

APPLICATION FOR ARCHITECTURAL DESIGN REVIEW APPROVAL

CITY OF CONCORD, NH - PLANNING BOARD

RECEIVED

FEB 20 2018

GENERAL INFORMATION

Planning Division
Concord, NH

OWNER'S NAME: 27 WARREN ST LLC % JONATHAN HALL
STREET ADDRESS: 27 WARREN ST
CITY, STATE, & ZIP CODE: CONCORD NH 03301
TELEPHONE #: 738-9004 EMAIL ADDRESS: jh@warrenstreet.coop

AGENT'S NAME (IF APPLICABLE): SAME
STREET ADDRESS: _____
CITY, STATE, & ZIP CODE: _____
TELEPHONE #: _____ EMAIL ADDRESS: _____

APPLICATION FEE \$ 150-

For the property being reviewed, please complete the following:

TYPE OF DESIGN REVIEW: ☐ SITE IMPROVEMENTS ☒ NEW CONSTRUCTION ☐ RENOVATION

PROPERTY ADDRESS: 27 WARREN ST.

ABUTTING STREETS: BETWEEN GREEN AND STATE

EXISTING LOT SIZE(S): 3600 ACRES OR 183 AC SQUARE FEET

ASSESSOR'S MAP/BLOCK/LOT #(S): 36/4/5 _____

ZONING DISTRICT(S): CVP

OVERLAY DISTRICTS (CHECK ALL THAT APPLY):

HISTORIC (HI): _____ SHORELAND PROTECTION (SP): _____ FLOOD HAZARD (FH): _____
AQUIFER PROTECTION (AP): _____ PENACOOK LAKE WATERSHED PROTECTION (WS): _____

PROJECT DESCRIPTION

Please provide a brief description of your project in the space below.

2 STORY ADDITION TO WEST SIDE OF
EXISTING BUILDING

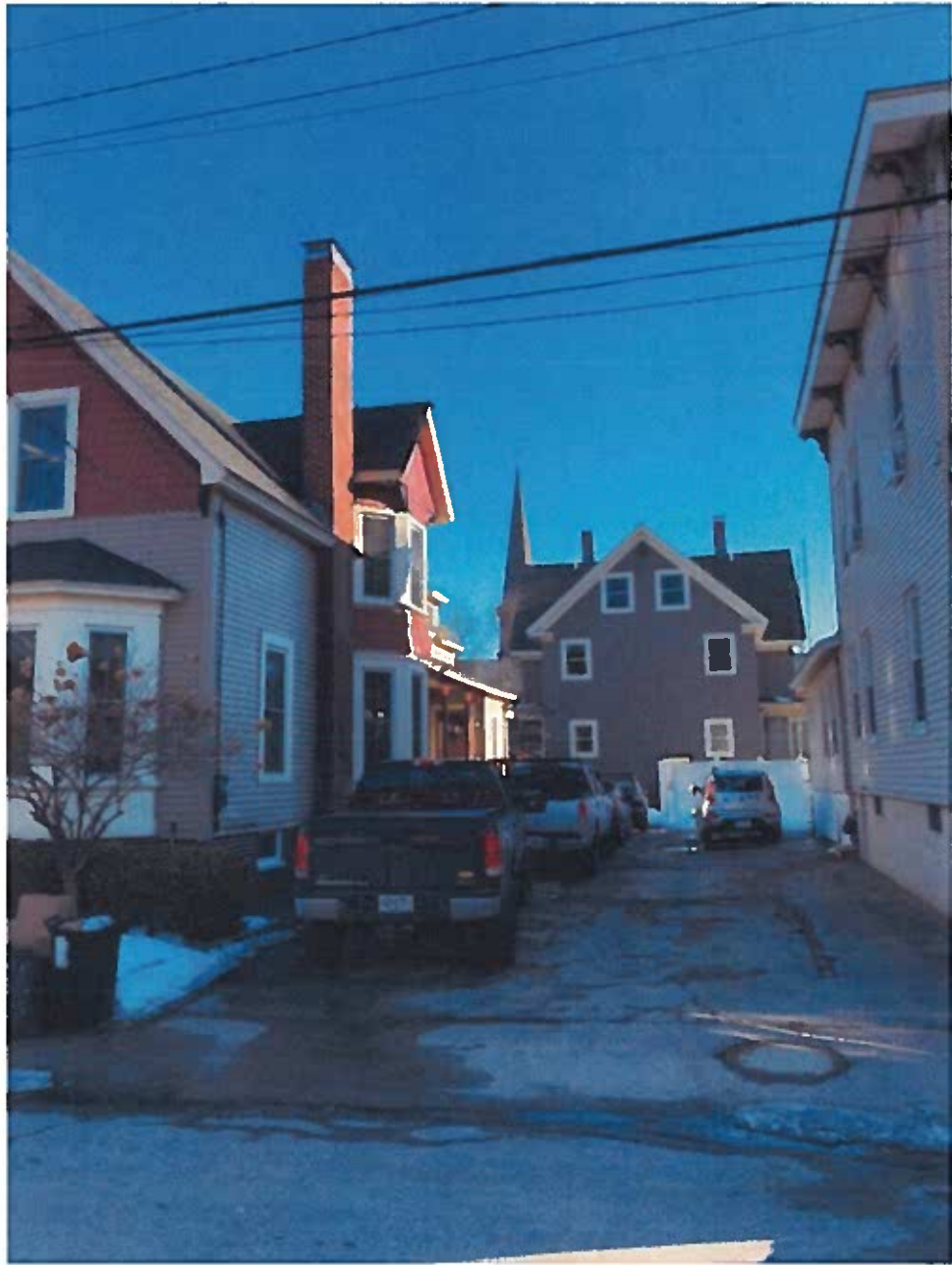
342 SF + 485 SF = 826 SF TOTAL ADD.

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FEB 20 2018

**Planning Division
Concord, NH**







RECEIVED

FEB 20 2018

Planning Division
Concord, NH

ZONING CODE SUMMARY

ZONING DISTRICT: CVP

FRONT, SIDE & BACK SETBACK: 15' - 0"

