

NOTES

1. CURRENT OWNER OF RECORD:

TAX MAP 1932 LOT 1
R.J. MOREAU COMMUNITIES, LLC
22 EASTMAN AVENUE
BEDFORD, NH 03110
MCRD BK:3219, PG:1735 & BK:2786, PG:233

2. THE SUBJECT PARCEL CONTAINS: 435,905 S.F. (10.007 ACRES)

3. THE INTENT OF THIS PLAN IS TO CREATE 26 CONDOMINIUM UNITS FOR A MULTI-FAMILY PLANNED UNIT DEVELOPMENT ON MAP 1932 LOT 1.

4. THE PARCEL IS ZONED (RM) MEDIUM DENSITY RESIDENTIAL DISTRICT & (RS) RESIDENTIAL SINGLE FAMILY

DIMENSIONAL REQUIREMENTS

	RM-RS REQ.	P.U.D. REQ.	PROPOSED
MINIMUM LOT AREA	12,500 S.F.	25,000 S.F.	435,905 S.F.
MINIMUM FRONTAGE	100'	100'	341'
FRONT BUILDING SETBACK	25'	25'	25'
SIDE SETBACK	15'	15'	15'
REAR SETBACK	25'	25'	25'
BUILDING HEIGHT	35'	35'	35'
BUILDING LENGTH	NA	160'	125'
BUILDING SEPARATION	NA	40'	40'
MAX. LOT COVERAGE	40%	45%	15.1%

TABULATIONS: (10.007 ACRE PARCEL)

	RS DISTRICT MERRIMACK V. DIST.	RM DISTRICT CONC. SCHOOL DIST.
NET LAND AREA	= 1.654 AC (16.5%)	8.353 AC (83.5%)
WETLAND AREA	= 1.131 AC (11.3%)	0.465 AC (4.7%)
SLOPES 15-24.99%	= 0.0 AC (0%)	0.0 AC (0%)
SLOPES >25%	= 0.0 AC (0%)	0.0 AC (0%)
EXISTING IMPERVIOUS	= 0.0 AC (0%)	0.15 ACRES(1.5%)
PROPOSED IMPERVIOUS	= 0.0 AC (0%)	1.53 ACRES(15.3%)

5. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE SHORELAND PROTECTION OVERLAY DISTRICT.

6. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE HISTORIC OVERLAY DISTRICT.

7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE PENACOOK LAKE WATERSHED PROTECTION DISTRICT.

NOTES Cont.

8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE 100 YEAR FLOOD ZONE PER "FLOOD INSURANCE RATE MAP MERRIMACK COUNTY, NEW HAMPSHIRE PANEL 339 OF 705" (MAP NUMBER 33013C0339E) EFFECTIVE DATE APRIL 19, 2010.

9. THE PARCEL IS NOT LOCATED IN THE FLOOD HAZARD DISTRICT.

10. THE UNITS SHALL BE ON CITY WATER AND SEWER.

11. VERTICAL CONTROL FROM CITY OF CONCORD "TBM 7-17" BRASS DISK ELEV= 333.745' VERTICAL DATUM NVD 1929.

12. NO ZONING VARIANCES OR SPECIAL EXCEPTIONS WERE GRANTED.

13. THE FOLLOWING REQUIRED PERMITS HAVE BEEN OBTAINED: ALTERATION OF TERRAIN AOT-1113 AND SEWER DISCHARGE PERMIT D2016-0504.

14. A WAIVER FROM SECTION 10.06 OF THE SUBDIVISION REGULATIONS WAS REQUESTED.

15. THIS PROJECT IS PHASED. SONOMA LANE AND THE ASSOCIATED UNITS WILL BE BUILT FIRST. THEN RIESLING TERRACE.

16. PLEASE SEE APPROVED SITE PLAN FOR SPRINKLER INFORMATION.

17. THIS PLAN SET IS TO BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS.

18. DENSITY: (SEC 2B-4-5(d)) ATTACHED MULTIFAMILY

BUILDABLE LAND = TOTAL PARCEL MINUS WETLANDS
RS 1.654 AC - 1.236 WET = 0.418 AC UNITS/ACRE=N/A
RM 8.353 AC - 0.751 WET = 7.602 AC X 5 UNITS/ACRE = 38 UNITS ALLOWED (26 UNITS PROPOSED)

