum of this plan is NAVD88. The orthometric elevations were derived using Geoid 99. This datum was established at the site using GPS data from the State of New Hampshire Department of Transportation base station and Ashtech Promark 2 receivers at the site. Static field procedures were used.

UTILITIES STATEMENT

The location of the utilities shown hereon have been compiled from visible structures located in the field and information obtained from various sources. The actual location of all utilities and underground structures shall be considered approximate and shall be verified by the owner or contractor prior to any construction. The surveyor makes no guarantees that the underground utilities shown hereon comprises all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown hereon are in the exact location as shown.

I hereby certify that the survey and this plat was prepared by me or those under my direct immediate supervision.

Licensed Land Surveyor

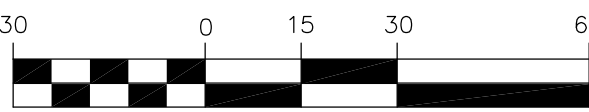
License No.

Date

FWS LAND SURVEYING P.L.L.C.

56 BOYCE ROAD CANTERBURY, NH 03224
(603) 783 - 9924

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

NO.	DATE	REVISION
1	8/27/2018	GENERAL REVISIONS PER CITY COMMENTS DATED 6/11/18 & 7/18/18

DATE: OCTOBER 18, 2017

PROJECT NO. 17-018

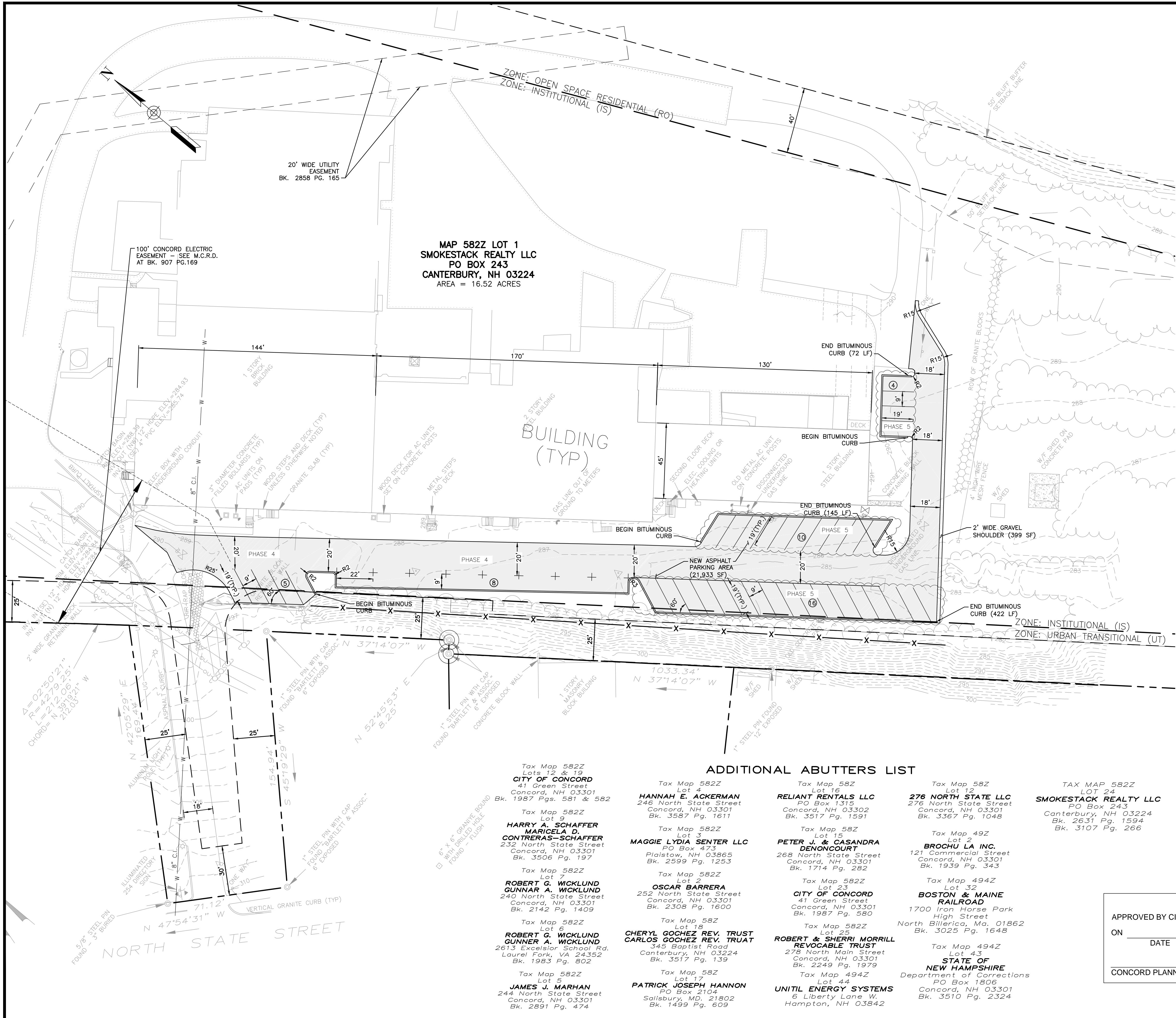
SHEET 2 OF 2

**TOPOGRAPHIC &
PHYSICAL FEATURE PLAT**

LAND OF
SMOKESTACK REALTY LLC

LOCATION
**254 NORTH STATE STREET - CONCORD, NH - MERRIMACK COUNTY
TAX MAP 582 LOT Z1**

J:\93350.00 - Driveway and Add'l Paving, Smokestack Center\CAD\93350.00-C-200-SITE.dwg 10/9/2018 11:44 AM



- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO RELOCATE 43 FUTURE PHASE 4 PARKING SPACES, ORIGINALLY PROPOSED ON SHEET C2 OF PHASES 2-4 OF THE MASTER SITE PLAN. THE 43 FUTURE PARKING SPACES ARE NOW PROPOSED IN THE LOCATIONS SHOWN ON THIS PLAN AS PHASE 4 AND PHASE 5. AN ACCESS ROAD AROUND THE WEST SIDE OF SMOKESTACK CENTER WILL BE CONSTRUCTED WITH THIS PROJECT TO PROVIDE ACCESS FOR EMERGENCY VEHICLES.
 2. ALL SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
 3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
 4. NO JURISDICTIONAL WETLANDS ARE KNOWN TO BE PRESENT ON THE SUBJECT PARCEL.
 5. THE EXISTING BUILDING IS SERVICED BY MUNICIPAL WATER AND SEWER.
 6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 7. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
 8. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
 9. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 10. POTABLE WATER WATER SUPPLY COMES FROM AN 8"Ø C.I. PIPE FROM NORTH STATE STREET.
 11. SEWER SERVICE COMES FROM MCGUIRE STREET AND SERVICES THE PROPERTY ALONG THE NORTHEAST SIDE OF THE BUILDING BY 6" Ø PVC PIPES.
 12. CONSTRUCTION SHALL BE LIMITED TO ACCESS DRIVE AND PHASE 4 PARKING AT THIS TIME. PHASE 5 PARKING SHALL BE FUTURE PARKING FOR CONSIDERATION AT A LATER DATE WHEN THE ADDITIONAL PARKING IS WARRANTED.
 13. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

PLAN REFERENCES:

1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "TOPOGRAPHIC A PHYSICAL FEATURE PLAT", DATED OCTOBER 18, 2017, PROVIDED TO NOBIS ENGINEERING, INC. BY FWS LAND SURVEYING, PLLC.
2. BUILDING FOOTPRINT PROVIDED ON ABOVE PLAT AND REPRESENTS EXISTING SITE CONDITIONS.

TABULATIONS

GROSS ACREAGE:	719,611 SF, 16.52 ACRES
GROUND COVERAGE FOR PARKING AND LOADING AREAS	14,211 SF, 1.97% (PHASE 4 ONLY) 21,933 SF, 3.05% (PHASE 4 & PHASE 5)
REQUIRED INTERNAL LANDSCAPING	711 SF, 5% (PHASE 4 ONLY) 1,097 SF, 5% (PHASE 4 & PHASE 5)

