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February 20, 2018

FEB 26 2018

Beth Fenstermacher
Senior Planner
City of Concord, Planning Department
41 Green Street
Concord, NH 03301

Planning Division
Concord, NH

RE: Abbott Village, Subdivision Approvals

Dear Ms. Fenstermacher,

Please see the attached plans reflecting the proposed changes to 34 Callaway Drive per our meeting. Abbott Farm LLC., wishes to change the next eight unit building and future buildings from three story townhouses to two story townhouses.

We would maintain the current approved footprint, density and the number of bedrooms. The design is aesthetically similar to the existing buildings maintaining the same colors, textures and architectural design features.

The existing units have historically been the largest Townhouse Condominiums in the market. We have found that the market cannot support a sale price that covers the costs associated with the existing design. Market studies show that the requested design changes will allow the development to progress under current market conditions.

Thank you for your time and attention. Please feel free to contact me with any questions or if there needs to be further clarification.

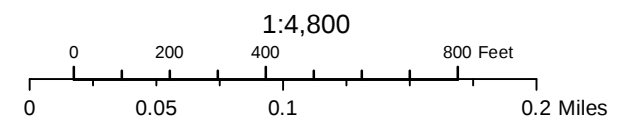
Sincerely,

Jason Garland
Abbott Farm, LLC

Enc.
34 Calaway Drawings



March 8, 2018



382 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE

P.O. BOX 596

603 770-2882

CODE REVIEW:
2009 IBC
GROUND SNOW LOAD - 10 PSF
WIND - 90 MPH
SEISMIC DESIGN CATEGORY - C
FROST DEPTH - 4 FEET

USE GROUP - R-2, RESIDENTIAL
TYPE OF CONSTRUCTION - SB, UNPROTECTED
HEIGHT AND AREA - CODE: 2 STORY/1000 SF/FLOOR
ACTUAL: 2 STORY/4120 SF/FLOOR

TABLE 508.4 - SEPARATION, NOT REQUIRED BETWEEN R OCCUPANCIES
SECTION 109, FIRE PARTITION
SECTION 109.4 - EXCEPTION 5 R2 LESS THAN 4 STORIES WITH DRAFT STOPPING
EVERY 3000 SF NO RATING REQUIRED.

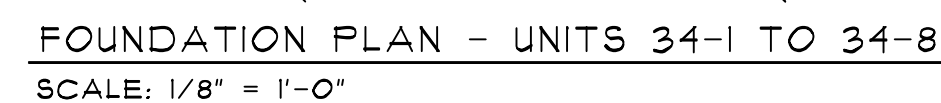
SECTION 404.1.4 - GARAGE/LIVING SPACE SEPARATION
MINIMUM OF 5/8" TYPE "X" SHEET ROCK REQUIRED.
DOORS TO BE SELF CLOSING AND SELF LATCHING.

ARCHITECTURAL

A5 - ROOF FRAMING PLAN AND SECTION

1. All work must meet state, local and other applicable codes.
2. Contractor(s) must visit the job site prior to submitting a bid.
3. It is assumed the soil bearing capacity is 2000 psf or better.
4. Footings are to be placed on undisturbed soil, a minimum of one (1) foot below the frost line.
5. Provide 2" rigid insulation around the foundation perimeter to 4' below grade.
6. Concrete walls below the finished grade are to be damp proofed with tar or equal material.
7. All wood on concrete is to be pressure treated lumber with sill seal and insulation.
8. Poured in place concrete is to be 3000 psi or better.
9. Concrete slabs are to have 6/6 10x10 w.w.f., 6 mil poly vapor barrier over 6" of crush stone or gravel.
10. Use anchor bolts at 4'-0" on center on foundation walls.
11. Use bridging or solid blocking between floor joist.
12. Exterior walls are to be 2 x 6 wood studs at 16" on center with lateral bracing, 1/2" gypsum board interior 1/2" sheathing exterior and "building wrap". The walls will have full batt insulation or equal,
13. Interior walls are to be 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
14. Stairs: Treads, 10" (+/-); Risers, 7 3/4" (+/-) per local code.
15. All material used in the construction of this building will be new. No used or reconditioned material is permitted.
16. All interior finishes are to be determined by the contract with the owner.
17. Notify the architect immediately if conditions are different than indicated on the plans.
18. Any changes to these plans must be reviewed and approved by the owner(s) and the architect.
19. These drawings are prepared for the owner(s) to meet local and state codes. Any deficiencies must be noted and architect contacted to review those deficiencies.