19. WETLANDS WERE COPIED FROM PLAN REFERENCE#1

20. TIE DISTANCES TO UNITS SHOWN ARE TO FOUNDATIONS.

UNIT ELEVATION TABLE

UNIT	LOWEST FLOOR	PEAK
UNIT 1	363.50	398.11
UNIT 2	363.50	398.11
UNIT 3	363.50	398.11
UNIT 4	363.50	398.11
UNIT 5	364.50	399.11
UNIT 6	364.50	399.11
UNIT 7	368.50*	397.11
UNIT 8	368.50*	397.11
UNIT 9	368.50*	397.11
UNIT 10	368.50*	397.11
UNIT 11	368.00*	396.61
UNIT 12	368.00*	396.61
UNIT 13	368.00*	396.61
UNIT 14	368.00*	396.61
UNIT 15	368.50*	397.11
UNIT 16	368.50*	397.11
UNIT 17	368.50*	397.11
UNIT 18	368.50*	397.11
UNIT 19	368.00*	396.61
UNIT 20	368.00*	396.61
UNIT 21	368.00*	396.61
UNIT 22	368.00*	396.61
UNIT 23	363.00	397.61
UNIT 24	363.00	397.61
UNIT 25	363.00	397.61
UNIT 26	363.00	397.61

* UNITS 7-22 WILL NOT HAVE BASEMENTS AND WILL BE CONSTRUCTED WITH A CRAWL SPACE

UNIT STATUS TABLE

STREET	UNIT #	STATUS
SONOMA LANE	UNIT 1	NOT YET BEGUN
SONOMA LANE	UNIT 2	NOT YET BEGUN
SONOMA LANE	UNIT 3	NOT YET BEGUN
SONOMA LANE	UNIT 4	NOT YET BEGUN
SONOMA LANE	UNIT 5	NOT YET BEGUN
SONOMA LANE	UNIT 6	NOT YET BEGUN
RIESLING TERRACE	UNIT 7	NOT YET BEGUN
RIESLING TERRACE	UNIT 8	NOT YET BEGUN
RIESLING TERRACE	UNIT 9	NOT YET BEGUN
RIESLING TERRACE	UNIT 10	NOT YET BEGUN
RIESLING TERRACE	UNIT 11	NOT YET BEGUN
RIESLING TERRACE	UNIT 12	NOT YET BEGUN
RIESLING TERRACE	UNIT 13	NOT YET BEGUN
RIESLING TERRACE	UNIT 14	NOT YET BEGUN
RIESLING TERRACE	UNIT 15	NOT YET BEGUN
RIESLING TERRACE	UNIT 16	NOT YET BEGUN
RIESLING TERRACE	UNIT 17	NOT YET BEGUN
RIESLING TERRACE	UNIT 18	NOT YET BEGUN
RIESLING TERRACE	UNIT 19	NOT YET BEGUN
RIESLING TERRACE	UNIT 20	NOT YET BEGUN
RIESLING TERRACE	UNIT 21	NOT YET BEGUN
RIESLING TERRACE	UNIT 22	NOT YET BEGUN
RIESLING TERRACE	UNIT 23	NOT YET BEGUN
RIESLING TERRACE	UNIT 24	NOT YET BEGUN
RIESLING TERRACE	UNIT 25	NOT YET BEGUN
RIESLING TERRACE	UNIT 26	NOT YET BEGUN

PLAN REFERENCES

1. "TAX MAP 193P LOT 54 & TAX MAP 1932 LOT 1, THE VINEYARDS NORTH SUBDIVISION PLAN PREPARED FOR & AND OF: R.J. MOREAU COMMUNITIES, LLC, 22 EASTMAN AVENUE BEDFORD NH LAND LOCATED AT: SONOMA LANE, CONCORD NH." DATED JANUARY 8, 2016, LAST REVISED 6/16/2016. PREPARED BY BEDFORD DESIGN CONSULTANTS INC. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS, PLAN# 201600015584.

2. "TAX MAP 193P LOT 54 VINTAGE ESTATES (PHASE I) SUBDIVISION PLAN PREPARED FOR & LAND OF: R.J. MOREAU COMMUNITIES, LLC 22 EASTMAN AVENUE BEDFORD NH LAND LOCATED AT: KYLE ROAD & EMILY WAY, CONCORD NH." DATED JANUARY 21, 2011, LAST REVISED 05-05-15, PREPARED BY BEDFORD DESIGN CONSULTANTS INC. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS, PLAN# 201500020426.

