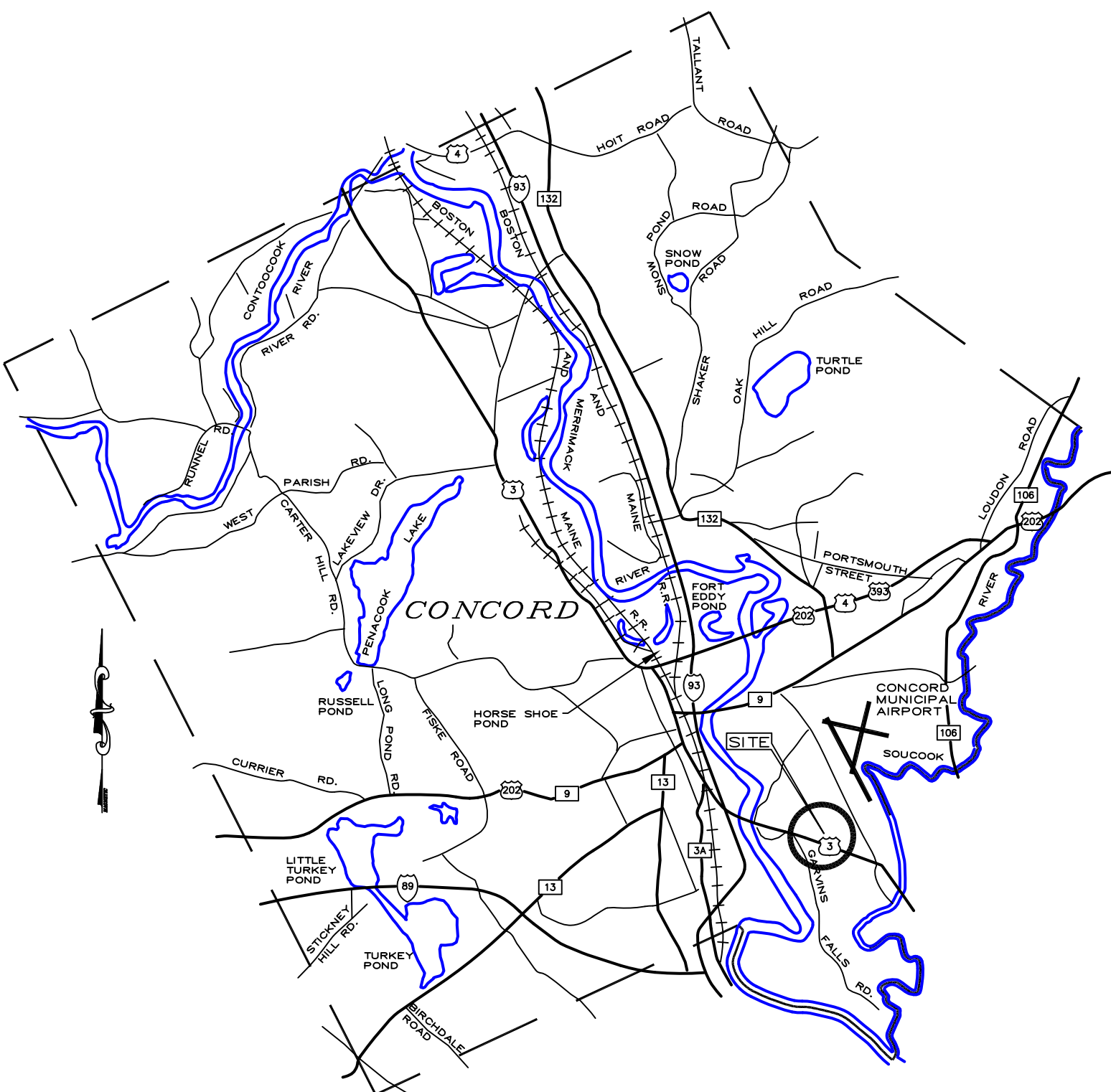


COMMERCIAL SITE PLAN

117 Manchester Street, LLC
Tax Map 110D / Block 1 / Lot 8
117 Manchester St.~ Concord, N.H.

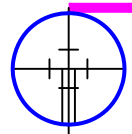
SHEET INDEX

- S-1 EXISTING CONDITIONS PLAT
- C-1 SITE PLAN
- C-2 CONSTRUCTION DETAILS
- LA-1.0 LANDSCAPE PLAN 1
- LA-2.0 LANDSCAPE PLAN 2
- A-1 ARCHITECTURAL PLAN 1
- A-2 ARCHITECTURAL PLAN 2
- A-3 ARCHITECTURAL PLAN 3



**Submitted
October 18, 2017**

REVISION BLOCK			
NO.	DATE	DESCRIPTION	BY



**RICHARD D. BARTLETT
& ASSOCIATES, LLC**
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richarddbartlett.com
World Wide Web Page:
www.richarddbartlett.com
LICENSED LAND SURVEYORS

