

Site Development Plans

Rymes
PROPANE & OIL

257 Sheep Davis Road, Concord NH
August 8, 2018

LEGEND

EXISTING	PROPOSED
EDGE OF PAVEMENT	
PERVIOUS PAVEMENT	
PROPERTY LINE	
CONCRETE BOUND	
EASEMENT LINE	
BUILDING SETBACK	
ZONING	
SHORELAND PROTECTION	
CONCORD PROPERTY MAP	CPM
CONTOURS	
SPOT ELEVATIONS	X 152.6
TREE LINE	
PIPE FLOW ARROWS	
DRAINAGE FLOW ARROWS	
DRAIN PIPE	
OVERHEAD UTILITIES	OU
SILT SOCK	SS
INLET PROTECTION	
CATCH BASIN	
SEWER MANHOLE	
LIGHT	
POLE WITH SINGLE LAMP	
POLE WITH DOUBLE LAMP	
TEST PIT	
ACCESSIBLE PARKING	
UTILITY POLE	
WATER SHUT OFF	
GAS VALVE	
FIRE HYDRANT	
BOLLARD	

LOCAL APPROVAL HISTORY

JUNE 14, 2016: THE PLANNING BOARD APPROVED THE REQUEST TO INSTALL THE FOLLOWING NEW INTERNALLY ILLUMINATED SIGNS: (1) 115 SF WALL SIGN; (1) 45 SF WALL SIGN; (1) 148 SF FREESTANDING SIGN.

APRIL 25, 2016: IN CASE # 2016-21, THE PLANNING BOARD VOTED TO GRANT A CONDITIONAL USE PERMIT UNDER 28-7-11(b) OF THE ZONING ORDINANCE TO PROVIDE 50 PARKING SPACES WHERE 68 ARE REQUIRED. THE BOARD ALSO VOTED TO GRANT A CONDITIONAL MINOR SITE PLAN APPROVAL FOR 20 ADDITIONAL PARKING SPACES.

FEBRUARY 13, 2002: IN ZONING CASE #18-01, THE ZONING BOARD OF ADJUSTMENT VOTED TO APPROVE A DIFFERENT BUILDING DESIGN IN SAME LOCATION, WITH SLIGHTLY DIFFERENT FOOTPRINT.

APRIL 4, 2001: IN ZONING CASE #18-01, ZONING BOARD OF ADJUSTMENT GRANTED SPECIAL EXCEPTION UNDER ARTICLE 28-4-8, TABLE OF USES, TO PERMIT SALES AND SERVICE OF MOTORCYCLES (USE I.G.6). THE BOARD GRANTED SPECIAL EXCEPTION UNDER ARTICLE 28-12-1, OFF-STREET PARKING, SECTION F, TO PERMIT PROVISION OF ONLY 51 PARKING SPACES WHERE 102 SPACES ARE REQUIRED.

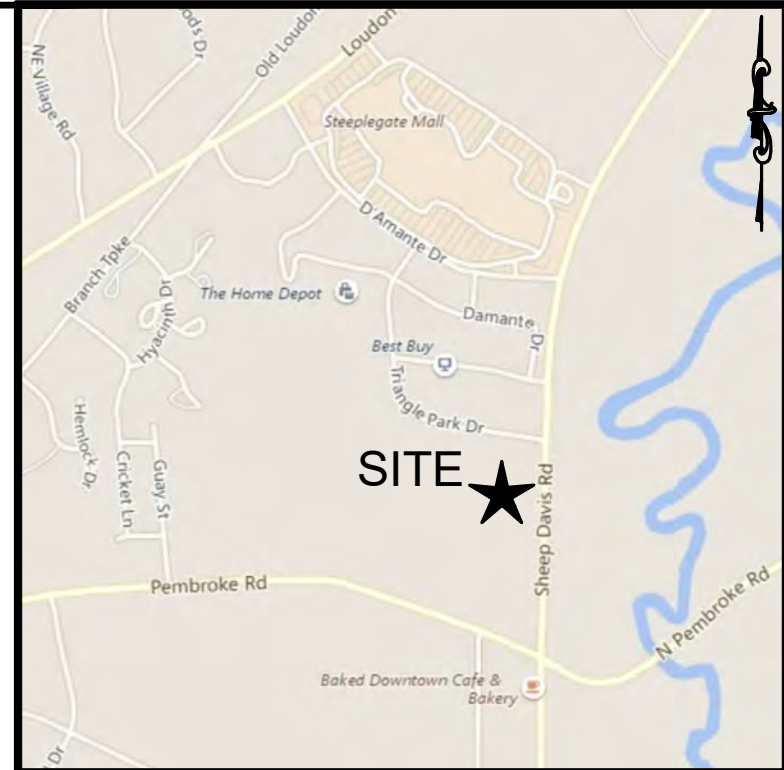
SPECIAL APPROVALS REQUIRED

US ARMY CORPS OF ENGINEERS DREDGE & FILL PERMIT:	NOT REQUIRED
NHDES WETLANDS BUREAU:	NOT REQUIRED
NHDES ALTERATION OF TERRAIN:	NOT REQUIRED
NHDES WATER QUALITY & SEWER DISCHARGE PERMIT:	REGISTRATION REQUIRED FOR INFILTRATION
NHDES ON-SITE SUBSURFACE DISPOSAL SYSTEM:	NOT REQUIRED
NHDOT DRIVEWAY PERMIT:	NOT REQUIRED

WAIVERS REQUESTED

APPLICATION IS MADE FOR A MAJOR SITE PLAN REVIEW (SECTION 11 OF THE SITE PLAN REGULATIONS)
THE FOLLOWING WAIVERS TO THE SITE PLAN REGULATIONS ARE REQUESTED:

SECTION 11.05 DETERMINATION OF COMPLETENESS: WE ASK THAT THE DETERMINATION OF COMPLETENESS AND OPENING THE APPLICATION TO A PUBLIC HEARING OCCUR AT ONE PLANNING BOARD MEETING.
SECTION 12.03 (1) A NH LLS SHALL PREPARE, SIGN AND SEAL THE EXISTING CONDITIONS PLAN: WE ASK THAT A PRIOR LLS PREPARED, SIGNED AND SEALED EXISTING CONDITIONS PLAN BE ACCEPTED AS REFERENCE.



VICINITY PLAN

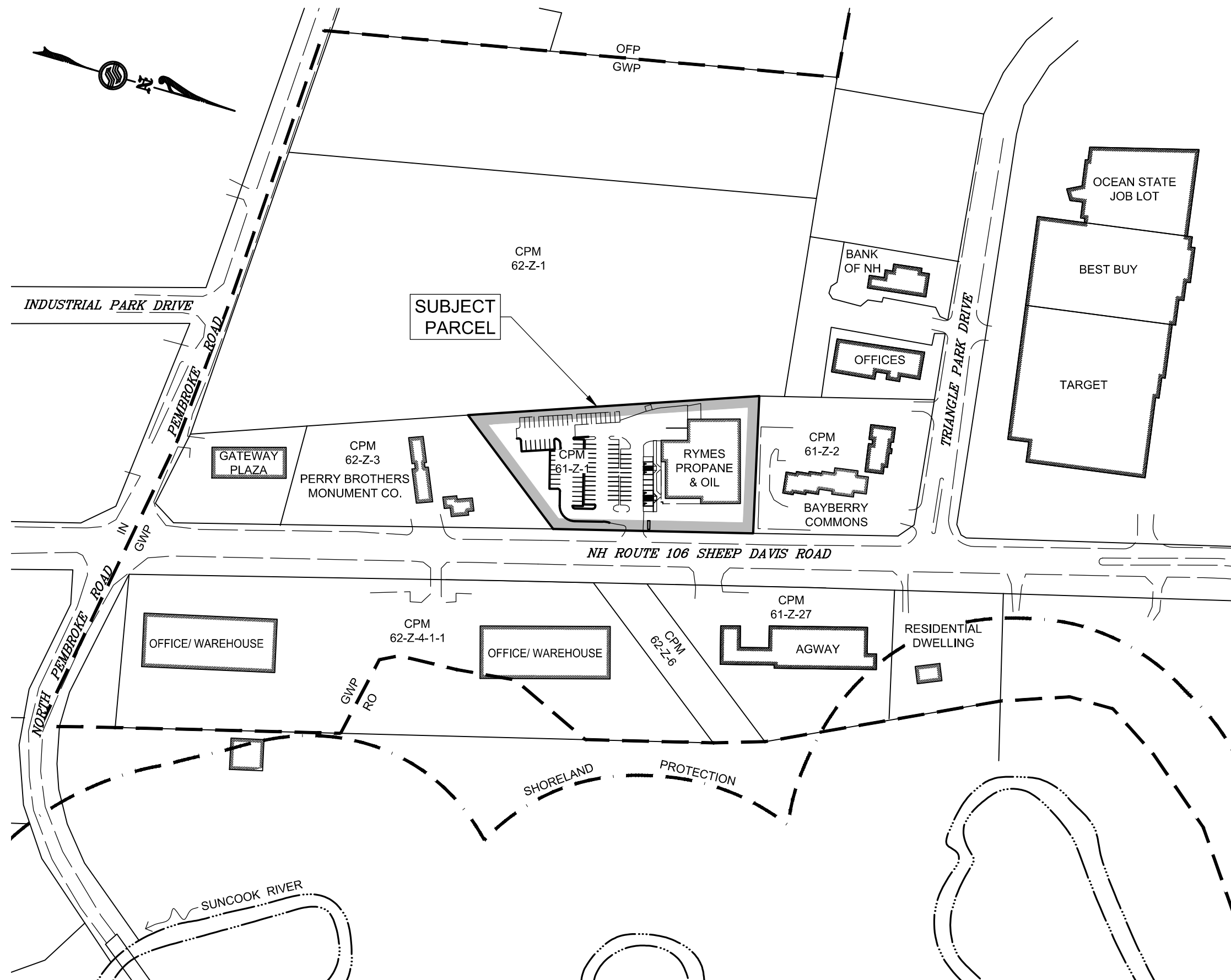
PREPARED FROM:
BING MAPS
SCALE: 1"= 1/4 MILE (1,320 FEET)

NOTE

THIS PLAN WAS PREPARED FROM THE PLANS OF REFERENCE AND THE ASSESSORS MAPS OF THE CITY OF CONCORD.

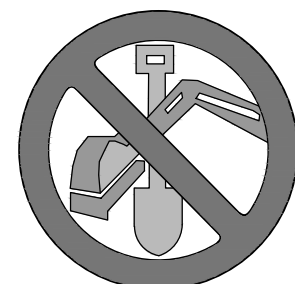
SHEET INDEX

SHEET NUMBER	DESCRIPTION	REVISION NUMBER	DATE
1	TITLE SHEET	-	8/08/2018
2	EXISTING CONDITIONS PLAN	-	8/08/2018
3	SITE DEVELOPMENT PLAN	-	8/08/2018
4	GRADING & DRAINAGE PLAN	-	8/08/2018
5	LIGHTING PLAN	-	8/08/2018
6	EROSION CONTROL & CONSTRUCTION DETAILS	-	8/08/2018
7	CONSTRUCTION DETAILS	-	8/08/2018
8	LANDSCAPE PLAN	-	8/08/2018



LOCATION PLAN

SCALE: 1" = 200'



DIG SAFE 1-888-344-7233

No.	Revision	Date
Designed by: FDG	Drawn by: FDG	Checked by:

Title Sheet
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1



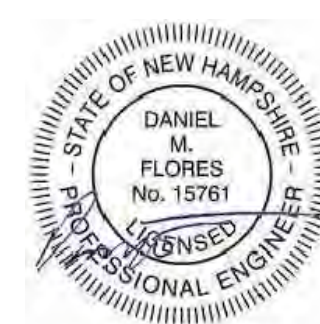
1 INDUSTRIAL DRIVE
WINDHAM, NH 03087

(603) 647-8700
www.sfceng.com

Sheet 1 of 8

Scale: 1" = 200' ±

Date: 8/08/2018



Prepared for:
Rymes Propane & Oil
P.O. Box 2948
Concord, NH 03302

Concord Planning Board
Approval

Zoning Classification: Gateway Performance (GWP)

DRAINAGE SCHEDULE

CATCH BASIN #1
6" DIAMETER DRYWELL STRUCTURE
RIM ELEV. = 348.46
SUMP ELEV. = 341.1±
INV. 12" PLASTIC (W) = 343.9±
(DIFFICULT TO GET ACCURATE INV.)