ZONING ANALYSIS

TAX MAP/BLOCK/LOT:	MAP 582Z / LOT 1
ADDRESS:	254 NORTH STATE STREET CONCORD, NH
ZONING DISTRICT:	RO - OPEN SPACE RESIDENTIAL UT - URBAN TRANSITIONAL IS - INSTITUTIONAL
MINIMUM LOT AREA	PROVIDED 2 ACRES (RO) 10,000 SF (UT) 25,000 SF (IS)
MINIMUM LOT FRONTAGE	PROVIDED N/A (NO LOT LINE ADJUSTMENT PROPOSED)
MAXIMUM LOT COVERAGE	EXISTING 10% (RO) 75% (UT) 75% (IS) PROPOSED (131,651 SF + 22,150 SF) / 518,758 SF = 28% NOTE: 518,758 SF (11.9 ACRES) OF COMBINED UT AND IS ZONE; INCLUDES 40FT NORTH OF TRANSECTING LINE PER CMC ARTICLE 28-2:3D(4)
BUILDING SETBACKS REQUIRED	REQUIRED (RO) REQUIRED (UT) REQUIRED (IS)
FRONT YARD	50' 15' 30'
SIDE YARD	40' 10' 25'
REAR YARD	50' 25' 30'
PARKING SETBACKS REQUIRED	REQUIRED
FRONT YARD	10'
SIDE YARD	5'
REAR YARD	5'
REQUIRED PARKING SPACES	REQUIRED PROPOSED
PROJECT CLASSIFICATION = TBD (MIXED USE)	43 13 PHASE 4 / 30 PHASE 5
TOTAL SPACES:	
* REFER TO C2 SMOKESTACK REALTY 8 MCGUIRE STREET, CONCORD, NH RESERVED PARKING AREAS PHASE 2-4, PREPARED BY G. R. SPALDING DESIGN CONSULTANTS, LLC, DATED 10/09/2006 FOR FULL PARKING CALCULATION FOR APPROVED SITE PLAN & CONDITIONAL USE PERMIT.	

ADDITIONAL ABUTTERS LIST

- Tax Map 582Z
Lots 2 & 19
CITY OF CONCORD
41 Green Street
Concord, NH 03301
Bk. 1987 Pgs. 581 & 582
- Tax Map 582Z
Lot 9
HARRY A. SCHAFFER MARICELA D. CONTRERAS-SCHAFFER
232 North State Street
Concord, NH 03301
Bk. 3506 Pg. 197
- Tax Map 582Z
Lot 7
ROBERT G. WICKLUND GUNNAR A. WICKLUND
240 North State Street
Concord, NH 03301
Bk. 2142 Pg. 1409
- Tax Map 582Z
Lot 6
ROBERT G. WICKLUND GUNNAR A. WICKLUND
2613 Excalibur School Rd.
Laurel Fork, VA 24352
Bk. 1983 Pg. 802
- Tax Map 582Z
Lot 5
JAMES J. MARHAN
244 North State Street
Concord, NH 03301
Bk. 2891 Pg. 474
- Tax Map 582Z
Lot 16
HANNAH E. ACKERMAN
246 North State Street
Concord, NH 03301
Bk. 3587 Pg. 1611
- Tax Map 582Z
Lot 3
MAGGIE LYDIA SENTER LLC
Plaistow, NH 03865
Bk. 2599 Pg. 1253
- Tax Map 582Z
Lot 2
OSCAR BARRERA
252 North State Street
Concord, NH 03301
Bk. 2308 Pg. 1600
- Tax Map 582Z
Lot 18
CHERYL GÓCHEZ REV. TRUST CARLOS GÓCHEZ REV. TRUST
345 Baptist Road
Canterbury, NH 03224
Bk. 3517 Pg. 139
- Tax Map 582Z
Lot 12
PATRICK JOSEPH HANNON
Salisbury, MD. 21802
Bk. 1499 Pg. 609
- Tax Map 58Z
Lot 16
RELIANT RENTALS LLC
PO Box 1315
Concord, NH 03302
Bk. 3517 Pg. 1591
- Tax Map 58Z
Lot 15
PETER J. & CASANDRA DENINGCOURT
268 North State Street
Concord, NH 03301
Bk. 1714 Pg. 282
- Tax Map 582Z
Lot 25
CITY OF CONCORD
41 Green Street
Concord, NH 03301
Bk. 1987 Pg. 580
- Tax Map 582Z
Lot 25
ROBERT & SHERRI MORRILL REVOCABLE TRUST
278 North Main Street
Concord, NH 03301
Bk. 2249 Pg. 1979
- Tax Map 494Z
Lot 44
UNITIL ENERGY SYSTEMS
6 Liberty Lane W.
Hampton, NH 03842
- Tax Map 58Z
Lot 12
276 NORTH STATE LLC
276 North State Street
Concord, NH 03301
Bk. 3367 Pg. 1048
- Tax Map 49Z
Lot 2
BROCHU LA INC.
121 Commercial Street
Concord, NH 03301
Bk. 1939 Pg. 343
- Tax Map 494Z
Lot 32
BOSTON & MAINE RAILROAD
1700 Iron Horse Park
High Street
North Billerica, Ma. 01862
Bk. 3025 Pg. 1648
- Tax Map 494Z
Lot 43
STATE OF NEW HAMPSHIRE
Department of Corrections
PO Box 1806
Concord, NH 03301
Bk. 3510 Pg. 2324
- TAX MAP 582Z
LOT 24
SMOKESTACK REALTY LLC
PO Box 243
Canterbury, NH 03224
Bk. 2631 Pg. 1594
Bk. 3107 Pg. 266

