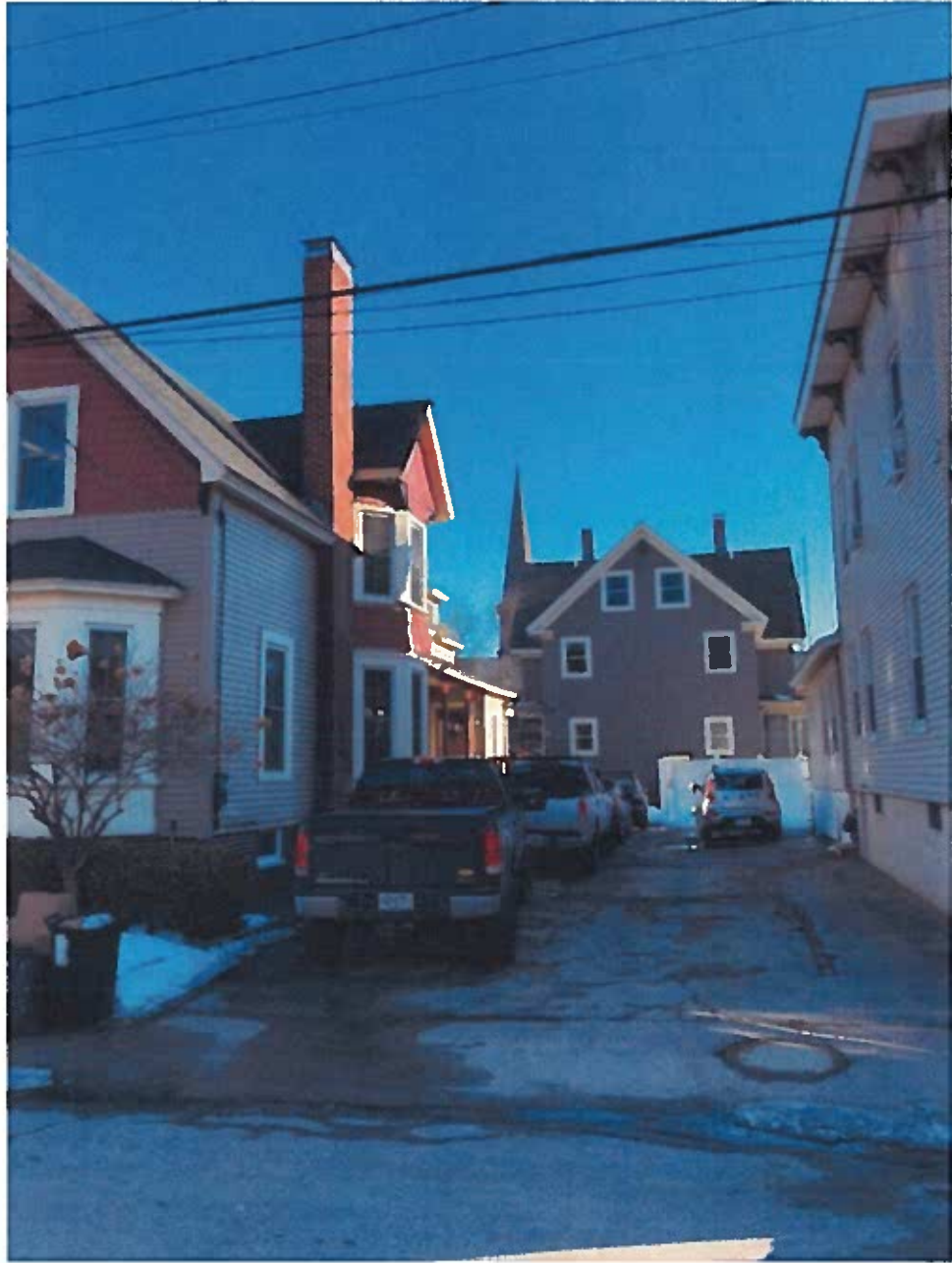


RECEIVED

FEB 20 2018

**Planning Division
Concord, NH**









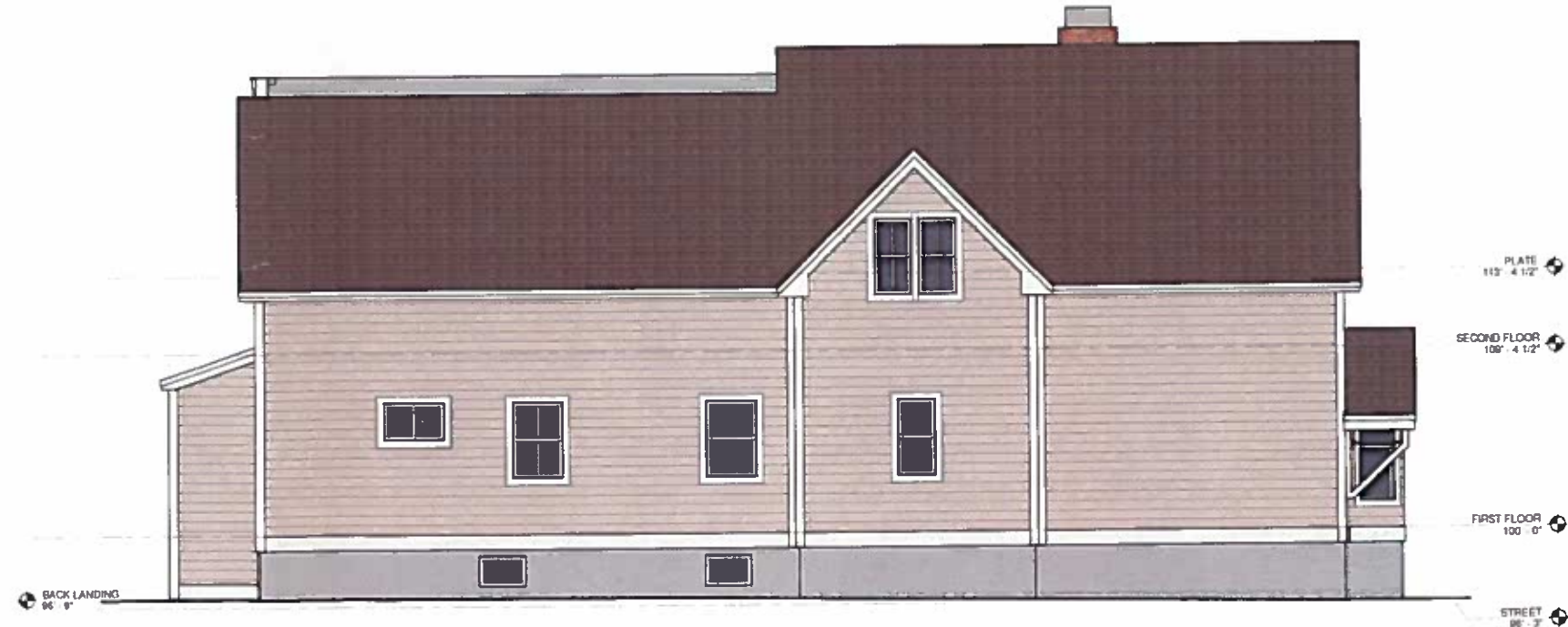
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