CATCH BASIN #2
6" DIAMETER DRYWELL STRUCTURE
RIM ELEV. = 350.12
SUMP ELEV. = 340.3±
INV. 8" SDR35 = 343.40
INV. 12" PLASTIC (E) = 343.67
INV. 12" PLASTIC (S) = 345.01

CATCH BASIN #3
6" DIAMETER DRYWELL STRUCTURE
RIM ELEV. = 349.26
SUMP ELEV. = 340.8±
INV. 12" PLASTIC (NE) = 343.53
INV. 12" PLASTIC (E) = 343.55
INV. 12" PLASTIC (NW) = 343.51

CATCH BASIN #4
6" DIAMETER DRYWELL STRUCTURE
RIM ELEV. = 349.41
SUMP ELEV. = 340.7±
INV. 12" PLASTIC (W) = 343.47
INV. 12" PLASTIC (N) = 343.48
INV. 12" PLASTIC (E) = 346.5±
(DIFFICULT TO GET ACCURATE INV.)

CATCH BASIN #5
6" DIAMETER DRYWELL STRUCTURE
RIM ELEV. = 350.10
SUMP ELEV. = 340.1±
INV. 12" PLASTIC (W) = 343.96
INV. 12" PLASTIC (S) = 343.38

CATCH BASIN #6
RIM ELEV. = 351.55
SUMP ELEV. = 344.7±
INV. 12" PLASTIC = 347.79

CATCH BASIN #7
RIM ELEV. = 351.29
SUMP ELEV. = 344.4±
INV. 12" PLASTIC (N) = 347.44
INV. 12" PLASTIC (S) = 347.43
INV. 12" PLASTIC (W) = 347.63

CPM 62-Z-1
WILLIAM H. PERRY FAMILY TRUST
BARBARA M. PERRY TRUSTEE
482 PEMBROKE STREET
PEMBROKE, NH 03275
BOOK 2452 PAGE 1624

CPM 61-Z-2
BAYBERRY COMMONS
261 SHEEP DAVIS ROAD
CONCORD, NH 03301
BOOK 1676 PAGE 526

CPM 61-Z-1
RYFF 1, LLC
111,249 SQ. FT.
2.554 ACRES
1 STORY
MASONRY BLOCK BUILDING
GFA: 20,400 SF

CPM 62-Z-3
MARTELL MONUMENT
PROPERTIES, LLC
ATTN: SARAH ANNE PERRY
36 RING ROAD
CHICHESTER, NH 03258
BOOK 2242 PAGE 1986

CPM 62-Z-4-1-1
SHEEP DAVIS PARTNERS, LLC
C/O NEVILLE COMPANIES, INC.
30 KIMBALL AVENUE
SOUTH BURLINGTON, VT 05403
BOOK 3540 PAGE 841

CPM 62-Z-6
CITY OF CONCORD
41 GREEN STREET
CONCORD, NH 03301
BOOK 514 PAGE 554

CPM 61-Z-27
OSBORNE PROPERTIES, LLC
258 SHEEP DAVIS ROAD
CONCORD, NH 03301
BOOK 2204 PAGE 555

PLANS OF REFERENCE

- TOPOGRAPHY PLAT
PREPARED FOR RYLL 1, LLC
PREPARED BY FWS LAND SURVEYING, PLLC
DATED: AUGUST 9, 2016.
- PROPOSED SITE DEVELOPMENT PLANS FOR RYMES PROPANE & OIL
SHEETS C0.01 THROUGH C1.05 (6 SHEET PLAN SET)
PREPARED FOR RYMES PROPANE & OIL
PREPARED BY SFC ENGINEERING PARTNERSHIP, INC.
DATED: APRIL 4, 2016, LAST REVISED SEPTEMBER 20, 2016.
- SITE PLAN
PREPARED FOR CONCORD MOTORCYCLE
PREPARED BY T.F. BERNIER, INC.
DATED: APRIL 2001.

NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS OF CONCORD PROPERTY MAP 61, BLOCK Z1, CONSISTING OF 2.554± Ac.
- THE OWNER OF RECORD: RYFF 1 LLC
DEED REFERENCE BOOK 3514 PAGE 2692, MERRIMACK COUNTY REGISTRY OF DEEDS.
- THIS PLAN DEPICTS THE EXISTING CONDITIONS AS FIELD MEASURED BY SFC ON MAY 5, 2018. THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY BY SFC.
- THIS PLAN WAS PREPARED FROM PLANS OF REFERENCE AND SURVEY DATA.
- EXISTING LOT AREA: 2.554 Ac ± (111,249 SQ. FT.)
- ZONING DISTRICT: GATEWAY PERFORMANCE
MINIMUM LOT SIZE: ---
MINIMUM FRONTAGE: 300'
FRONT SETBACK: 25'
SIDE SETBACK: 25'
REAR SETBACK: 25'
- NO PORTION OF THIS PARCEL IS LOCATED WITHIN A FLOOD HAZARD AREA AS INTERPRETED FROM THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF CONCORD, MAP NUMBER 33013C0553E, EFFECTIVE DATE: APRIL 19, 2010 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- BENCHMARK: ASHTECH PROMARK 2 GPS (PLAN OF REFERENCE #1)
HORIZONTAL DATUM: NAD 83 (CORS 96)
VERTICAL DATUM: NAVD 88 (GEOID 99)
- ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR TO CONTACT DIGSAFE 48 HOURS PRIOR TO CONSTRUCTION.
- USDA NRCS WEB SOIL SURVEY:
26A WINDSOR LOAMY SAND, 0 TO 3% SLOPES SHOWN FOR ENTIRE PARCEL
- TEST PIT WAS OBSERVED BY SFC ON JULY 14, 2016.
- EXISTING PARKING = 70 SPACES, OF WHICH 2 ARE ADA ACCESSIBLE SPACES.
- EXISTING PAVEMENT AREA: 31,360 SF (OF WHICH 5,960 SF IS PERVIOUS).

No.	Revision	Date
Designed by: DMF	Drawn by: FDG	Checked by:

Existing Conditions Plan
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1

SFC
ENGINEERING

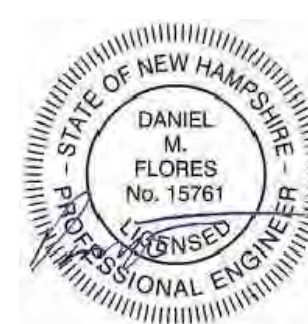
1 INDUSTRIAL DRIVE
WINDHAM, NH 03087

(603) 647-8700
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Sheet 2 of 8

Scale: 1" = 30'

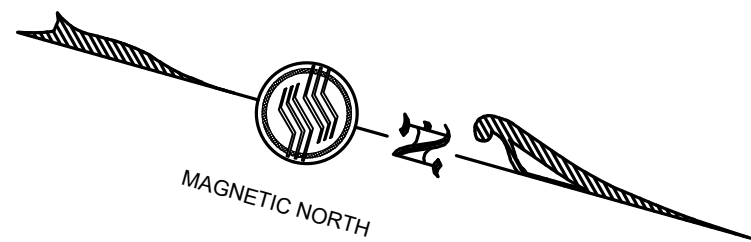
Date: 8/08/2018



Prepared for:
Rymes Propane & Oil
P.O. Box 2948
Concord, NH 03302

Concord Planning Board
Approval

Zoning Classification: Gateway Performance (GWP)



CPM 62-Z-1
WILLIAM H. PERRY FAMILY TRUST
BARBARA M. PERRY TRUSTEE
482 PEMBROKE STREET
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BOOK 2452 PAGE 1624

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111,249 SQ. FT.
2.554 ACRES

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MASONRY BLOCK BUILDING
GFA: 20,400 SF

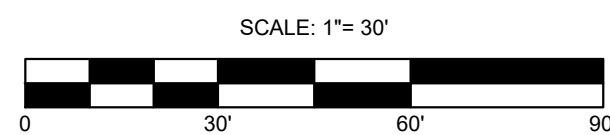
2 STORY
WOOD FRAME
BUILDING

NH ROUTE 106
(aka SHEEP DAVIS ROAD)

CPM 62-Z-4-1-1
SHEEP DAVIS PARTNERS, LLC
C/O NEVILLE COMPANIES, INC.
30 KIMBALL AVENUE
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BOOK 514 PAGE 554

CPM 61-Z-27
OSBORNE PROPERTIES, LLC
258 SHEEP DAVIS ROAD
CONCORD, NH 03301
BOOK 2204 PAGE 555



NOTES

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PARKING EXPANSION ON PROPERTY MAP 61, BLOCK Z1.
- THE PROPOSED PARKING SPACES ARE SHOWN IN THE GENERAL LOCATION AND CONFIGURATION AS DEPICTED ON THE APPROVED 2001 CONCORD MOTORCYCLE SITE PLAN AS "FUTURE" PARKING SPACES. SEE PLAN OF REFERENCE #3.
- THE 20 PARKING SPACES CONSTRUCTED IN 2016 WILL REMAIN PERVIOUS PAVEMENT.
- THE OWNER OF RECORD: RYFF 1 LLC
DEED REFERENCE BOOK 3514 PAGE 2692, MERRIMACK COUNTY REGISTRY OF DEEDS.
- ZONING DISTRICT: GATEWAY PERFORMANCE

