


TABLE OF ZONING REGULATIONS – CONCORD, NH				
ZONE: URBAN COMMERCIAL (CU) & URBAN TRANSITIONAL (UT)				
DESCRIPTION	REQUIRED		PROVIDED	
	CU ZONE (LOT 76)	UT ZONE (LOTS 74 & 75)	CU ZONE (LOT 76)	UT ZONE (LOTS 74 & 75)
MINIMUM LOT AREA: 5% FT.	12,500 SF	10,000 SF	23,362 SF	14,916 SF (TWO LOTS COMBINED)
MINIMUM LOT FRONTAGE	150'	100'	419.45'	115.25'
MINIMUM FRONT YARD BUILDING SETBACK	15'	15'	10' TO BUILDING	40' TO GAS CANOPY
MINIMUM REAR YARD BUILDING SETBACK	15'	15'	N/A	N/A
MINIMUM SIDE YARD BUILDING SETBACK	10'	10'	10' TO BUILDING	4' TO GAS CANOPY
MAXIMUM BUILDING HEIGHT	40'	40'	< 45'	< 50'
MAXIMUM LOT COVERAGE (IMPERVIOUS)	NOT = 23,362 SF X 0.80 = 18,690 SF MAX.	75% = 14,916 SF X 0.75 = 11,187 SF MAX.	MAXIMUM SURFACE AREAS	MAXIMUM SURFACE AREAS
EXISTING IMPERVIOUS COVERAGE (COMBINED LOTS)	= 15,349 SF/20,278 SF = 0.003		BUILDING = 3,280 SF	BUILDING = 0 SF
PROPOSED IMPERVIOUS COVERAGE (COMBINED LOTS)	= 25,519 SF/28,278 SF = 77.1%		DRIVEWAYS = 1,401 SF	DRIVEWAYS = 46 SF
			PARKING/CIRCULATION = 12,896 SF	PARKING/CIRCULATION = 10,679 SF
			DUMPSTER PAD = 0 SF	DUMPSTER PAD = 0 SF
			SEMI-ENCLOSURE WALL = 164 SF	SEMI-ENCLOSURE WALL = 164 SF
			TOTAL = 17,567 SF	TOTAL = 11,922 SF
			(EXISTING 15,300/23,362 = 65.5%)	(EXISTING 0.04/14,916 = 27.1%)
MAXIMUM WALL SIGN AREA	40 SF W/OUT ARCHITECTURAL REVIEW	10 SF W/OUT ARCHITECTURAL REVIEW	98.8 SF (INCLUDES CANOPY SIGNAGE)	20.7 SF (INCLUDES CANOPY SIGNAGE)
MAXIMUM NUMBER OF WALL SIGNS	15 WALL SIGNS PER WALL FRONTAGE ON A STREET, NOT TO EXCEED ALLOWED AREA ON 1 SF PER LINEAR FOOT OF BUILDING FRONTAGE. (APPLIES TO ALL NON-RESIDENTIAL DISTRICTS)	4 SF W/OUT ARCHITECTURAL REVIEW	2 WALL SIGNS FACING PENACOOK STREET AT 37.3 SF	3 WALL SIGNS FACING PENACOOK STREET AT 62.2 SF TOTAL (INCLUDES CANOPY SIGNAGE)
MAXIMUM PRETRANSFERRING SIGN AREA, HEIGHT & SETBACK	40 SF W/OUT ARCHITECTURAL REVIEW 60 SF W/OUT ARCHITECTURAL REVIEW 12' HEIGHT & 5' SETBACK	0 SF W/OUT ARCHITECTURAL REVIEW 12 SF W/OUT ARCHITECTURAL REVIEW 0' HEIGHT & 5' SETBACK	49.02 SF, 15' HEIGHT, 12' SETBACK	N/A (NO PRETRANSFERRING SIGN PROPOSED IN UT ZONE)
MINIMUM FRONT YARD LANDSCAPE BUFFER	10' LANDSCAPE AREA ALONG COLLECTOR AND ARTERIAL STREETS		10'	
MINIMUM REAR YARD LANDSCAPE BUFFER	5'		N/A	
MINIMUM SIDE YARD LANDSCAPE BUFFER	5'		0' TO DUMPSTER PAD	
MINIMUM INTERNAL LANDSCAPING	5% OF PARKING/CIRCULATION AREA IF > 50 SPACES		N/A – LESS THAN 50 SPACES	
PARKING SPACE DIMENSIONS	9' X 19'		9' X 19'	
MINIMUM NUMBER PARKING SPACES	0. SALE OF GOODS = 1 PER 250 SF GFA 0.250 SF/250 = 13 PARKING SPACES B. RETAIL SALE OF GASOLINE = 1 PER 25 SF GFA + 1 PER FUEL DISPENSING STATION + 1.5 STANDING SPACES PER FUEL DISPENSING STATION 0.5 SF + 10 FUEL STATIONS = 15 STANDING SPACES = 15 STANDING SPACES TOTAL REQUIRED = 13 PARKING SPACES PLUS 15 STANDING SPACES AT THE FUEL ISLANDS (8 EXISTING SPACES)		17 SPACES PLUS 20 STANDING AT FUEL ISLANDS	

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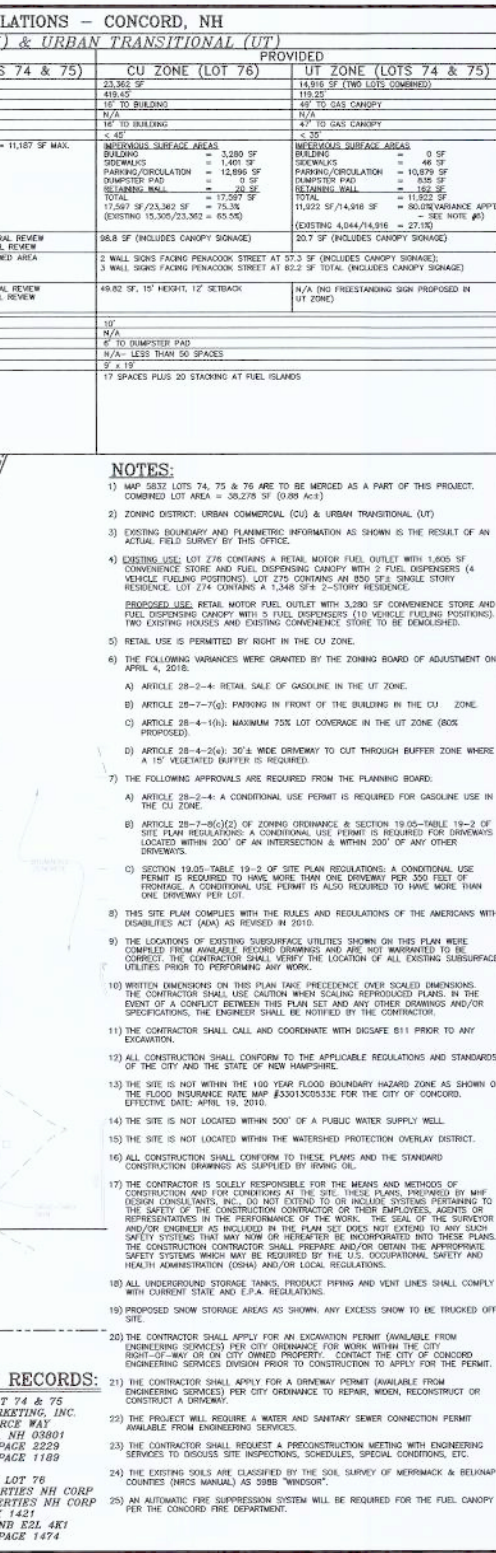
FRANK  
C.  
MONTERO  
No. 7152  
LICENSED  
PROFESSIONAL ENGINEER  
STATE OF NEW HAMPSHIRE