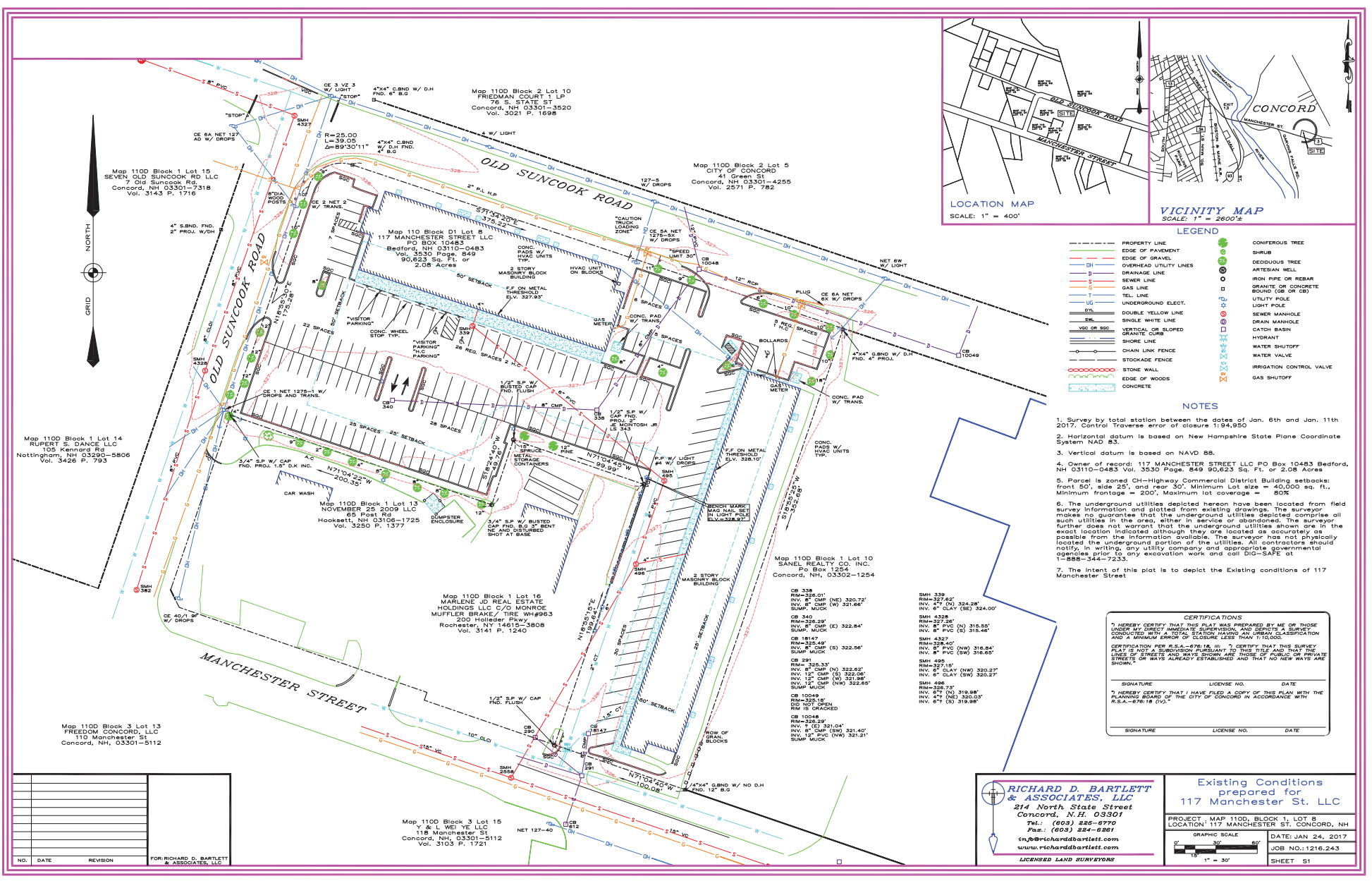


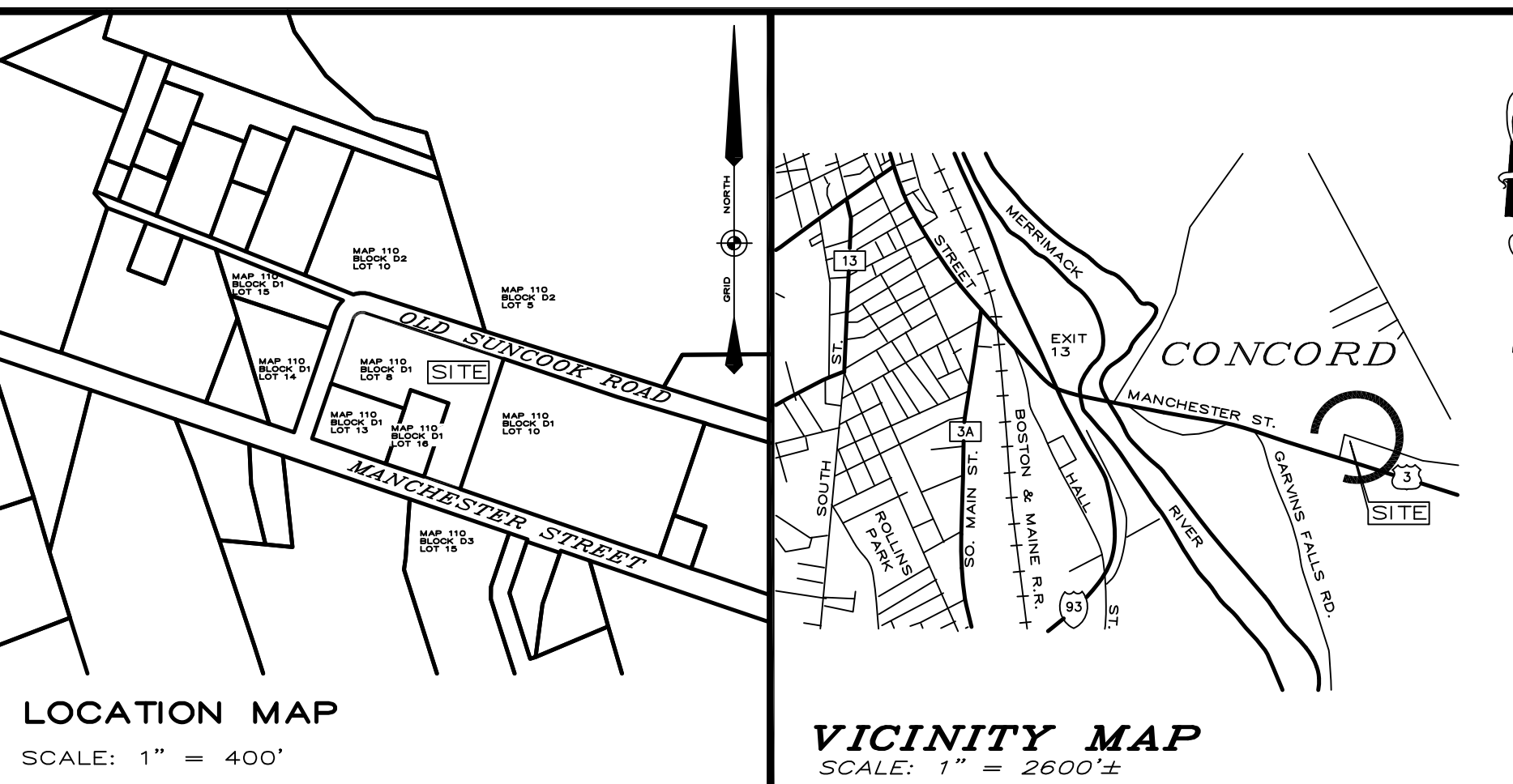
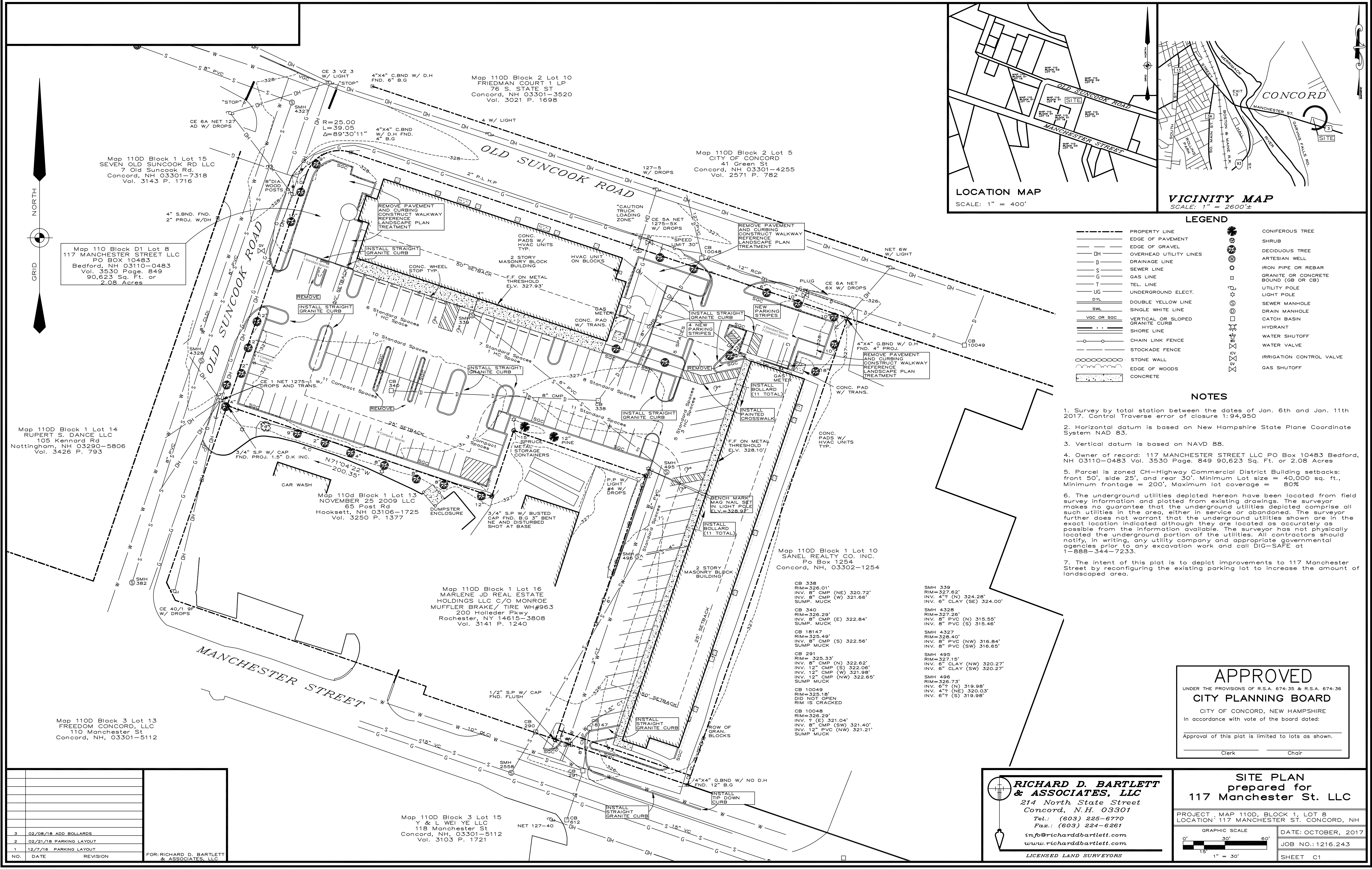
Landscape Architecture Site Planning Graphics
70 New Road Salisbury, New Hampshire 03268
t/f: 603.648.6434 www.g2plus1.com