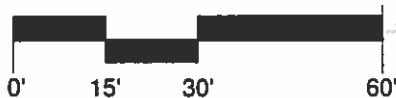
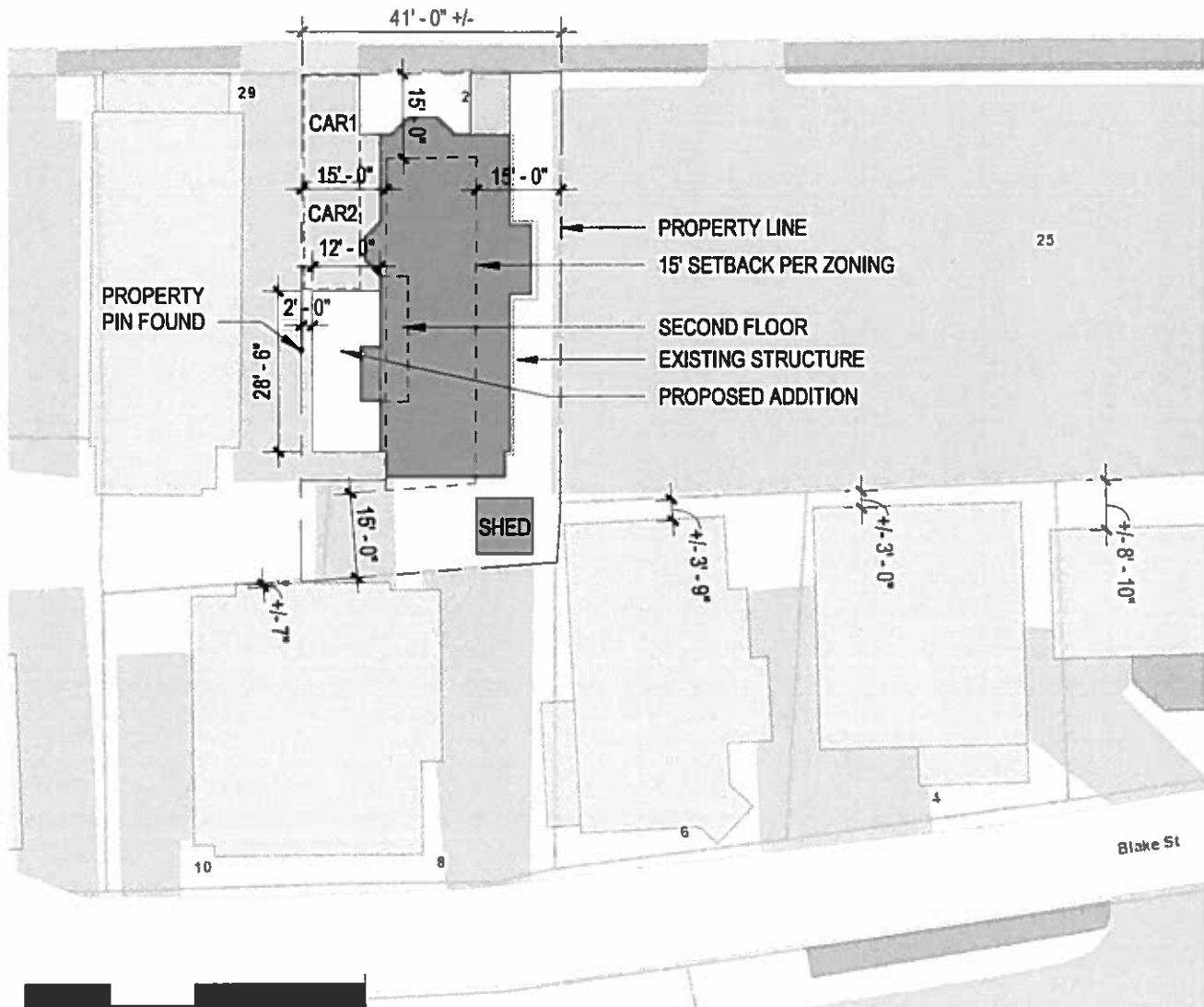
MAXIMUM HEIGHT: 45' - 0"

MAXIMUM LOT COVERAGE: 80%

EXISTING LOT COVERAGE: 74% (BUILDINGS & PAVE)

PROPOSED LOT COVERAGE: 65%

Warren St



**WARRENSTREET
ARCHITECTS**

27 Warren Street Concord, NH 03301
T 603.225.0640 F 603.225.0621
www.warrenstreetarchitects.com

27 WARREN STREET

TITLE: SITE PLAN

PROJECT #:

DRAWN BY:

DATE:

11/29/17

CHECKED BY:

JH

SCALE:

1" = 30' - 0"

REVISION:

200

SHEET:

OF

27 WARREN STREET
CONCORD, NH

SCALE AS NOTED
JOB # 0000
OWN BY Author
CHK BY Checker

08/10/17

EXISTING ELEVATIONS

001
SHEET NUMBER OF 1

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PRINT DATE/TIME 8/30/2017 11:05 PM



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"



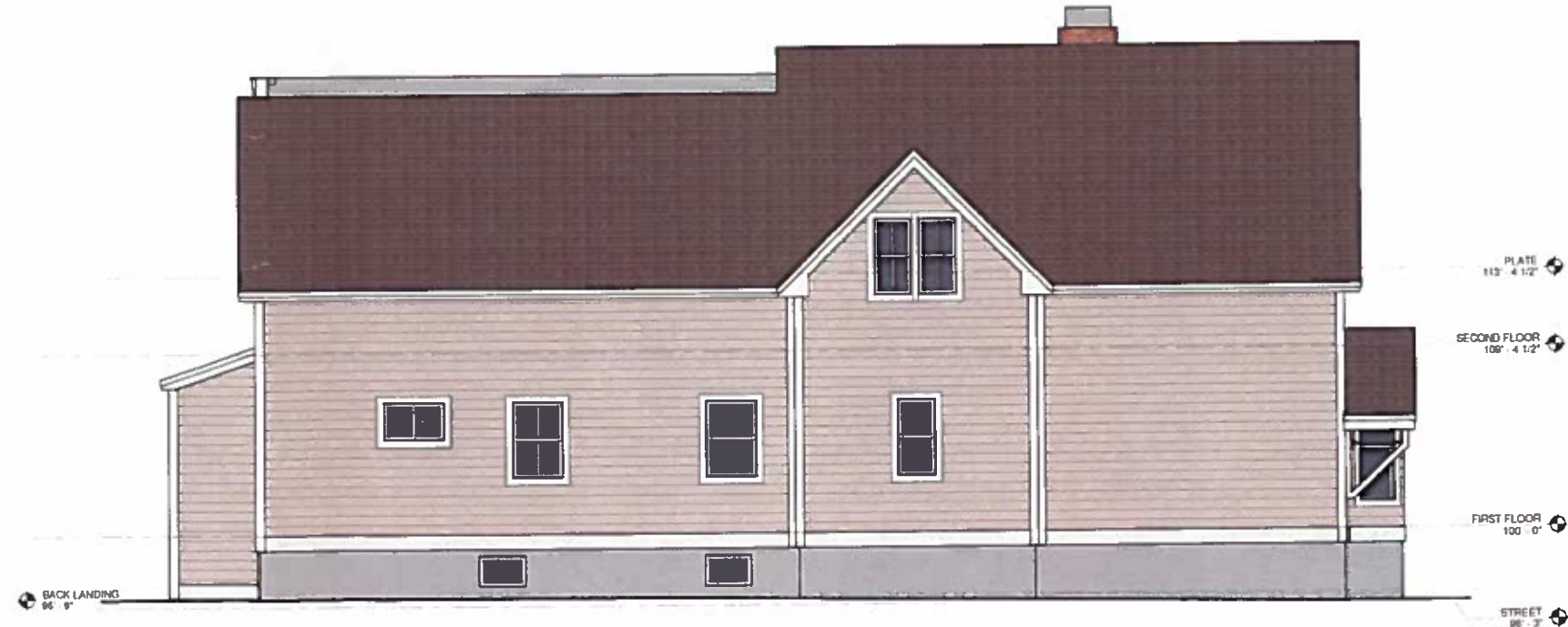
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

27 WARREN STREET ADDITION

CONCORD, NH



WARRENSTREET ARCHITECTS

OWNER C/O: JONATHAN HALLE
142 W. PARISH ROAD
CONCORD, NH 03303, P. (603) 224-9010

CONSTRUCTION MANAGER

TBD

WARRENSTREET ARCHITECTS, INC.