	DESIGN BY:	DRAWN BY:
	CCC	FCM
	SCALE:	APPROVED BY:
	1"=20'	
	DATE:	PROPERTY NO.:
	6/25/18	
	CAD FILE: J20505.AWG	SET-BLK:
	PLOTTE:	REF-BLK:
		REF-BLK:

**IRVING OIL**  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT:  
ASSESSORS MAP 583Z LOTS 74, 75, & 76  
22 & 24 PENACOOK ST AND 163 N.STATE ST  
CONCORD, NEW HAMPSHIRE

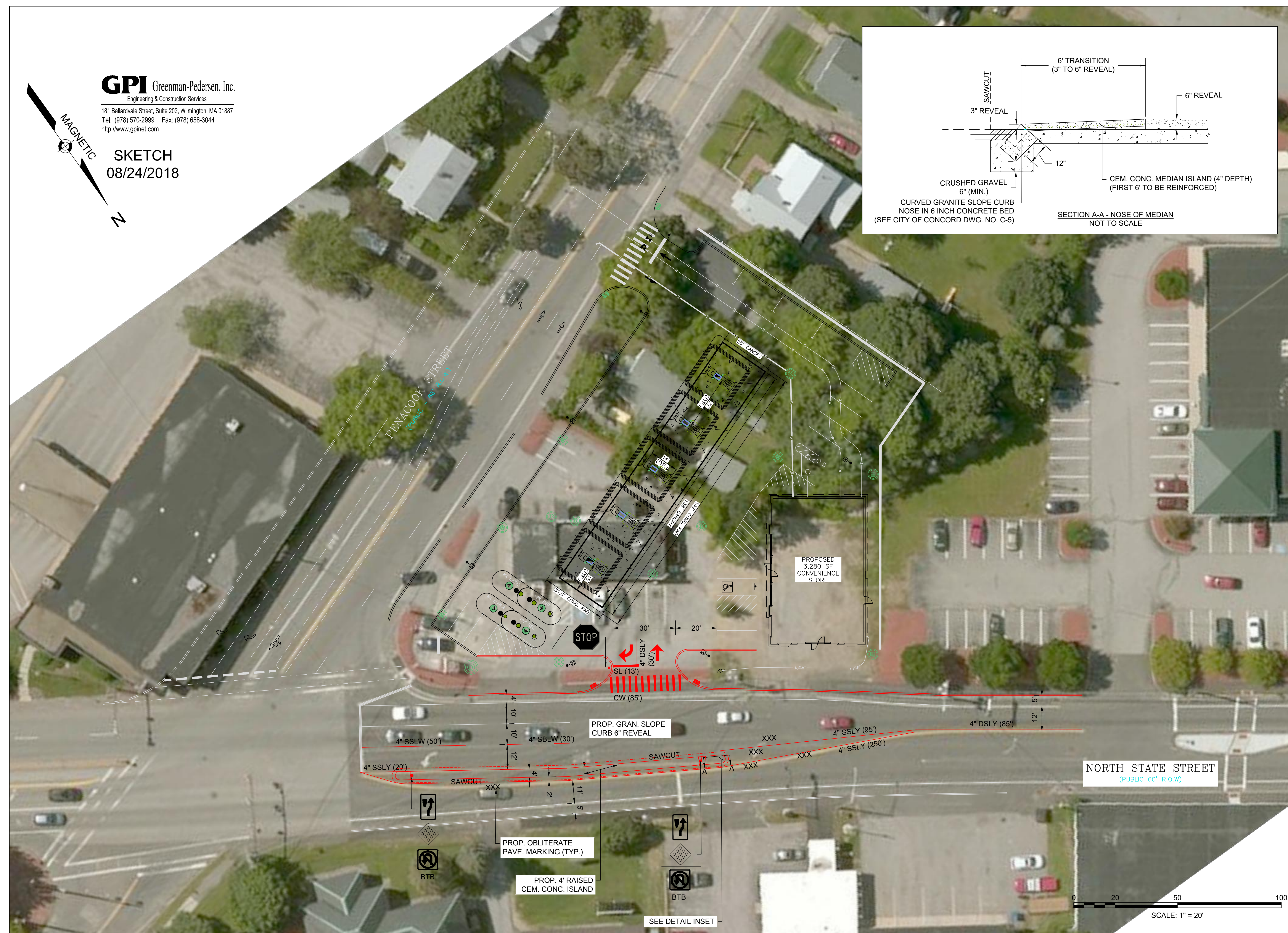
SHEET TITLE:		
<b>SITE PLAN</b>		
PROJECT:	DRAWING NO:	REVISION:
	<b>L4</b>	<b>A</b>
COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK ON AT SITE. THIS DRAWING IS THE PROPERTY OF INYOK OIL LTD. AND SHALL BE FORWARDED ON COMPLETION OF WORK.		



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MHF PROJECT NO. 372915 SHEET 4 OF 13







NOTES:

1) ZONE: URBAN COMMERCIAL (CU) AND URBAN TRANSITIONAL (UT)

CU UT  
MIN. LOT SIZE: 12,500 Sq.Ft. 10,000 Sq.Ft.  
MIN. FRONTAGE: 100 FT 80 FT  
SETBACKS:  
FRONT: 15 FT 15 FT  
SIDE: 15 FT 10 FT  
REAR: 15 FT 25 FT

REFER TO THE CITY OF CONCORD ZONING ORDINANCE FOR ADDITIONAL INFORMATION AND RESTRICTIONS.

2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN OCTOBER 6 & 11, 2017.

3) NO WETLAND DELINEATION FLAGS WERE OBSERVED IN CONDUCTING THIS SURVEY.

4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON OCTOBER 11, 2017.

5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON OCTOBER 11, 2017.

6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.

7) THE SURVEY TRACT IS NOT LOCATED IN A FLOOD ZONE PER FLOOD INSURANCE RATE MAP NUMBER 33013C0533E WITH AN EFFECTIVE DATE OF APRIL 19, 2010.

PLAN REFERENCES:

1) EXISTING CONDITIONS PLAN, ASSESSORS MAP 65 BLOCK 4 LOT 1, 167 NORTH STATE STREET, CONCORD, NEW HAMPSHIRE, PREPARED FOR IRVING OIL CORPORATION; SCALE: 1"=20'; DATED: JULY 14, 1997; PREPARED BY MHF DESIGN CONSULTANTS, INC.

2) MERRIMACK COUNTY REGISTRY OF DEEDS (M.C.R.D.) PLAN #260.

3) M.C.R.D. PLAN #472.