MAP 193P LOT 54.13
R.J. MOREAU COMMUNITIES, LLC
22 EASTMAN AVENUE
BEDFORD, NH 03110

MAP 193P LOT 54.11
R.J. MOREAU COMMUNITIES, LLC
22 EASTMAN AVENUE
BEDFORD, NH 03110

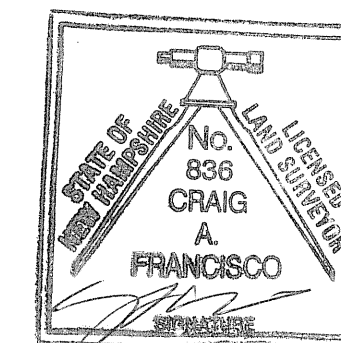
VICINITY PLAN

1"=2000'

MAP 204Z LOT 99
MAST YARD WEST CONDOMINIUM ASSOCIATION
37 ALICE DRIVE
CONCORD, NH 03303

CURVE	LENGTH	RADIUS
C1	35.50	60.00
C2	15.88	30.00
C3	57.90	60.00
C4	29.34	75.00
C5	48.90	125.00
C6	51.57	60.00
C7	197.23	270.00
C8	219.15	300.00
C9	47.21	60.00

LINE	LENGTH	BEARING
L2	57.61	S06°54'28"W
L3	86.13	S77°23'51"W
L4	68.04	N12°36'09"W
L5	42.39	S77°23'51"W
L6	61.20	S78°03'17"E
L7	71.12	N58°00'11"E
L8	108.13	S58°00'11"W
L9	34.69	N78°03'17"W
L10	30.00	S11°56'43"W
L11	111.74	S12°36'08"E
L12	195.32	S09°48'42"W
L13	50.07	S83°16'49"E
L14	192.62	N09°48'42"E
L15	111.74	N12°36'08"W
L16	829.82	S74°44'58"W
L17	48.68	S32°53'42"W
L18	38.39	N18°29'46"W
L19	24.73	N32°53'42"E
L20	794.95	N74°44'58"E
L21	31.99	N18°29'46"W



SURVEY CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN IS ACCURATE AND IS IN COMPLIANCE WITH THE PROVISIONS OF THE STATE OF NEW HAMPSHIRE CONDOMINIUM ACT, RSA 356-B:20(1), AND THAT ALL UNITS SHOWN HEREON ARE "NOT YET BEGUN"

LICENCED LAND SURVEYOR

DATE

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE

IN ACCORDANCE WITH VOTE OF THE BOARD AS DATED:

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN.

CLERK

CHAIR

TAX MAP 1932 LOT 1

TUSCANY VILLAGE
CONDOMINIUM SITE PLAN
PREPARED FOR & LAND OF:
R.J. MOREAU COMMUNITIES, LLC
22 EASTMAN AVENUE
BEDFORD NH
LAND LOCATED AT:
SONOMA LANE, CONCORD NH

SCALE: 1" = 50'

DECEMBER 19, 2017

SHEET 1 OF 2

DESIGN:
M.D.M.

DRAWN:
C.A.F.

CHECKED:
C.A.F.

FB:
554

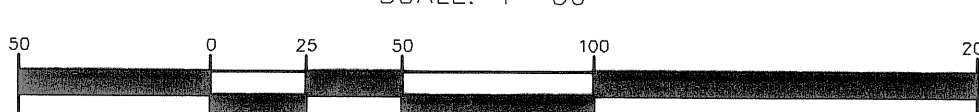
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680-14

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com

SCALE: 1"=50'



GRAPHIC SCALE

LEGEND

	GRANITE BOUND FOUND		BARBED WIRE FENCE
	GRANITE BOUND TO BE SET		STONE WALL
	3/4" REBAR FOUND		BUILDING SETBACK LINE
	3/4" REBAR W/CAP TO BE SET		EDGE OF WETLAND
	IRON PIPE FOUND		TREE LINE
	DRILL HOLE SET		SOIL LINE
	DRILL HOLE FOUND		STONE PILE
			UTILITY POLE
			GUY ANCHOR