PLANNERS, ARCHITECTS, LANDSCAPE ARCHITECTS, INTERIOR DESIGNERS
27 WARREN STREET, CONCORD, NH 03301
P. (603) 225-0640 F. (603) 225-0621

CIVIL	LANDSCAPE	ARCHITECTURE	STRUCTURAL	MECHANICAL/PLUMBING	ELECTRICAL	OTHER	PROJECT:
NAME STREET CITY, STATE, ZIP TELEPHONE FAX	NAME STREET CITY, STATE, ZIP TELEPHONE FAX	WARRENSTREET ARCHITECTS, INC. 27 WARREN STREET CONCORD, NH 03301 P. (603) 225-0640 F. (603) 225-0621	NAME STREET CITY, STATE, ZIP TELEPHONE FAX	NAME STREET CITY, STATE, ZIP TELEPHONE FAX	NAME STREET CITY, STATE, ZIP TELEPHONE FAX	NAME STREET CITY, STATE, ZIP TELEPHONE FAX	27 WARREN STREET ADDITION
		KEYSITE PLAN DEMOLITION FLOOR PLANS DEMOLITION PLANS & SECTION PROPOSED FLOOR PLANS PROPOSED FLOOR PLANS ELECTRICAL & MECHANICAL DIAGRAM PLANS EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS	A100 A101 A103 A111 A112 A141 A201 A202 A301				PROJECT NUMBER: -
							ISSUE:
							NOT FOR CONSTRUCTION SCHEMATIC DESIGN
							ISSUE DATE: 00/00/2017
							ARCHITECT OF RECORD

27 Warren Street Concord NH 03301
T 603 225 0640 F 603 225 0621 www.warrenstreetcoop.com

WARREN STREET ARCHITECTS
OWNER: C/O JONATHAN HALL
142 W. PARSIM ROAD
CONCORD, NH 03303
P. (603) 224-0010

CONSTRUCTION MANAGER
TBO

PLAN KEY

PROJECT TITLE / ADDRESS
27 WARREN STREET
ADDITION
CONCORD, NH

SCALE: AS NOTED DRAWN BY: Author
JOB # - CHECK BY: Checker

PRINT DATE. 2/23/2018 1:30:01 PM

ISSUE DATE

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SCHEMATIC DESIGN

REVISION	DATE	COMMENT

KEY/SITE PLAN

A100

SHEET NUMBER OF 7 ARCHITECTURAL

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PROGRESS - NOT FOR CONSTRUCTION

ZONING DISTRICT CVP
FRONT SIDE & BACK SETBACK 15'-0"
MAXIMUM HEIGHT 45'-0"
MAXIMUM LOT COVERAGE 80%
EXISTING LOT COVERAGE 74% (BUILDINGS & PAVE)
PROPOSED LOT COVERAGE 85%

WARREN STREET

LANDSCAPE DETAILS?

25 WARREN
STREET

28 WARREN
STREETPROPERTY
PIN FOUND

PROPOSED ADDITION

EVALUATING STRUCTURE

PERMEABLE
PATIO

340

PROPERTY LINE

15' SETBACK PER ZONING

FENCE

• 19

三

- 5 -

Age Group	No (%)	Yes (%)	Don't know (%)	No answer (%)
0	~15	~45	~35	~5
15	~25	~35	~30	~10
30	~45	~25	~20	~10
60	~55	~15	~15	~15

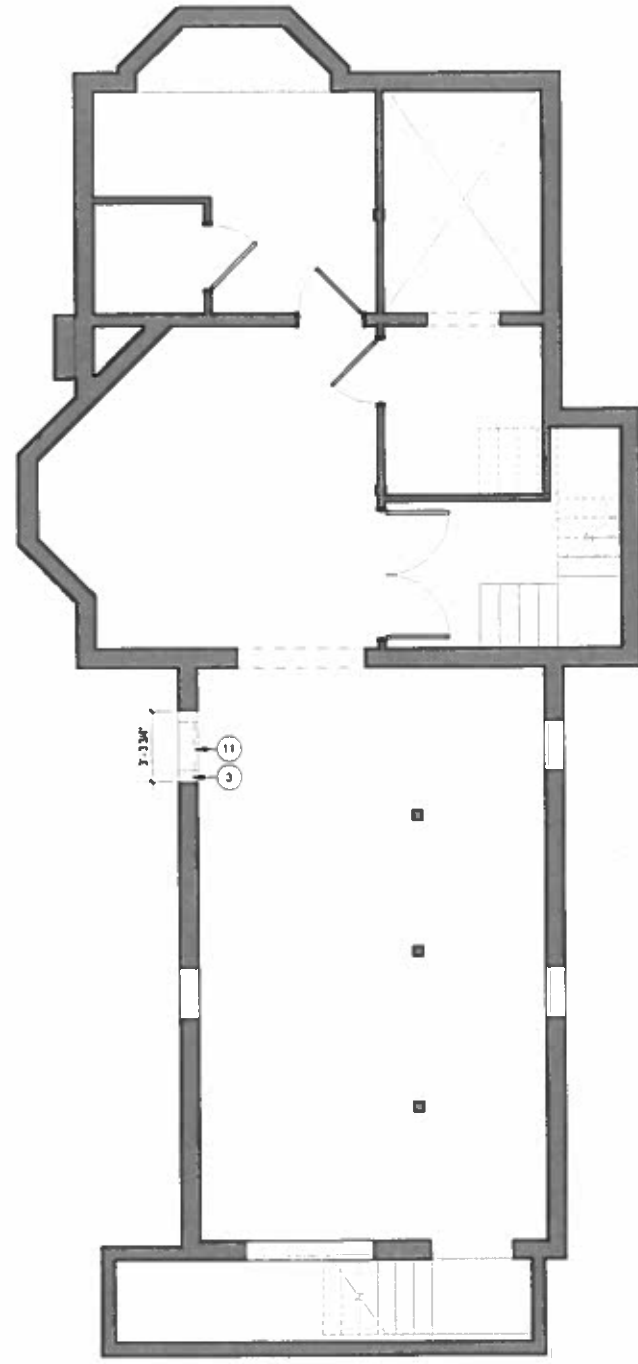
1 PROPOSED SITE PLAN
A00 1" = 10'-0"

TEMPLATE DATE 07/13/2017

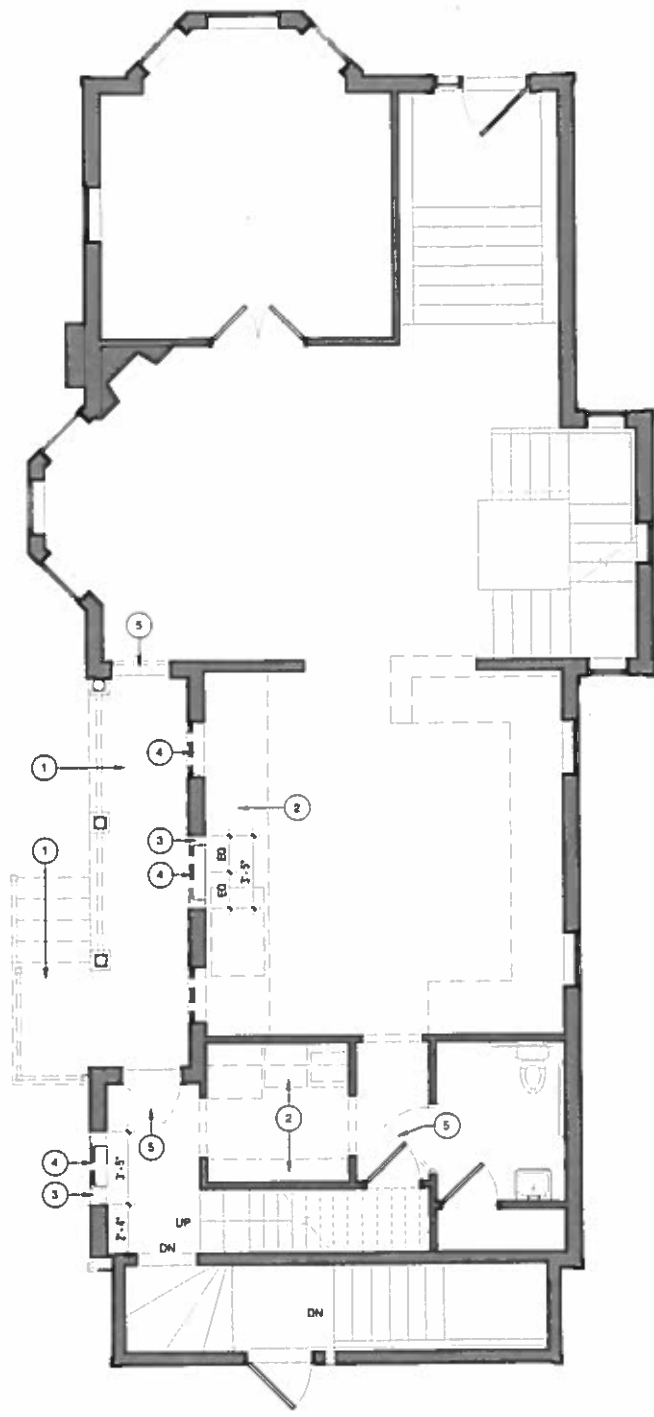
Drawn section - see text
one and one half section - see text
one section - see text
Draw quarter section - see text
one quarter section - see text
one eighth section - see text