APPROVED
UNDER THE PROVISIONS OF RSA 674:35 & 673:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN:

CLERK _____ CHAIRMAN _____





- LEGEND**
- PROPERTY LINE
 - EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - OVERHEAD UTILITY LINES
 - DRAINAGE LINE
 - SEWER LINE
 - GAS LINE
 - TEL. LINE
 - UNDERGROUND ELECT.
 - DOUBLE YELLOW LINE
 - SINGLE WHITE LINE
 - VERTICAL OR SLOPED GRANITE CURB
 - SHORE LINE
 - CHAIN LINK FENCE
 - STOCKADE FENCE
 - STONE WALL
 - EDGE OF WOODS
 - CONCRETE
 - CONIFEROUS TREE
 - SHRUB
 - DECIDUOUS TREE
 - ARTESIAN WELL
 - IRON PIPE OR REBAR
 - GRANITE OR CONCRETE BOUND (GB OR CB)
 - UTILITY POLE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - HYDRANT
 - WATER SHUTOFF
 - WATER VALVE
 - IRRIGATION CONTROL VALVE
 - GAS SHUTOFF

- NOTES**
- Survey by total station between the dates of Jan. 6th and Jan. 11th 2017. Control Traverse error of closure 1:94,950
 - Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
 - Vertical datum is based on NAVD 88.
 - Owner of record: 117 MANCHESTER STREET LLC PO Box 10483 Bedford, NH 03110-0483 Vol. 3530 Page. 849 90,623 Sq. Ft. or 2.08 Acres
 - Parcel is zoned CH-Highway Commercial District Building setbacks: front 50', side 25', and rear 30'. Minimum Lot size = 40,000 sq. ft., Minimum frontage = 200', Maximum lot coverage = 80%
 - The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
 - The intent of this plat is to depict improvements to 117 Manchester Street by reconfiguring the existing parking lot to increase the amount of landscaped area.

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated: _____
Approval of this plat is limited to lots as shown.
Clerk _____ Chair _____

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 228-6770
Fax.: (603) 224-6261
info@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

SITE PLAN
prepared for
117 Manchester St. LLC
PROJECT: MAP 110D, BLOCK 1, LOT 8
LOCATION: 117 MANCHESTER ST. CONCORD, NH
GRAPHIC SCALE
0' 30' 60'
1" = 30'
DATE: OCTOBER, 2017
JOB NO.: 1216.243
SHEET C1

NO.	DATE	REVISION
3	02/08/18	ADD BOLLARDS
2	02/21/18	PARKING LAYOUT
1	12/7/16	PARKING LAYOUT

FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

Diagram illustrating the cross-section of a curb and gutter assembly. The diagram shows a concrete curb on the left, a gutter channel in the middle, and a crushed gravel base on the right. Dimensions are provided for various components:

- 18" LIMIT OF COLD PLANING:** The total width of the concrete curb and gutter channel.
- SAWCUT:** The top edge of the concrete curb.
- 12" / 5" / 19" / 7" REVEAL:** Horizontal dimensions from the curb face to the gutter edge, the gutter width, and the distance to the gravel edge.
- 7" REVEAL:** The vertical height of the curb face.
- 16" ± 18" / 3" MIN:** The vertical height of the gutter channel and the minimum depth of the gravel base.
- CRUSHED GRAVEL:** The material filling the gutter channel and the base.
- 1 1/2" WEARING COURSE / PAVEMENT DEPTH VARIES:** The thickness of the pavement layer on the curb.
- MIN LENGTH OF CURB STONES 3' / MAX LENGTH OF CURB STONES 10' / MAX LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART:** Guidelines for curb stone lengths.

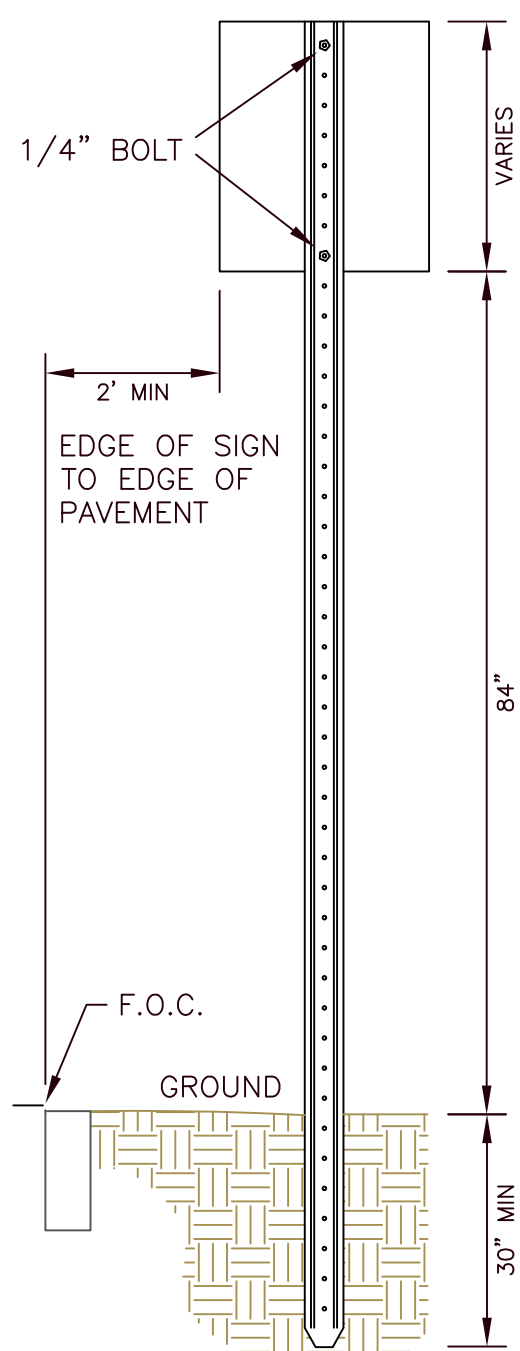
RADIUS	WEARING COURSE
≤ 30'	3"
31' - 40'	3 1/2"
41' - 50'	4"
51' - 60'	4 1/2"
61' - 70'	5"
71' - 80'	5 1/2"
OVER 80'	6"