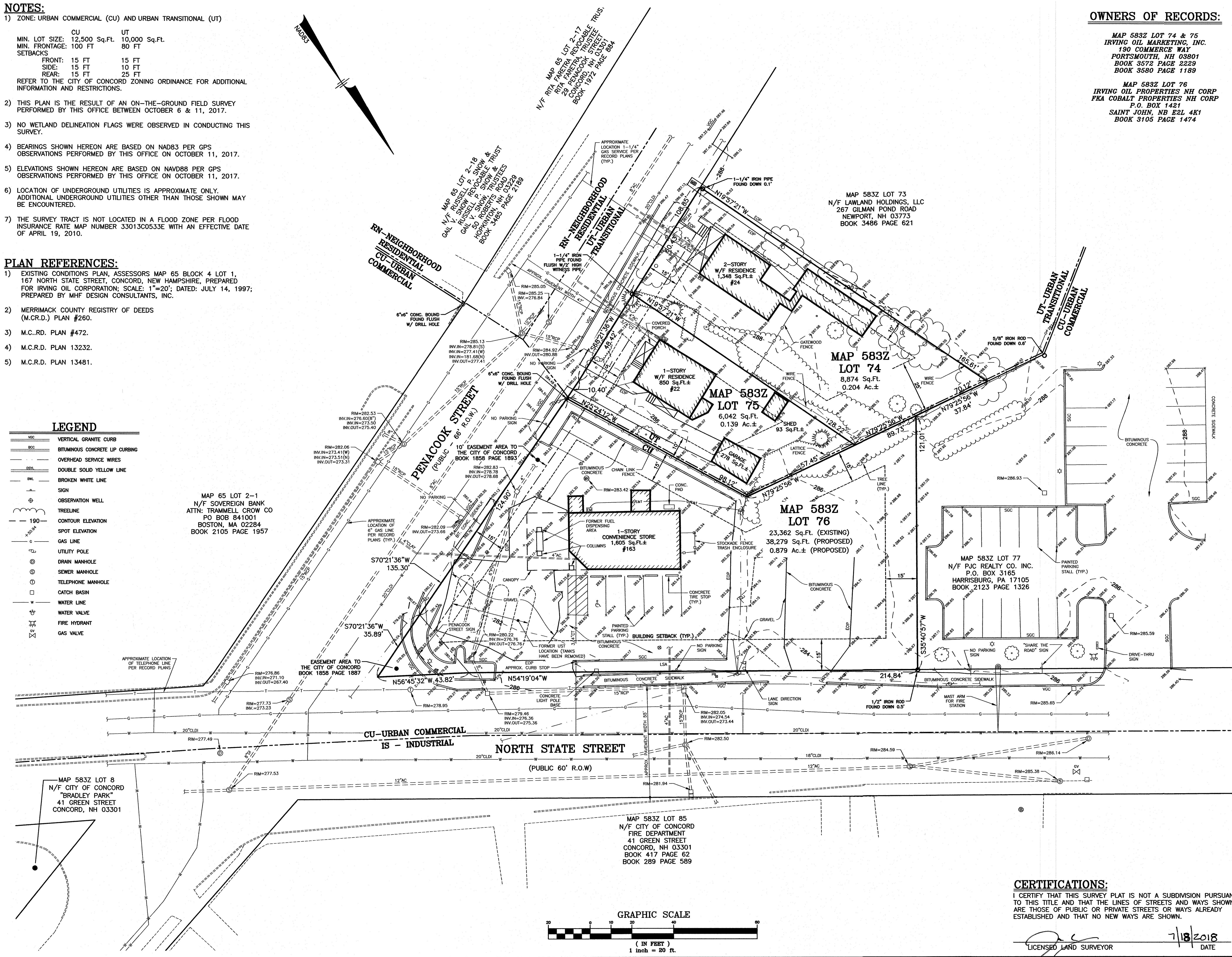
4) M.C.R.D. PLAN 13232.

5) M.C.R.D. PLAN 13481.

LEGEND

VOC	VERTICAL GRANITE CURB
BOC	BITUMINOUS CONCRETE UP CURBING
—	OVERHEAD SERVICE WIRES
—	DOUBLE SOLID YELLOW LINE
—	BROKEN WHITE LINE
—	SIGN
⊕	OBSERVATION WELL
—	TREELINE
190	CONTOUR ELEVATION
—	SPOT ELEVATION
—	GAS LINE
—	UTILITY POLE
⊙	DRAIN MANHOLE
⊙	SEWER MANHOLE
⊙	TELEPHONE MANHOLE
□	CATCH BASIN
—	WATER LINE
—	WATER VALVE
—	FIRE HYDRANT
—	GAS VALVE

MAP 65 LOT 2-1  
N/F SOVEREIGN BANK  
ATTN: TRAMMELL CROW CO  
PO BOX 841001  
BOSTON, MA 02284  
BOOK 2105 PAGE 1957



OWNERS OF RECORDS:

MAP 583Z LOT 74 & 75  
IRVING OIL MARKETING, INC.  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801  
BOOK 3572 PAGE 2229  
BOOK 3580 PAGE 1189

MAP 583Z LOT 76  
IRVING OIL PROPERTIES NH CORP  
FKA COBALT PROPERTIES NH CORP  
P.O. BOX 1421  
SAINT JOHN, NB E2L 4K1  
BOOK 3105 PAGE 1474

MAP 583Z LOT 73  
N/F LAWLAND HOLDINGS, LLC  
267 GILMAN POND ROAD  
NEWPORT, NH 03773  
BOOK 3486 PAGE 621

MAP 583Z  
LOT 74  
8,874 Sq.Ft.  
0.204 Ac.±

MAP 583Z  
LOT 75  
6,042 Sq.Ft.  
0.139 Ac.±

MAP 583Z  
LOT 76  
23,362 Sq.Ft. (EXISTING)  
38,279 Sq.Ft. (PROPOSED)  
0.879 Ac.± (PROPOSED)

MAP 583Z LOT 77  
N/F PJC REALTY CO. INC.  
P.O. BOX 3165  
HARRISBURG, PA 17105  
BOOK 2123 PAGE 1326

MAP 583Z LOT 85  
N/F CITY OF CONCORD  
FIRE DEPARTMENT  
41 GREEN STREET  
CONCORD, NH 03301  
BOOK 417 PAGE 62  
BOOK 289 PAGE 589

CERTIFICATIONS:

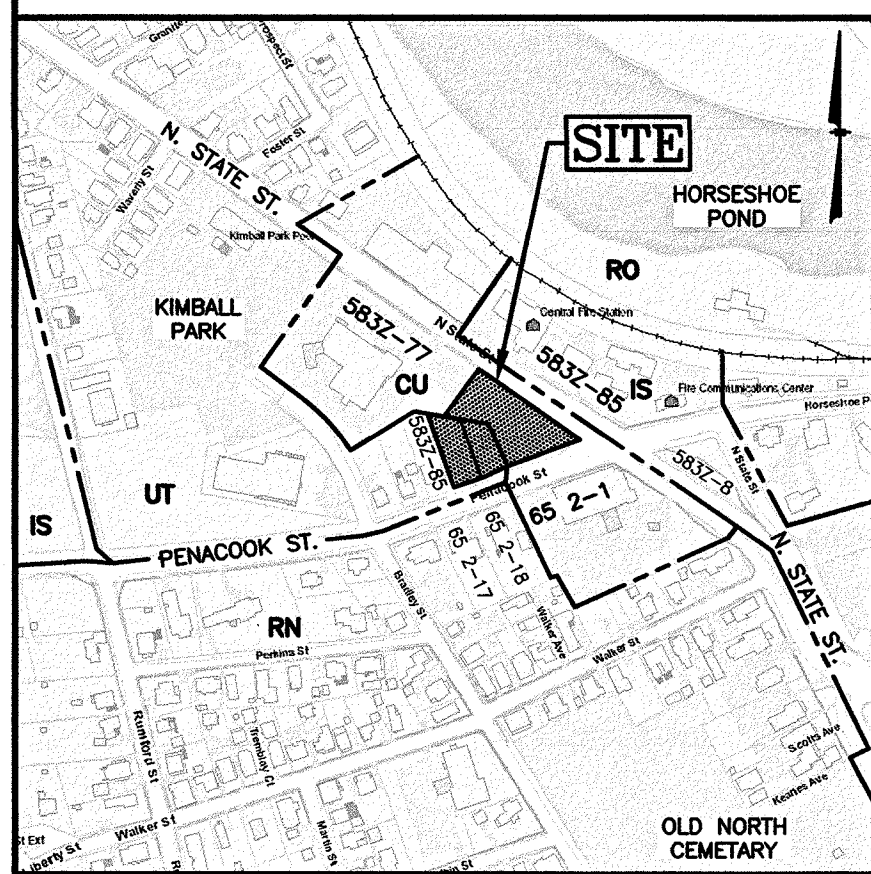
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