MAP 312Z LOT 3-1
PRIVATE RESERVE, LLC
C/O REI SERVICE CORP.
763 CHESTNUT STREET
MANCHESTER, NH
03104-3011

MAP 312Z LOT 4
VINEYARDS OF CONCORD
CABERNET DRIVE
CONCORD, NH 03303

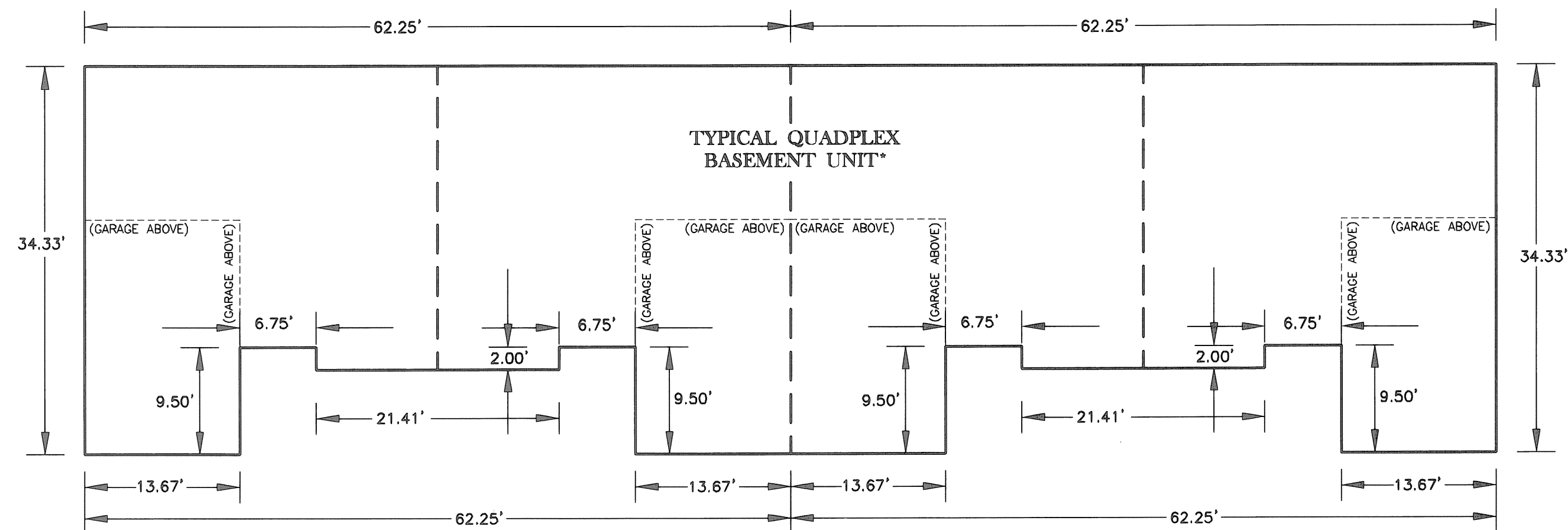
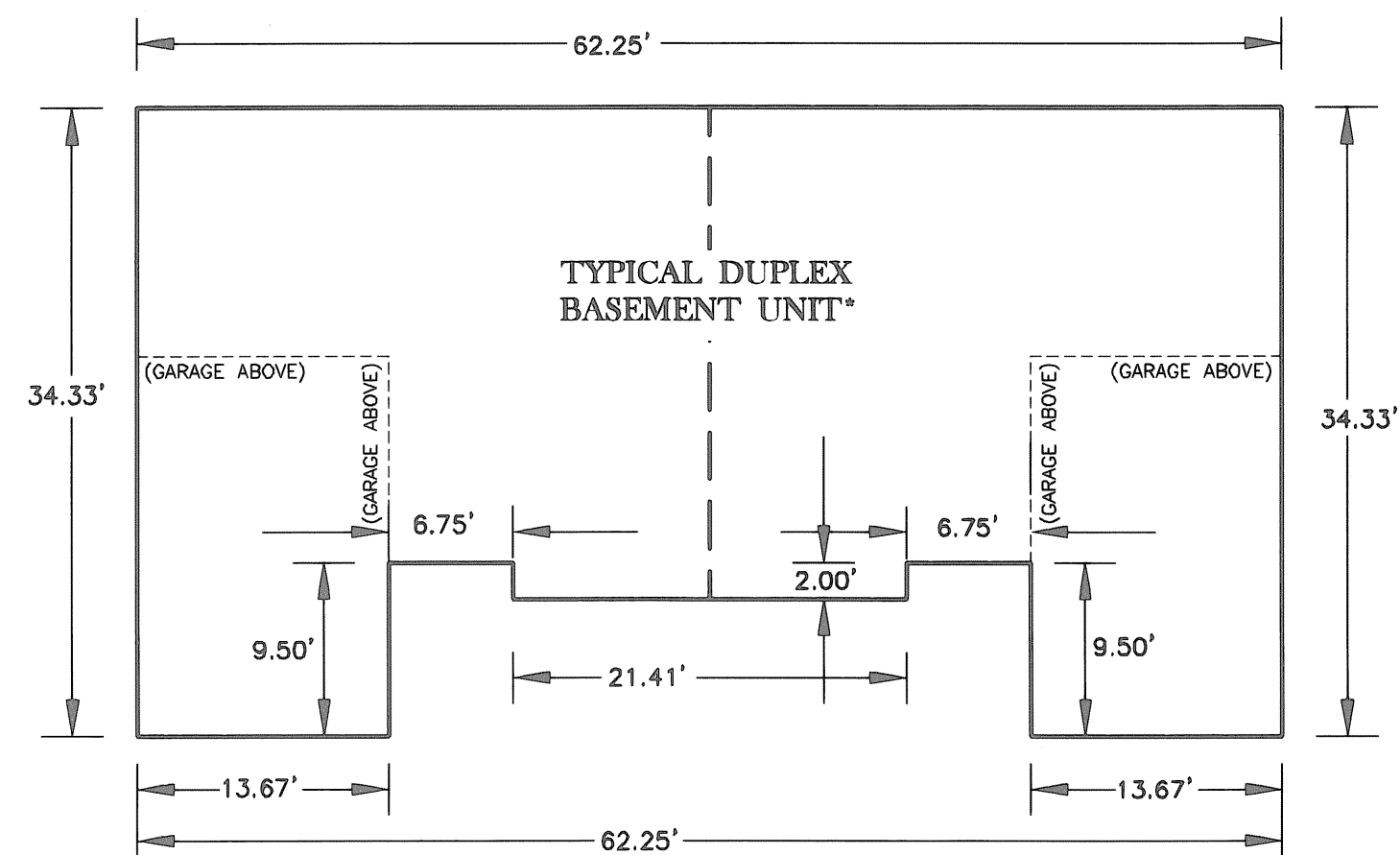