RADIUS	MAX LENGTH
≤30'	CURVED CURB
31' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

ADJOINING STONES SHALL HAVE THE
SAME OR APPROXIMATE LENGTH.

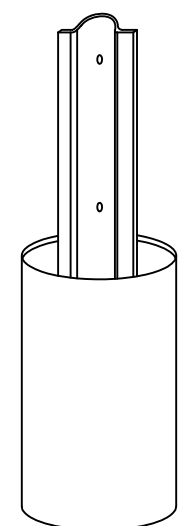
FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB		
AREA	FINISH SURFACE	TOLERANCE
<u>TOP</u>	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+ $\frac{1}{8}$ " TO + $\frac{1}{4}$ "
	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+ $\frac{1}{8}$ " TO + $\frac{1}{4}$ "
<u>FRONT FACE</u>	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO - $\frac{3}{4}$ "
<u>BACK FACE</u> EXPOSED	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO 1 $\frac{1}{2}$ " BELOW EXPOSED SURFACE, NO LARGER THAN $\frac{1}{4}$ " SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"
CONCEALED	BELOW 1 $\frac{1}{2}$ " FROM EXPOSED SURFACE.	+1 $\frac{1}{2}$ " TO -1 $\frac{1}{2}$ "
BOTTOM	APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3"	SEE PLANS
<u>ENDS</u> EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	
<u>JOINTS</u> EXPOSED	OPTIMUM WIDTH: 1"	
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+ $\frac{3}{4}$ " TO - $\frac{3}{4}$ "

NOT TO SCALE



NOTES:

1. POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
2. WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
6. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN.