LICENSED LAND SURVEYOR

7/18/2018  
DATE

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
- ☐ APPROVED FOR CONSTRUCTION
- ☐ PRELIMINARY—NOT FOR CONSTRUCTION
- ☐ ISSUED TO: \_\_\_\_\_

DATE



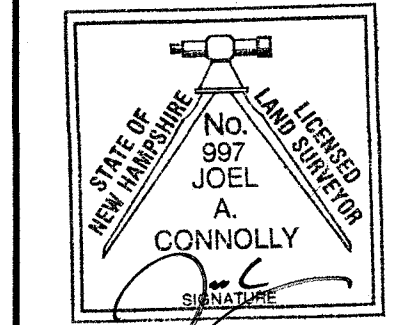
LOCATION PLAN

SCALE: 1"=400'

REV	DATE	BY	REVISION
A	7/18/2018	JAC	MISC. REV'S

REVISIONS

**MHF Design Consultants, Inc.**  
44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720  
ENGINEERS • PLANNERS • SURVEYORS  
www.mhfdesign.com



DRAWN BY:	NIG	CHECKED BY:	JAC
SCALE:	1"=20'	APPROVED BY:	
DATE:	6/25/18	PROPERTY NO.:	
CAD FILE:	372915.DWG	REF-BLK:	
PLOTTED:		REF-BLK:	

**IRVING OIL**  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT:  
ASSESSORS MAP 583Z LOTS 74, 75, & 76  
22 & 24 PENACOOK ST AND 163 N.STATE ST  
CONCORD, NEW HAMPSHIRE

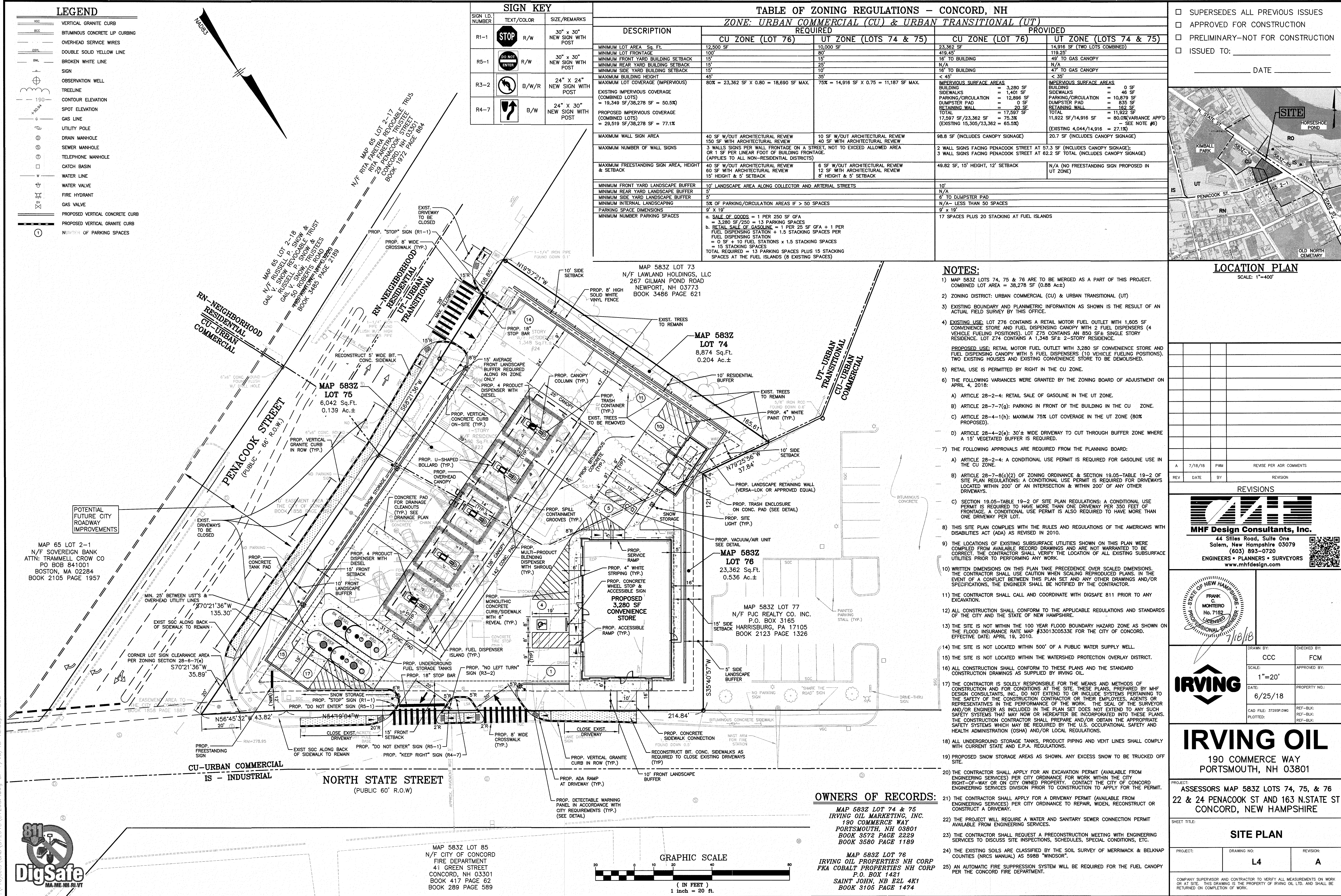
PROJECT:	DRAWING NO:	REVISION:
	L2	A

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.









**LEGEND**

	VERTICAL GRANITE CURB
	BITUMINOUS CONCRETE LIP CURBING
	OVERHEAD SERVICE WIRES
	DOUBLE SOLID YELLOW LINE
	BROKEN WHITE LINE
	SIGN
	OBSERVATION WELL
	TREE LINE
	CONTOUR ELEVATION
	SPOT ELEVATION
	GAS LINE
	UTILITY POLE
	DRAIN MANHOLE
	SEWER MANHOLE
	TELEPHONE MANHOLE
	WATER LINE
	WATER VALVE
	FIRE HYDRANT
	GAS VALVE
	PROPOSED VERTICAL CONCRETE CURB
	PROPOSED VERTICAL GRANITE CURB
	NUMBER OF PARKING SPACES

**SIGN KEY**

SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1		30" x 30" NEW SIGN WITH POST
R5-1		30" x 30" NEW SIGN WITH POST
R3-2		24" x 24" NEW SIGN WITH POST
R4-7		24" x 30" NEW SIGN WITH POST