[illegible]

ABBOTT VILLAGE

382 NORTH STATE STREET
CONCORD, NEW HAMPSHIRE

Gleason Architects

P.O. BOX 596
STRATHAM, NEW HAMPSHIRE 03885
603 772-7370

ARCHITECT

ENGINEER

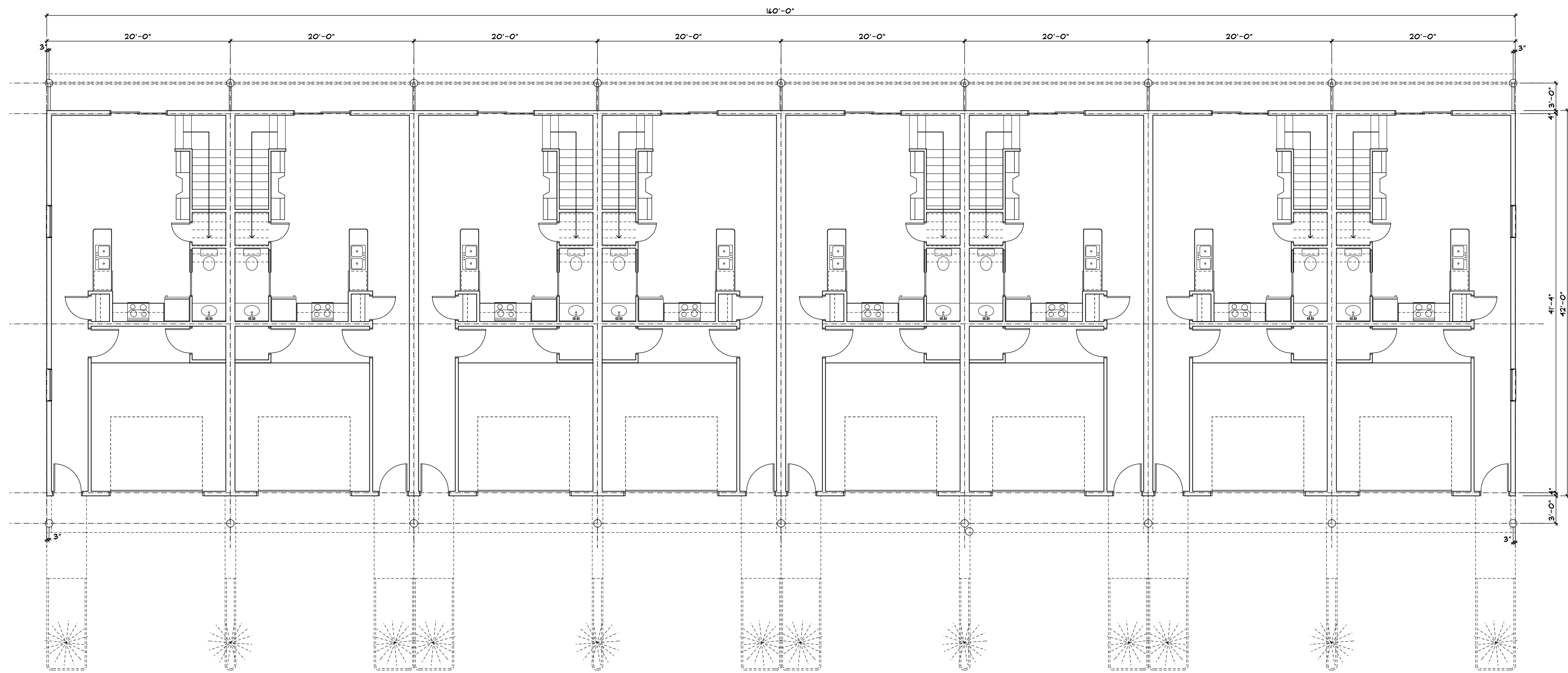
DATE: 12/29/17

PROJECT NO. 201760

SHEET NO.

A-1

OF SHEETS



FIRST FLOOR PLAN - UNITS 34-1 TO 34-8
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE

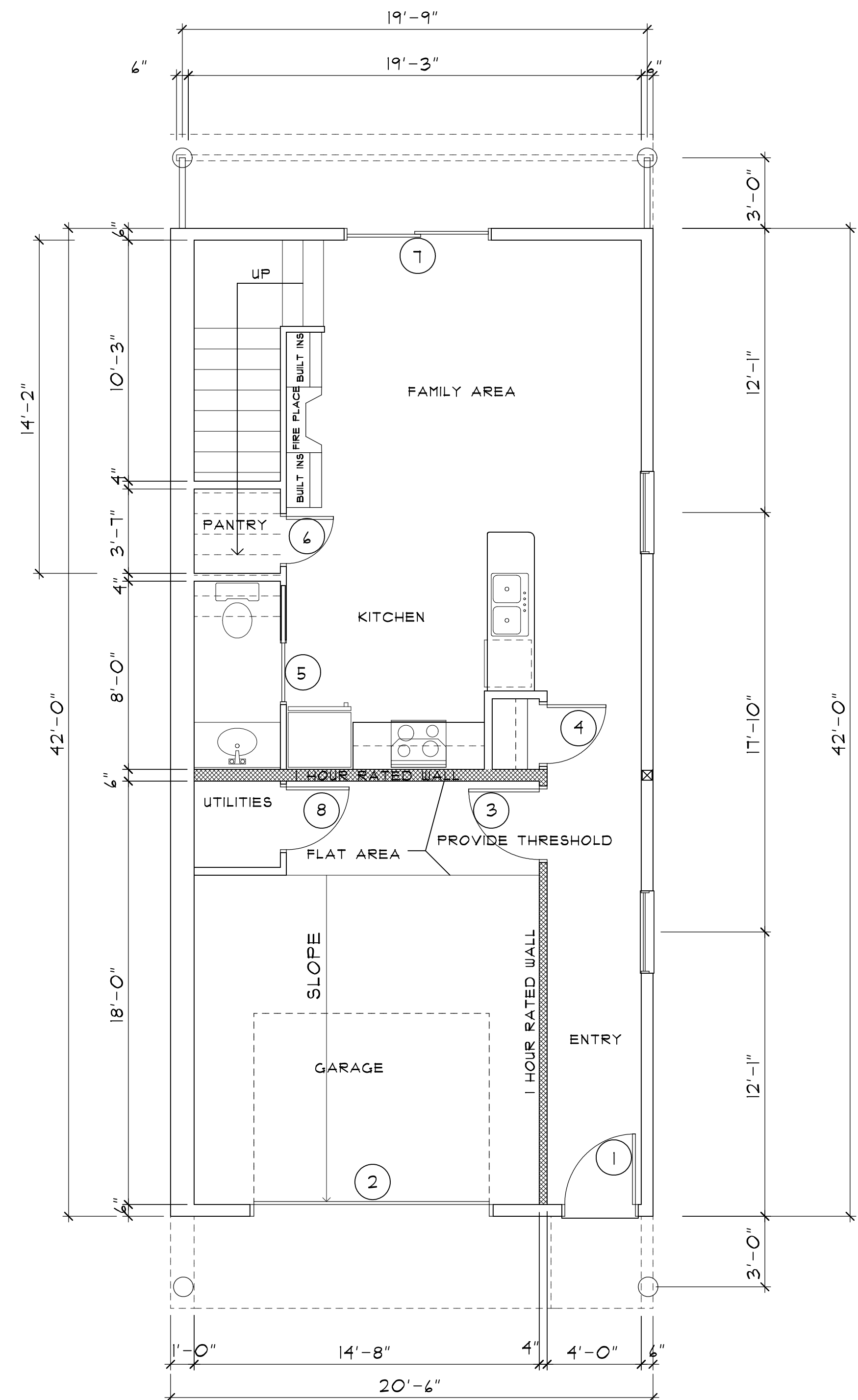
MARK	DOOR WIDTH	DOOR HEIGHT	REMARKS
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FIRST FLOOR

1.	3'-0"	7'-0"	EXTERIOR ENTRY DOOR
2.	10'-0"	8'-0"	INSULATED OVERHEAD DOOR
3.	3'-0"	6'-8"	40 MIN RATED DOOR
4.	2'-6"	6'-8"	SCWD DR WD FRAME
5.	2'-6"	6'-8"	SCWD DR WD FRAME - POCKET DOOR
6.	2'-0"	6'-8"	SCWD DR WD FRAME
7. PR.	3'-0"	6'-8"	EXTERIOR SLIDER
8.	2'-8"	6'-8"	HM DR HM FRAME

SECOND FLOOR

9.	2'-0"	6'-8"	SCWD DR WD FRAME
10.	2'-8"	6'-8"	SCWD DR WD FRAME
11.	2'-6"	6'-8"	SCWD DR WD FRAME
12.	2'-6"	6'-8"	SCWD DR WD FRAME
13. PR.	2'-6"	6'-8"	SCWD DR WD FRAME
14.	2'-8"	6'-8"	SCWD DR WD FRAME
15.	2'-6"	6'-8"	SCWD DR FRAME
16.	2'-6"	6'-8"	SCWD DR WD FRAME
17. PR.	3'-0"	6'-8"	EXTERIOR SLIDER
18.	2'-6"	6'-8"	HM DR HM FRAME



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

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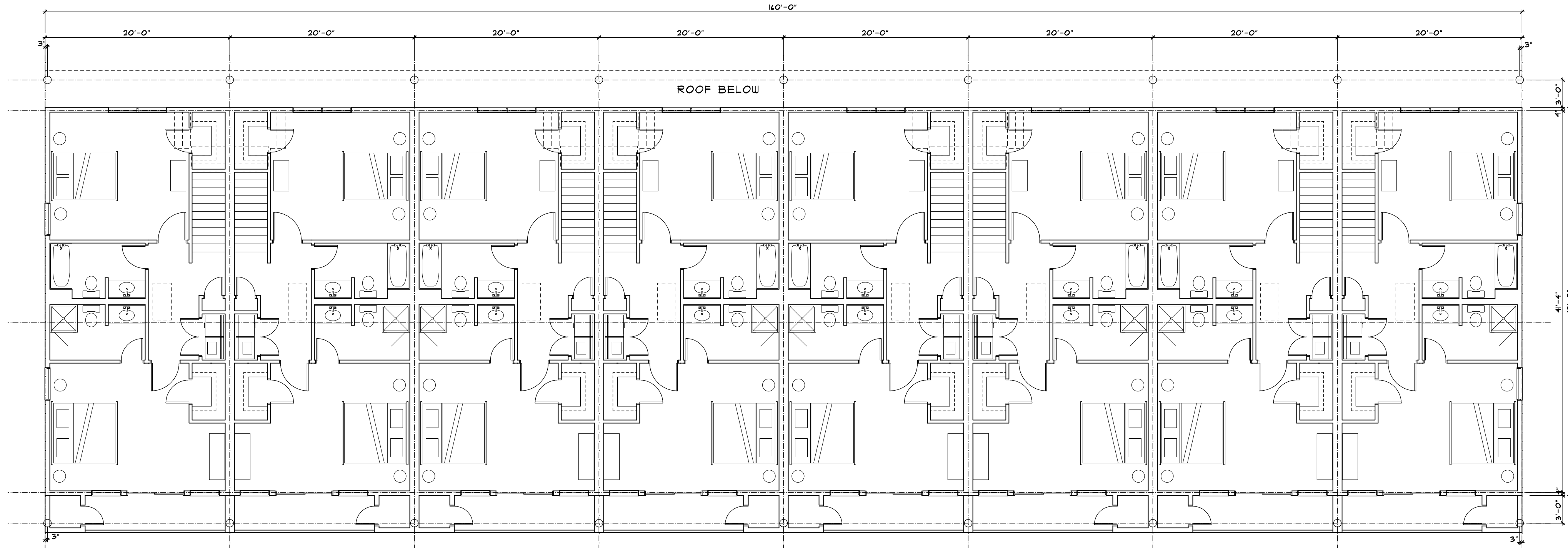
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A-2