27 WARREN STREET
CONCORD, NH

SCALE AS NOTED
JOB # 0000
OWN BY Author
CHK BY Checker

08/10/17

EXISTING ELEVATIONS

001
SHEET NUMBER OF 1

Copyright Warrenstreet Architects Inc. © 2018

PRINT DATE/TIME 8/30/2017 11:05 PM



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

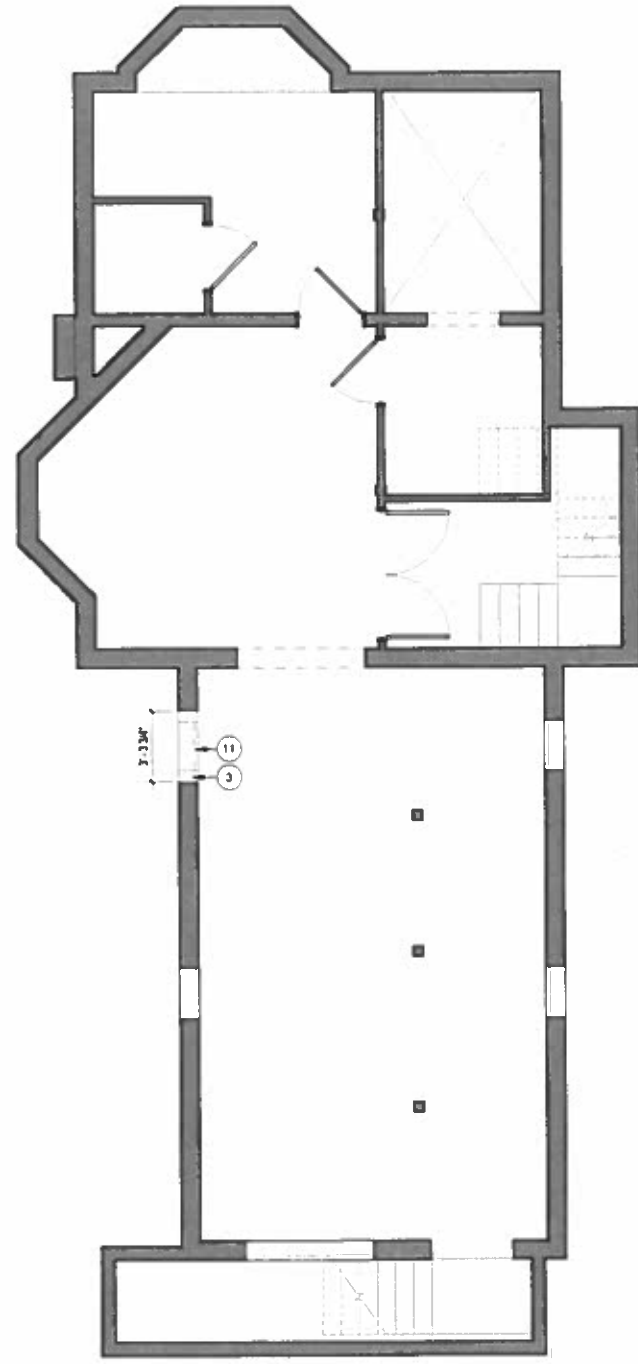


LEFT ELEVATION
1/4" = 1'-0"

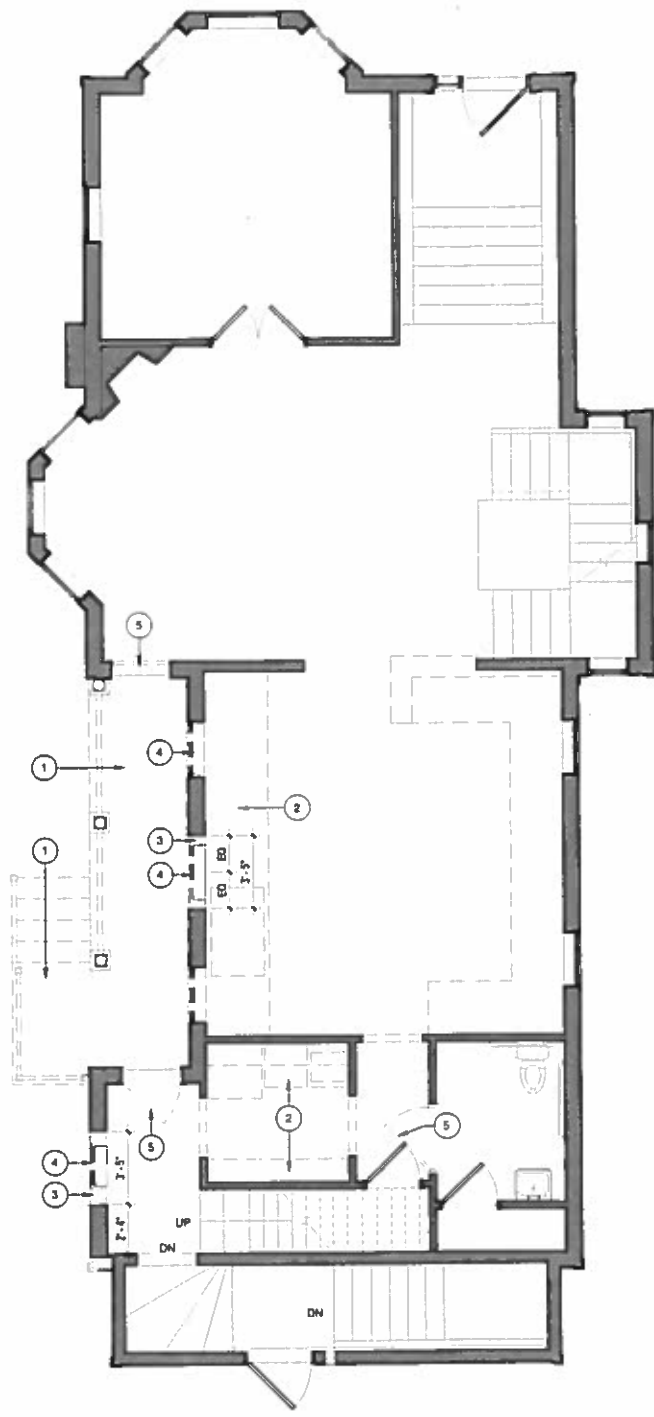
Drawn section - see text
one and one half section - see text
one section - see text
Draw quarter section - see text
one quarter section - see text
one eighth section - see text

TEMPLATE DATE 8/12/2017

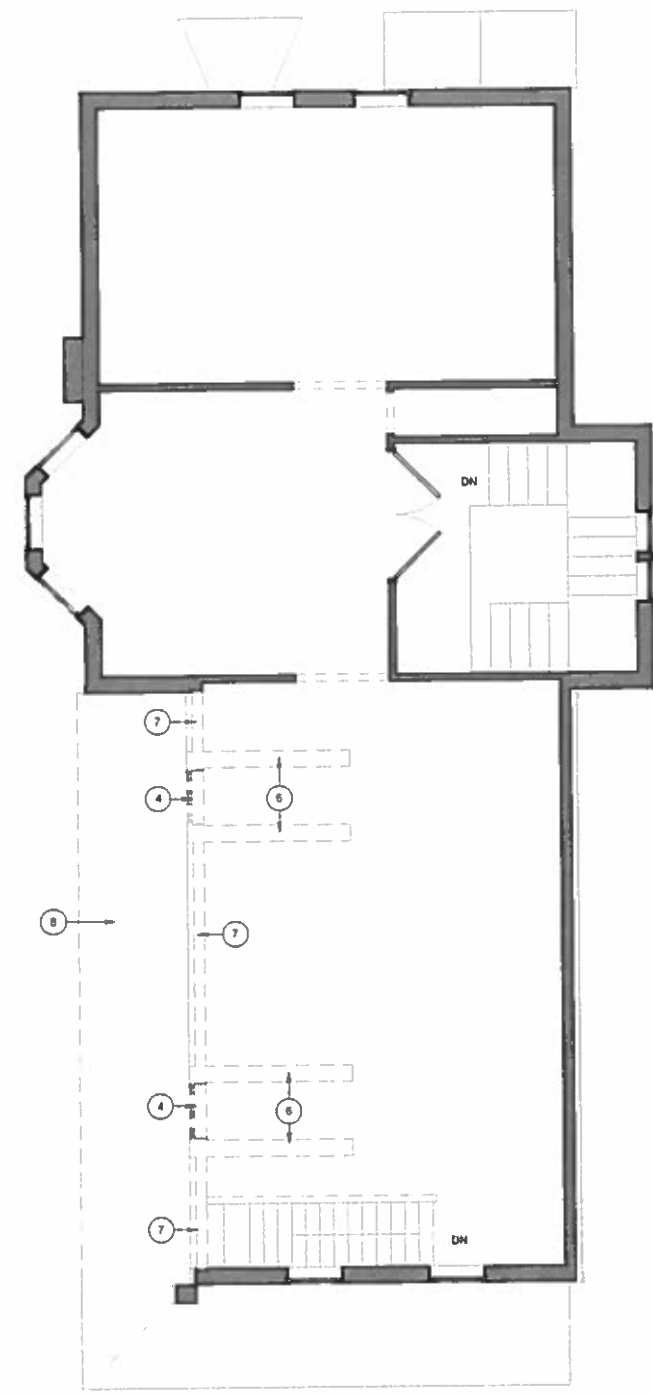
1 BASEMENT DEMOLITION PLAN
A103 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
A00 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
A00 1/4" = 1'-0"