PLANNING BOARD APPROVAL

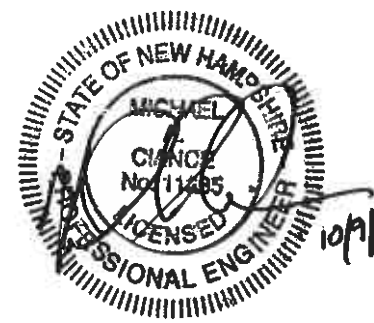
APPROVED BY CITY OF CONCORD, NEW HAMPSHIRE PLANNING BOARD

ON _____ DATE _____

CONCORD PLANNING BOARD CLERK _____ DATE _____



Engineering a Sustainable Future
Nobis Engineering, Inc.
18 Chenell Drive
Concord, NH 03301
T(603) 224-4182
www.nobiseng.com
Client - Focused, Employee - Owned



NOT ISSUED
FOR
CONSTRUCTION

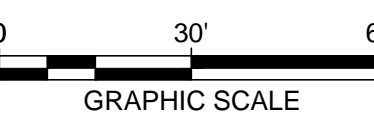
**SMOKESTACK
CENTER REVISED
PHASE 4 PARKING
AND ACCESS ROAD**

LOCATED AT 254 NORTH
STATE STREET
CONCORD, NEW HAMPSHIRE

OWNER: SMOKESTACK
REALTY LLC
PO BOX 243
CANTERBURY, NH 03224

REVISIONS

NO.	DATE	DESCRIPTION
1	10/05/18	RESPONSE TO COMMENTS FROM CITY

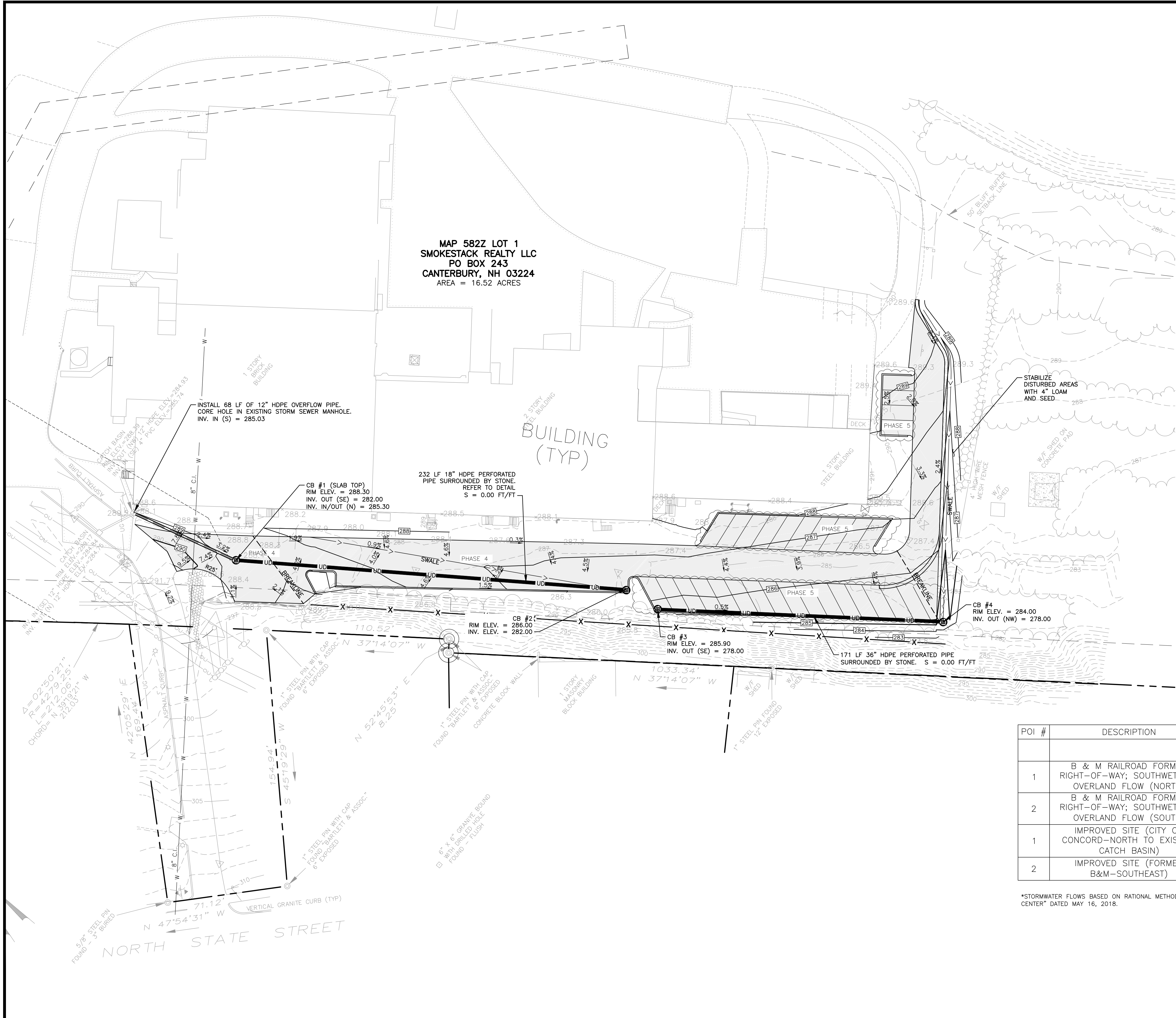


DATE: JULY, 2018
NOBIS PROJECT NO. 93350.00
DRAWN BY: JR
CHECKED BY: EL
CAD DRAWING FILE:
93350.00-C-200-SITE.dwg
SHEET TITLE

**OVERALL SITE
PLAN**

SHEET
C2.0

J:\93350.00 - Driveway and Add'l Paving, Smokestack Center\CAD\dwg\93350.00-C-300-G&D.dwg 10/9/2018 1:42 PM

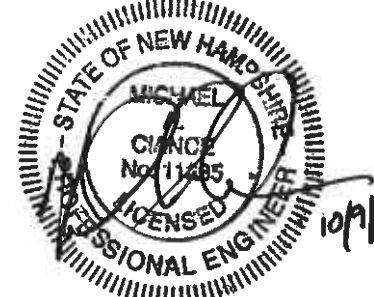


- NOTES:
1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 5. STONE DRIP EDGE PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
 6. FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT.
 7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
 8. LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 9. ALL WORK ON SITE, ALL UTILITY WORK AND ALL WORK WITH CITY R.O.W. WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS, LATEST EDITION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 11. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER WILL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