TEMPLATE DATE 8/12/2017

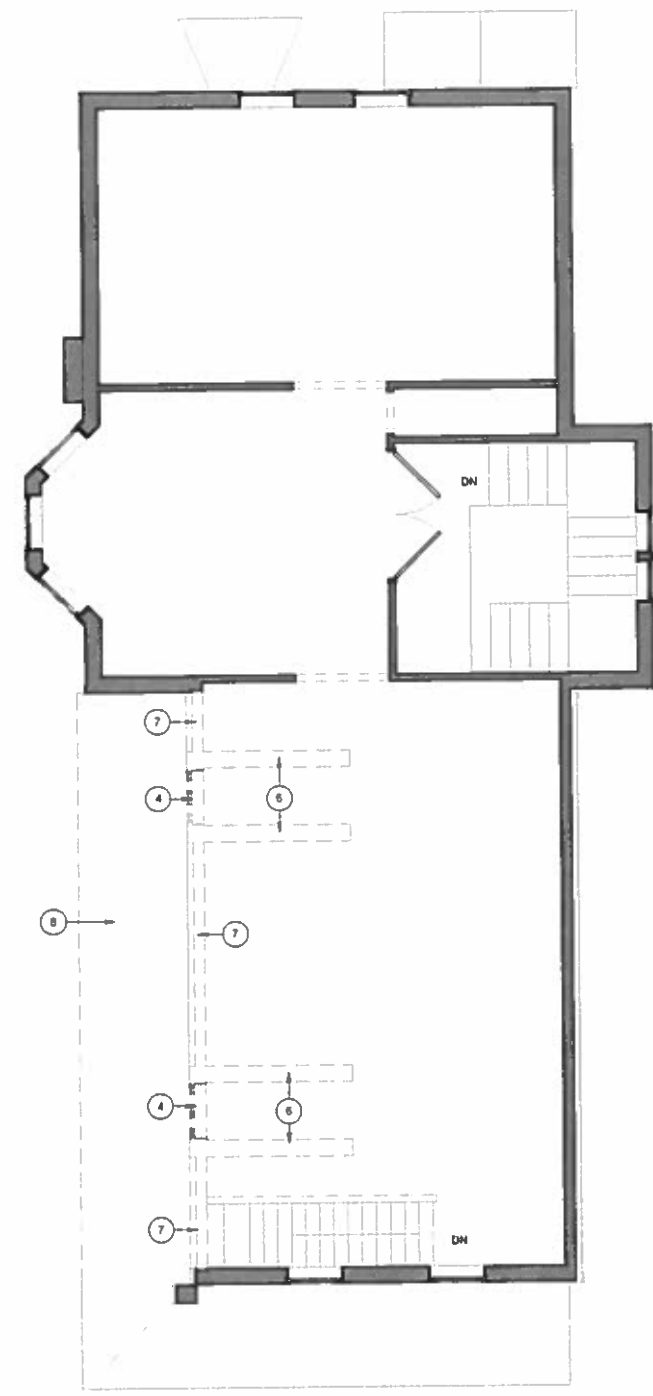
1 BASEMENT DEMOLITION PLAN
A103 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
A00 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
A00 1/4" = 1'-0"



DEMOLITION NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS WHEN DEMOLISHING EXISTING BEARING WALLS OR ROOF STRUCTURE. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO PRESERVE STABILITY OF STRUCTURE TO REMAIN.
2. WHEN UTILITY SYSTEMS NEED TO BE REMOVED, PROVIDE CAP, VALVE, PLUG, OR SEAL TO MEET CODE REQUIREMENTS AND MAINTAIN CONTINUITY OF THE SYSTEM.
3. PROVIDE TEMPORARY BARRICADES AND PROTECTION TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN.
4. DURING DEMOLITION ACTIVITIES, MAINTAIN BUILDING SO IT REMAINS WATER TIGHT AND WEATHER TIGHT.
5. UNLESS DEMOLISHED MATERIAL IS INDICATED TO REMAIN, REMOVE MATERIAL FROM PROJECT SITE AND DISPOSE OF LEGALLY.
6. THE CONTRACTOR IS TO PROTECT THE EXISTING BUILDING STRUCTURE AND FINISHES TO REMAIN.
7. THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS ENCOUNTERED.

DEMOLITION LEGEND

- (A) KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE LEGEND

- 1 DEMO PORCH DECK, POSTS, STAIRS, & ROOF STRUCTURE ABOVE, PROVIDE TEMP SUPPORT AS REQUIRED
- 2 REMOVE EXISTING CASEWORK, TERMINATE EXISTING PLUMBING AS REQUIRED BY CODE
- 3 REMOVE EXISTING EXTERIOR WALL AS REQUIRED FOR NEW OPENING
- 4 REMOVE EXISTING WINDOW COMPLETE
- 5 REMOVE EXISTING DOOR & FRAME COMPLETE
- 6 REMOVE EXISTING DORMER, ASSOCIATED WALL, WINDOW & STRUCTURE COMPLETE, PROVIDE TEMP STRUCTURE AS REQUIRED
- 7 REMOVE EXISTING KNEE WALL, PROVIDE TEMP STRUCTURE AS REQUIRED
- 8 REMOVE PORTION OF ROOF, PROVIDE TEMP STRUCTURE AS REQUIRED
- 9 REMOVE PORTION OF SITE PAVING
- 10 REMOVE WOOD FENCE
- 11 REMOVE FIXED PANEL

WA
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ARCHITECTS

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OWNER: C/O JONATHAN HALL
142 W. PARISH ROAD
CONCORD, NH 03303
P: (603) 224-8010

CONSTRUCTION MANAGER
TBO

PLAN KEY

PROJECT TITLE / ADDRESS
**27 WARREN STREET
ADDITION
CONCORD, NH**

SCALE AS NOTED DWN BY: Author
JOB # - CHK BY: Checker
PRINT DATE 2/23/2018 1:30:03 PM
ISSUE DATE:

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SCHEMATIC DESIGN**

REVISION	DATE	EXAMINER

DEMOLITION FLOOR PLANS

A101

SHEET NUMBER OF 1 ARCHITECTURAL

THE CONTRACTOR AND THE OWNER ARE TO BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES TO REMAIN.