DIMENSIONAL REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	300'	2.554 Ac.± (111,249 SF)
MINIMUM FRONTAGE:	300'	378.34'
FRONT SETBACK:	25'	52'
SIDE SETBACK:	25'	26'
REAR SETBACK:	25'	34'
MAXIMUM BUILDING COVERAGE:	30%	19.8% (21,990 SF)
- TOTAL LAND AREA DISTURBED WITH THIS PROJECT: 14,000 SF.
- NEW PAVEMENT AREA: 10,380 SF.
- TOTAL PAVEMENT AREA: 41,740 SF (OF WHICH 5,960 SF IS PERVIOUS).
- TOTAL IMPERVIOUS AREA AFTER DEVELOPMENT: 61,610 SF (55.4%). PRE: 51,230 SF (46.1%)
- NEW PAVEMENT INTERNAL LANDSCAPE AREA: 1,030 SF (10%).
- ALL WORK SHALL CONFORM TO THE CITY OF CONCORD STANDARDS.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THAT THEY HAVE THE MOST RECENT SET OF PLANS. ALL WORK SHALL BE PERFORMED USING A COMPLETE SET OF PLANS AS SOME ITEMS ARE NOT SHOWN ON EVERY SHEET.
- THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF CONDITIONS ARE FOUND THAT DO NOT MATCH WHAT IS SHOWN ON THESE PLANS.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED WITH AN UPRIGHT SIGN.
NEW ACCESSIBLE SPACES SHALL HAVE ADDED CURB RAMP AS REQUIRED.
- ALL PARKING SPACES SHALL BE STRIPED WITH WHITE OR YELLOW TRAFFIC PAINT WITH A 4" MINIMUM LINE WIDTH.
- ALL DISTURBED AREAS SHALL BE DRESSED WITH LOAM AND SEEDED PER THE APPLICATION OF CITY OF CONCORD CONSTRUCTION STANDARDS.
- INSTALL EROSION AND SEDIMENT CONTROL BARRIER IN STORMWATER RUNOFF PATHS BETWEEN ANY DISTURBED AREAS AND PROPERTY LINES OR WETLAND BUFFERS. REFER TO THE EROSION CONTROL & CONSTRUCTION DETAILS PLAN.
- CONTRACTOR SHALL PROTECT PERVIOUS PAVEMENT FROM CONSTRUCTION TRAFFIC. NO STOCK PILING OF MATERIAL ON PERVIOUS PAVEMENT SHALL BE ALLOWED.
- PARKING REQUIREMENTS REFERENCE CITY OF CONCORD ZONING ORDINANCE
ARTICLE 28-7-2, TABLE OF OFF-STREET PARKING REQUIREMENTS
H. RETAIL TRADE: 1/250 GFA = (20,400 GFA) (1 SPACE / 250 GFA) = 82 SPACES
ARTICLE 28-7-5, 4 ACCESSIBLE SPACES REQUIRED FOR PARKING OF 76 TO 100 SPACES
EXISTING PARKING SPACES = 70 SPACES, OF WHICH 2 SPACES ARE ACCESSIBLE.
ADDITIONAL PARKING SPACES = 29 SPACES AND CONVERTING 3 STANDARD INTO 2 ACCESSIBLE SPACES.
TOTAL SPACES PROVIDED = 98 SPACES OF WHICH 4 ARE ACCESSIBLE.

No.	Revision	Date
Designed by: JRB	Drawn by: JRB	Checked by:

Site Development Plan
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1

1 INDUSTRIAL DRIVE
WINDHAM, NH 03087

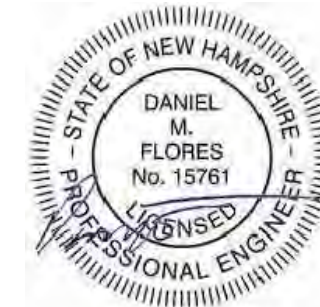
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Sheet 3 of 8

Scale: 1" = 30'

Date: 8/08/2018



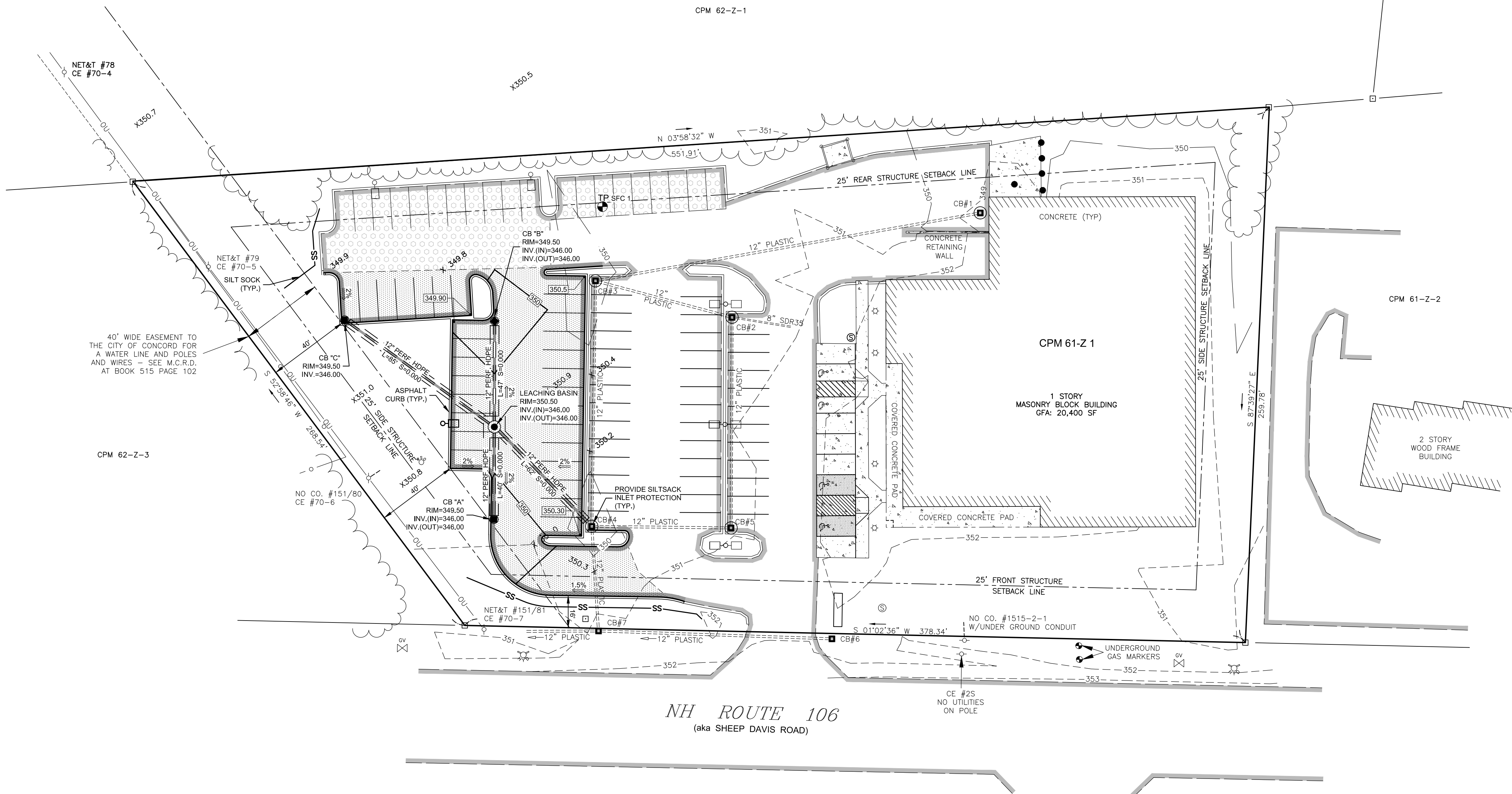
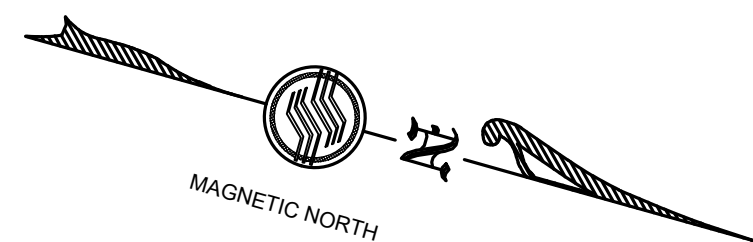
Prepared for:
Rymes Propane & Oil
P.O. Box 2948
Concord, NH 03302

Concord Planning Board
Approval

Zoning Classification: Gateway Performance (GWP)

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED GRADING AND UTILITIES FOR THE PARKING EXPANSION ON PROPERTY MAP 61, BLOCK Z1.
2. ALL WORK SHALL CONFORM TO THE CITY OF CONCORD STANDARDS.
3. CONTRACTORS SHALL BE RESPONSIBLE FOR CONTACTING DIG SAFE (1-800-394-7233) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAW.
4. ALL STRUCTURES TO HAVE RIMS SET AT FINISH GRADE REGARDLESS OF STATED RIM DATA.
5. ALL SPOT GRADES ARE AT BOTTOM OF CURB UNLESS STATED OTHERWISE.
6. SEE LIGHTING PLAN FOR SPECIFICATIONS AND ADDITIONAL INFORMATION ON SITE LIGHTING.
7. PROVIDE EROSION CONTROL MEASURES AS SHOWN ON THE PLAN PRIOR TO START OF CONSTRUCTION.



No.	Revision	Date
Designed by: JRB	Drawn by: JRB	Checked by:

Grading & Drainage Plan
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1

1 INDUSTRIAL DRIVE
WINDHAM, NH 03087

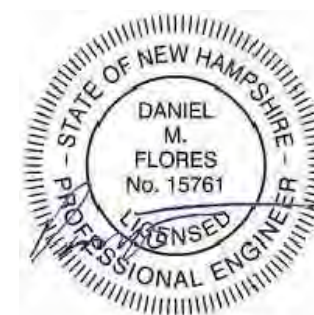
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Sheet 4 of 8

Scale: 1" = 30'

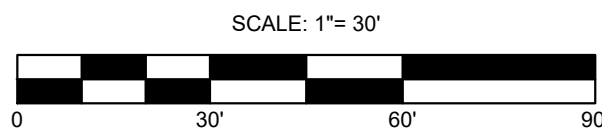
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SILT FENCE SPECIFICATIONS

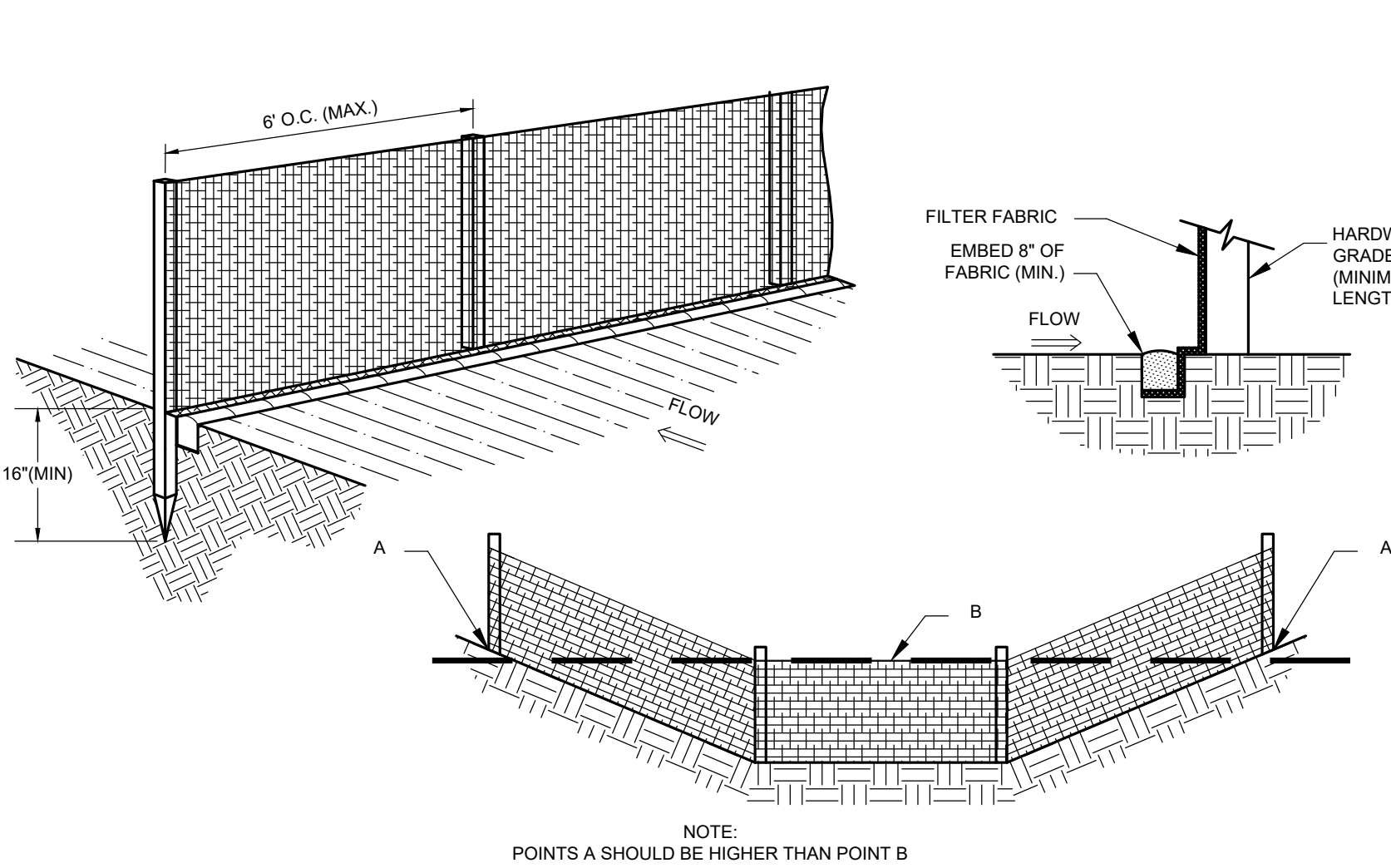
- MAINTENANCE
- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING CONSTRUCTION, THE FABRIC SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