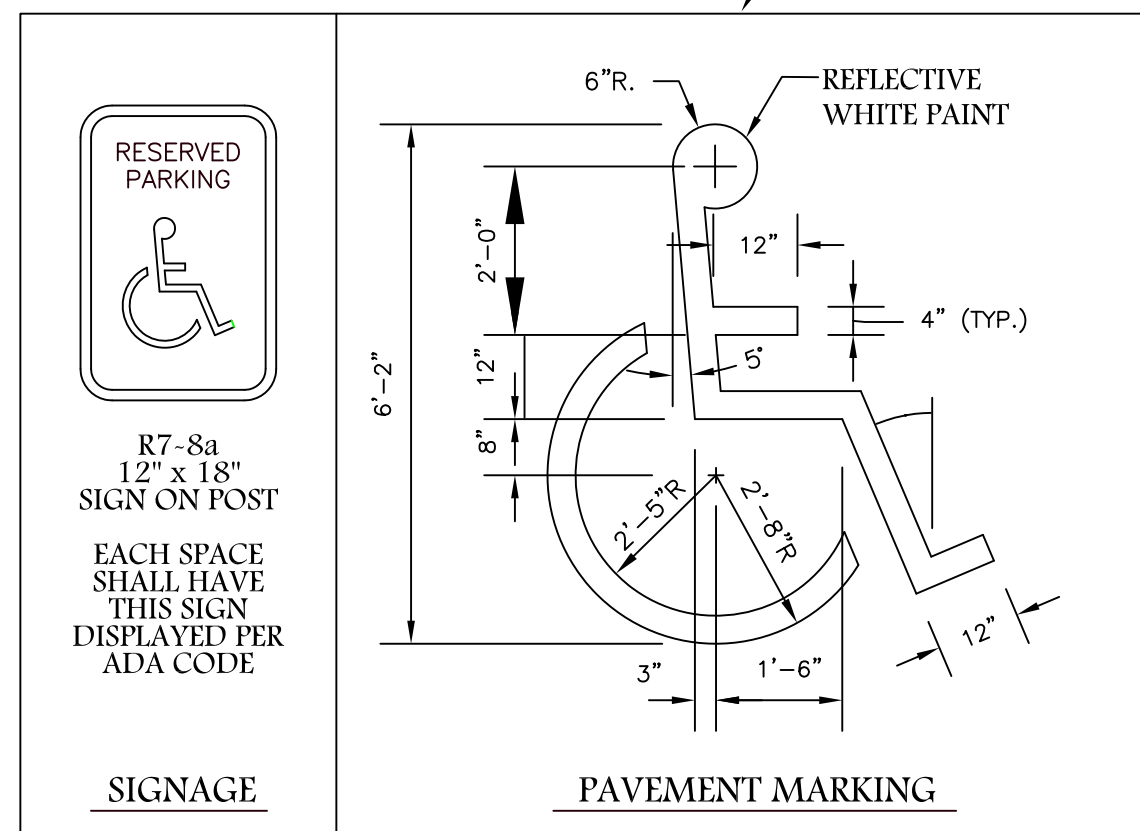


GREEN ENAMEL, 2.5#/FT
MINIMUM FLANGED
CHANNEL STEEL POST

PVC OR STEEL SLEEVE
REQUIRED IN PAVED OR
CONCRETE LOCATIONS

SLEEVE WILL BE LARGE
ENOUGH TO ALLOW FOR
REPLACEMENT POST

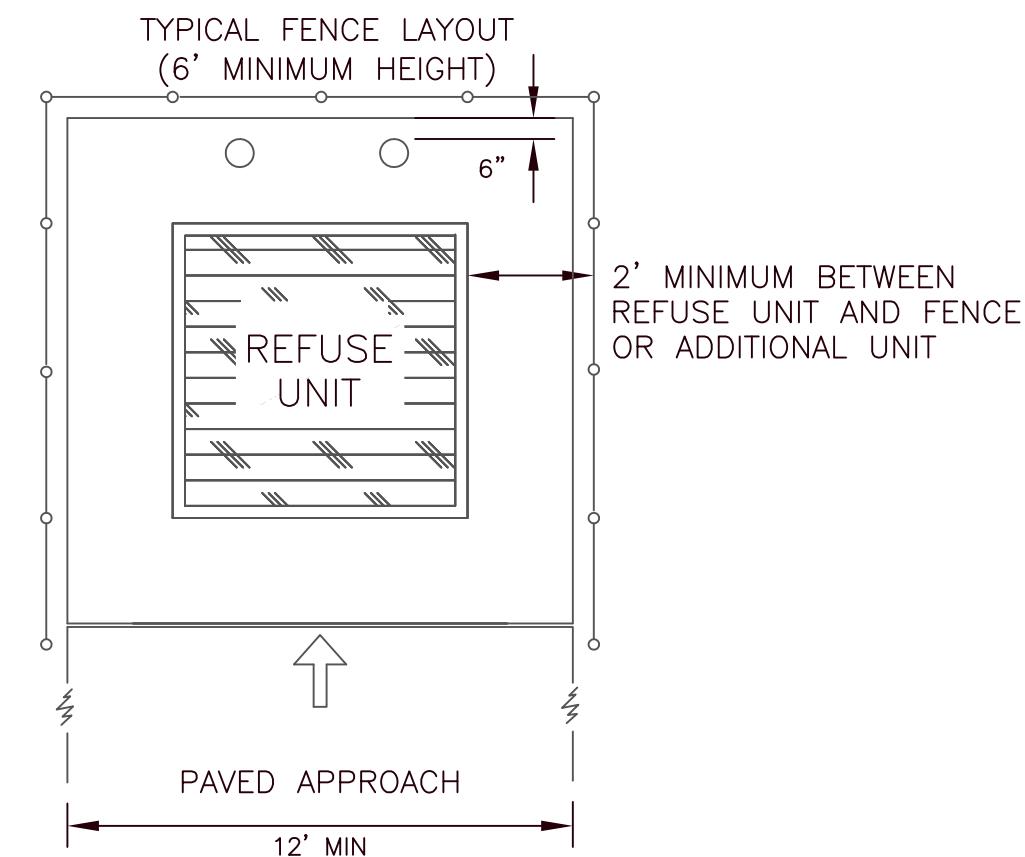
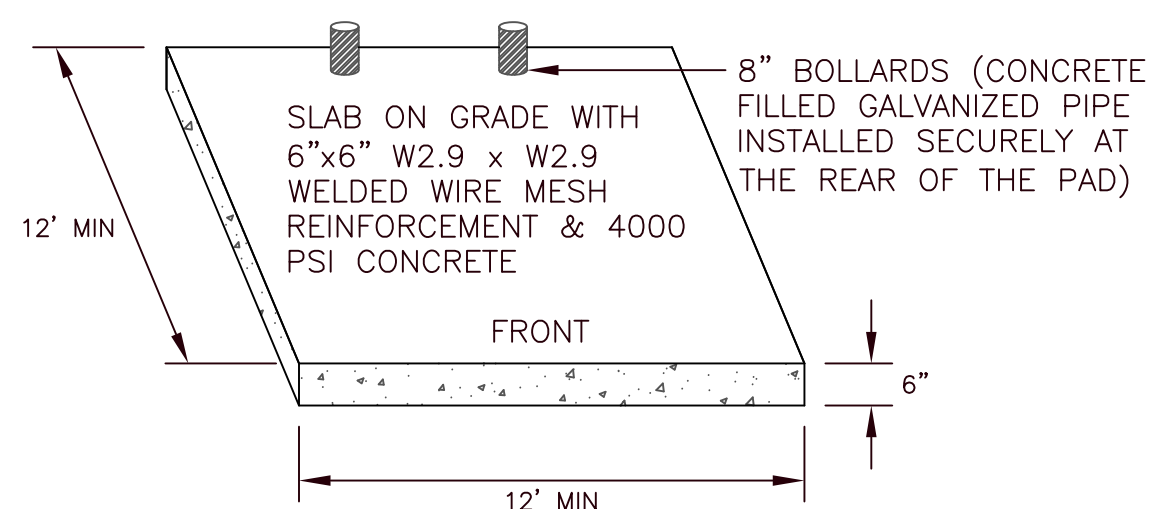
NOT TO SCALE



NOTES:

1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
2. SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
3. ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

NOT TO SCALE



- NOTES:

1. DUMPSTER PAD AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVEMENT WITH A 35' FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.
2. GATES SHALL BE PROVIDED UNLESS THE DUMPSTER IS BLOCKED FROM VIEW FROM THE PUBLIC RIGHT-OF-WAY AND ABUTTING PROPERTIES BY BUILDINGS OR WALLS.
3. TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25' FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Cler