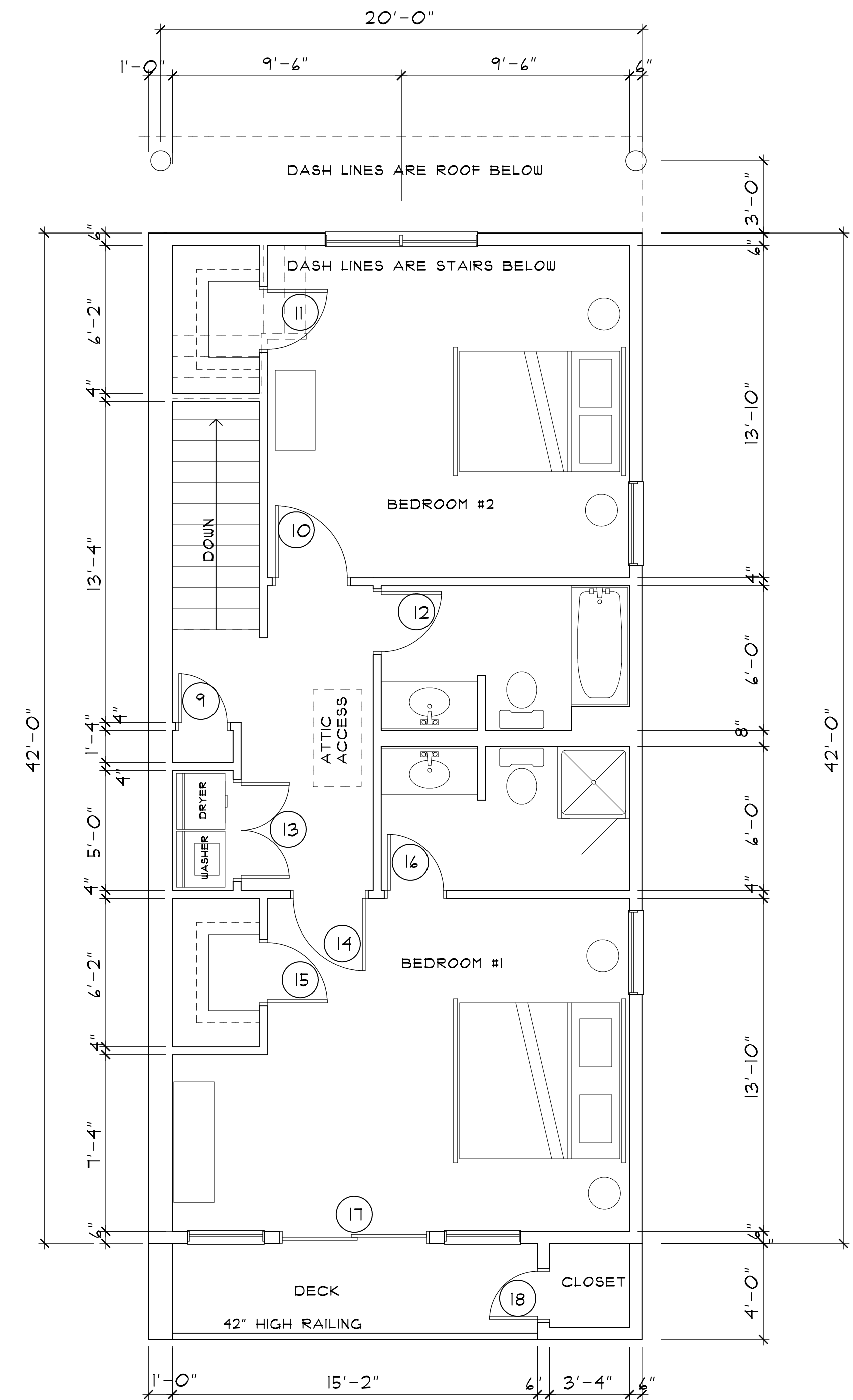
OF SHEETS



SECOND FLOOR PLAN - UNITS 34-1 TO 34-8
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE

MARK	DOOR WIDTH	DOOR HEIGHT	REMARKS
FIRST FLOOR			
1.	3'-0"	7'-0"	EXTERIOR ENTRY DOOR
2.	10'-0"	8'-0"	INSULATED OVERHEAD DOOR
3.	3'-0"	6'-8"	60 MIN RATED DOOR
4.	2'-6"	6'-8"	SCWD DR WD FRAME
5.	2'-6"	6'-8"	SCWD DR WD FRAME - POCKET DOOR
6.	2'-0"	6'-8"	SCWD DR WD FRAME
7. PR.	3'-0"	6'-8"	EXTERIOR SLIDER
8.	2'-8"	6'-8"	HM DR HM FRAME
SECOND FLOOR			
9.	2'-0"	6'-8"	SCWD DR WD FRAME
10.	2'-8"	6'-8"	SCWD DR WD FRAME
11.	2'-6"	6'-8"	SCWD DR WD FRAME
12.	2'-6"	6'-8"	SCWD DR WD FRAME
13. PR.	2'-6"	6'-8"	SCWD DR WD FRAME
14.	2'-8"	6'-8"	SCWD DR WD FRAME
15.	2'-6"	6'-8"	SCWD DR FRAME
16.	2'-6"	6'-8"	SCWD DR WD FRAME
17. PR.	3'-0"	6'-8"	EXTERIOR SLIDER
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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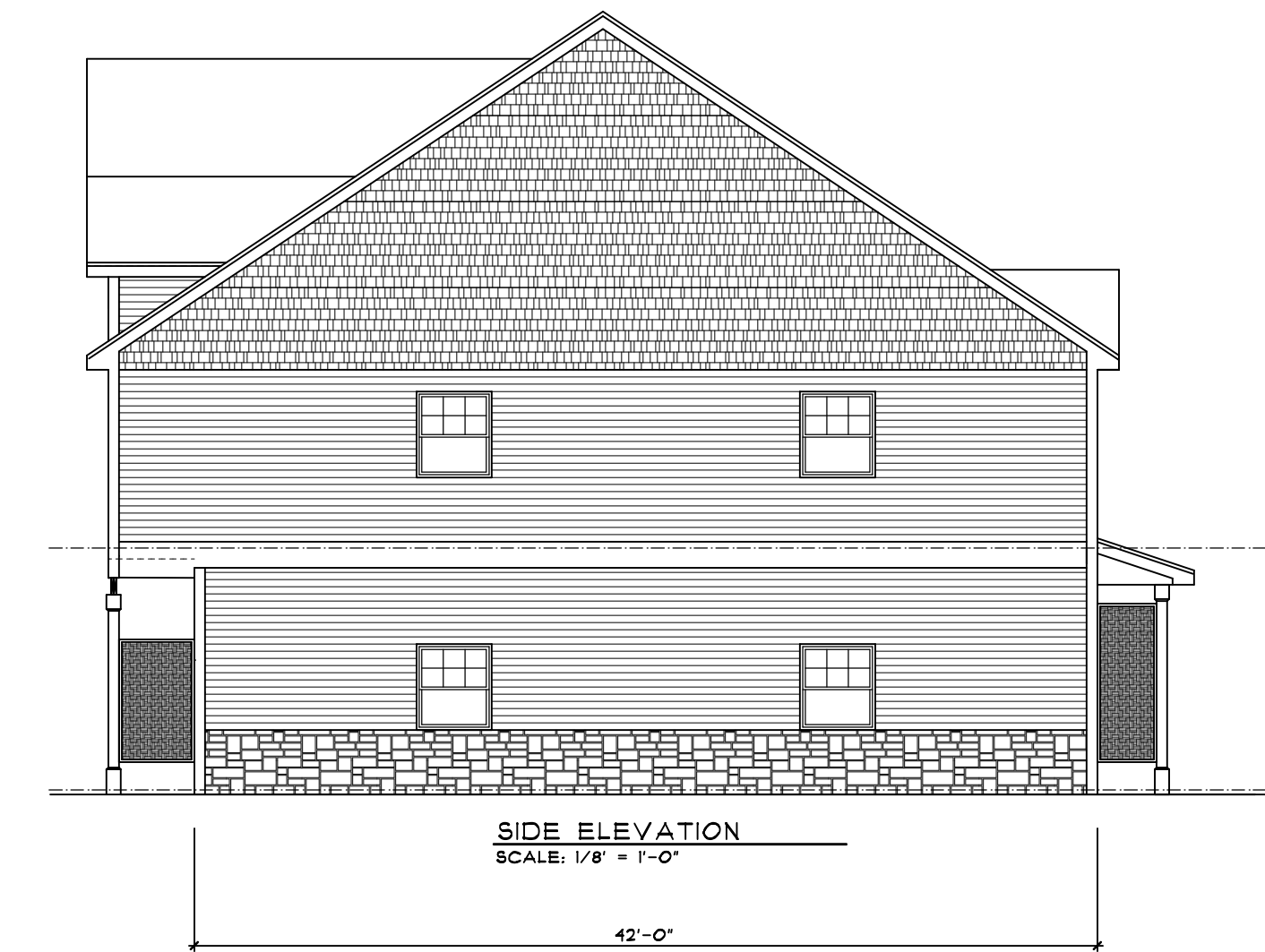
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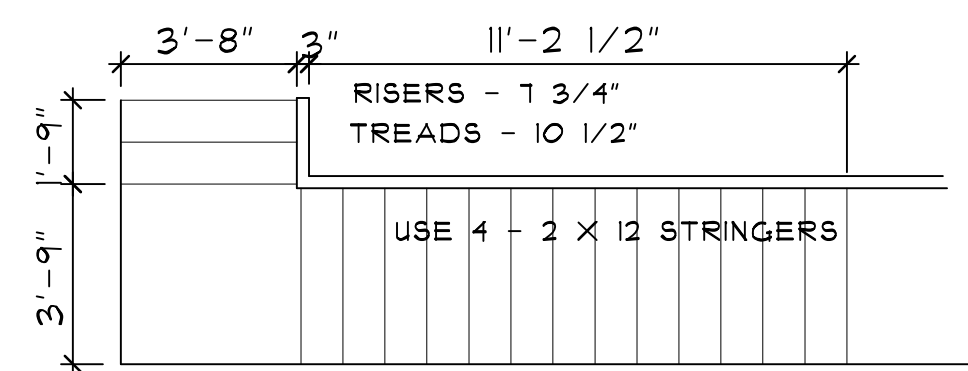
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