CONSTRUCTION SEQUENCE

- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- SILT FENCES SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILT FENCE INSTALLATION

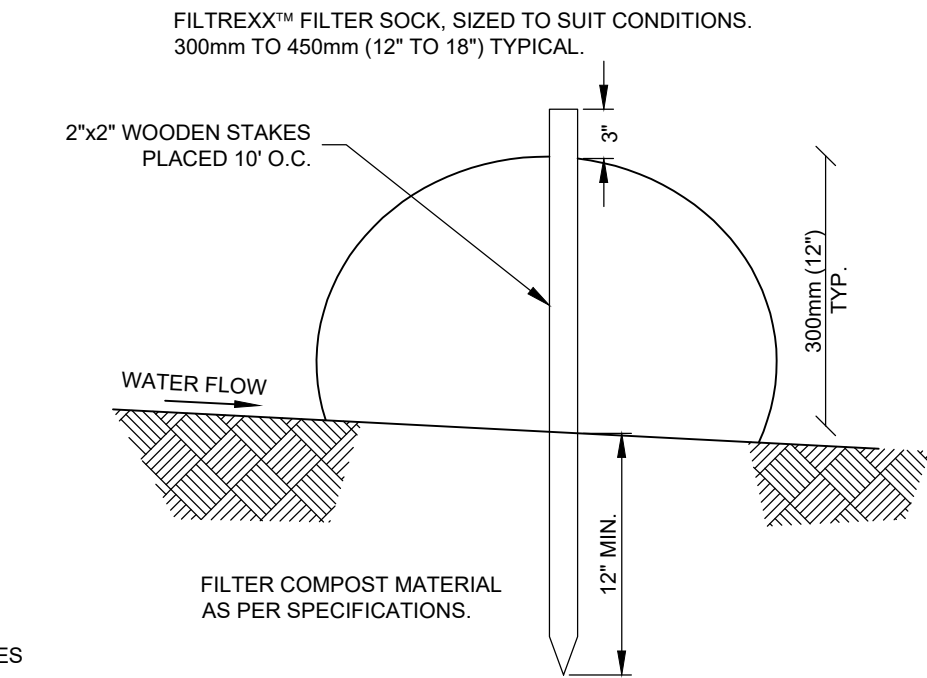
NOT TO SCALE
(OPTIONAL - SILT SOCK PREFERRED)



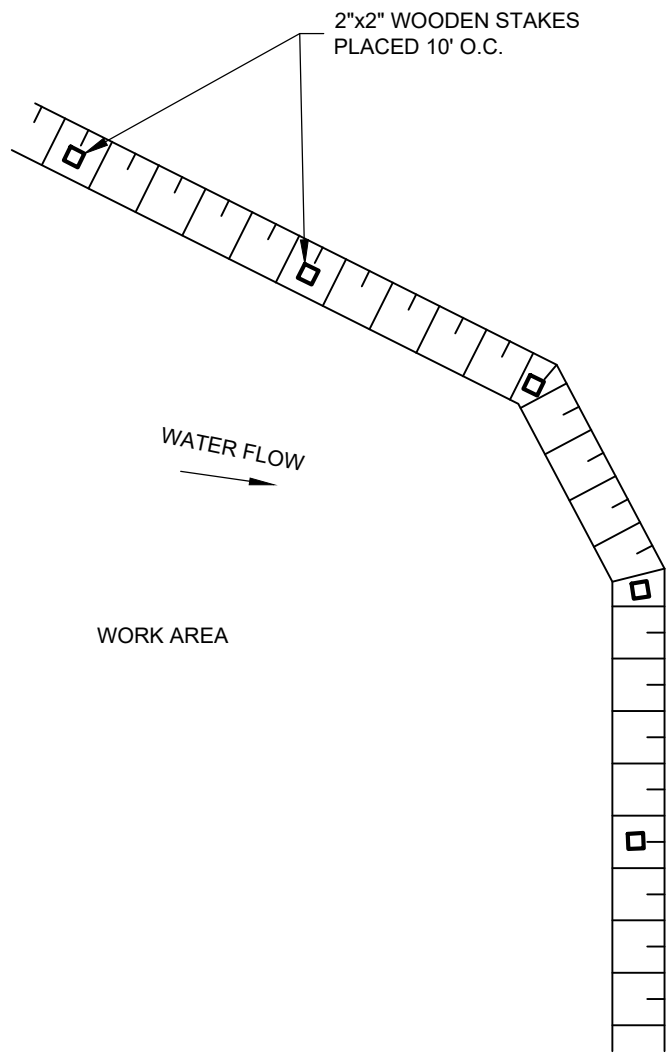
NOTES

- ALL MATERIAL TO MEET FILTREXX™ SPECIFICATIONS.
- THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
- WHERE THE BERM REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
- THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE BERM, OR AS DIRECTED BY THE ENGINEER.
- THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

SOCK OPTION:

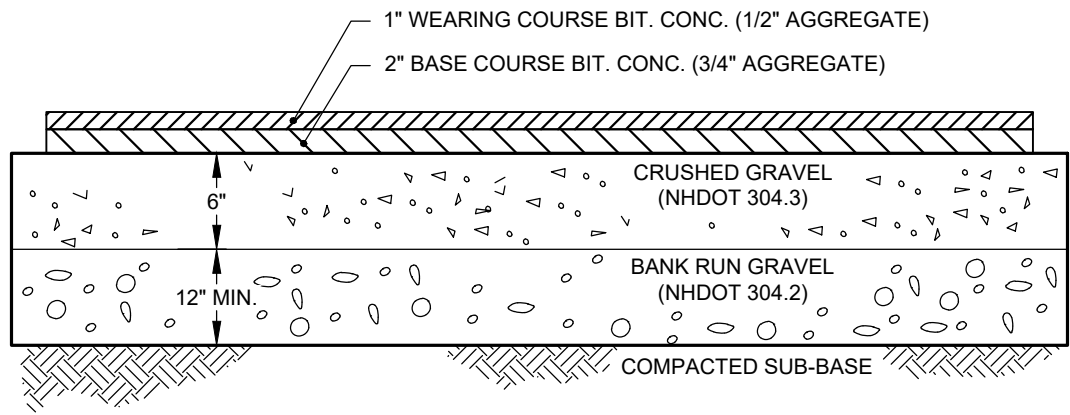


TYPICAL BERM FOR MINIMAL GRADES SHOWN. FOR STEEPER GRADES, I.E. 2:1 SLOPES INCREASE BERM SIZE AS DETERMINED ON SITE BY ENGINEER.