DEMOLITION NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS WHEN DEMOLISHING EXISTING BEARING WALLS OR ROOF STRUCTURE. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO PRESERVE STABILITY OF STRUCTURE TO REMAIN.
2. WHEN UTILITY SYSTEMS NEED TO BE REMOVED, PROVIDE CAP, VALVE, PLUG, OR SEAL TO MEET CODE REQUIREMENTS AND MAINTAIN CONTINUITY OF THE SYSTEM.
3. PROVIDE TEMPORARY BARRICADES AND PROTECTION TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN.
4. DURING DEMOLITION ACTIVITIES, MAINTAIN BUILDING SO IT REMAINS WATER TIGHT AND WEATHER TIGHT.
5. UNLESS DEMOLISHED MATERIAL IS INDICATED TO REMAIN, REMOVE MATERIAL FROM PROJECT SITE AND DISPOSE OF LEGALLY.
6. THE CONTRACTOR IS TO PROTECT THE EXISTING BUILDING STRUCTURE AND FINISHES TO REMAIN.
7. THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS ENCOUNTERED.

DEMOLITION LEGEND

- (A) KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE LEGEND

- 1 DEMO PORCH DECK, POSTS, STAIRS, & ROOF STRUCTURE ABOVE, PROVIDE TEMP SUPPORT AS REQUIRED
- 2 REMOVE EXISTING CASEWORK, TERMINATE EXISTING PLUMBING AS REQUIRED BY CODE
- 3 REMOVE EXISTING EXTERIOR WALL AS REQUIRED FOR NEW OPENING
- 4 REMOVE EXISTING WINDOW COMPLETE
- 5 REMOVE EXISTING DOOR & FRAME COMPLETE
- 6 REMOVE EXISTING DORMER, ASSOCIATED WALL, WINDOW & STRUCTURE COMPLETE, PROVIDE TEMP STRUCTURE AS REQUIRED
- 7 REMOVE EXISTING KNEE WALL, PROVIDE TEMP STRUCTURE AS REQUIRED
- 8 REMOVE PORTION OF ROOF, PROVIDE TEMP STRUCTURE AS REQUIRED
- 9 REMOVE PORTION OF SITE PAVING
- 10 REMOVE WOOD FENCE
- 11 REMOVE FIXED PANEL

WA
WARRENSTREET
ARCHITECTS

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreet.com

WARRENSTREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. PARISH ROAD
CONCORD, NH 03303
P: (603) 224-8010

CONSTRUCTION MANAGER
TBO

PLAN KEY

PROJECT TITLE / ADDRESS
**27 WARREN STREET
ADDITION
CONCORD, NH**

SCALE AS NOTED DWN BY: Author
JOB # - CHK BY: Checker
PRINT DATE 2/23/2018 1:30:03 PM
ISSUE DATE

**NOT FOR CONSTRUCTION
SCHEMATIC DESIGN**

REVISION	DATE	EXAMINER

DEMOLITION FLOOR PLANS

A101

SHEET NUMBER OF 1 ARCHITECTURAL

THE CONTRACTOR AND THE OWNER ARE TO BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.

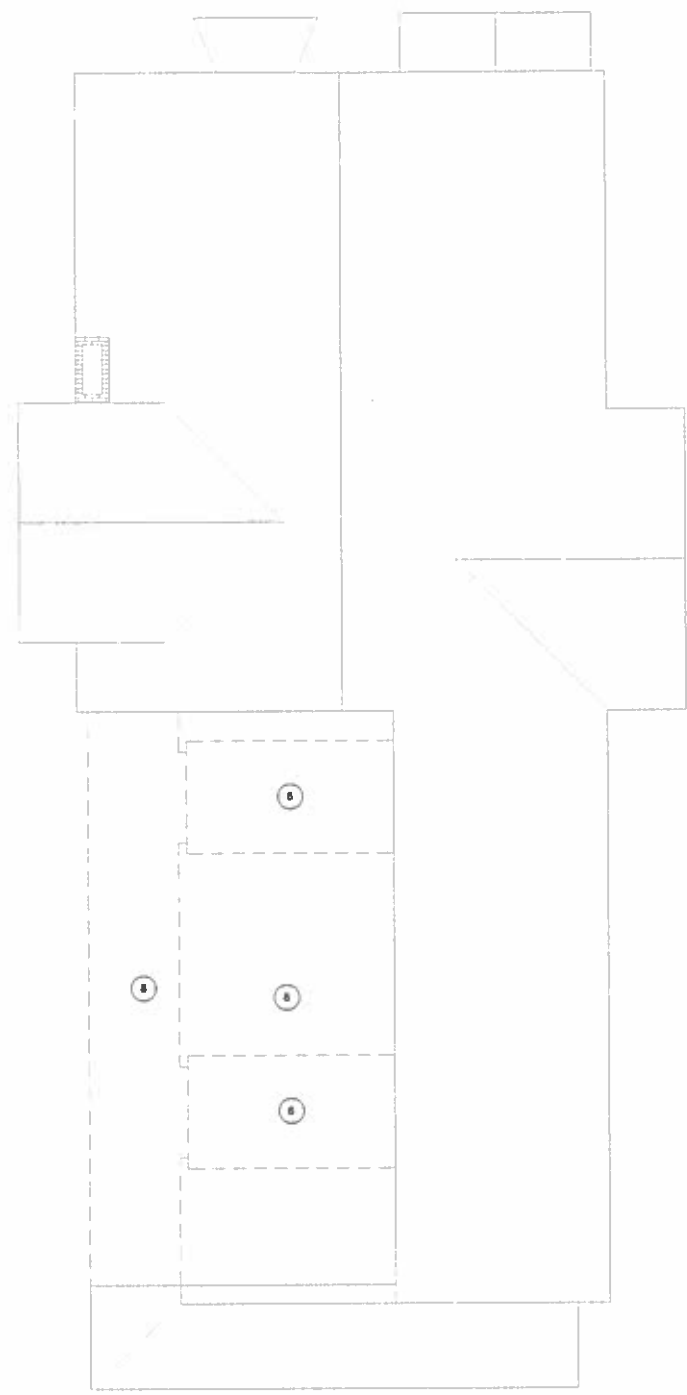
Copyright: Warrenstreet Architects Inc. © 1999 - 2017

PROGRESS - NOT FOR CONSTRUCTION

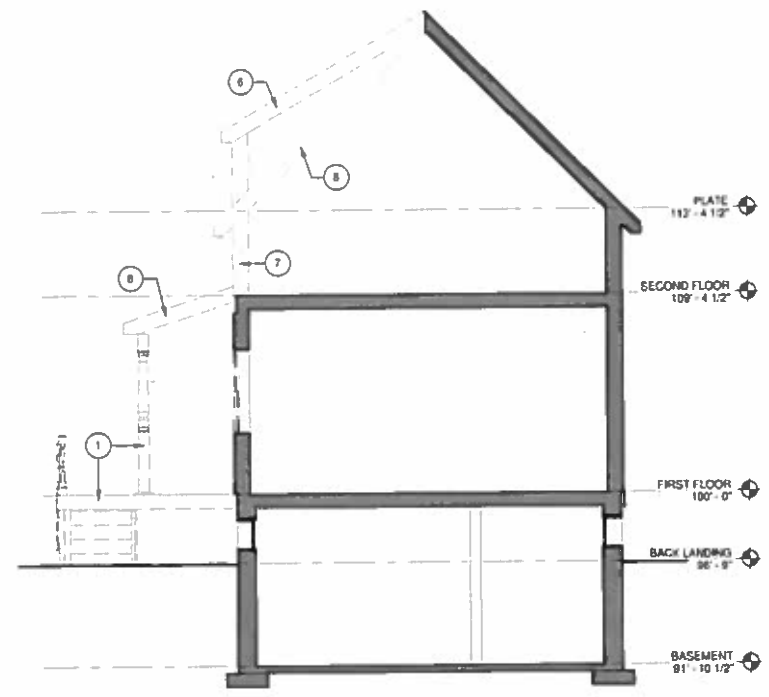
one eighth inch = one foot
one quarter inch = one foot
one half inch = one foot
one inch = one foot
one and one half inches = one foot
two inches = one foot