 12. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.



Engineering a Sustainable Future
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Concord, NH 03301
T(603) 224-4182
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Client - Focused, Employee - Owned



NOT ISSUED
FOR
CONSTRUCTION

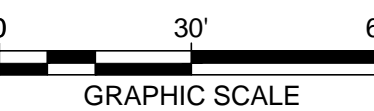
SMOKESTACK
CENTER REVISED
PHASE 4 PARKING
AND ACCESS ROAD

LOCATED AT 254 NORTH
STATE STREET
CONCORD, NEW HAMPSHIRE

OWNER: SMOKESTACK
REALTY LLC
PO BOX 243
CANTERBURY, NH 03224

NO.	DATE	RESPONSE TO COMMENTS FROM CITY DESCRIPTION
-----	------	--

REVISIONS



DATE: JULY, 2018
NOBIS PROJECT NO. 93350.00
DRAWN BY: JR
CHECKED BY: EL
CAD DRAWING FILE:
93350.00-C-300-G&D.dwg

OVERALL
GRADING AND
DRAINAGE PLAN

SHEET

C3.0

POI #	DESCRIPTION		STORM EVENT			
			2-YEAR (CFS)	10-YEAR (CFS)	25-YEAR (CFS)	50-YEAR (CFS)
1	B & M RAILROAD FORMER RIGHT-OF-WAY; SOUTHWESTERLY OVERLAND FLOW (NORTH)	EXIST.=	0.0	0.3	0.5	0.9
2	B & M RAILROAD FORMER RIGHT-OF-WAY; SOUTHWESTERLY OVERLAND FLOW (SOUTH)	EXIST.=	0.1	0.7	1.2	2.0
1	IMPROVED SITE (CITY OF CONCORD-NORTH TO EXISTING CATCH BASIN)	PROP.=	0.0	0.0	0.0	0.9
2	IMPROVED SITE (FORMER B&M-SOUTHEAST)	PROP.=	0.0	0.0	0.5	1.5

*STORMWATER FLOWS BASED ON RATIONAL METHOD WHICH IS PRESENTED IN "STORMWATER MANAGEMENT PLAN FOR SMOKESTACK CENTER" DATED MAY 16, 2018.