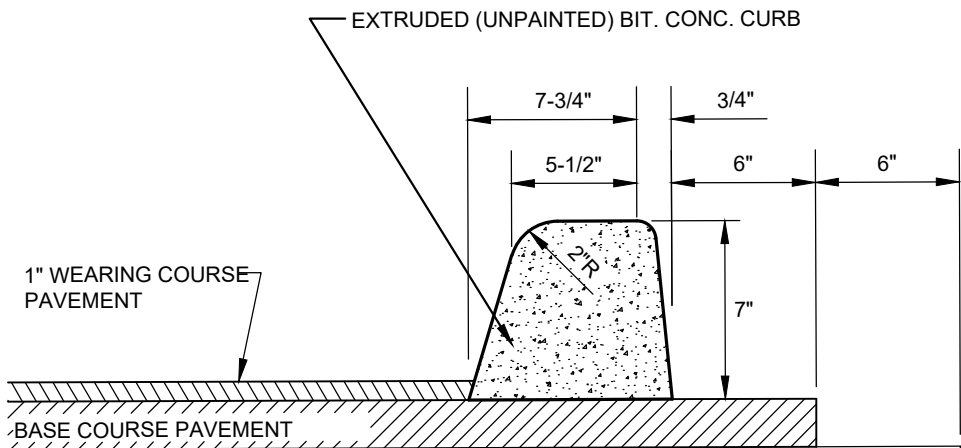
SILT SOCK INSTALLATION DETAIL

NOT TO SCALE



PAVEMENT DETAIL

NOT TO SCALE

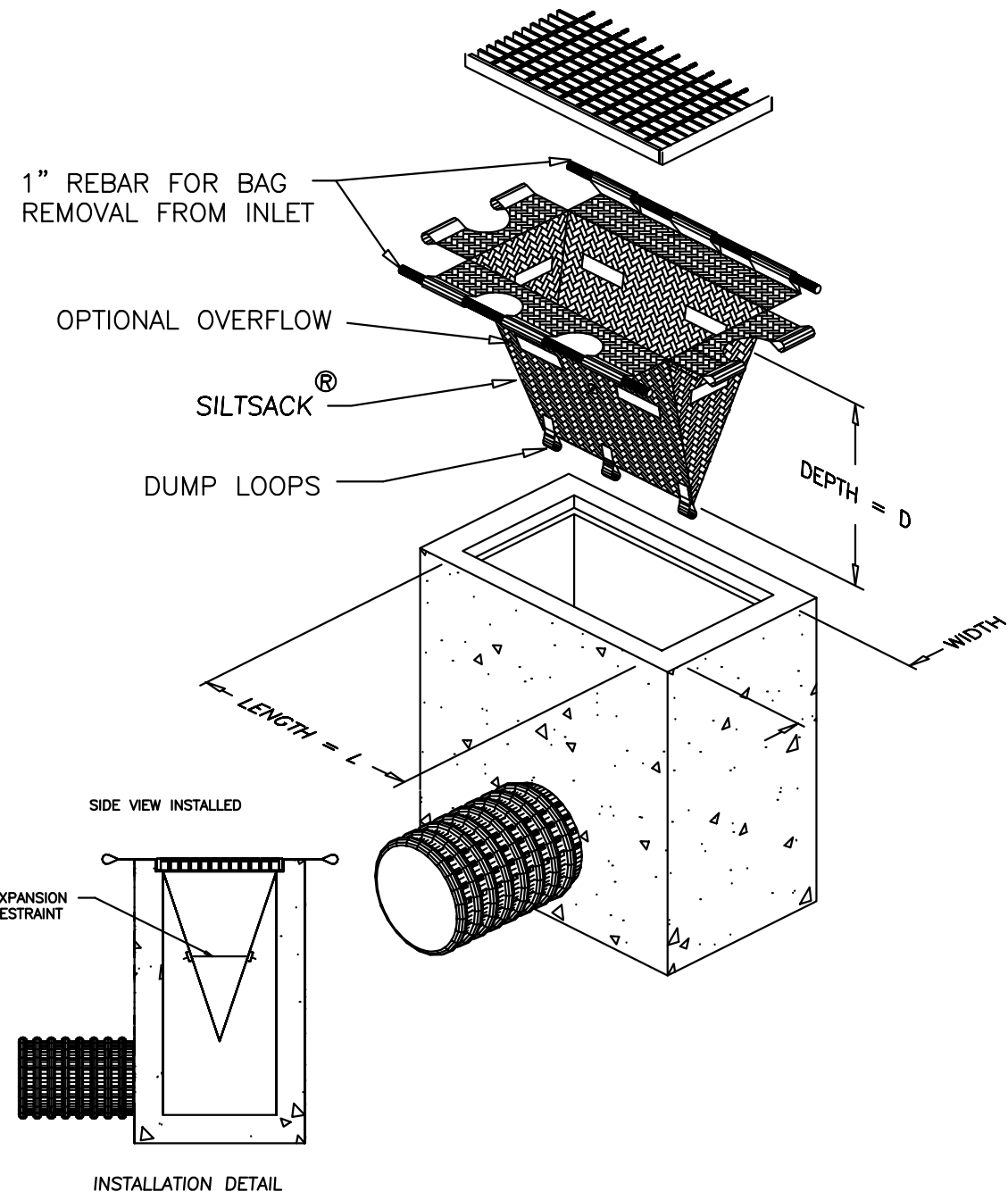


TYPE A BIT. CONC. CURB DETAIL

NOT TO SCALE

CONSTRUCTION SEQUENCE

- INSTALL PERIMETER EROSION CONTROL MEASURES. TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION. EROSION CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND SHALL CONFORM TO ALL APPLICABLE SECTIONS OF THE STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE, AUGUST 1992, OR THE NEW HAMPSHIRE STORMWATER MANUAL, DECEMBER 2008.
- CUT AND CLEAR TREES. IDENTIFY TREES TO BE SAVED AND INSTALL PROTECTIVE FENCES AROUND THESE TREES. CUT TREES, CLEAR AND DISPOSE OF DEBRIS.
- INSTALL OTHER EROSION CONTROL MEASURES. TEMPORARY AND PERMANENT EROSION, SEDIMENT AND DETENTION PRACTICES - INCLUDING PONDS AND SWALES - SHALL BE INSTALLED PRIOR TO ROUGH GRADING. PERMANENT STORMWATER TREATMENT SYSTEMS ARE TO BE CONSTRUCTED AND SEEDED AS SOON AS PRACTICAL SO THAT VEGETATION MAY BE ESTABLISHED PRIOR TO DIRECTING RUNOFF TO THEM. ADDITIONAL STORMWATER MANAGEMENT PRACTICES SHALL BE IMMEDIATELY INSTALLED WHEN NECESSARY AND APPROPRIATE DURING CONSTRUCTION.
- PROTECT DRAINAGE STRUCTURES. DURING CONSTRUCTION, ALL DRAINAGE INLETS SHALL BE PROTECTED BY INSTALLING A GEOTEXTILE BARRIER UNDER THE GRATE OR BY INSTALLING A STONE CHECK DAM AROUND THE PERIMETER OF THE GRATE.
- CLEAR AND GRUB, STRIP ORGANIC SOILS. LOAM SHALL BE STRIPPED FROM THE SITE AS REQUIRED. THE SMALLEST PRACTICAL AREA SHALL BE EXPOSED AT ANY TIME AND SHALL NOT EXCEED ONE ACRE. UNSTABILIZED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICABLE BUT NO LATER THAN 45 DAYS AFTER INITIAL DISTURBANCE.
- STABILIZE STOCKPILES. SOIL STOCKPILES SHALL BE LOCATED AND PROTECTED TO MINIMIZE EROSION. INSTALL SILT FENCING AROUND THE BASE OF ALL STOCKPILES ON THE DOWNHILL SIDE.
- INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES. ALL PRACTICES ARE TO BE INSPECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD ACCORDING TO RECOMMENDED SCHEDULED, BUT AT LEAST ONCE PER WEEK, AND DURING RAINFALL EVENTS IN WHICH 1/4 INCH OF PRECIPITATION OR MORE FALLS WITHIN A 24 HOUR PERIOD. THE BOTTOM OF SEDIMENT BASINS SHALL BE PERIODICALLY CLEANED, WITH SEDIMENT REMOVED TO A SECURE LOCATION. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL BE PERIODICALLY REMOVED.
- GRADE AND GRAVEL AREAS TO BE PAVED. ROADWAYS AND PARKING LOTS SHALL BE GRADED, AND UNDERGROUND UTILITIES SHALL BE INSTALLED. GRAVEL SHALL BE INSTALLED AS SOON AS PRACTICAL. THESE AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE. ALL FILL MATERIAL SHALL BE FREE FROM STUMPS, ROOTS, WOOD, ETC.
- STABILIZE DISTURBED AREAS. BEGIN SEED AND MULCH OF ALL DISTURBED AREAS AS SOON AS PRACTICAL, BUT NO LATER THAN THREE DAYS AFTER FINAL GRADING. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. A MINIMUM OF 6" OF LOAM SHALL BE INSTALLED, WITH SEED, LIME, AND FERTILIZER APPLIED.
- FINISH PAVING. INSTALL FINISH PAVING ON ROADWAYS AND PARKING LOTS.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING. SPREAD LOAM AND STABILIZE PER PLANS AND SPECIFICATIONS.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- REMOVE TEMPORARY EROSION CONTROL MEASURES. AFTER CONSTRUCTION IS COMPLETED AND THE AREAS ARE STABILIZED (MINIMUM 85% VEGETATIVE COVER, BASE COURSE GRAVELS INSTALLED, 3" NON-EROSIVE MATERIAL INSTALLED, OR EROSION CONTROL BLANKET INSTALLED) IN THE DISTURBED AREAS, THE AREAS IN AND AROUND THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE CLEANED UP, WITH CARE BEING TAKEN NOT TO ALLOW THE ACCUMULATION OF SILT TO RUN INTO THE WETLANDS AND / OR PROTECTED AREAS. AFTER CLEAN-UP, THE TEMPORARY EROSION CONTROL SYSTEMS SHALL BE REMOVED AND THE AREA RETURNED AS NEAR AS POSSIBLE TO ITS NATURAL STATE.
- WINTER CONSTRUCTION NOTES:
 - ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 30, OR WHICH ARE DISTURBED AFTER NOVEMBER 30, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
 - ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY NOVEMBER 30, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
 - AFTER NOVEMBER 30, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM 3" OF CRUSHED GRAVEL PER (NHDOT ITEM 304.3)
- MINIMUM REQUIREMENTS THE EROSION CONTROL MEASURES SHOWN ON THESE PLANS ARE THE MINIMUM NECESSARY DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ADEQUATE EROSION CONTROL PRACTICES ARE EMPLOYED TO PREVENT EROSION AND SEDIMENTATION TO ADJACENT PROPERTIES, ROADS, OR DRAINAGE SYSTEMS.



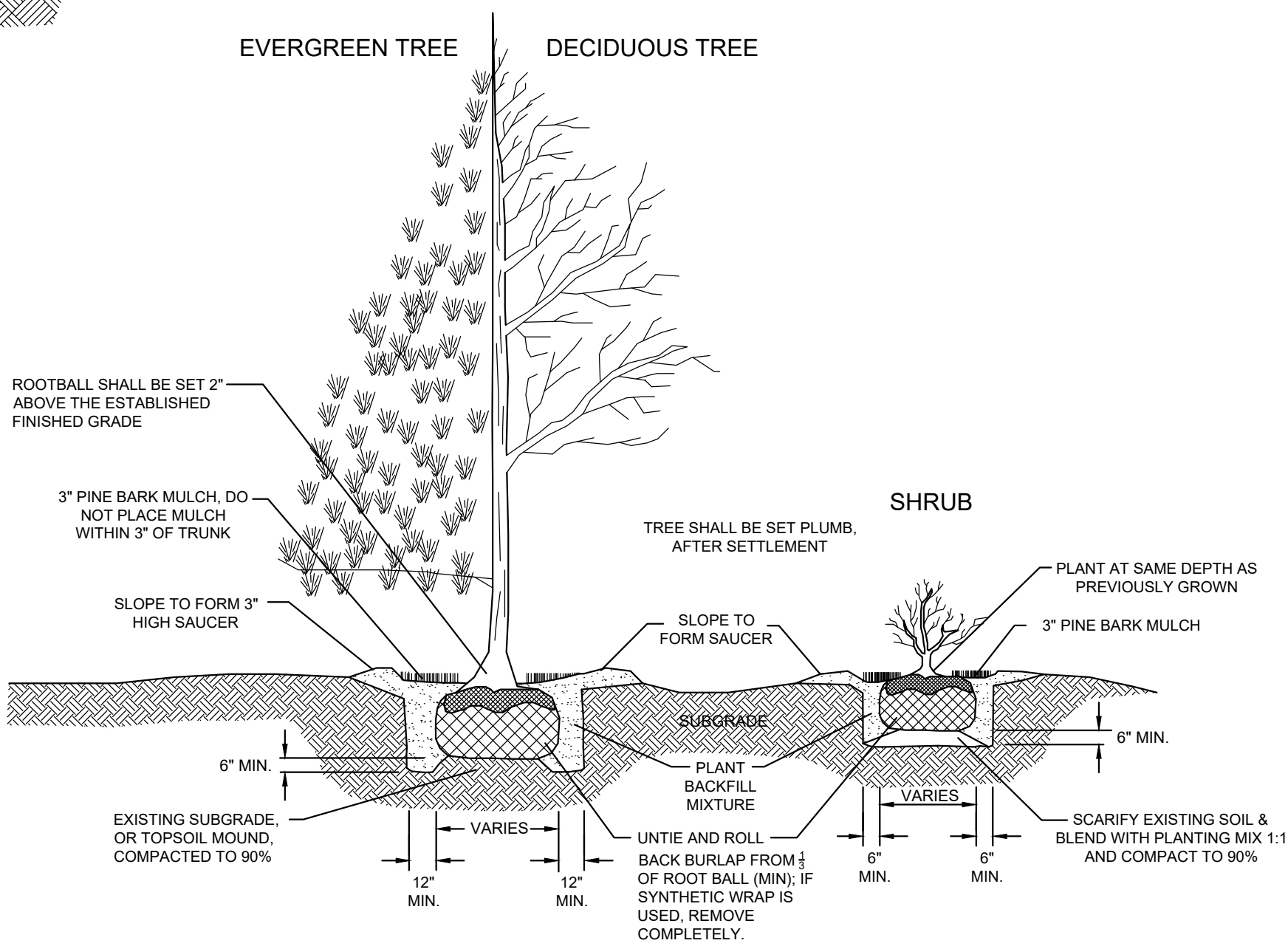
SILT SACK CONSTRUCTION SEQUENCE:

- TO INSTALL SILTSACK® IN THE CATCH BASIN, REMOVE THE GRATE AND PLACE THE SACK IN THE OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME. THIS IS THE AREA OF THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- WHEN THE RESTRAINT CORD IS NO LONGER VISIBLE, SILTSACK® IS FULL AND SHALL BE EMPTIED.
- TO REMOVE SILTSACK®, TAKE TWO PIECES OF 1" DIAMETER REBAR AND PLACE THROUGH THE LIFTING LOOPS ON EACH SIDE OF THE SACK TO FACILITATE THE LIFTING OF SILTSACK®.
- TO EMPTY SILTSACK®, PLACE IT WHERE THE CONTENTS WILL BE COLLECTED. PLACE THE REBAR THROUGH THE LIFT STRAPS (CONNECTED TO THE BOTTOM OF THE SACK) AND LIFT. THIS WILL TURN SILTSACK® INSIDE OUT AND EMPTY THE CONTENTS. CLEAN OUT AND RINSE. RETURN SILTSACK® TO ITS ORIGINAL SHAPE AND PLACE BACK IN THE BASIN.
- SILTSACK® IS REUSABLE. ONCE THE CONSTRUCTION CYCLE IS COMPLETE, REMOVE SILTSACK® FROM THE BASIN AND CLEAN.