**TABLE OF ZONING REGULATIONS - CONCORD, NH**

DESCRIPTION	REQUIRED		PROVIDED	
	CU ZONE (LOT 76)	UT ZONE (LOTS 74 & 75)	CU ZONE (LOT 76)	UT ZONE (LOTS 74 & 75)
MINIMUM LOT AREA - Sq. Ft.	12,500 SF	10,000 SF	23,362 SF	14,916 SF (TWO LOTS COMBINED)
MINIMUM LOT FRONTAGE	100'	80'	419.45'	119.25'
MINIMUM FRONT YARD BUILDING SETBACK	15'	15'	16' TO BUILDING	49' TO GAS CANOPY
MINIMUM REAR YARD BUILDING SETBACK	15'	25'	N/A	N/A
MINIMUM SIDE YARD BUILDING SETBACK	15'	10'	16' TO BUILDING	49' TO GAS CANOPY
MAXIMUM BUILDING HEIGHT	45'	35'	< 45'	< 35'
MAXIMUM LOT COVERAGE (IMPERVIOUS)	80% = 23,362 SF X 0.80 = 18,690 SF MAX.	75% = 14,916 SF X 0.75 = 11,187 SF MAX.	IMPERVIOUS SURFACE AREAS	IMPERVIOUS SURFACE AREAS
EXISTING IMPERVIOUS COVERAGE (COMBINED LOTS)	= 19,349 SF/38,278 SF = 50.5%		BUILDING = 3,280 SF	BUILDING = 0 SF
PROPOSED IMPERVIOUS COVERAGE (COMBINED LOTS)	= 29,519 SF/38,278 SF = 77.1%		SIDEWALKS = 1,401 SF	SIDEWALKS = 46 SF
			PARKING/CIRCULATION = 12,898 SF	PARKING/CIRCULATION = 10,879 SF
			DUMPSTER PAD = 0 SF	DUMPSTER PAD = 835 SF
			RETAINING WALL = 20 SF	RETAINING WALL = 162 SF
			TOTAL = 17,597 SF	TOTAL = 11,922 SF
			17,597 SF/23,362 SF = 75.3%	11,922 SF/14,916 SF = 80.0% (VARIANCE APP'D - SEE NOTE #6)
			(EXISTING 15,305/23,362 = 65.5%)	(EXISTING 4,044/14,916 = 27.1%)
MAXIMUM WALL SIGN AREA	40 SF W/OUT ARCHITECTURAL REVIEW	10 SF W/OUT ARCHITECTURAL REVIEW	98.8 SF (INCLUDES CANOPY SIGNAGE)	20.7 SF (INCLUDES CANOPY SIGNAGE)
MAXIMUM NUMBER OF WALL SIGNS	3 WALL SIGNS PER WALL FRONTAGE ON A STREET, NOT TO EXCEED ALLOWED AREA OR 1 SF PER LINEAR FOOT OF BUILDING FRONTAGE. (APPLIES TO ALL NON-RESIDENTIAL DISTRICTS)		2 WALL SIGNS FACING PENACOOK STREET AT 57.3 SF (INCLUDES CANOPY SIGNAGE); 3 WALL SIGNS FACING PENACOOK STREET AT 62.2 SF TOTAL (INCLUDES CANOPY SIGNAGE)	
MAXIMUM FREESTANDING SIGN AREA, HEIGHT & SETBACK	40 SF W/OUT ARCHITECTURAL REVIEW	6 SF W/OUT ARCHITECTURAL REVIEW	49.62 SF, 15' HEIGHT, 12' SETBACK	N/A (NO FREESTANDING SIGN PROPOSED IN UT ZONE)
	60 SF WITH ARCHITECTURAL REVIEW	12 SF WITH ARCHITECTURAL REVIEW		
	15' HEIGHT & 5' SETBACK	8' HEIGHT & 5' SETBACK		
MINIMUM FRONT YARD LANDSCAPE BUFFER	10' LANDSCAPE AREA ALONG COLLECTOR AND ARTERIAL STREETS		10'	
MINIMUM REAR YARD LANDSCAPE BUFFER	5'		N/A	
MINIMUM SIDE YARD LANDSCAPE BUFFER	5'		6' TO DUMPSTER PAD	
MINIMUM INTERNAL LANDSCAPING	5% OF PARKING/CIRCULATION AREAS IF > 50 SPACES		N/A - LESS THAN 50 SPACES	
PARKING SPACE DIMENSIONS	9' x 19'		9' x 19'	
MINIMUM NUMBER PARKING SPACES	a. SALE OF GOODS = 1 PER 250 SF GFA = 3,280 SF/250 = 13 PARKING SPACES b. RETAIL SALE OF GASOLINE = 1 PER 25 SF GFA + 1 PER FUEL DISPENSING STATION + 1.5 STACKING SPACES PER FUEL DISPENSING STATION = 0 SF + 10 FUEL STATIONS x 1.5 STACKING SPACES = 15 STACKING SPACES TOTAL REQUIRED = 13 PARKING SPACES PLUS 15 STACKING SPACES AT THE FUEL ISLANDS (8 EXISTING SPACES)		17 SPACES PLUS 20 STACKING AT FUEL ISLANDS	

- NOTES:**
- MAP 583Z LOTS 74, 75 & 76 ARE TO BE MERGED AS A PART OF THIS PROJECT. COMBINED LOT AREA = 38,278 SF (0.88 Ac±)
  - ZONING DISTRICT: URBAN COMMERCIAL (CU) & URBAN TRANSITIONAL (UT)
  - EXISTING BOUNDARY AND PLANIMETRIC INFORMATION AS SHOWN IS THE RESULT OF AN ACTUAL FIELD SURVEY BY THIS OFFICE.
  - EXISTING USE: LOT 76 CONTAINS A RETAIL MOTOR FUEL OUTLET WITH 1,605 SF CONVENIENCE STORE AND FUEL DISPENSING CANOPY WITH 2 FUEL DISPENSERS (4 VEHICLE FUELING POSITIONS). LOT 75 CONTAINS AN 850 SF± SINGLE STORY RESIDENCE. LOT 74 CONTAINS A 1,348 SF± 2-STORY RESIDENCE.  
PROPOSED USE: RETAIL MOTOR FUEL OUTLET WITH 3,280 SF CONVENIENCE STORE AND FUEL DISPENSING CANOPY WITH 5 FUEL DISPENSERS (10 VEHICLE FUELING POSITIONS). TWO EXISTING HOUSES AND EXISTING CONVENIENCE STORE TO BE DEMOLISHED.
  - RETAIL USE IS PERMITTED BY RIGHT IN THE CU ZONE.
  - THE FOLLOWING VARIANCES WERE GRANTED BY THE ZONING BOARD OF ADJUSTMENT ON APRIL 4, 2018:  
A) ARTICLE 28-2-4: RETAIL SALE OF GASOLINE IN THE UT ZONE.  
B) ARTICLE 28-7-7(g): PARKING IN FRONT OF THE BUILDING IN THE CU ZONE.  
C) ARTICLE 28-4-1(h): MAXIMUM 75% LOT COVERAGE IN THE UT ZONE (80% PROPOSED).  
D) ARTICLE 28-4-2(a): 30'± WIDE DRIVEWAY TO CUT THROUGH BUFFER ZONE WHERE A 15' VEGETATED BUFFER IS REQUIRED.
  - THE FOLLOWING APPROVALS ARE REQUIRED FROM THE PLANNING BOARD:  
A) ARTICLE 28-2-4: A CONDITIONAL USE PERMIT IS REQUIRED FOR GASOLINE USE IN THE CU ZONE.  
B) ARTICLE 28-7-8(c)(2) OF ZONING ORDINANCE & SECTION 19.05-TABLE 19-2 OF SITE PLAN REGULATIONS: A CONDITIONAL USE PERMIT IS REQUIRED FOR DRIVEWAYS LOCATED WITHIN 200' OF AN INTERSECTION & WITHIN 200' OF ANY OTHER DRIVEWAYS.  
C) SECTION 19.05-TABLE 19-2 OF SITE PLAN REGULATIONS: A CONDITIONAL USE PERMIT IS REQUIRED FOR DRIVEWAYS THAT HAVE MORE THAN 350 FEET OF FRONTAGE. A CONDITIONAL USE PERMIT IS ALSO REQUIRED TO HAVE MORE THAN ONE DRIVEWAY PER LOT.
  - THIS SITE PLAN COMPLIES WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010.
  - THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
  - WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
  - THE CONTRACTOR SHALL CALL AND COORDINATE WITH DISSAFE 811 PRIOR TO ANY EXCAVATION.
  - ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY AND THE STATE OF NEW HAMPSHIRE.
  - THE SITE IS NOT WITHIN THE 100 YEAR FLOOD BOUNDARY HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP #3301300533E FOR THE CITY OF CONCORD. EFFECTIVE DATE: APRIL 18, 2010.
  - THE SITE IS NOT LOCATED WITHIN 500' OF A PUBLIC WATER SUPPLY WELL.
  - THE SITE IS NOT LOCATED WITHIN THE WATERSHED PROTECTION OVERLAY DISTRICT.
  - ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS AND THE STANDARD CONSTRUCTION DRAWINGS AS SUPPLIED BY IRVING OIL.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY MHF DESIGN CONSULTANTS, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
  - ALL UNDERGROUND STORAGE TANKS, PRODUCT PIPING AND VENT LINES SHALL COMPLY WITH CURRENT STATE AND E.P.A. REGULATIONS.
  - PROPOSED SNOW STORAGE AREAS AS SHOWN. ANY EXCESS SNOW TO BE TRUCKED OFF SITE.
  - THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
  - THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.
  - THE PROJECT WILL REQUIRE A WATER AND SANITARY SEWER CONNECTION PERMIT AVAILABLE FROM ENGINEERING SERVICES.
  - THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
  - THE EXISTING SOILS ARE CLASSIFIED BY THE SOIL SURVEY OF MERRIMACK & BELKNAP COUNTIES (NRCS MANUAL) AS 598B "WINDSOR".
  - AN AUTOMATIC FIRE SUPPRESSION SYSTEM WILL BE REQUIRED FOR THE FUEL CANOPY PER THE CONCORD FIRE DEPARTMENT.