Chai

NO.	DATE	REVISION

FOR: RICHARD D. BARTLETT
& ASSOCIATES, LLC



**RICHARD D. BARTLETT
& ASSOCIATES, LLC**
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richarddbartlett.com
World Wide Web Page:
www.richarddbartlett.com
LICENSED LAND SURVEYORS

SITE PLAN
prepared for
117 Manchester St. LLC

PROJECT . MAP 110D, BLOCK 1, LOT 8

GRAPHIC SCALE

NOT TO SCALE

DATE: OCTOBER, 2017

JOB NO.: 1216.243

SHEET C2 OF

117 Manchester Street
Tax Map 110 Block D1 Lot 8
Concord, New Hampshire 03301

117 Manchester Street LLC
P.O. Box 10483
Bedford, NH 03110



*RICHARD D. BARTLETT
& ASSOCIATES, LLC*
*214 North State Street
Concord, N.H. 03301*
*Tel.: (603) 225-6770
Fax.: (603) 224-6261*
*info@richarddbartlett.com
www.richarddbartlett.com*

LICENSED LAND SURVEYORS

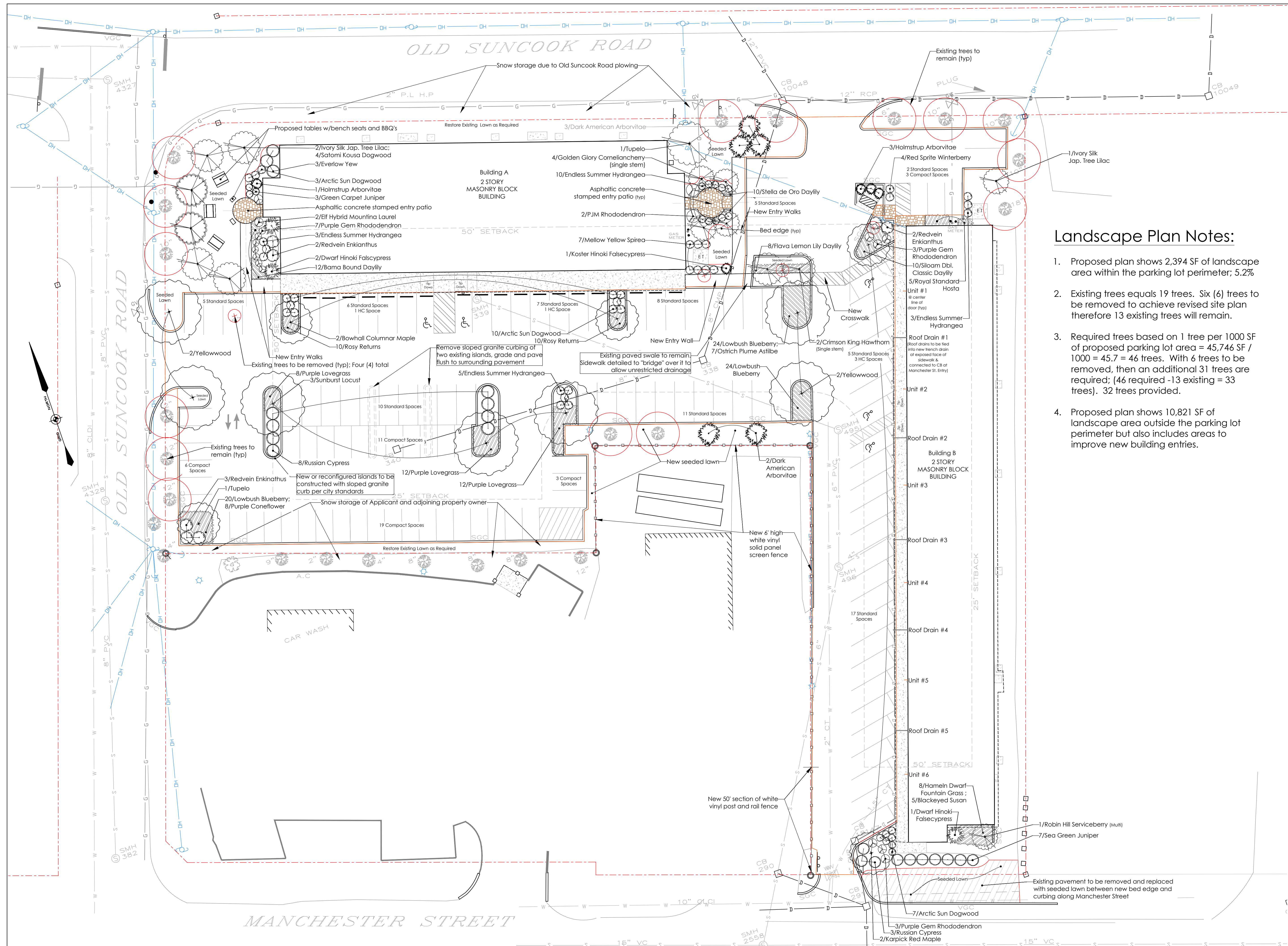
LICENSED LANDSCAPE ARCHITECT
 DOUGLAS
 H.
 GREINER
 003
 STATE OF NEW HAMPSHIRE

no.	date	issued
1	11/4/17	Revised per discussions with
2		City
3	11/22/17	Revised for ZBA Hearing & per discussions
4		with City
5	12/3/17	Revised per discussions with City
6	12/11/17	Revised per discussions with City
7	12/20/17	Revised per client initiated changes
8	3/8/18	Reduce bollard count @ Bld 8: REV plan notes

date:	10/18/2017
-------	------------

Conceptual Site & Landscape Plan

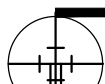
LA-1.2



117 Manchester Street
Tax Map 110 Block D1 Lot 8
Concord, New Hampshire 03301

1. Existing parking lot area equals 50,180 SF.
2. Proposed site plan provides 45,746 SF of gross parking lot area, a 4,434 SF reduction from existing site plan.
3. Required landscape area within the parking lot perimeter equals 2,287 SF ($45,746 \times .05 = 2,287$ SF).
4. Proposed plan shows 2,394 SF of landscape area within the parking lot perimeter; 5.2%