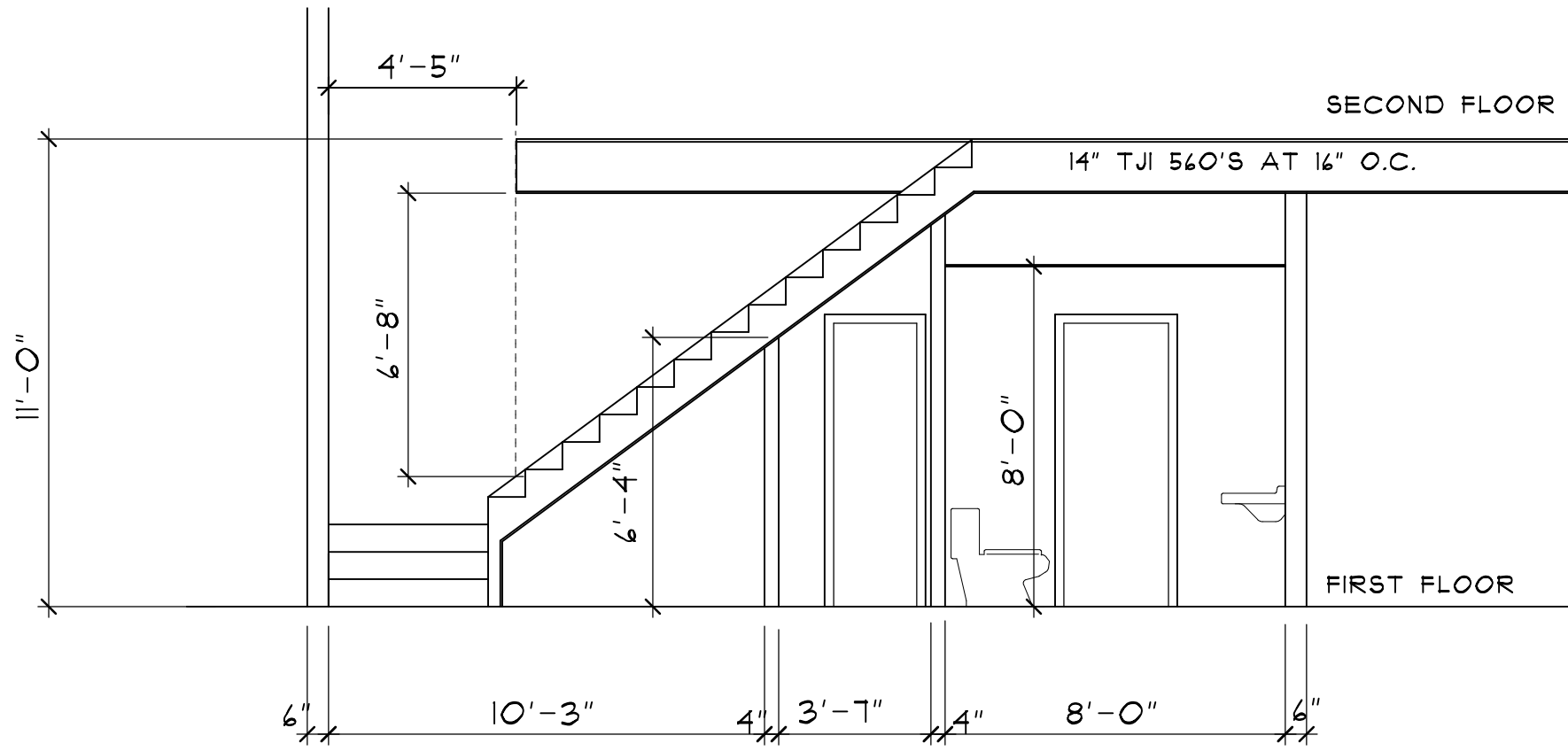
REAR ELEVATION
SCALE: 1/8" = 1'-0"



SIDE ELEVATION
SCALE: 1/8" = 1'-0"



STAIR PLAN
SCALE: 1/4" = 1'-0"



