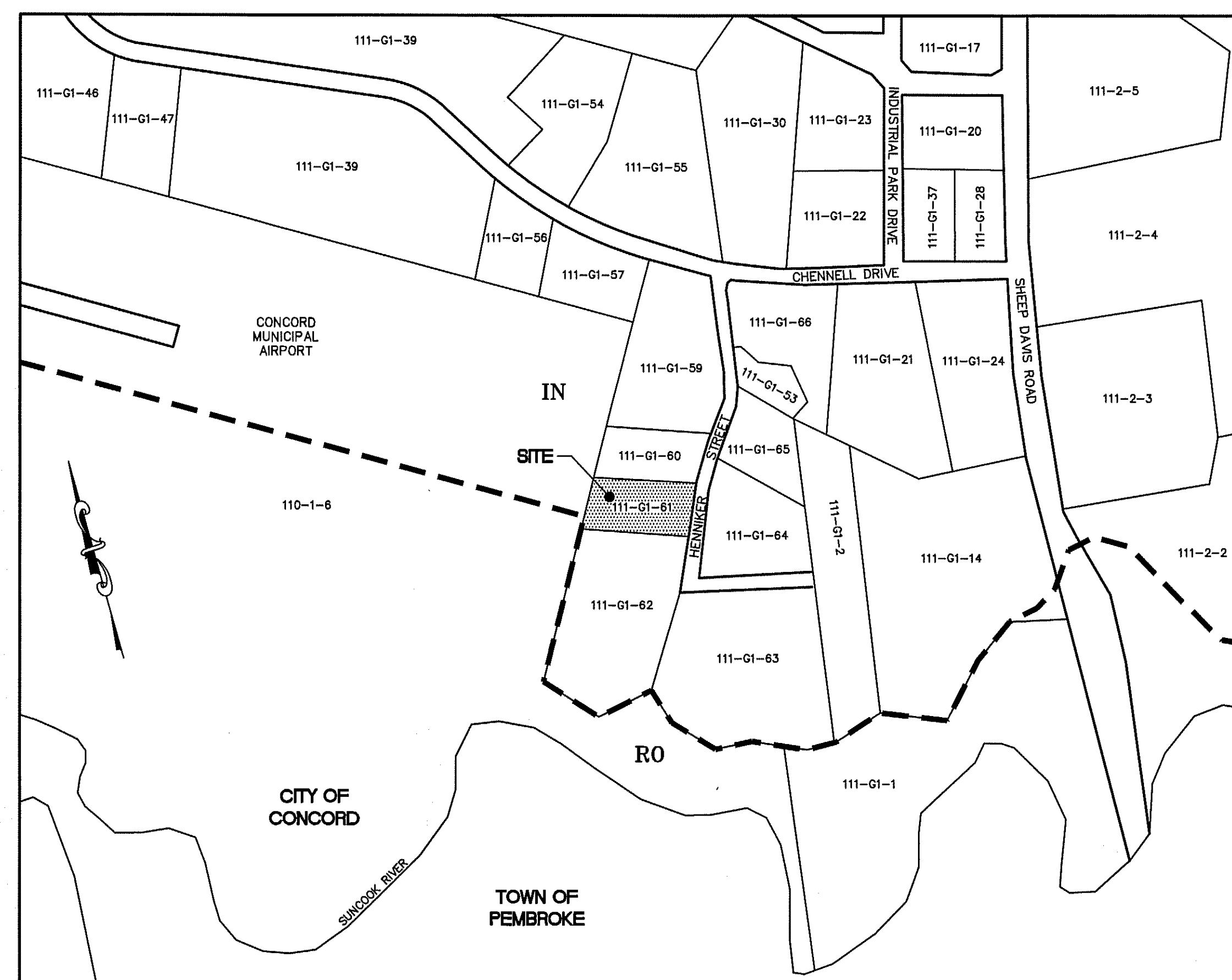
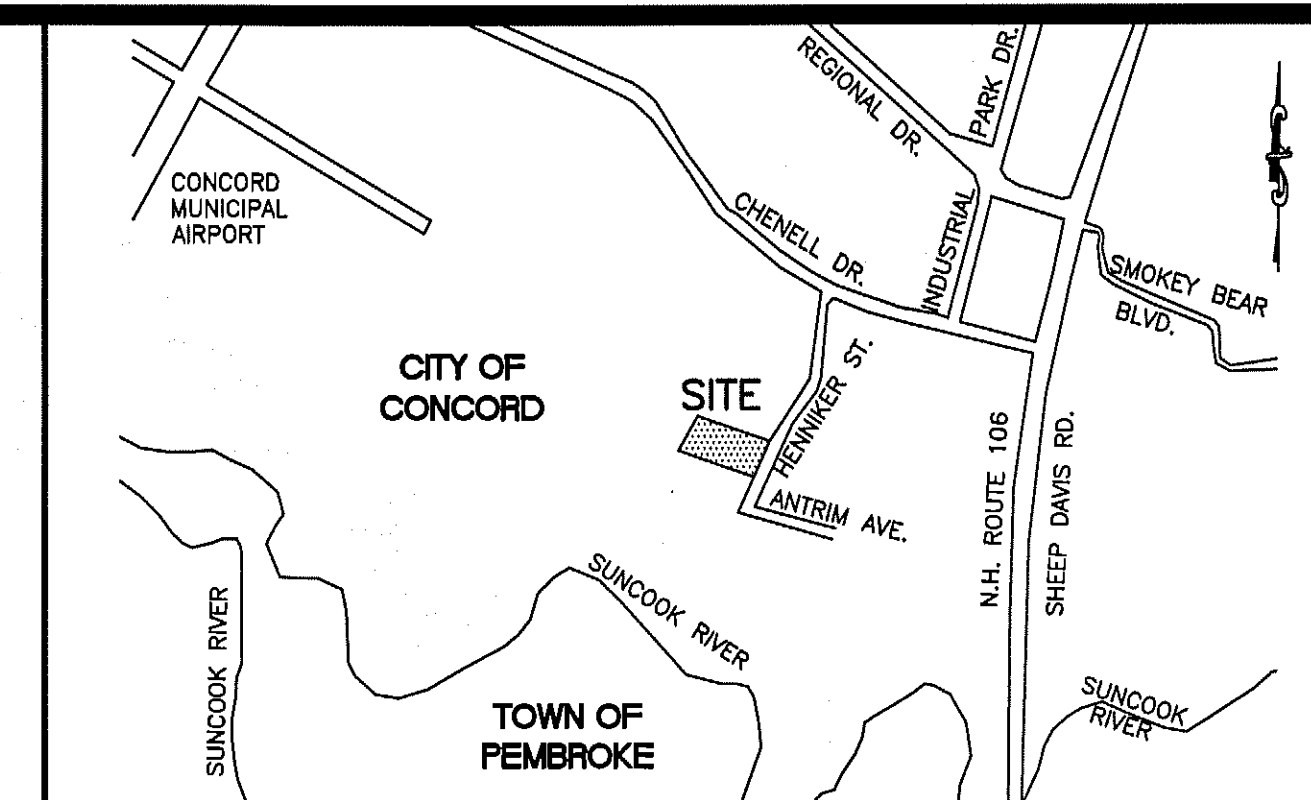
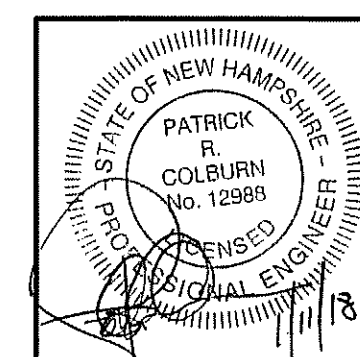
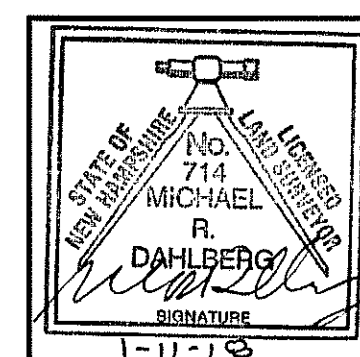