117 Manchester Street LLC
P.O. Box 10483
Bedford, NH 03110



*RICHARD D. BARTLETT
& ASSOCIATES, LLC*
*214 North State Street
Concord, N.H. 03301*
*Tel.: (603) 225-6770
Fax.: (603) 224-6261*
*info@richarddbartlett.com
www.richarddbartlett.com*

LICENSED LAND SURVEYORS

DOUGLAS
H.
GREINER
003
LICENSED LANDSCAPE ARCHITECT
STATE OF NEW HAMPSHIRE

no.	date	issued
1	11/4/17	Revised per discussions with
2		City
3	11/22/17	Revised for ZBA Hearing & per discussions
4		with City
5	12/11/17	Revised per discussions with City
6	2/1/18	Revised for revised ZBA application
7	12/20/17	Revised per client initiated changes
8	3/8/18	Reduce bollard count # Bid #: REV plan notes
9	3/13/18	Revise parking/Unit count notes

drawn by:	ang
date:	10/18/2017

Coverages Plan

+1 LLC copyright 2001

Elevations

Scale: 1/8" = 1'-0"
Date: 3.12.18
Revisions:



① Front Elevation
1/8" = 1'-0"



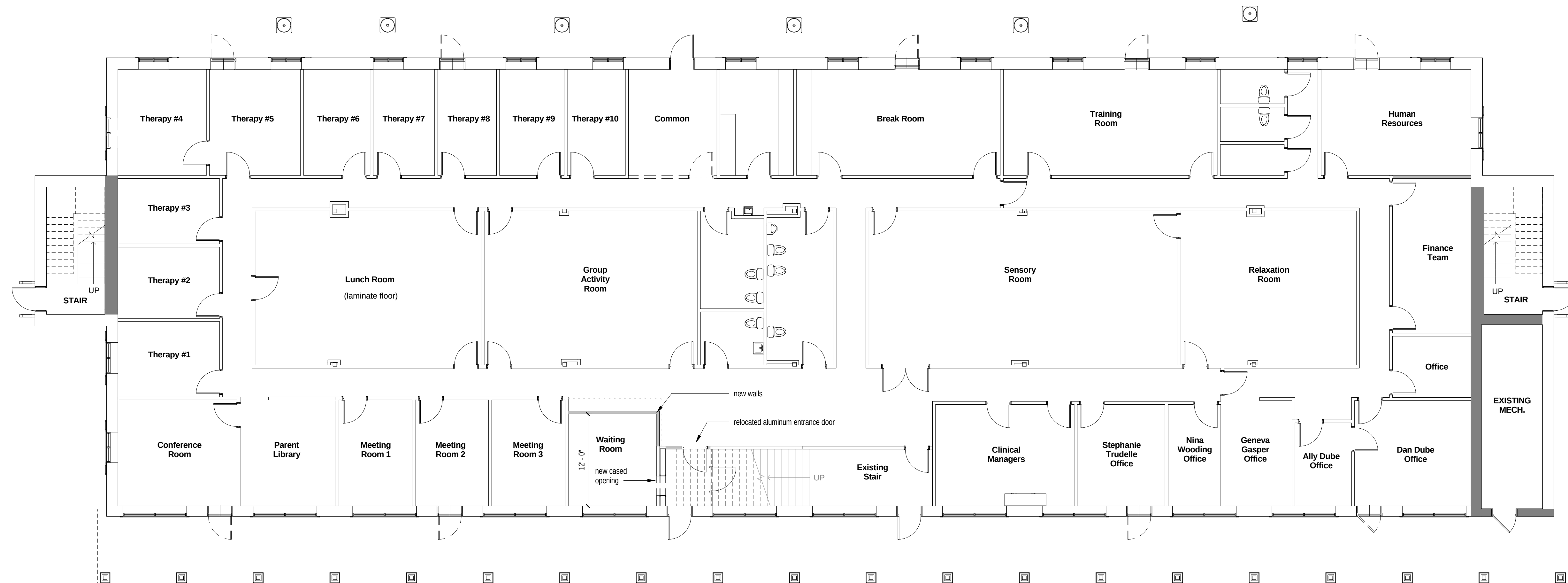
② Left Side Elevation
1/8" = 1'-0"



③ Right Side Elevation
1/8" = 1'-0"



④ Rear Elevation
1/8" = 1'-0"



① FIRST FLOOR PLAN
1/8" = 1'-0"

Not For Construction
For review purposes only

This document was prepared by Stewart Associates Architects LLC as an instrument of service and is the property of Stewart Associates Architects LLC. It is to be used only for the project and purpose stated on the title block and is not to be reproduced, disseminated, or transmitted in any manner, including electronically, without the written consent of Stewart Associates Architects LLC.

StewartAssociates
ARCHITECTS

PO Box 6555
Laconia, NH 03247
Phone: (603)524-3000
Fax: 527-0700
info@stewartarchitects.com
Copyright SAA 2018
www.stewartarchitects.com

8 Old Suncook Road
CONCORD, NH

Project number: 2017.126

First Floor
Plan

Scale: 1/8" = 1'-0"
Date: 3.12.18
Revisions:

A1.1