STAIR SECTION
SCALE: 1/4" = 1'-0"

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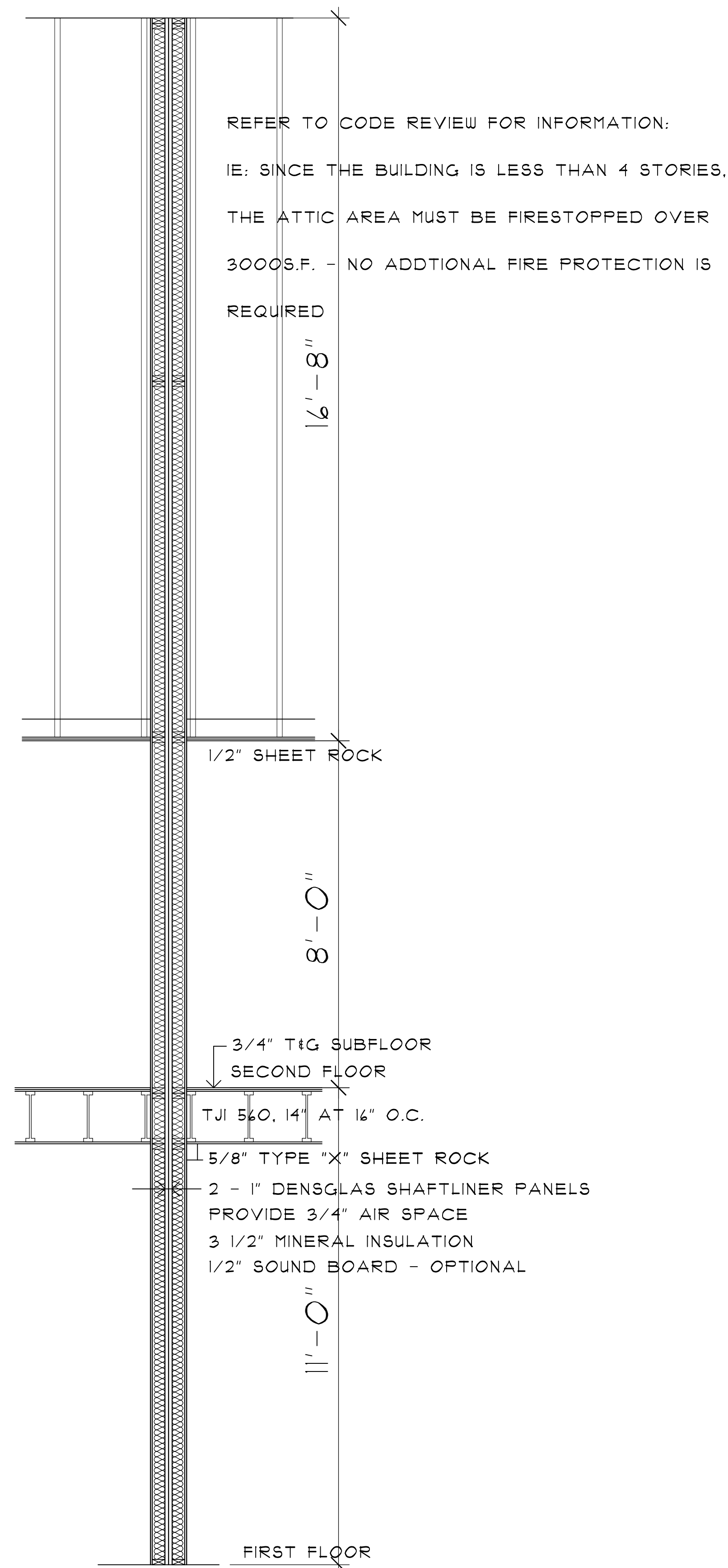
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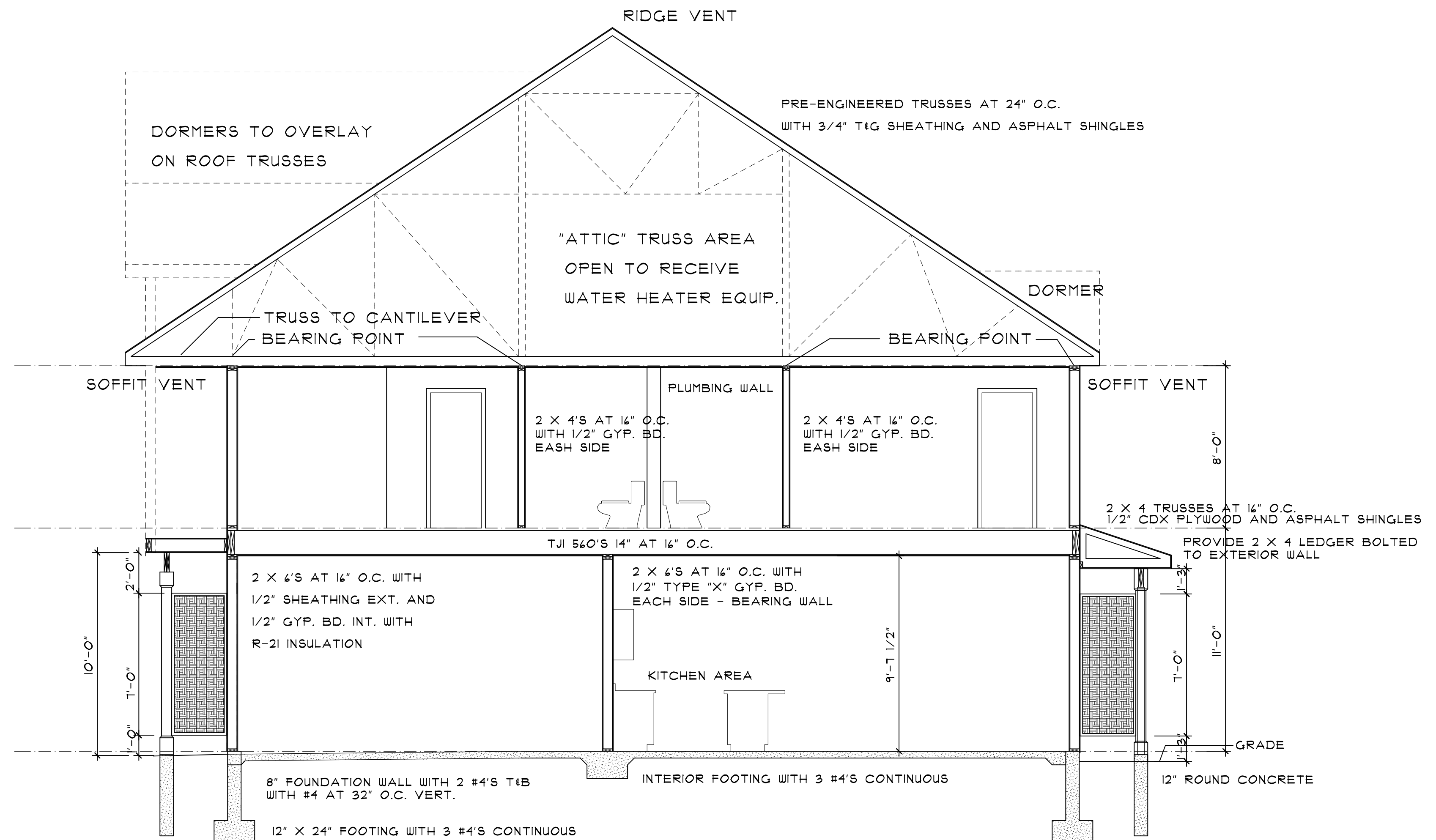
ARCHITECT