NON-RESIDENTIAL SITE PLAN
MAP 111 LOT G1-61
ADVANTAGE PLASTIC PRODUCTS, INC.
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY



OWNER OF RECORD / APPLICANT:
JWB REALTY, LLC
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE 03301-8520
(603) 227-9540

PREPARED BY:
KEACH-NORDSTROM ASSOCIATES, INC.
10 COMMERCE PARK NORTH, SUITE 3B
BEDFORD, NEW HAMPSHIRE 03110
(603) 627-2881



KNA
KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3E, Bedford, NH 03110 Phone (803) 827-2881

NOVEMBER 28, 2017
PROJECT NO. 15-0417-1

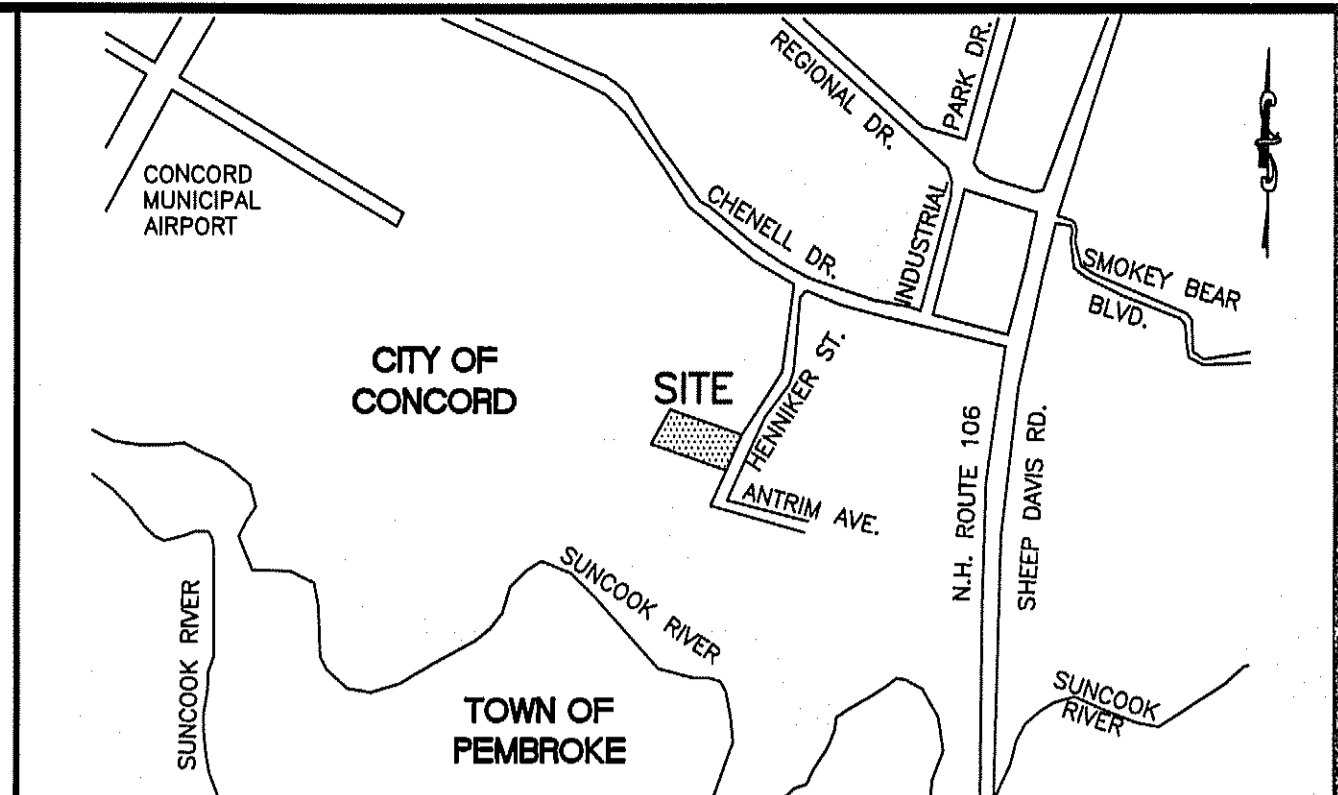
<u>SHEET TITLE</u>	<u>SHEET No.</u>
OVERVIEW PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS / DEMOLITION PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING AND DRAINAGE PLAN	5
EROSION CONTROL PLAN	6
LIGHTING PLAN	7
LANDSCAPE PLAN	8
CONSTRUCTION DETAILS	9 - 11