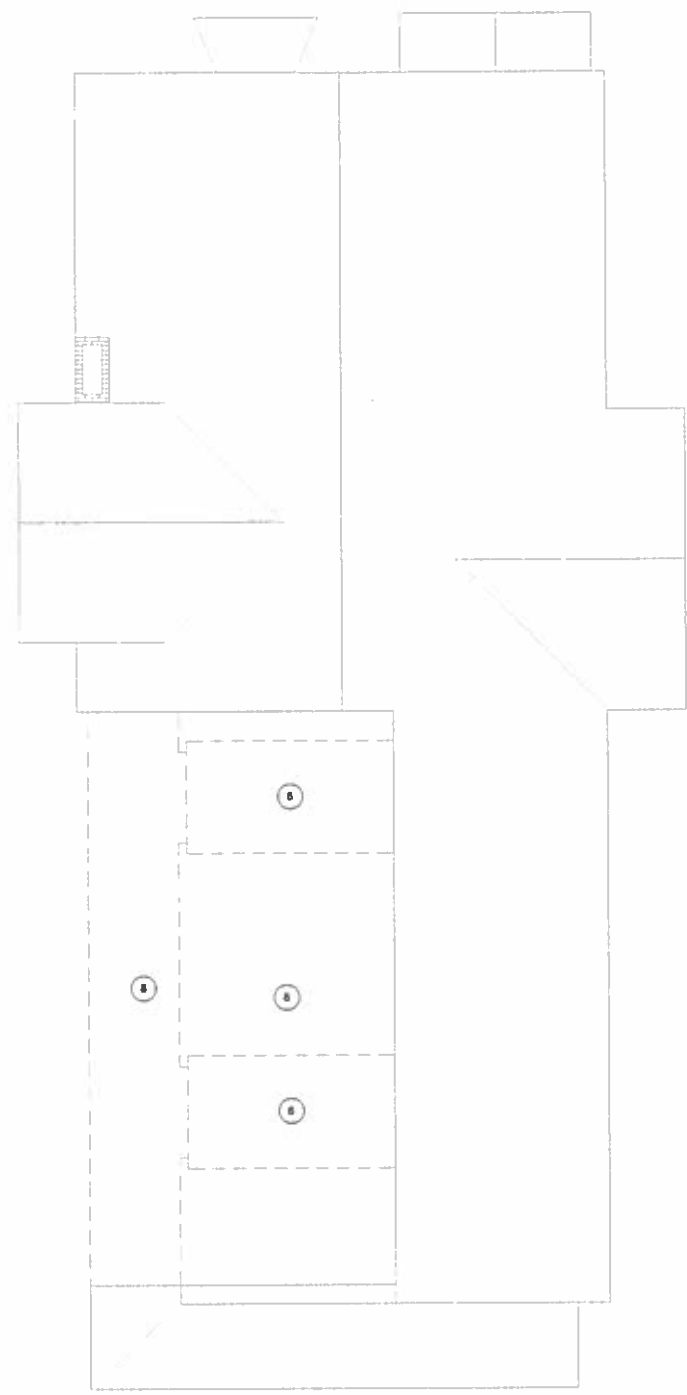
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PROGRESS - NOT FOR CONSTRUCTION

one eighth inch = one foot
one quarter inch = one foot
one half inch = one foot
one inch = one foot

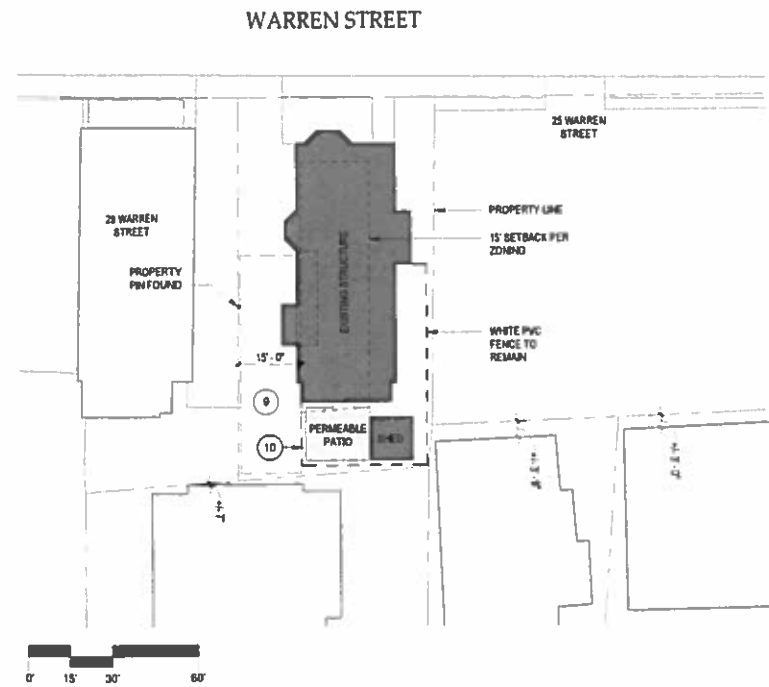
TEMPLATE DATE 8/13/2017

1 ROOF DEMOLITION PLAN
A100 1/4" = 1'-0"



3 DEMOLITION SITE PLAN
A00 1" = 20'-0"

ZONING CODE SUMMARY
ZONING DISTRICT: CVP
FRONT, SIDE & BACK SETBACK: 15'-0"
MAXIMUM HEIGHT: 45'-6"
EXISTING LOT COVERAGE: 71% (BUILDINGS & PAVING)
PROPOSED LOT COVERAGE: 65%



DEMOLITION NOTES

1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS WHEN DEMOLISHING EXISTING BEARING WALLS OR ROOF STRUCTURE. PROVIDE TEMPORARY SUPPORT AS REQUIRED TO PRESERVE STABILITY OF STRUCTURE TO REMAIN.
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- KEYNOTE: SEE FLOOR PLAN KEYNOTE LEGEND
- EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING CONSTRUCTION TO REMAIN

DEMOLITION NOTE LEGEND

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- 9 REMOVE PORTION OF SITE PAVING
- 10 REMOVE WOOD FENCE
- 11 REMOVE FIXED PANEL