**OWNERS OF RECORDS:**

MAP 583Z LOT 74 & 75  
IRVING OIL MARKETING, INC.  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801  
BOOK 3572 PAGE 2229  
BOOK 3580 PAGE 1189

MAP 583Z LOT 76  
IRVING OIL PROPERTIES NH CORP  
FKA COBALT PROPERTIES NH CORP  
P.O. BOX 1421  
SAINT JOHN, NH 02421  
BOOK 3105 PAGE 1474

☐ SUPERSEDES ALL PREVIOUS ISSUES

☐ APPROVED FOR CONSTRUCTION

☐ PRELIMINARY-NOT FOR CONSTRUCTION

☐ ISSUED TO: \_\_\_\_\_

DATE: \_\_\_\_\_

**LOCATION PLAN**

SCALE: 1"=400'

A	7/18/18	PWM	REVISE PER ADR COMMENTS
REV	DATE	BY	REVISION

**REVISIONS**

MHF Design Consultants, Inc.	
44 Stiles Road, Suite One	
Salem, New Hampshire 03079	
(603) 893-0720	
ENGINEERS • PLANNERS • SURVEYORS	
www.mhfdesign.com	

STATE OF NEW HAMPSHIRE

FRANK C. MONTERO

No. 7152

EXPIRATION DATE: 7/18/18

PROFESSIONAL ENGINEER

DRAWN BY:	CHECKED BY:
CCC	FCM
SCALE:	APPROVED BY:
1"=20'	
DATE:	PROPERTY NO.:
6/25/18	
CAD FILE: 372915.DWG	REF-BLK:
PLOTTED:	REF-BLK:

**IRVING OIL**

190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT: ASSESSORS MAP 583Z LOTS 74, 75, & 76  
22 & 24 PENACOOK ST AND 163 N STATE ST  
CONCORD, NEW HAMPSHIRE

SHEET TITLE: **SITE PLAN**

PROJECT:	DRAWING NO:	REVISION:
	L4	A

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.

MHF PROJECT NO. 372915 SHEET 4 OF 13



GENERAL NOTES:

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES W/ DESIGN DOCUMENTS NOTES & DETAILS AND THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY / COORDINATE WITH THE CITY OF CONCORD. PRIOR TO PLANT MATERIAL INSTALLATION.
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF CONCORD.
- PRIOR TO THE PRE-CONSTRUCTION MEETING THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- All contractors shall inspect site prior to bidding to verify existing conditions for themselves.
- The Contractor shall supply all plant material in quantities sufficient to complete the planting shown on the drawings. See specification.
- All plant material shall conform to the guidelines established by "The American Standard for Nursery Stock", published by the American Association of Nurserymen, Inc. ANSI Z60.1-Current Edition.
- All plants to be balled in burlap or container grown. No plastic burlap.
- All plants to be approved by the Landscape Architect.
- Stake location of all proposed plant material for approval of Landscape Architect prior to commencement of planting.
- The landscape contractor shall guarantee all plant materials for one (1) full year from date of acceptance.
- Head all construction scars with naturalized grass, lawn or mulch as indicated by drawings and/ or as directed by Landscape Architect.
- "Dry Roots" shall be added to all new tree planting pits. All new lawn shall be tested and amended as stated in the loam report. Provided by loam supplier.
- Landscape Contractor shall submit a watering schedule program for the (60) day maintenance period for review by the Landscape Architect & to Owner for all proposed plant material.
- Protect existing plant material within construction limits. Provide watering program for all proposed plant material during construction.
- Note: Sheet's L-1 Conform to the applicable City of Concord Zoning Regulations.

GENERAL IRRIGATION NOTES:

- The design/build irrigation sub-contractor shall provide a complete system for the irrigation areas shown on the plan, which includes new and existing transplanted plant materials. Shop drawings shall be provided at a suitable scale to illustrate that the designated plant materials will be irrigated by either spray heads, mist heads or drip irrigation tubing.
- Irrigation to be coordinated with General Contractor to locate the necessary PVC sleeving to complete irrigation program.
- All lawn areas shall be spray head irrigated. The heads shall be located for head to head coverage with absolutely no over spray onto the pavement.
- All trees, shrubs and ground cover shall be drip irrigated / irrigated with shrub mist heads.
- The irrigation layout and all of the components shall conform to the specifications. The specifications call for shop drawings to be submitted for approval, as well as conformance to the materials specified.
- The Contractor shall be extremely careful during the installation process not to disturb new or existing plant materials. The Contractor is to coordinate his work with other sub-contractors. Sleeving under pavements must be available and in the proper location prior to paving.
- The Irrigation Contractor shall conform to any local codes or ordinances that may be required to complete the work.
- This Irrigation alternate shall include the cost of connecting to either the building water mains down stream of the back flow preventer of the irrigation well.
- The Irrigation contractor shall test water source for water quality including minerals that may cause staining of concrete and granite pavement and curbs.
- Irrigation Contractor shall coordinate with the City of Concord for sewer abatement meter requirements, model type and locations prior to shop drawing preparation.

LANDSCAPE NOTES:

- LOAM DEPTHS SHALL BE AS FOLLOWS:
- SOD AREAS - 6" ROLLED THICKNESS
  - PLANT BEDS - 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH.
  - ISOLATED PLANTED ISLANDS - 1' - 0" LOAM DEPTH
  - NATURALIZED GRASS AREAS - 4" ROLLED THICKNESS, MIN.
- SOD  
(TUCKAHOE TURF FARMS, LTD. BERWICK, ME.)  
VERSATURE:  
20% America Kentucky Bluegrass  
15% Award Kentucky Bluegrass  
15% Hampton Kentucky Bluegrass  
15% Victory Chewings Fescue  
15% Jasper Creeping Red Fescue  
20% Manhattan Perennial Ryegrass

PLANT MATERIAL LIST 22 & 24 PENACOOK ST AND 163 N.STATE ST, CONCORD, NH.