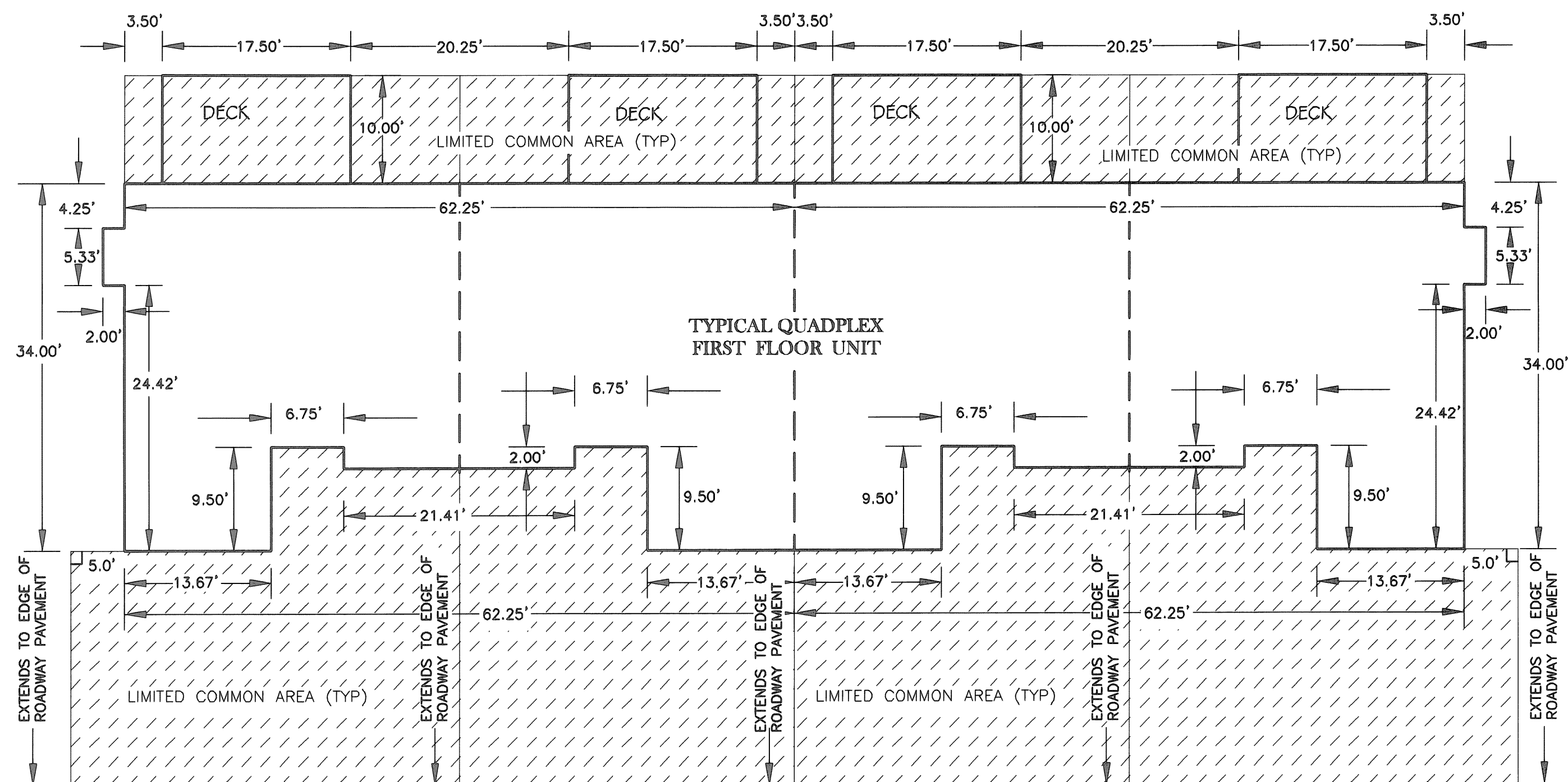
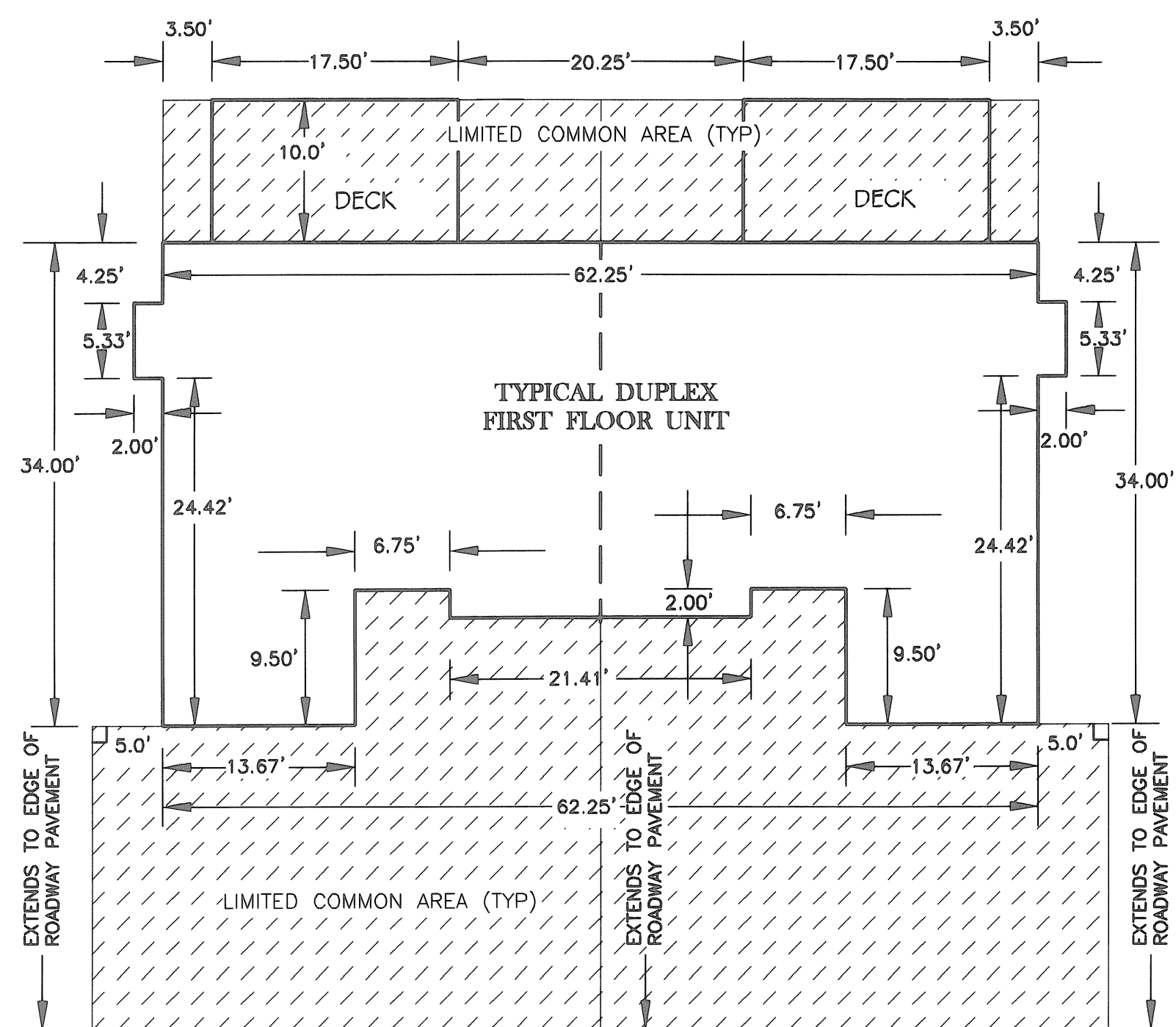