SILTSACK®

NOT TO SCALE

SILTSACK TO BE INSTALLED IN EXISTING CATCH BASINS CB#1 TO CB#7 AND ALL PROPOSED CATCH BASINS

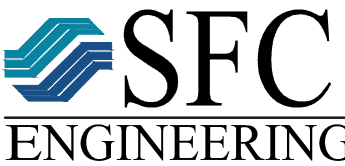


PLANTING DETAILS - TREES AND SHRUBS

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No.	Revision	Date
Designed by: DMF	Drawn by: FDG	Checked by:

Erosion Control & Construction Details
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1



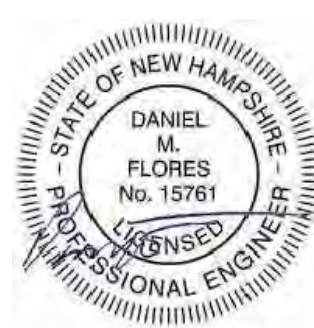
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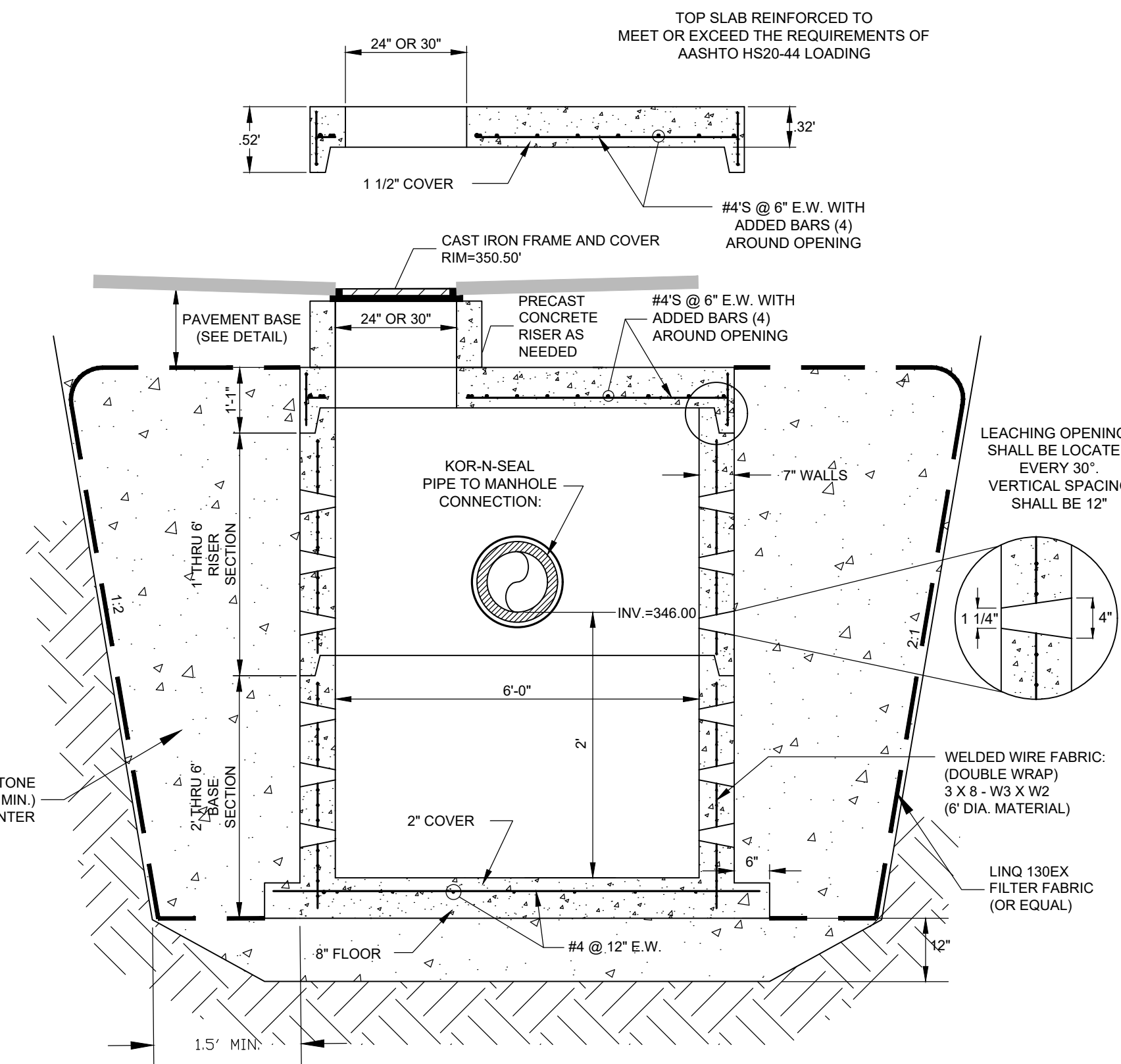
Date: 8/08/2018



Prepared for:
Rymes Propane & Oil
P.O. Box 2948
Concord, NH 03302

Concord Planning Board
Approval

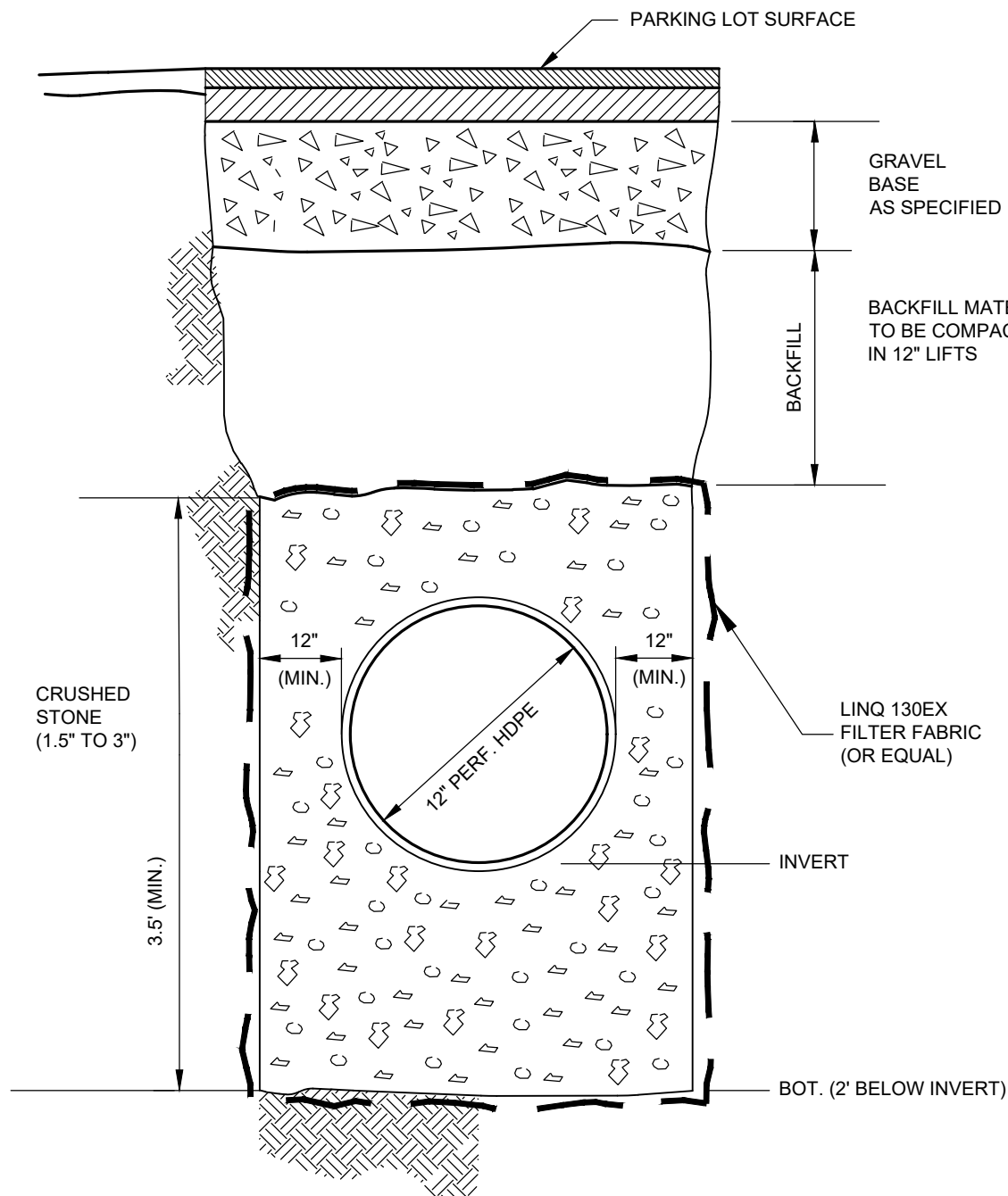
Zoning Classification: Gateway Performance (GWP)



- NOTES:**
1. MANUFACTURED TO MEET OR EXCEED REQUIREMENTS OF ASTM C-478 & AASHTO M-199 SPECIFICATIONS.
 2. CIRCUMFERENTIAL REINFORCING SHALL CONFORM TO ASTM A-185. TOP/BOTTOM SLAB REINFORCING SHALL CONFORM TO ASTM A-615 GRADE 60 DEFORMED BARS. BOTH TO BE PLACED PER ASTM C-478 (8.1, 8.3, 8.4).
 3. CONCRETE: 4,000 PSI MINIMUM @ 28 DAYS, PER ASTM C-478 (6.1). CEMENT TO BE TYPE III, PER ASTM C-150.
 4. DRY WELL TO HAVE 6\"
 5. CONTRACTOR TO SLOPE EXCAVATION WALL AS SHOWN OR UNTIL STABLE.
- MAINTENANCE REQUIREMENTS:**
1. REMOVAL OF DEBRIS FROM INLET AND OUTLET STRUCTURES.
 2. REMOVAL OF ACCUMULATED SEDIMENT.
 3. INSPECTION AND REPAIR OF OUTLET STRUCTURES AND APPURTENANCES.
 4. INSPECTION OF INFILTRATION COMPONENTS AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.