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
EVERGREEN TREES						
TO	15	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	8'-10'	B&B	NATURAL SHAPE, UNSHEARED
DECIDUOUS AND ORNAMENTAL TREES						
AR	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2-3" (MIN.)	B&B	6' HIGH BRANCHING
ZS	5	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE ZELKOVA	2 1/2-3" (MIN.)	B&B	6' HIGH BRANCHING
PCC	5	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER FLOWERING PEAR	2 1/2-3" (MIN.)	B&B	6' HIGH BRANCHING
PSC	3	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2 1/2-3" (MIN.)	B&B	6' HIGH BRANCHING
SHRUBS						
CS	6	CORNUS SERICEA 'ALLMANS COMPACTA'	ALLMANS COMPACT DOGWOOD	#5	CAN	
IGC	42	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	2-2 1/2'	B&B	
JB	72	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	#5	CAN	3 GAL.
PERENNIALS, ORNAMENTAL GRASSES AND GROUND COVER						
HS	44	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILIES	1 GAL	GAL	YELLOW
IS	22	IRIS SIBERICA 'CAESARS BROTHER'	CAESARS BROTHERS IRIS	1 GAL	GAL	
VM	15	VINCA MINOR	MYRTLE	FLAT	FLAT	(1) FLAT = (100) INDIVIDUAL VM'S
PH	27	PENSETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	1 GAL	GAL	

LANDSCAPE REQUIREMENTS:

CONCORD SITE PLAN REGULATION	REQUIREMENT	PROVIDED
SECTION 18.12		
PERIMETER LANDSCAPING	WHERE THE PROVISION OF A PARKING LOT OF MORE THAN TEN (10) SPACES IS REQUIRED, AN AREA OF NOT LESS THAN (5) FEET IN WIDTH ALONG PERIMETER	EXCEEDS 5' IN WIDTH
SECTION 18.17		
TREE PLANTINGS	1 SHADE OR ORNAMENTAL TREE PER EVERY (1,000) SF OF PARKING AREA 19,308 SF PARKING AREA / 1,000 SF = 19 TREES REQUIRED.	14 PROPOSED TREES PLUS 5 EXISTING TREES TO REMAIN TOTAL: 19 TREES PROVIDED.

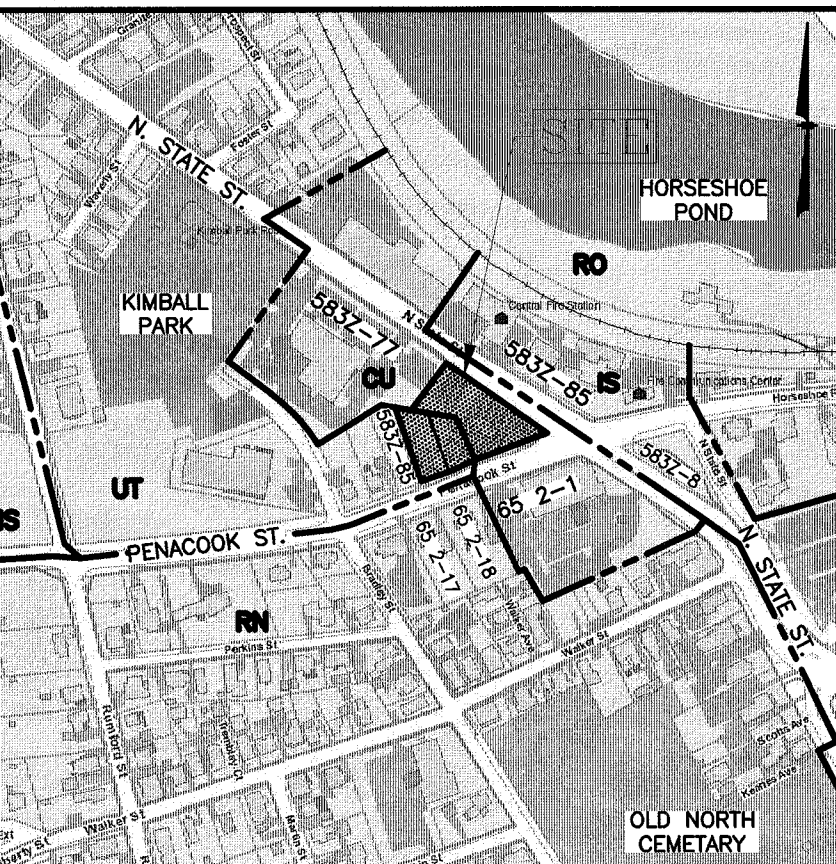
FOR LANDSCAPE DETAILS  
SEE SHEET L9

GRAPHIC LEGEND

- PROTECT EXISTING TREELINE/VEGETATION TO REMAIN, TYP.
- PROTECT EXISTING TREES TO REMAIN, TYP. (NO IRRIGATION)
- EVERGREEN TREES (DRIP OR MIST HEAD IRRIGATION)
- DECIDUOUS SHADE TREES (DRIP OR MIST HEAD IRRIGATION)
- ORNAMENTAL & FLOWERING TREES (DRIP OR MIST HEAD IRRIGATION)
- EVERGREEN SHRUBS (DRIP OR MIST HEAD IRRIGATION)
- DECIDUOUS SHRUBS (DRIP OR MIST HEAD IRRIGATION)
- PERENNIALS (DRIP OR MIST HEAD IRRIGATION)
- SODDED LAWN (SPRAY-HEAD IRRIGATION)

- ☐ SUPERSEDES ALL PREVIOUS ISSUES
- ☐ APPROVED FOR CONSTRUCTION
- ☐ PRELIMINARY--NOT FOR CONSTRUCTION
- ☐ ISSUED TO: \_\_\_\_\_

DATE \_\_\_\_\_



LOCATION PLAN

SCALE: 1"=400'

REV	DATE	BY	REVISION
A	7/18/18	FCM	MISC. REVISIONS
REVISIONS			

**WILLIAM FLEMING ASSOCIATES**  
INCORPORATED  
LANDSCAPE ARCHITECTURE  
PLANNING  
375 MAIN ST.  
SUITE #9  
STONHAM, MA 02180  
T 781 438 3088  
F 781 438 3611  
W williamfleming.com

**WILLIAM FLEMING**  
072  
DRAWN BY: WFF  
CHECKED BY: WFF  
SCALE: 1"=20'  
APPROVED BY: WJF  
DATE: 6/25/18  
PROPERTY NO.:  
CAD FILE: 3729SP.DWG  
REF-BLK:  
REF-BLK:  
REF-BLK:

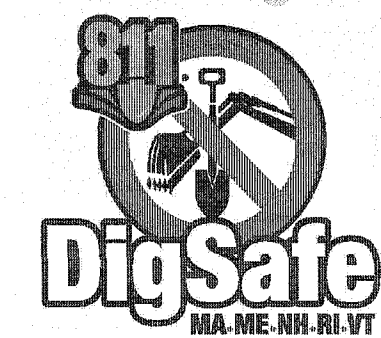
**IRVING OIL**  
190 COMMERCE WAY  
PORTSMOUTH, NH 03801

PROJECT:  
**ASSESSORS MAP 583 LOTS 274, 275, & 276**  
**22 & 24 PENACOOK ST AND 163 N.STATE ST**  
**CONCORD, NEW HAMPSHIRE**