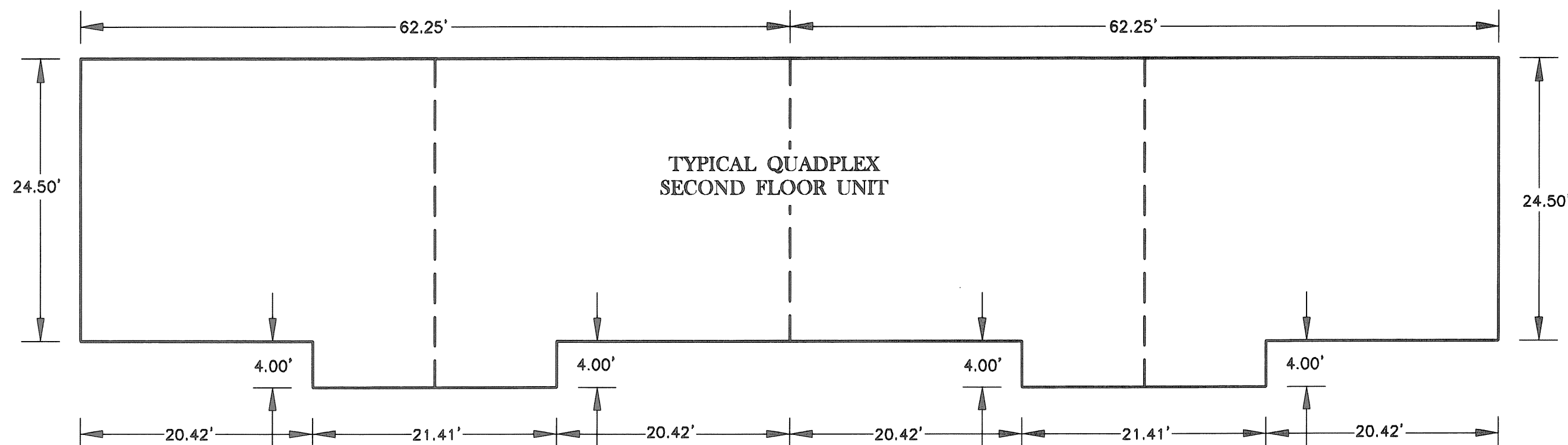
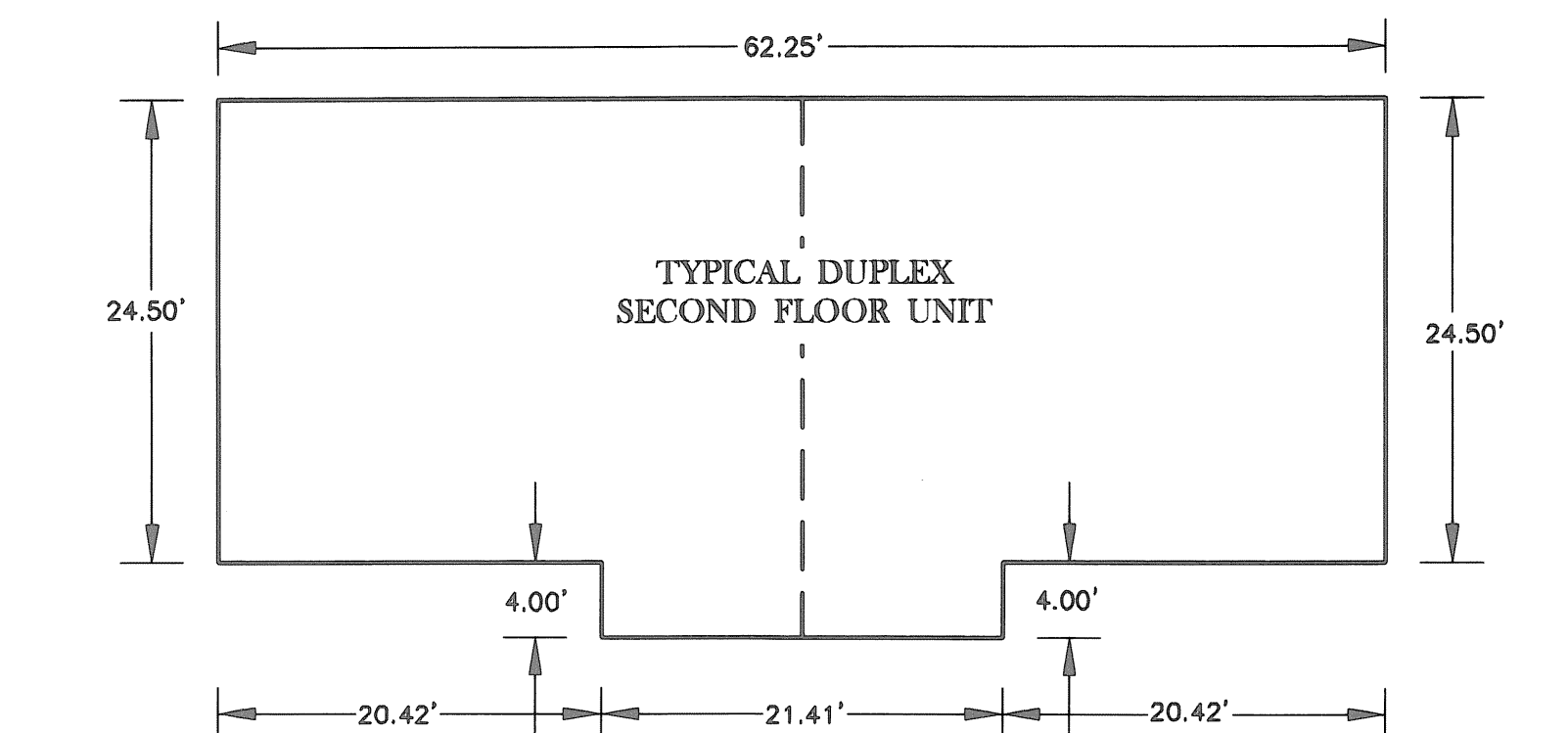
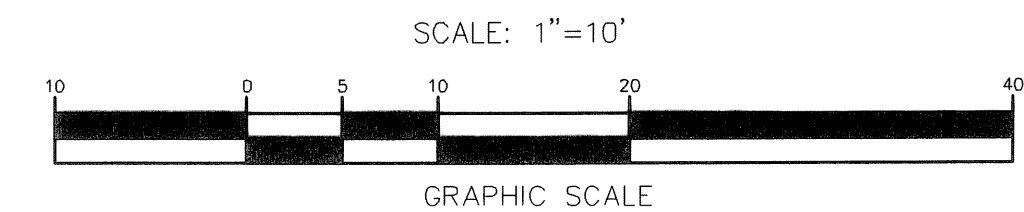
BUILDING #17