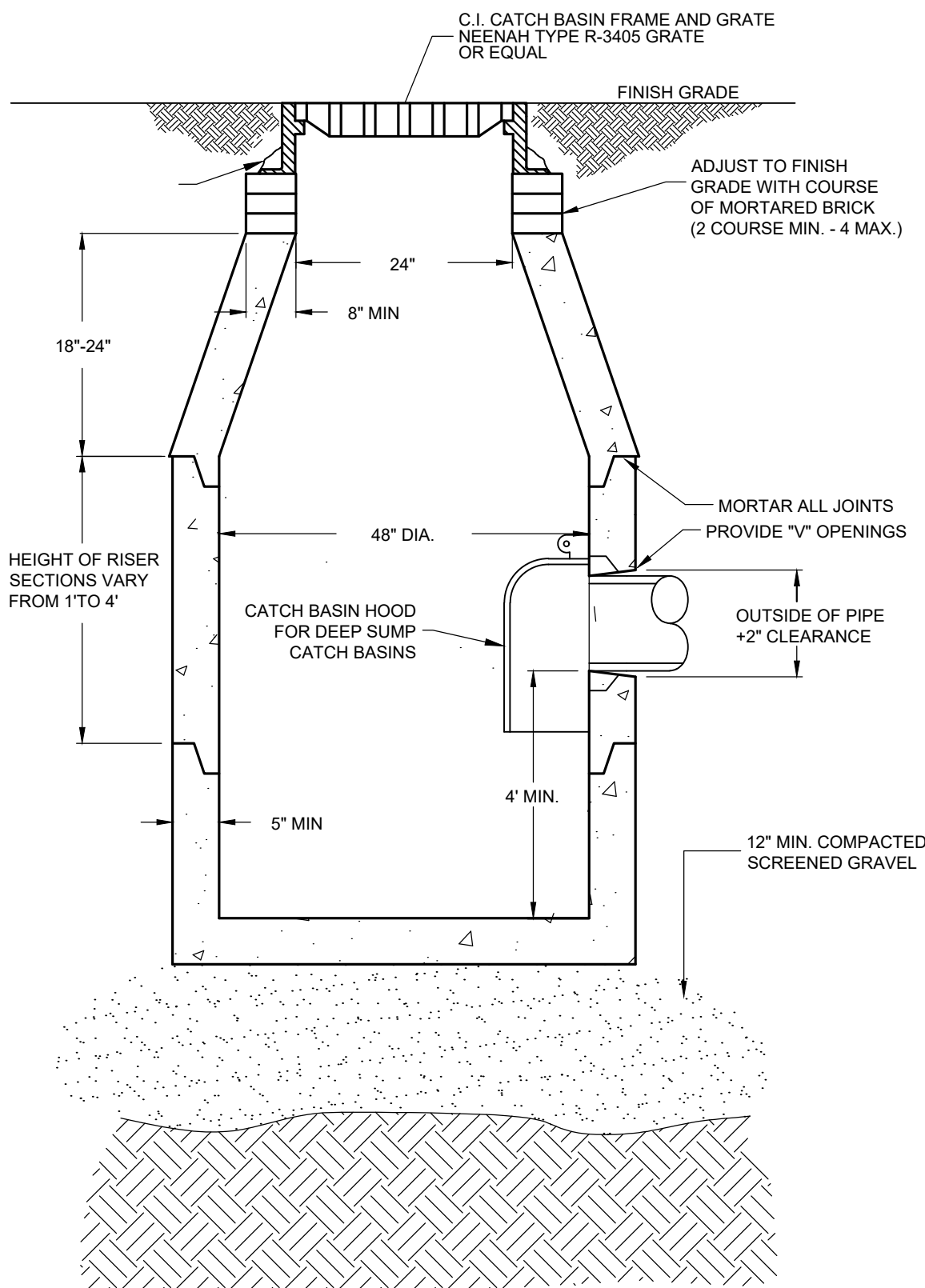
LEACHING BASIN DETAIL

NOT TO SCALE



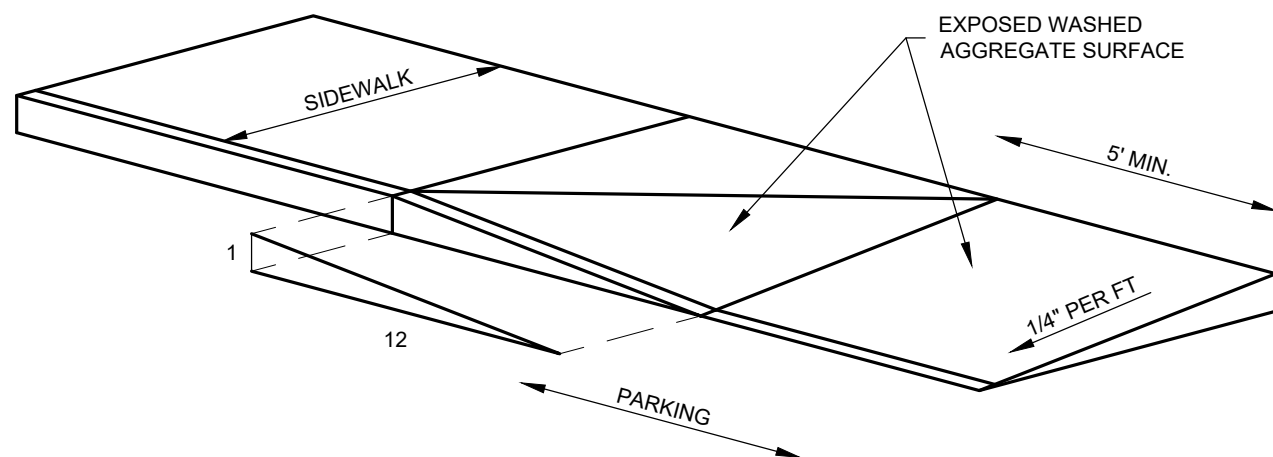
INFILTRATION TRENCH SECTION FOR STORM DRAIN

NOT TO SCALE



DEEP SUMP PRECAST CONCRETE CATCH BASIN

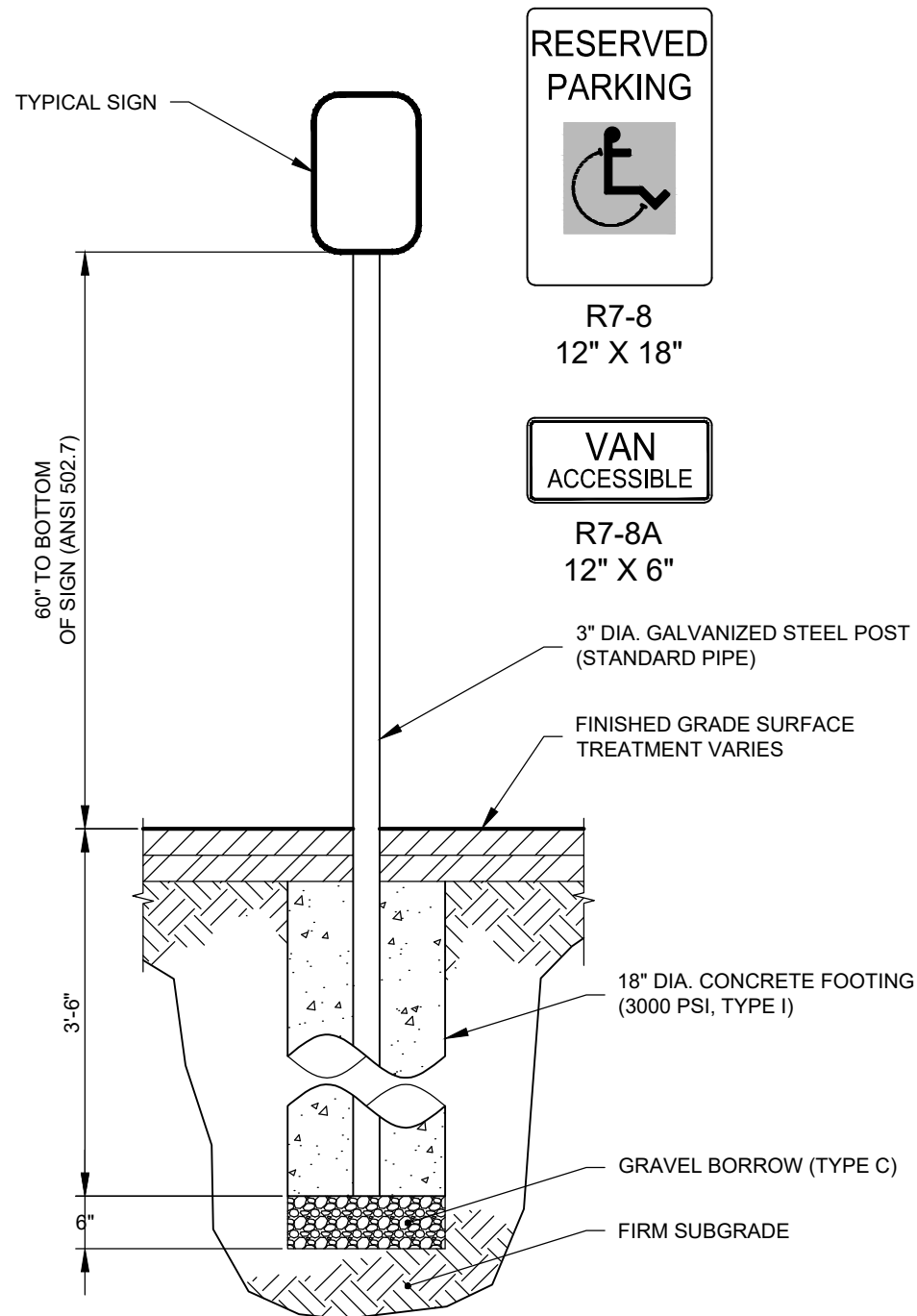
NOT TO SCALE



NOTE:
THIS DETAIL TO BE USED FOR CURB RAMPS ALONG BUILDING.

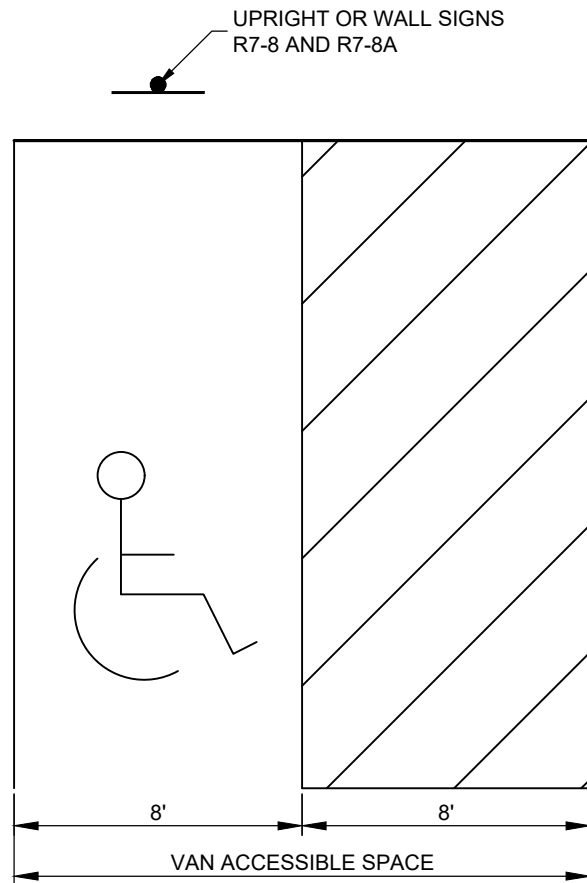
SIDEWALK CURB RAMP DETAIL

NOT TO SCALE
(IF REQUIRED - SEE NOTE #15 ON SHEET 3)



SIGN & POST INSTALLATION

NOT TO SCALE



- NOTES:**
1. ALL DIMENSIONS TO CENTER OF STRIPING.
 2. ALL STRIPING SHALL BE 4\"
 3. ONE IN EVERY SIX ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE "VAN ACCESSIBLE".
 4. SEE SITE DEVELOPMENT PLAN FOR LOCATION AND CONFIGURATION OF ACCESSIBLE SPACE.
 5. MAINTAIN MAXIMUM 2% SLOPE WITHIN ACCESSIBLE AREAS.