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CONSTRUCTION MANAGER
TBD

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REVISION	DATE	COMMENTS

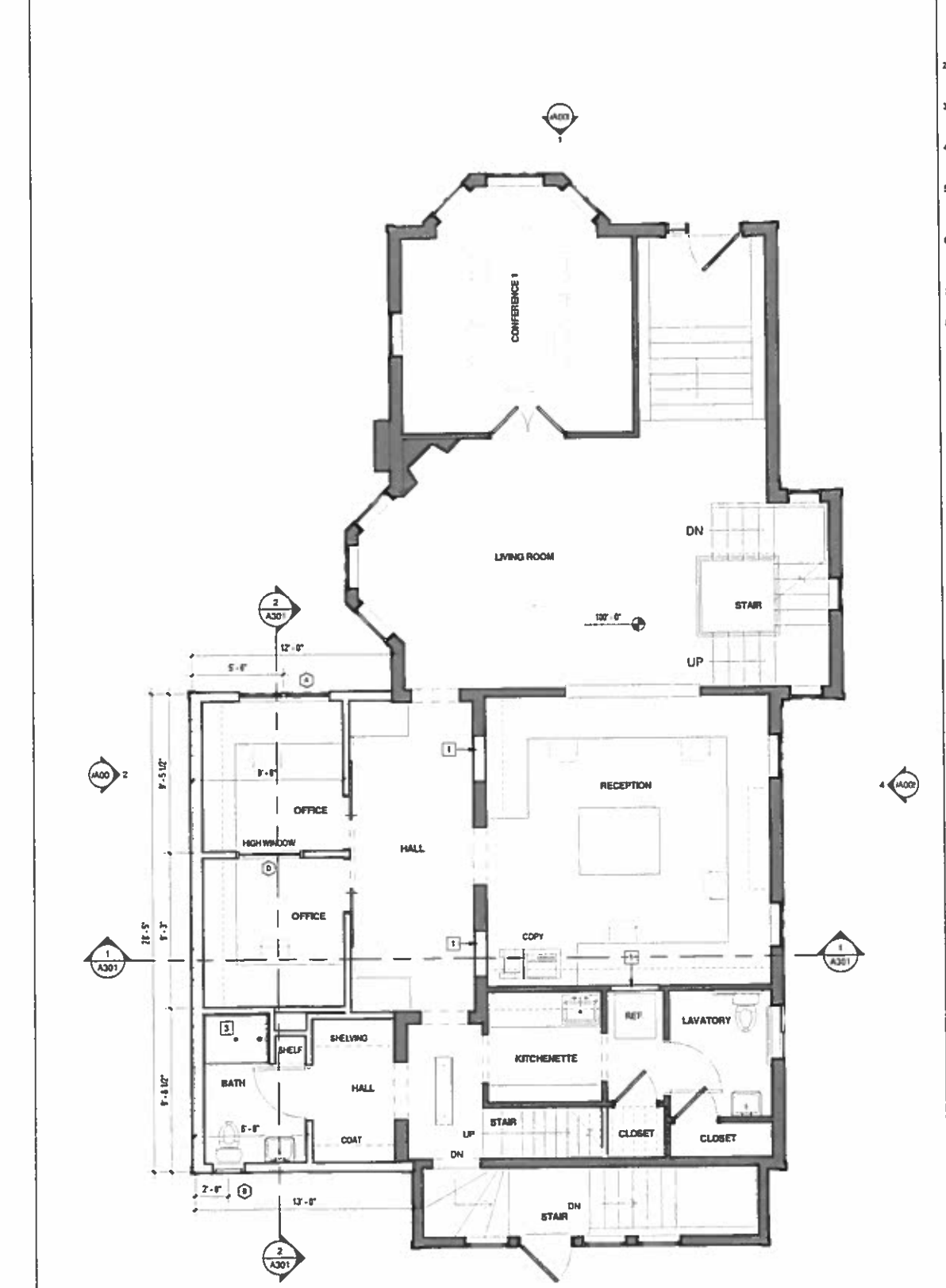
**DEMOLITION PLANS &
SECTION**

A103
SHEET NUMBER OF 7 ARCHITECTURAL

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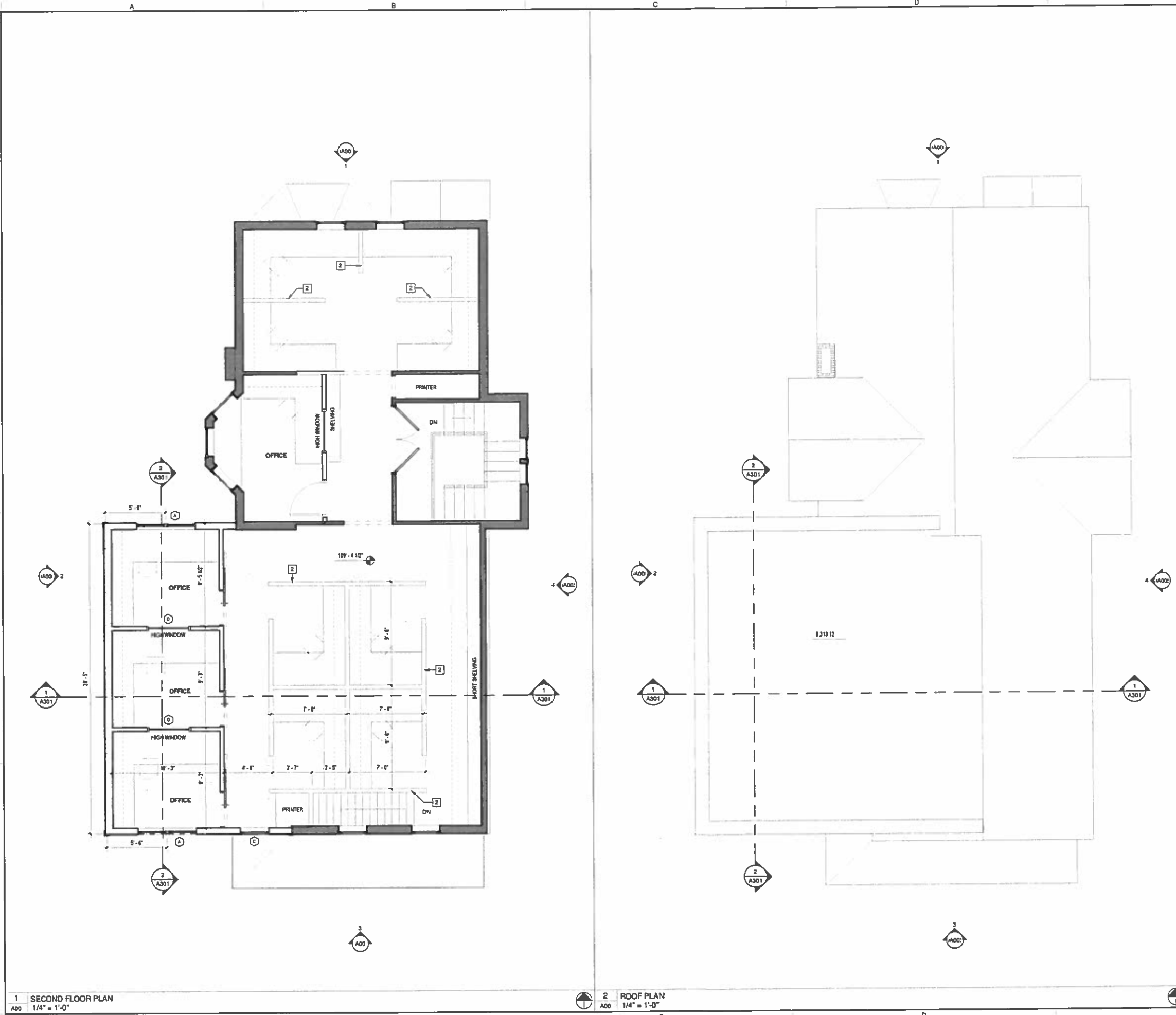
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2	FIRST FLOOR PLAN
A00	1/4" = 1'-0"

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3/10/2017 8/10/2017



- GENERAL PLAN NOTES**
1. FRESH FLOOR ELEVATION = XXX'-X" - (X) = DISTANCE OF GRADE BELOW FFE IN INCHES. + X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FRESH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0" AND IS MEASURED FROM THE TOP OF CONCRETE SLAB. SEE CIVIL DRAWINGS FOR ELEVATIONS BASED ON TOPOGRAPHIC DATUM.
 2. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT FOR ANY DISCREPANCY OR QUESTION PRIOR TO COMMENCING WITH ANY WORK.
 3. THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED.
 4. ALL LAMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
 5. GC SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF (ENGINEERING TRADE DEVICES (E.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
 6. ALL DIMENSIONS AT NEW WALLS ARE TO OUTSIDE FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY OR CENTER OF OPENING UNLESS AT EXISTING WALLS DIMENSIONS ARE TO FINISH FACE OF WALL.
 7. COORDINATE MISC. STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT.
 8. REFER TO DIMENSION PLANS FOR GENERAL PARTITION NOTES & PARTITION TYPES.