TEMPLATE DATE 8/13/2017

1 ROOF DEMOLITION PLAN
A100 1/4" = 1'-0"

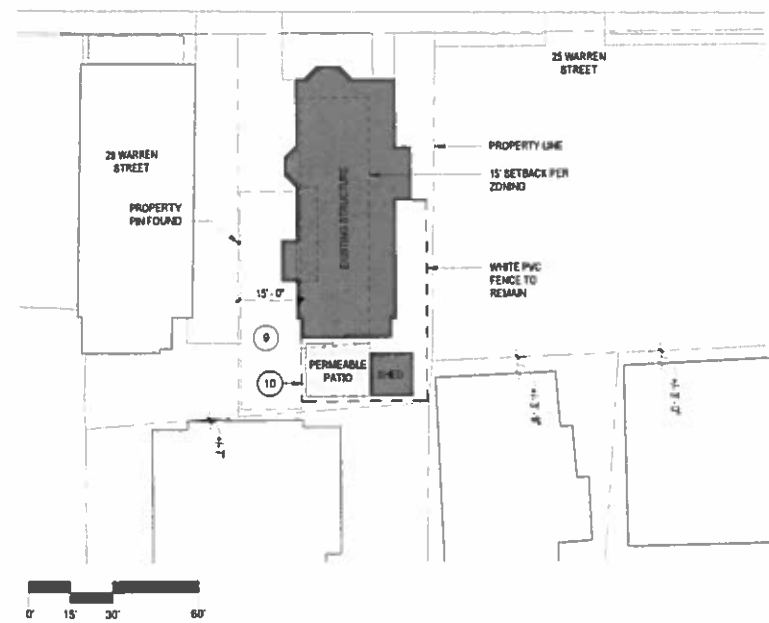


2 DEMOLITION BUILDING SECTION
A100 1/4" = 1'-0"



ZONING CODE SUMMARY
ZONING DISTRICT: CVP
FRONT, SIDE & BACK SETBACK: 15'-0"
MAXIMUM HEIGHT: 45'-0"
EXISTING LOT COVERAGE: 71% (BUILDINGS & PAVES)
PROPOSED LOT COVERAGE: 65%

WARREN STREET



0' 15' 30' 60'

DEMOLITION NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS WHEN DEMOLISHING EXISTING BEARING WALLS OR ROOF STRUCTURE. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO PRESERVE STABILITY OF STRUCTURE TO REMAIN.
2. WHEN UTILITY SYSTEMS NEED TO BE REMOVED, PROVIDE CAP, VALVE, PLUG, OR SEAL TO MEET CODE REQUIREMENTS AND MAINTAIN CONTINUUM OF THE SYSTEM.
3. PROVIDE TEMPORARY BARRICADES AND PROTECTION TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN.
4. DURING DEMOLITION ACTIVITIES, MAINTAIN BUILDING SO IT REMAINS WATER TIGHT AND WEATHER TIGHT.
5. UNLESS DEMOLISHED MATERIAL IS INDICATED TO REMAIN, REMOVE MATERIAL FROM PROJECT SITE AND DISPOSE OF LEGALLY.
6. THE CONTRACTOR IS TO PROTECT THE EXISTING BUILDING STRUCTURE AND FINISHES TO REMAIN.
7. THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS ENCOUNTERED.

DEMOLITION LEGEND

- KEYNOTE: SEE FLOOR PLAN KEYNOTE LEGEND
- EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE LEGEND

- 1 DEMO PORCH DECK, POSTS, STAIRS, & ROOF STRUCTURE ABOVE. PROVIDE TEMP SUPPORT AS REQUIRED
- 2 REMOVE EXISTING CASEWORK, TERMINATE EXISTING PLUMBING AS REQUIRED BY CODE
- 3 REMOVE EXISTING EXTERIOR WALL AS REQUIRED FOR NEW OPENING
- 4 REMOVE EXISTING WINDOW COMPLETE
- 5 REMOVE EXISTING DOOR & FRAME COMPLETE
- 6 REMOVE EXISTING DORMER, ASSOCIATED WALLS, WINDOW, & STRUCTURE COMPLETE. PROVIDE TEMP STRUCTURE AS REQUIRED
- 7 REMOVE EXISTING ANEE WALL, PROVIDE TEMP STRUCTURE AS REQUIRED
- 8 REMOVE PORTION OF ROOF, PROVIDE TEMP STRUCTURE AS REQUIRED
- 9 REMOVE PORTION OF SITE PAVING
- 10 REMOVE WOOD FENCE
- 11 REMOVE FIXED PANEL

WA
WARRENSTREET
ARCHITECTS

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreet.com

WARRENSTREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. FARRIS ROAD
CONCORD, NH 03303
P (603) 224-8010

CONSTRUCTION MANAGER
TBD

PLAN KEY:

PROJECT TITLE / ADDRESS
27 WARREN STREET
ADDITION
CONCORD, NH

SCALE: AS NOTED
JOB #:
DWN BY: Author
CHK BY: Checker

PRINT DATE: 2/23/2018 1:30:03 PM
ISSUE DATE:

NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

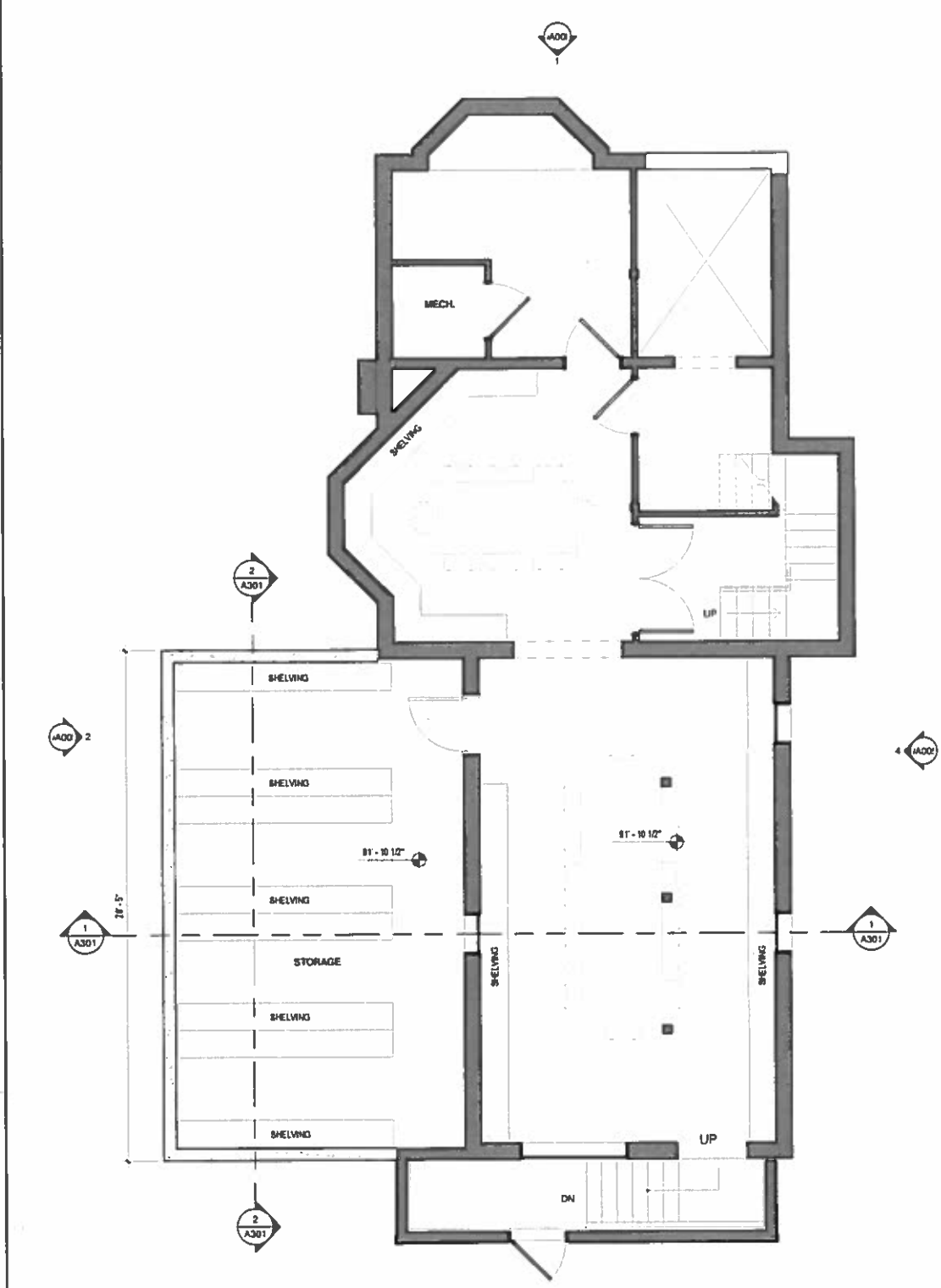
DEMOLITION PLANS &
SECTION

A103
SHEET NUMBER OF 7 ARCHITECTURAL

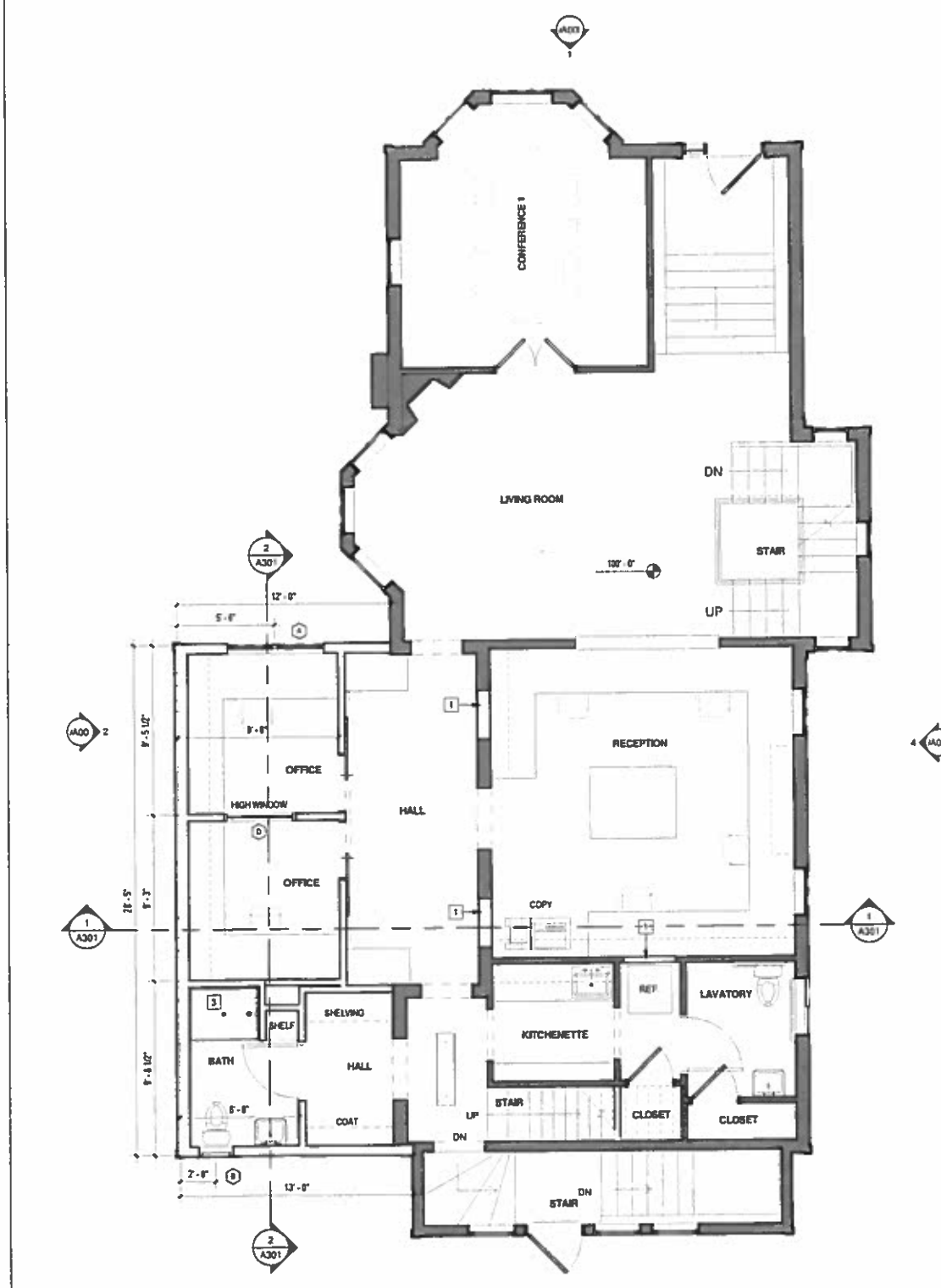
NO CHANGING OR ALTERING OF THE ARCHITECTURAL CONTENT OF THIS SHEET WITHOUT THE WRITTEN CONSENT OF WARRENSTREET ARCHITECTS. ANY CHANGES TO THIS SHEET SHALL BE MADE BY A SEPARATE SHEET. THE USER OF THIS SHEET FOR ANY OTHER PURPOSE IS PROHIBITED AND SUBJECT TO THE UNDERLYING LAW.
Copyright Warrenstreet Architects Inc. © 1990 - 2017

PROGRESS - NOT FOR CONSTRUCTION

Three quarter inch = one foot
Two quarter inch = one foot
One quarter inch = one foot
One eighth inch = one foot
TEMPLATE DATE 8/13/2017



1 BASEMENT PLAN
A103 1/4" = 1'-0"



2 FIRST FLOOR PLAN
A00 1/4" = 1'-0"

GENERAL PLAN NOTES

1. FINISH FLOOR ELEVATION = XXX'-X" -01 = DISTANCE OF GRADE BELOW FFE IN INCHES. +X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FINISH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0" AND IS MEASURED FROM THE TOP OF CONCRETE SLAB. SEE CIVIL DRAWINGS FOR ELEVATIONS BASED ON TOPOGRAPHIC DATUM.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY OR QUESTION PRIOR TO COMMENCING WITH ANY WORK.
3. THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED.
4. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL BALL PLATES FOR WOOD STUD WALLS.
5. GC SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
6. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, OR CENTER OF OPENING, U.I.D. AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
7. COORDINATE U.S.C. STEEL REQUIREMENTS FOR MOUNTING/HANGING OWNER SUPPLIED EQUIPMENT.
8. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE DOOR SCHEDULE SHEET
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN

FLOOR PLAN KEYNOTES

- 1 INFILL WINDOW
- 2 HALF WALL
- 3 SIX #8 SHOWER

WA

WARRENSTREET ARCHITECTS

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreet.com

WARRENSTREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. PARISH ROAD
CONCORD, NH 03303
P: (603) 224-8010

CONSTRUCTION MANAGER
TBD

PLAN KEY

PROJECT TITLE / ADDRESS
27 WARREN STREET
ADDITION
CONCORD, NH

SCALE: AS NOTED
JOB # -
PRINT DATE: 2/23/2018 1:30:04 PM
ISSUE DATE:

DRAWN BY: Author
CHK BY: Checker

NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

REVISIONS
DATE
COMMENTS

PROPOSED FLOOR PLANS

A111

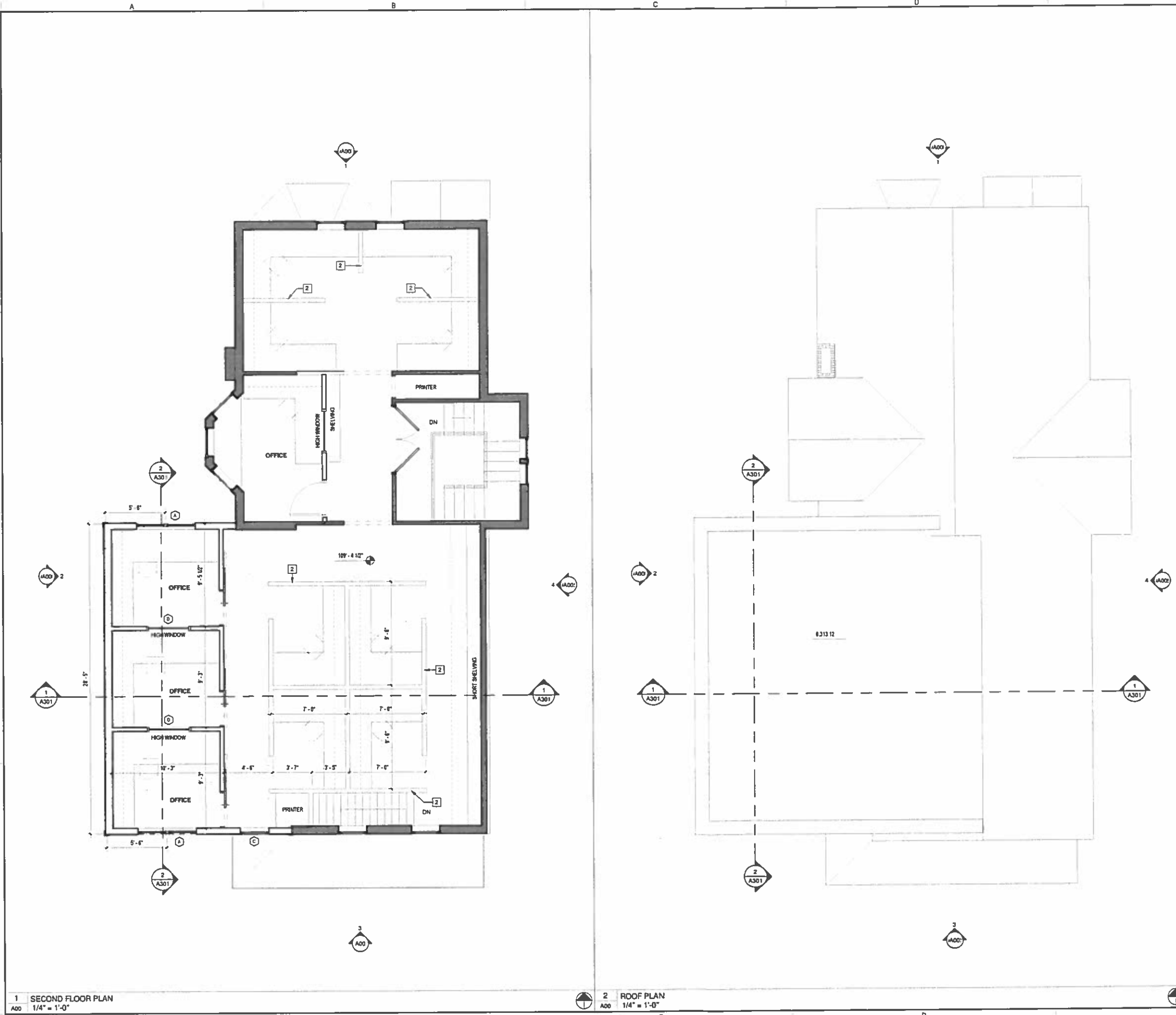
SHEET NUMBER OF 7 ARCHITECTURAL

THE DRAWINGS AND CONTENTS ARE THE PROPERTY OF WARRENSTREET ARCHITECTS INC. WITH THE RIGHT TO REUSE THE PROJECT DESIGN AND ANY LOGO IDENTIFIER HEREIN IN THE LINE OF THE COURSE OF BUSINESS AND IN ANY FUTURE PROJECTS WITHOUT LIMITATION.

Copyright Warrenstreet Architects Inc. © 1990 - 2017

PROGRESS - NOT FOR CONSTRUCTION

3/10/2017 8/10/2017



GENERAL PLAN NOTES

1. FRESH FLOOR ELEVATION = XXX'-X" - (X) = DISTANCE OF GRADE BELOW FFE IN INCHES. + X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FRESH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0" AND IS MEASURED FROM THE TOP OF CONCRETE SLAB. SEE CIVIL DRAWINGS FOR ELEVATIONS BASED ON TOPOGRAPHIC DATUM.
2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY OR QUESTION PRIOR TO COMMENCING WITH ANY WORK.
3. THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED.
4. ALL LAMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
5. GC SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF (ENGINEERING TRADE DEVICES (E.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
6. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY OR CENTER OF OPENING UNLESS AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
7. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.
8. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE DOOR SCHEDULE SHEET
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN

FLOOR PLAN KEYNOTES

- 1 INFILL WINDOW
- 2 HALF WALL
- 3 36X48 SHOWER

WA

WARRENSTREET ARCHITECTS

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreet.coop

WARRENSTREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. PARISH ROAD
CONCORD, NH 03303
P: (603) 224-0010

CONSTRUCTION MANAGER
TBD

PROJECT TITLE / ADDRESS
27 WARREN STREET ADDITION
CONCORD, NH

SCALE: AS NOTED DWN BY: Author
JOB # - - - - - CHK BY: Checker

PRINT DATE: 2/23/2018 1:30:09 PM
ISSUE DATE:

NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

PROPOSED FLOOR PLANS

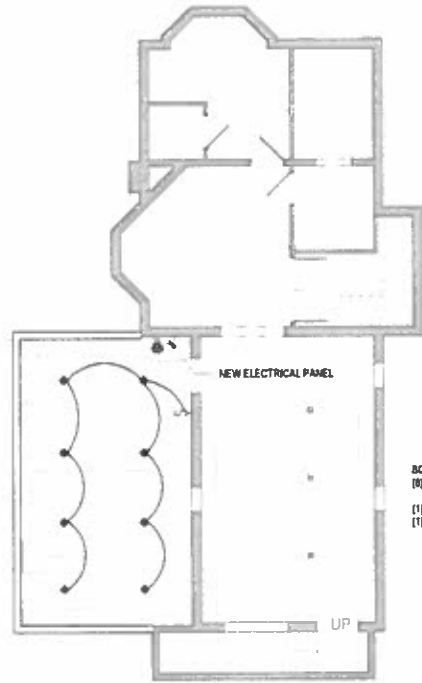
A112

SHEET NUMBER OF 7 ARCHITECTURAL

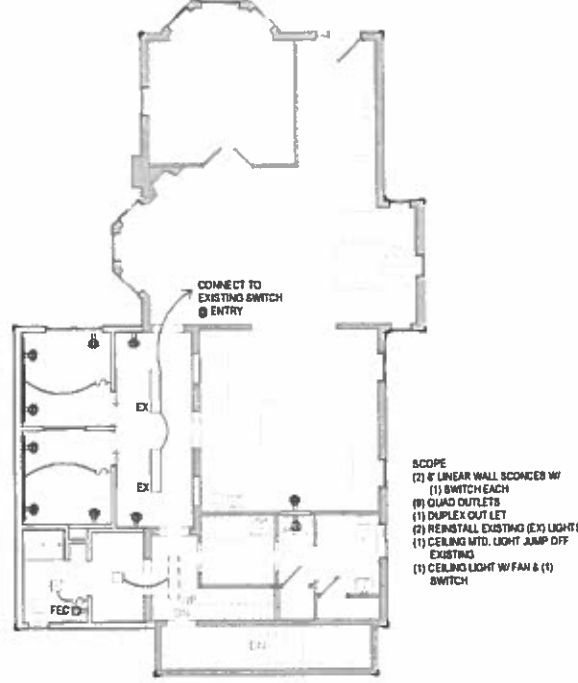
THE DRAWINGS AND ITS CONTENTS ARE THE INTELLECTUAL PROPERTY OF WARRENSTREET ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WARRENSTREET ARCHITECTS.