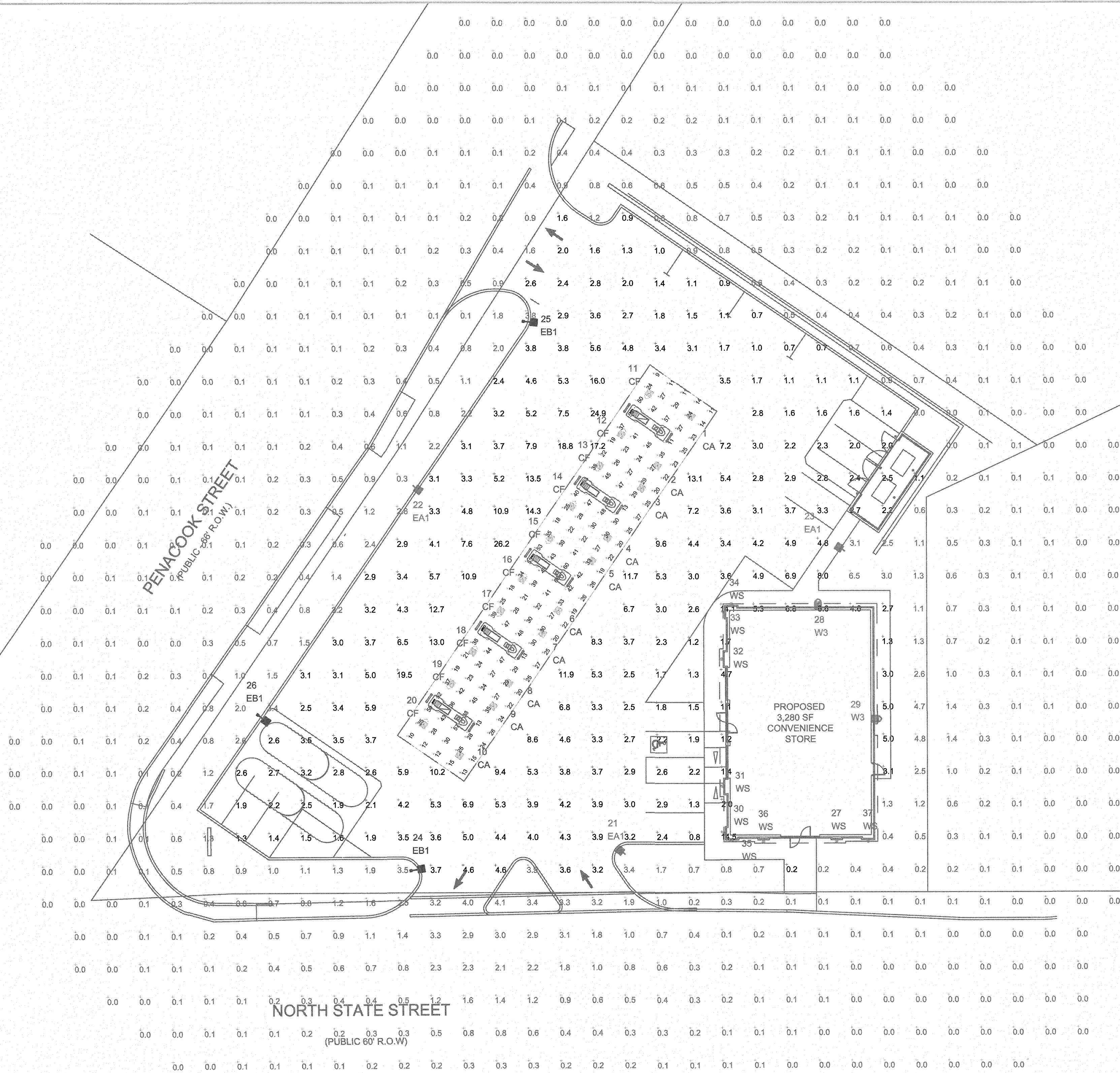
SHEET TITLE:  
**LANDSCAPE PLAN**

PROJECT:	DRAWING NO:	REVISION:
	<b>L8</b>	<b>A</b>

COMPANY SUPERVISOR AND CONTRACTOR TO VERIFY ALL MEASUREMENTS ON WORK OR AT SITE. THIS DRAWING IS THE PROPERTY OF IRVING OIL LTD. AND SHALL BE RETURNED ON COMPLETION OF WORK.







LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HEIGHT
1	CA	13.5
2	CA	13.5
3	CA	13.5
4	CA	13.5
5	CA	13.5
6	CA	13.5
7	CA	13.5
8	CA	13.5
9	CA	13.5
10	CA	13.5
11	CF	13.5
12	CF	13.5
13	CF	13.5
14	CF	13.5
15	CF	13.5
16	CF	13.5
17	CF	13.5
18	CF	13.5
19	CF	13.5
20	CF	13.5
21	EA1	22.5
22	EA1	22.5
23	EA1	22.5
24	EB1	22.5
25	EB1	22.5
26	EB1	22.5
27	WS	8
28	WS	12
29	WS	12
30	WS	8
31	WS	8
32	WS	8
33	WS	8
34	WS	8
35	WS	8
36	WS	8
37	WS	8

NOTE:  
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 2.5 FT. CONCRETE BASE

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	4.37	26.2	0.2	21.85	131.00
UNDEFINED	0.39	6.5	0.0	N.A.	N.A.
UNDER CANOPY	30.22	60	9	3.36	6.67

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	10	CF	SINGLE	12862	1.050	B2-U1-G1	141	1410	RUUD LIGHTING, INC., A CREE COMPANY	CAN-304-AF-RS-06-E-UL-WH-700
	10	CA	SINGLE	4549	1.050	B2-U0-G1	45	450	BETALED, A DIVISION OF RUUD LIGHTING	CAN-304-SL-RS-04-D-UL-WH-350
	3	EA1	SINGLE	12181	1.000	B2-U0-G2	113	339	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T3-7050
	3	EB1	SINGLE	12252	1.000	B2-U0-G2	113	339	EATON - MCGRAW-EDISON (FORMER COOPER LIGHTING)	GLEON-AF-02-LED-E1-T4FT-7050
	2	WS	SINGLE	5893	1.030	B2-U0-G2	68	136	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-525
	9	WS	SINGLE	819	1.000	B1-U3-G0	20.18	181.62		2SRBK-4-9W-LED-120V

REV.	BY	DATE	DESCRIPTION
R1	JSG	6/25/18	REMOVE W3 FIXTURE AND ADD (3) WS FIXTURES TO N. STATE ST. SIDE OF BUILDING

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SCALE: 1" = 20'  
LAYOUT BY: JSG  
DWG SIZE: D  
DATE: 5/3/18

PROJECT NAME:  
IRVING OIL  
CONCORD, NH  
DRAWING NUMBER:  
RL-5403-S1-R1

rla










CORNER OF PENACOOK ST. AND N. STATE ST. (AFTER)



CORNER OF PENACOOK ST. AND N. STATE ST. (BEFORE)

PRELIMINARY  
NOT FOR  
CONSTRUCTION

SEAL

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F: 216.749.1300

Cleveland Office  
3723 Pearl Road  
Cleveland, OH 44109

PROJECT:

NEW STORE FOR:  
**IRVING OIL**  
PENACOOK ST. AND N. STATE ST.  
CONCORD, NEW HAMPSHIRE

MARK:	ISSUE:	DATE:
	ISSUED	03/05/2018
	ISSUED	06/27/2018

PROJECT #:	1800X.XX
DRAWN BY:	WJB
CHECKED BY:	KS

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PERSPECTIVE RENDERING

SHEET #:

A0.01






VIEW FROM PENACOOK STREET (AFTER)



VIEW FROM PENACOOK STREET (BEFORE)

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PROJECT:

NEW STORE FOR:  
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CONCORD, NEW HAMPSHIRE

MARK:	ISSUE:	DATE:
	FINAL RENDERINGS	05/15/17
	FINAL	06/06/17
	ISSUED	06/27/2018

PROJECT #: 1800X.XX

DRAWN BY: WRB      CHECKED BY: KS

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SHEET #:

**A0.02**