FLOOR PLAN LEGEND

- DOOR TAG, SEE DOOR SCHEDULE
- WINDOW TAG, SEE DOOR SCHEDULE SHEET
- ACCESSORY TAG, SEE ACCESSORY TYPES & INTERIOR ELEVATIONS
- KEYNOTE, SEE FLOOR PLAN KEYNOTE LEGEND
- STRUCTURAL GRID LINE
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION TO REMAIN

FLOOR PLAN KEYNOTES

- 1 INFILL WINDOW
- 2 HALF WALL
- 3 36X48 SHOWER

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CONSTRUCTION MANAGER
TBD

PROJECT TITLE / ADDRESS
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CONCORD, NH

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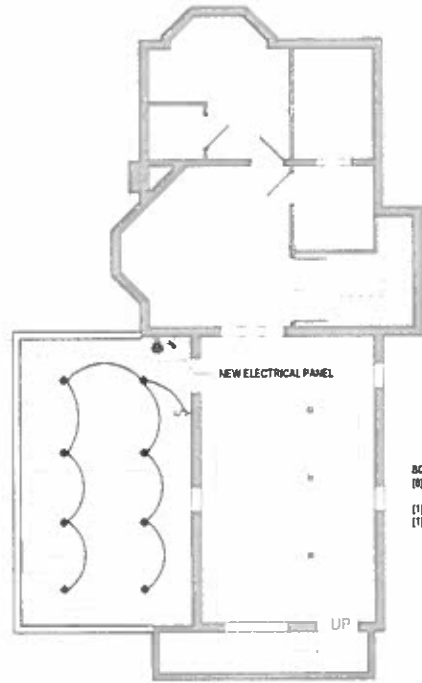
PROPOSED FLOOR PLANS

A112
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SCOPE
(8) CEILING MOUNTED LED FIXTURES
W/ (1) SWITCH
(1) PDA PANEL
(1) QUAD OUTLET



SCOPE
(2) 6' UNDER WALL SCONCES W/
(1) SWITCH EACH
(8) QUAD OUTLETS
(1) DUPLEX OUT LET
(2) REINSTALL EXISTING (EX) LIGHTS
(1) CEILING MTD. LIGHT JUMP OFF
EXISTING
(1) CEILING LIGHT W/ FAN & (1)
SWITCH

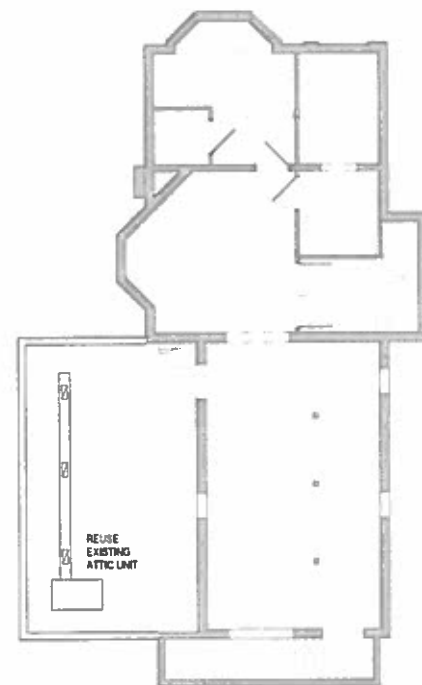


SCOPE
(2) REINSTALL EXISTING (EX) LIGHTS
W/ (1) SWITCH EACH
(17) QUAD OUTLETS
(1) DUPLEX OUT LET
(4) 6' LED UP LIGHTS W/ (1) NEW
SWITCH

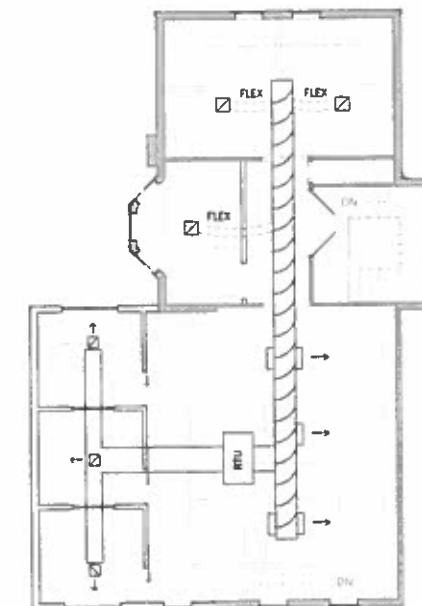
1 BASEMENT ELECTRICAL DIAGRAM
A103 1/8" = 1'-0"

2 FIRST FLOOR ELECTRICAL DIAGRAM
A00 1/8" = 1'-0"

3 SECOND FLOOR ELECTRICAL DIAGRAM
A00 1/8" = 1'-0"



REUSE
EXISTING
ATTIC UNIT



4 BASEMENT MECHANICAL DIAGRAM
A103 1/8" = 1'-0"

5 FIRST FLOOR MECHANICAL DIAGRAM
A00 1/8" = 1'-0"

6 SECOND FLOOR MECHANICAL DIAGRAM
A00 1/8" = 1'-0"

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

one eighth inch = one foot

TEMPLATE DATE: 07/12/2017

1
2
3
4
DATE: 8/13/2017



1 REAR ELEVATION
A111 1/4" = 1'-0"



2 RIGHT ELEVATION
A111 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO MECH DWGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

ELEVATION LEGEND

- KEYNOTE: SEE ELEVATION KEYNOTE LEGEND
- WINDOW TAG, SEE DOOR SCHEDULE SHEET
- CONTROL JOINT

ELEVATION KEYNOTES

- 1 1/2" PVC WATERBOARD TRIM
- HORIZONTAL SIDING MATCH EXISTING
- NOT USED
- 12" BUILT UP PVC CORNICE & TRIM
- 6" PVC CORNER BOARD, COLOR TO MATCH EXISTING
- CABLE SYSTEM W/ CREEPER PLANT GROWTH
- 6" PVC CORNER BOARD, COLOR TO MATCH EXISTING
- PVC PANELS W/ 4" PVC TRIM
- BOLLARD

WA
WARRENSTREET
ARCHITECTS

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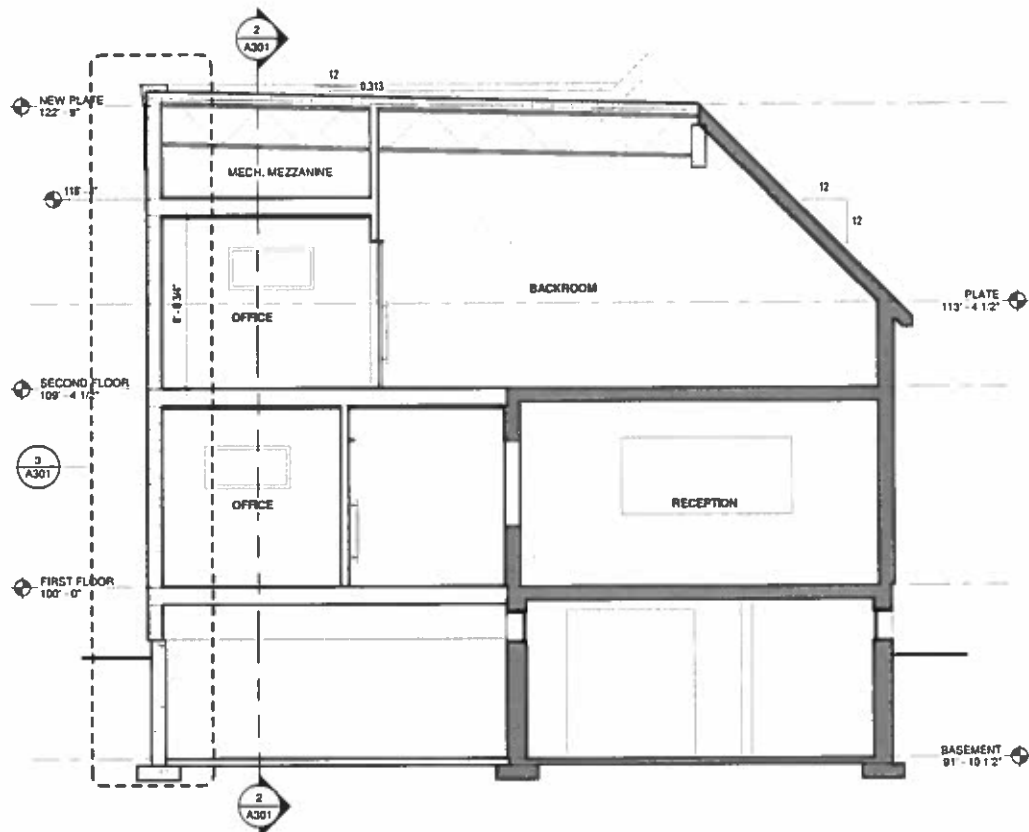
EXTERIOR ELEVATIONS