BUILDING #19

BUILDING #21

BUILDING #23

BUILDING #25



*(ONLY UNITS 1-6 & 23-26 HAVE BASEMENTS)

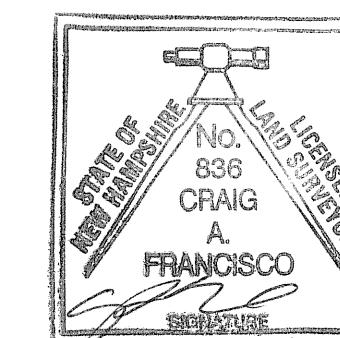
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CPH
LICENSED LAND SURVEYOR

2.2.18
DATE



APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
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CITY OF CONCORD, NEW HAMPSHIRE

IN ACCORDANCE WITH VOTE OF THE BOARD AS DATED:

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CLERK

CHAIR

DATE	DESCRIPTION	BY	REV.

TAX MAP 193Z LOT 1

TUSCANY VILLAGE
UNIT DETAILS
PREPARED FOR & LAND OF:
R.J. MOREAU COMMUNITIES, LLC
22 EASTMAN AVENUE
BEDFORD NH
LAND LOCATED AT:
SONOMA LANE, CONCORD NH

SCALE: 1" = 10' DECEMBER 19, 2017 SHEET 2 OF 2

DESIGN: M.D.M.	DRAWN: C.A.F.	CHECKED: C.A.F.	FB: 554	PG: 68	680-14
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