ACCESSIBLE PARKING SPACE

NOT TO SCALE

TRACE WIRE NOTES:

THE TRACER WIRE SHALL BE INSTALLED ON TOP OF THE BURIED UTILITY CROWN.

THE TRACER WIRE SHALL BE POSITIVELY ATTACHED TO THE NON-METALLIC BURIED UTILITIES BY PLASTIC WIRE TIES OR SIMILAR TYPE OF ATTACHMENT EVERY 10 FEET FOR STRAIGHT RUN OF UTILITY AND AT ALL CHANGES OF DIRECTION. IF TAPE IS USED IT SHALL BE POLYKEN "930-35," PROTECTO-WRAP "310," OR EQUAL.

THE TERMINATION ENDS OF THE TRACER WIRE SHALL BE GROUNDED WITH 7 LB. OR LARGER ANODE BAGS WITH THE CONNECTORS HEREIN SPECIFIED.

INSTALL APPROVED CAST IRON VALVE BOXES AT ALL LOCATIONS WHERE THE ENDS OF THE TRACER WIRE ARE EXPOSED ABOVE THE FINISHED GRADE. THE BOXES SHALL CONTAIN A 24\"

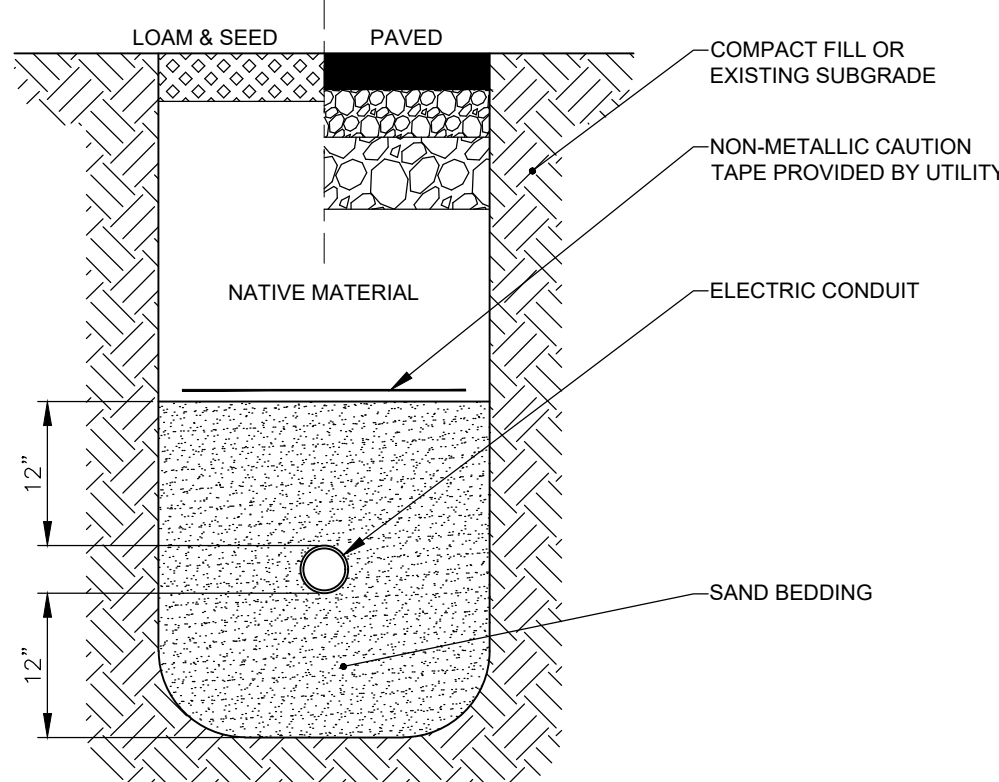
TRACER WIRE SHALL BE CONTINUOUS BETWEEN BOXES AND SHALL BE TESTED FOR CONTINUITY IN THE PRESENCE OF THE INSPECTOR.

TRACER WIRE SHALL BE MINIMUM NO. 12 AWG. COPPER WIRE OR COPPER CLAD STEEL HIGH STRENGTH WITH A MINIMUM 450 LB. BREAK LOAD WITH A MINIMUM 30 MIL HDPE INSULATION THICKNESS (BLUE IN COLOR FOR USE WITH POTABLE WATER, GREEN FOR USE WITH SEWER).

CONNECTORS SHALL BE COPPERHEAD SNAKEBITE, 3M DBR OR DRY-CON TYPE CONNECTORS FOR SPECIFIED WIRE GAGE AND SUITABLE FOR USE WITH BURIED TRACER WIRE.

NOTES:

1. ALL FILL MATERIAL TO BE PLACED IN LIFTS NO GREATER THAN 12 INCHES.
2. ALL FILL MATERIAL TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
3. MINIMUM COVER OF THREE FEET IS REQUIRED FOR ALL CONDUIT PIPES, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.
4. CONDUIT SIZE, MATERIAL, AND INSTALLATION TO MEET UTILITY COMPANIES STANDARD SPECIFICATIONS.
5. MINIMUM TRENCH WIDTH SHALL ALLOW FOR A MINIMUM OF 6 INCH CLEARANCE FROM TRENCH SIDE WALLS.



ELECTRIC TRENCH

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No.	Revision	Drawn by: FDG	Date
Designed by: DMF		Checked by:	

Construction Details
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1

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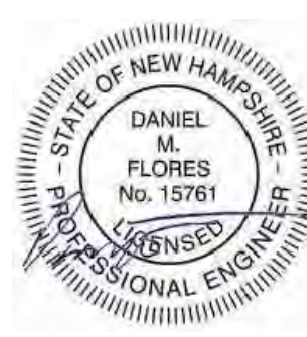
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Scale: As Noted

Date: 8/08/2018



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P.O. Box 2948
Concord, NH 03302

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Approval

Zoning Classification: Gateway Performance GWP

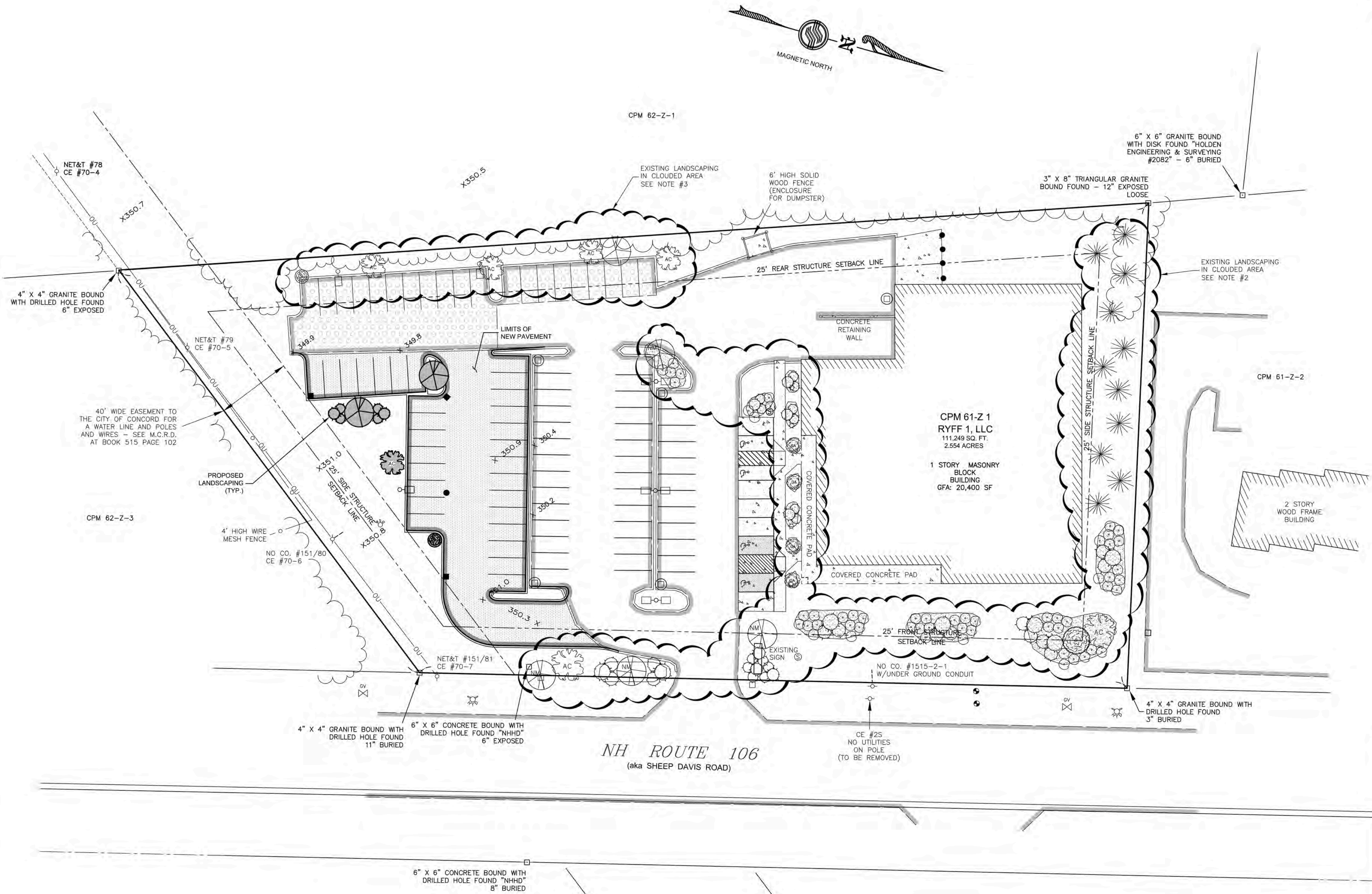
NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED LANDSCAPING ON A PORTION OF CONCORD PROPERTY MAP 61, BLOCK Z1.
2. LANDSCAPING IN CLOUDED AREA WAS SHOWN AS EXISTING ON PLAN OF REFERENCE #2.
3. LANDSCAPING IN CLOUDED AREA WAS SHOWN AS PROPOSED ON PLAN OF REFERENCE #2 AS PART OF THE 2016 PARKING CONSTRUCTION. PLANTINGS WERE REVISED BASED ON FIELD OBSERVATION BY SFC ON MAY 5, 2018. SEE LEGEND BELOW FOR THESE PLANTS.



PROPOSED LANDSCAPE LEGEND

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	2	ACER RUBRUM	RED MAPLE	2.5" CAL B & B
	1	MALUS ADAMS	ADAMS CRAB	2" CALIPER B & B
	1	THUJA OCCIDENTALIS (WOODWARD)	GLOBE ARBORVITAE	MIN. 24" HIGH B & B
	1 EA	MYRICA PENNSYLVANICA JUNIPERUS AZALEA	BAYBERRY JUNIPER AZALEAS	3'-4" HIGH 3' O.C.



No.	Revision	Date
Designed by: DMF	Drawn by: FDG	Checked by:

Landscape Plan
Rymes Propane & Oil
257 Sheep Davis Road
Concord, NH
Assessors Map 61, Block Z 1



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Sheet 8 of 8 Scale: 1" = 30' Date: 8/08/2018



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Approval

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