Copyright WarrenStreet Architects Inc. © 1990 - 2017

PROGRESS - NOT FOR CONSTRUCTION



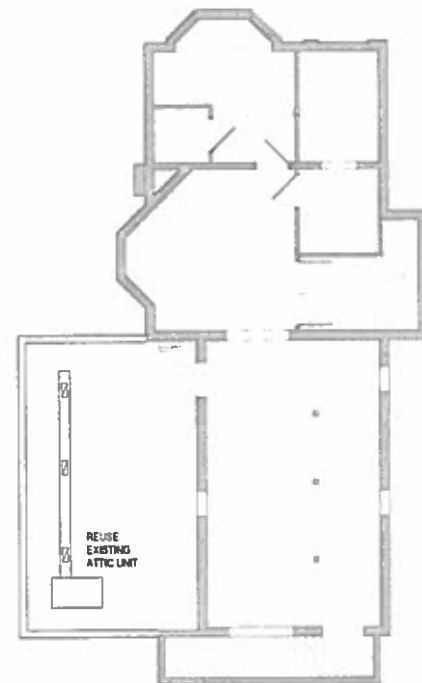
1 BASEMENT ELECTRICAL DIAGRAM
A103 1/8" = 1'-0"



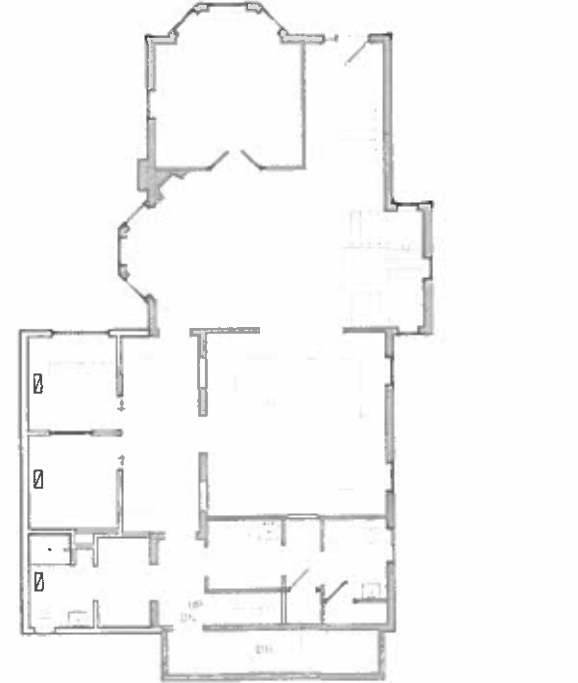
2 FIRST FLOOR ELECTRICAL DIAGRAM
A00 1/8" = 1'-0"



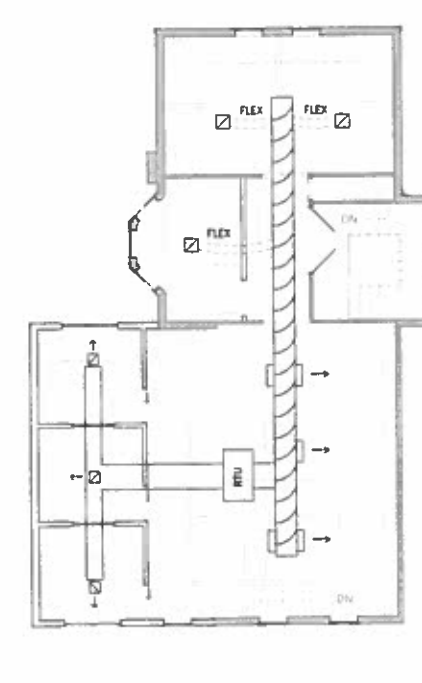
3 SECOND FLOOR ELECTRICAL DIAGRAM
A00 1/8" = 1'-0"



4 BASEMENT MECHANICAL DIAGRAM
A103 1/8" = 1'-0"



5 FIRST FLOOR MECHANICAL DIAGRAM
A00 1/8" = 1'-0"



6 SECOND FLOOR MECHANICAL DIAGRAM
A00 1/8" = 1'-0"

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

TEMPLATE DATE: 07/12/2017



1
2
3
4
DATE: 8/13/2017



1 REAR ELEVATION
A111 1/4" = 1'-0"



2 RIGHT ELEVATION
A111 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- KEYNOTE: SEE ELEVATION KEYNOTE LEGEND
- WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CONTROL JOINT

ELEVATION KEYNOTES

- 1 1/2" PVC WATERBOARD TRIM
- HORIZONTAL SIDING MATCH EXISTING
- NOT USED
- 12" BUILT UP PVC CORNICE & TRIM
- 6" PVC CORNER BOARD, COLOR TO MATCH EXISTING
- CABLE SYSTEM W/ CREEPER PLANT GROWTH
- 6" PVC CORNER BOARD, COLOR TO MATCH EXISTING
- PVC PANELS W/ 4" PVC TRIM
- BOLLARD

WA

WARREN STREET ARCHITECTS

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreet.com

WARREN STREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. PARISH ROAD
CONCORD, NH 03303
P (603) 224-9010

CONSTRUCTION MANAGER
TBD

PLAN KEY

PROJECT TITLE / ADDRESS
27 WARREN STREET
ADDITION
CONCORD, NH

SCALE: AS NOTED DWN BY: Author
JOB # - CHK BY: Checker

PRINT DATE: 2/23/2018 1:30:11 PM

ISSUE DATE:

NOT FOR CONSTRUCTION
SCHEMATIC DESIGN

REVISION	DATE	COMMENTS

EXTERIOR ELEVATIONS

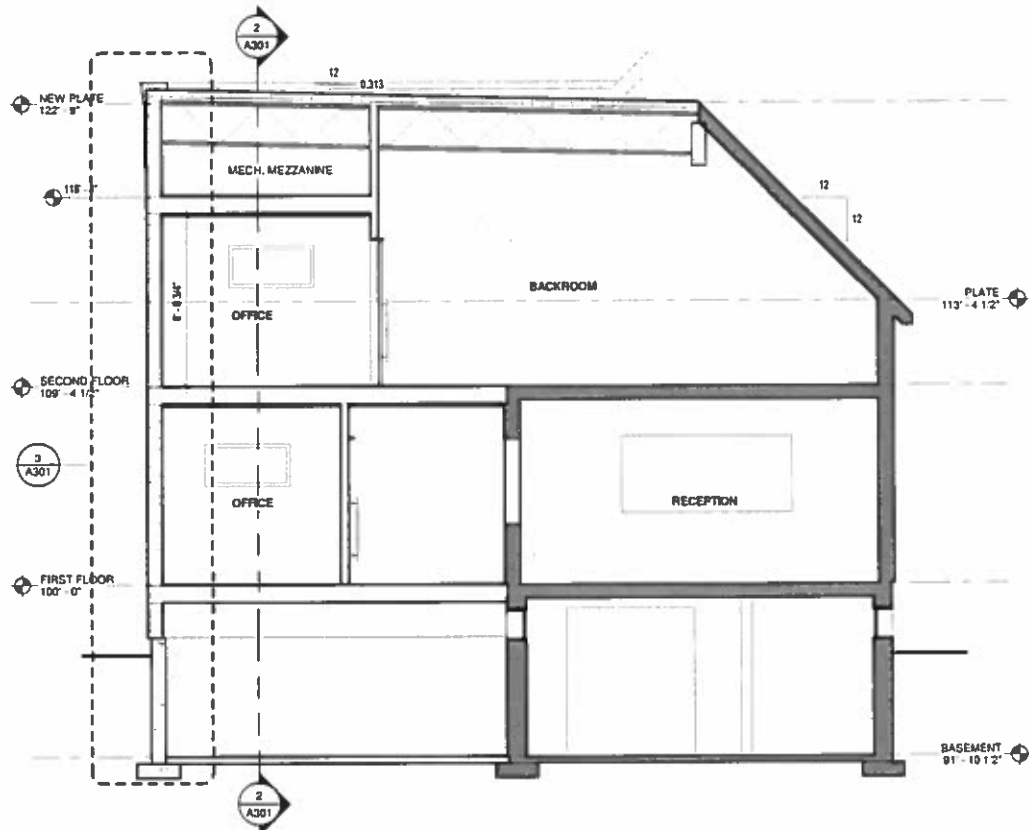
A202

SHEET NUMBER: OF 7 ARCHITECTURAL

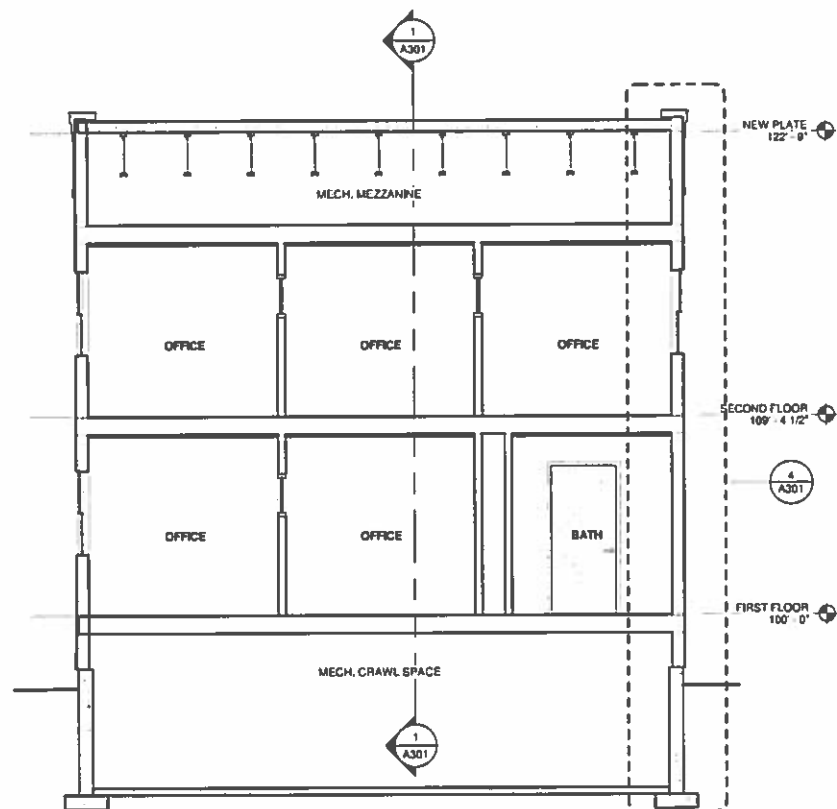
THE DRAWING AND ITS CONTENTS ARE THE INTELLECTUAL PROPERTY OF WARREN STREET ARCHITECTS. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF WARREN STREET ARCHITECTS.

Copyright Warren Street Architects Inc. © 1990 - 2017

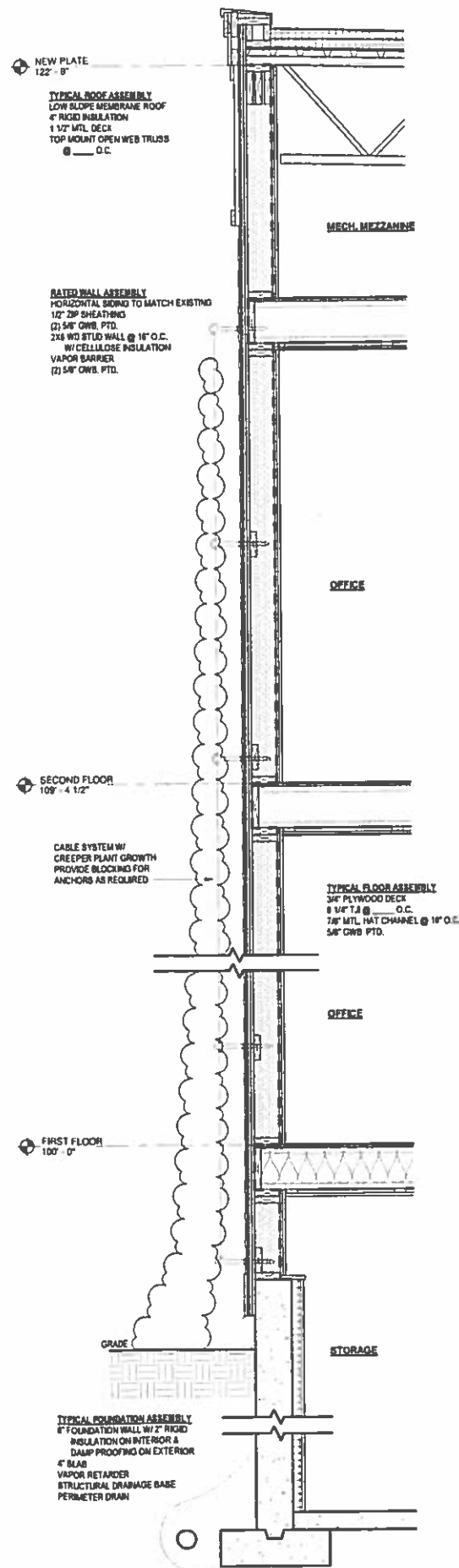
PROGRESS - NOT FOR CONSTRUCTION



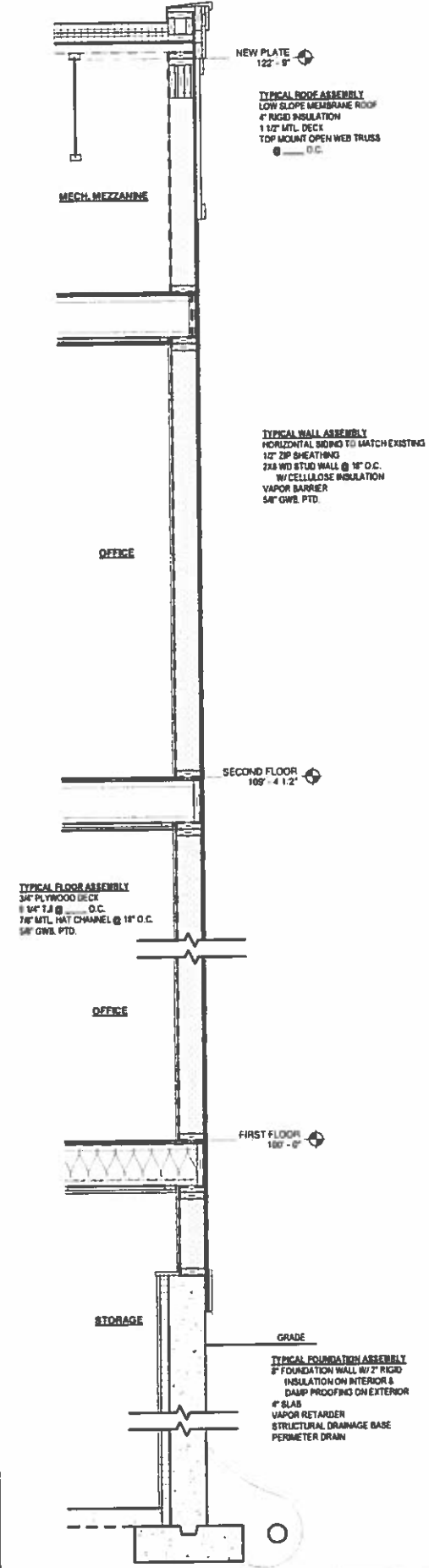
1 BUILDING SECTION
A111 1/4" = 1'-0"



2 BUILDING SECTION
A111 1/4" = 1'-0"



3 TYPICAL WALL SECTION
A301 3/4" = 1'-0"



4 TYPICAL WALL SECTION
A301 3/4" = 1'-0"