ENGINEER
DATE: 12/29/17
PROJECT NO. 201760
SHEET NO.

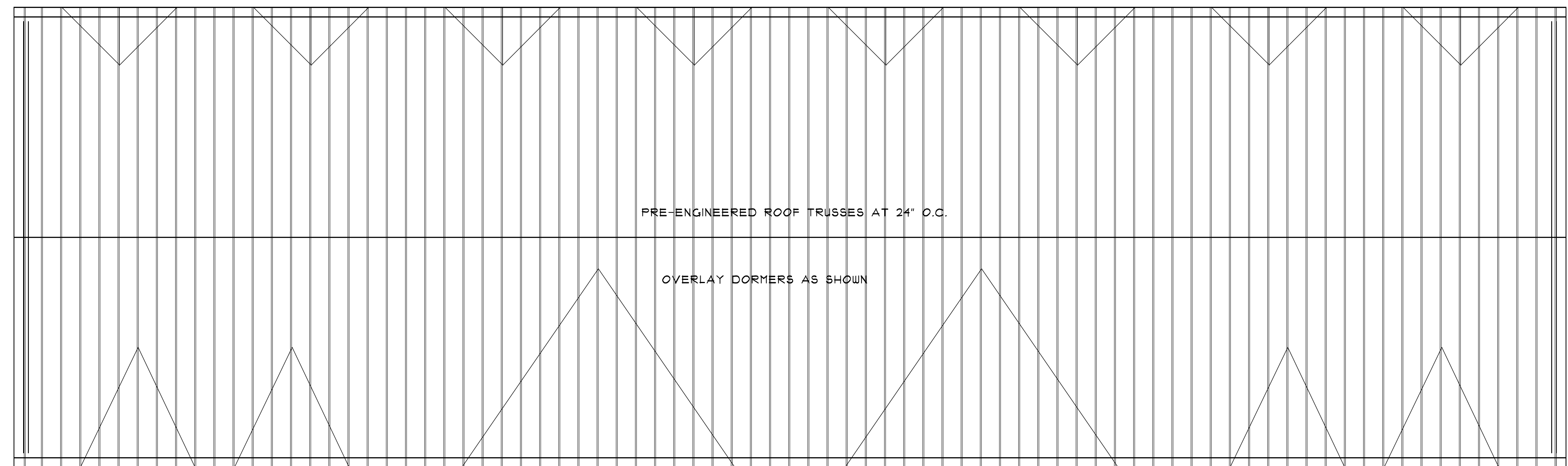
A-4
OF SHEETS



WALL SECTION BETWEEN UNITS
SCALE: 1/2" = 1'-0"



SECTION
SCALE: 1/4" = 1'-0"



ROOF FRAMING PLAN - UNITS 34-1 TO 34-8
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