A202

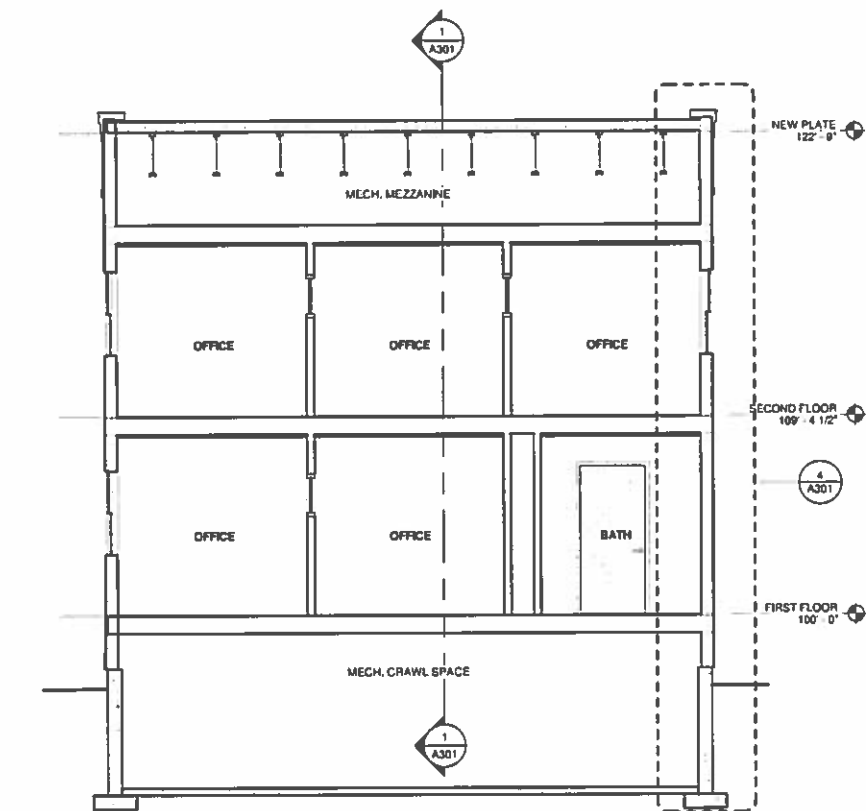
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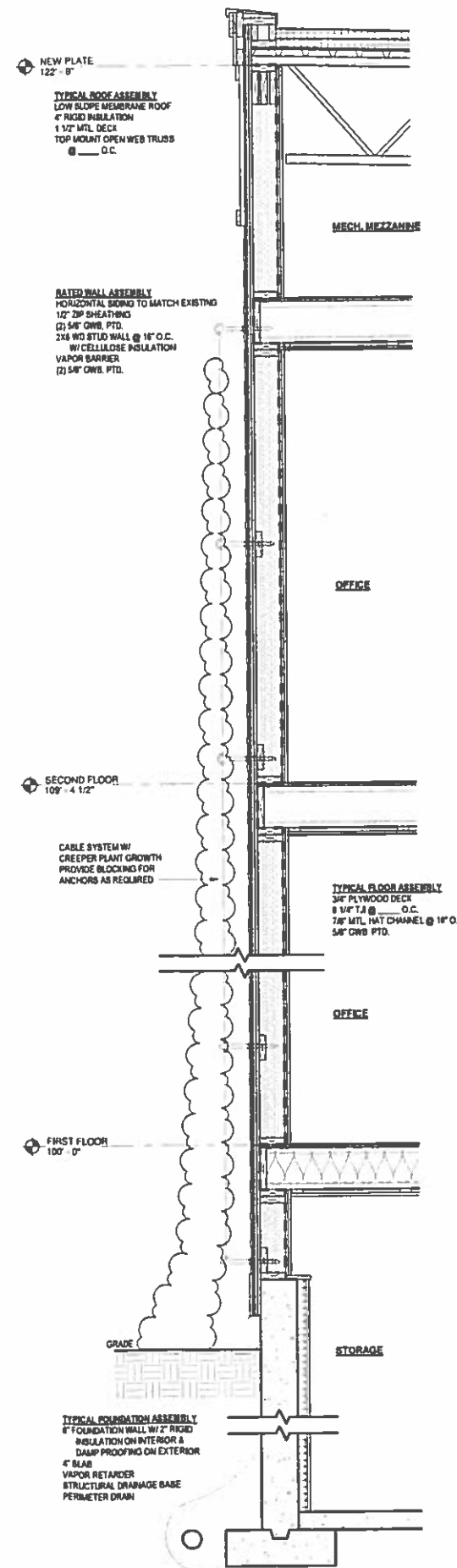
PROGRESS - NOT FOR CONSTRUCTION



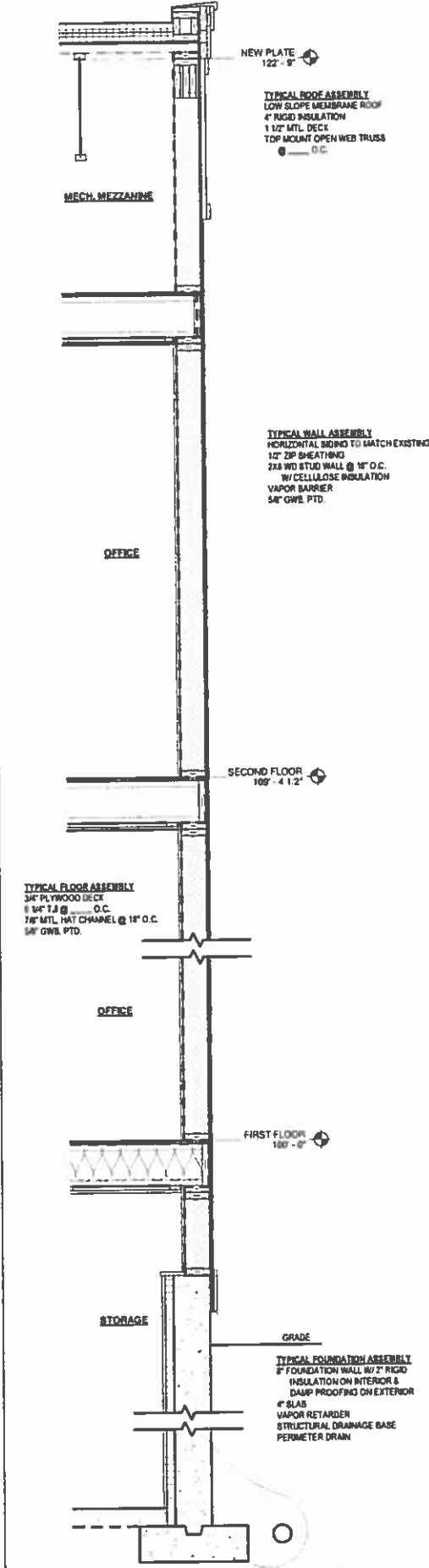
1 BUILDING SECTION
A111 1/4" = 1'-0"



2 BUILDING SECTION
A111 1/4" = 1'-0"



3 TYPICAL WALL SECTION
A301 3/4" = 1'-0"



4 TYPICAL WALL SECTION
A301 3/4" = 1'-0"