LEGEND

GB-F	STONE BOUND FOUND	G	GAS LINE
IPIN-F	IRON PIN FOUND	W	WATER LINE
U	UTILITY POLE	S	SEWER LINE
+	SIGN	SFM	SEWER FORCE MAIN
*	LIGHT	---	DRAINAGE LINE
+	GAS VALVE	---	TREELINE
+	WATER VALVE	EOP	EDGE OF PAVEMENT
+	HYDRANT	BCC	BITUMINOUS CONCRETE CURB
+	WATER SHUT OFF	EOP	SLOPED GRANITE CURB
+	SEWER MANHOLE	SOC	5' CONTOUR
+	DRAINAGE MANHOLE	EOP	1' CONTOUR
+	CATCH BASIN	---	BUILDING SETBACK
+	FLARED END SECTION	---	EASEMENT
+	ABUTTER LINE	---	ZONE LINE
+	PROPERTY LINE	---	ADDRESS #
+	WETLAND	---	
+	FENCE	---	
OHU	OVERHEAD UTILITIES		

REFERENCE PLANS:

- "SUBDIVISION, RE-SUBDIVISION & CONSOLIDATION PLAN," LAND OF CAPITAL REGIONAL DEVELOPMENT COUNCIL, SCALE: 1"=50', DATED DECEMBER 10, 2004. BY BURD ENGINEERING ASSOCIATES, M.C.R.D. PLAN NO. 17345
- "SITE DEVELOPMENT PLAN" FOR JWB REALTY LLC, SCALE 1"=20', DATED MAY 22, 2007. BY TRUE ENGINEERING, INC.



VICINITY PLAN

SCALE: 1" = 1,000'

NOTES:

- THE PURPOSE OF THIS PLAN IS TO PROPOSE EXPANSION OF THE EXISTING ADVANTAGE PLASTIC PRODUCTS, INC. FACILITY TO INCLUDE 10,100 S.F. OF ADDITIONAL WAREHOUSE SPACE AND ASSOCIATED PARKING AND CIRCULATION IMPROVEMENTS.
- AREA OF SUBJECT PARCEL = 81,449 SF OR 1.870 ACRES.
- MAP 111 LOT G1-61 INDICATES CITY OF CONCORD TAX ASSESSORS MAP AND LOT NUMBER.
- OWNER OF RECORD:
JWB REALTY LLC
38 HENNIKER ST.
CONCORD, NH 03301
BK.3031 PG. 0241
- THE SUBJECT PARCEL IS LOCATED WITHIN THE INDUSTRIAL DISTRICT (IN). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

REQUIRED:	EXISTING:	
- MINIMUM LOT AREA	40,000 SF	81,449 SF
- MINIMUM BUILDABLE AREA	20,000 SF	78,012 SF
- MINIMUM LOT FRONTAGE	200 FT	200.76 FT
- MINIMUM BUILDING SETBACKS:		
- FRONT	50 FT	100.77 FT
- SIDE	25 FT	46.95 FT
- REAR	30 FT	169.52 FT
- MAXIMUM LOT COVERAGE	85%	88.45
- MAXIMUM BUILDING HEIGHT	45 FT	16 FT
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING SEPTEMBER OF 2017.
- HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM IS NAVD88.
- BOUNDARY INFORMATION IS TAKEN FROM REFERENCE PLAN NO. 17345.
- THERE ARE NO WETLANDS ON THIS SITE, PER TES ENVIRONMENTAL CONSULTANTS, LLC ON JANUARY 4, 2018.
- SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF CONCORD MAP NUMBER 3301C0553E, PANEL 553 OF 7051, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- EXISTING AVIGATION EASEMENT M.C.R.D. BK. 2739, PG. 1702 STATES THAT NO BUILDING SHALL EXCEED AN ELEVATION OF 386.4' MSL.
- PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL CONSTRUCTION SIGN OFF, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE CITY ENGINEER IN ACCORDANCE WITH SECTION 12.09 OF THE SITE PLAN REGULATIONS. THE AS-BUILT DRAWINGS SHALL BE SURVEYED ON NH STATE PLANE COORDINATES AND NAVD 88 DATUM.
- ALL WORK PERFORMED ON BEHALF OF THIS PROJECT, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- SHOULD THE VOLUME OF ACCUMULATED SNOW EXCEED THE CAPACITY OF THE ONSITE STORAGE AS SHOWN ON THIS PLAN, THE EXCESS SNOW SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
- A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ONSITE. THE APPLICANT SHALL PICK UP ONE (1) SET OF SIGNED PLANS AT THE PLANNING OFFICE TO MAKE COPIES FOR THE PRE-CONSTRUCTION MEETING. A TOTAL OF FIVE (5) COPIES OF THE SIGNED PLAN SET SHALL BE PROVIDED BY THE APPLICANT AT THE PRE-CONSTRUCTION MEETING.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, PAYMENT OF INSPECTION FEES IN AN AMOUNT APPROVED BY THE CITY ENGINEER SHALL BE MADE. A PROJECT SCHEDULE SHOULD BE SUBMITTED A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING FOR USE IN ESTABLISHING THE DEPOSIT AMOUNTS AND A DEPOSIT SHALL BE SUBMITTED A MINIMUM OF THREE DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, DIGITAL INFORMATION SHALL BE PROVIDED TO THE CITY ENGINEER FOR INCORPORATION INTO THE CITY OF CONCORD GEOGRAPHIC INFORMATION SYSTEM (GIS) AND TAX MAPS. THE INFORMATION SHALL BE SUBMITTED IN ACCORDANCE WITH SECTION 12.08 OF THE SITE PLAN REVIEW REGULATIONS AND ALL INFORMATION SHALL BE CONVERTED TO A VERTICAL DATUM OF NAVD 88.
- PARKING CALCULATIONS:

REQUIRED:	EXISTING BUILDING	12,000 SF
	EXISTING MEZZANINE	912 SF
	PROPOSED ADDITION	12,912 SF
	TOTAL BUILDING AREA	25,824 SF
	MANUFACTURING / INDUSTRIAL REQUIRED 1 SPACE / 800 SF (23,012 / 800) = 29 SPACES	
	PROPOSED:	35 SPACES (INCLUDING 2 HANDICAP SPACES)
- LOADING CALCULATIONS:

REQUIRED:	2 SPACES FOR 20,001 - 60,000 SF
PROPOSED:	2 SPACES FOR 23,012 SF
- AREA OF WETLAND:

EXISTING	PROPOSED	
BLUFF / Ravines	0 SF	0 SF
SLOPES >15%	7,513 SF	9,416 SF
SLOPES >25%	5,546 SF	3,913 SF
IMPERVIOUS SURFACE AREA	41,756 SF	55,086 SF

NOTES - CONTINUED:

- PRIOR TO ANY SITE CLEARING:
 - LIMITS OF CLEARING MUST BE APPROVED BY PLANNING AND ENGINEERING.
 - SITE STABILIZATION PROVIDED; AND
 - EROSION CONTROL INSTALLED
- THE PROJECT FALLS WITHIN OR NEAR THE CONCORD AIRPORT OBSTRUCTION ZONE. THE CONTRACTOR SHALL COMPLETE FORM FAA 7460.1 NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION, PRIOR TO BEGINNING CONSTRUCTION.
- WAIVERS REQUESTED:
SECTION 22.07 (2) - TO ALLOW 3 FEET OF SEPARATION TO SEASONAL HIGH WATER FROM BOTTOM OF INFILTRATION SYSTEM.

OVERVIEW PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.

MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241



KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017

SCALE: 1" = 40'

PROJECT NO: 15-0417-1

SHEET 1 OF 11

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36

CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

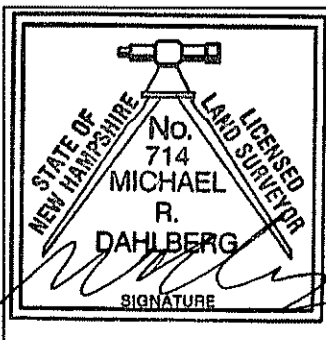
Approval of this plat is limited to lots as shown.

Clerk

OWNER OF MAP 111G BLOCK 1 LOT 61

SIGNATURE: *Wayne D. Johnson*
FOR JWB REALTY

DATE: 2018 Jan 11



CERTIFICATION:

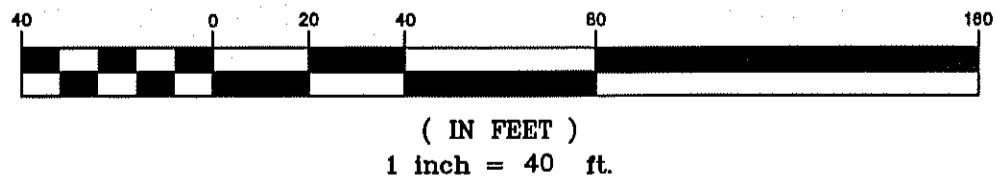
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2017. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).

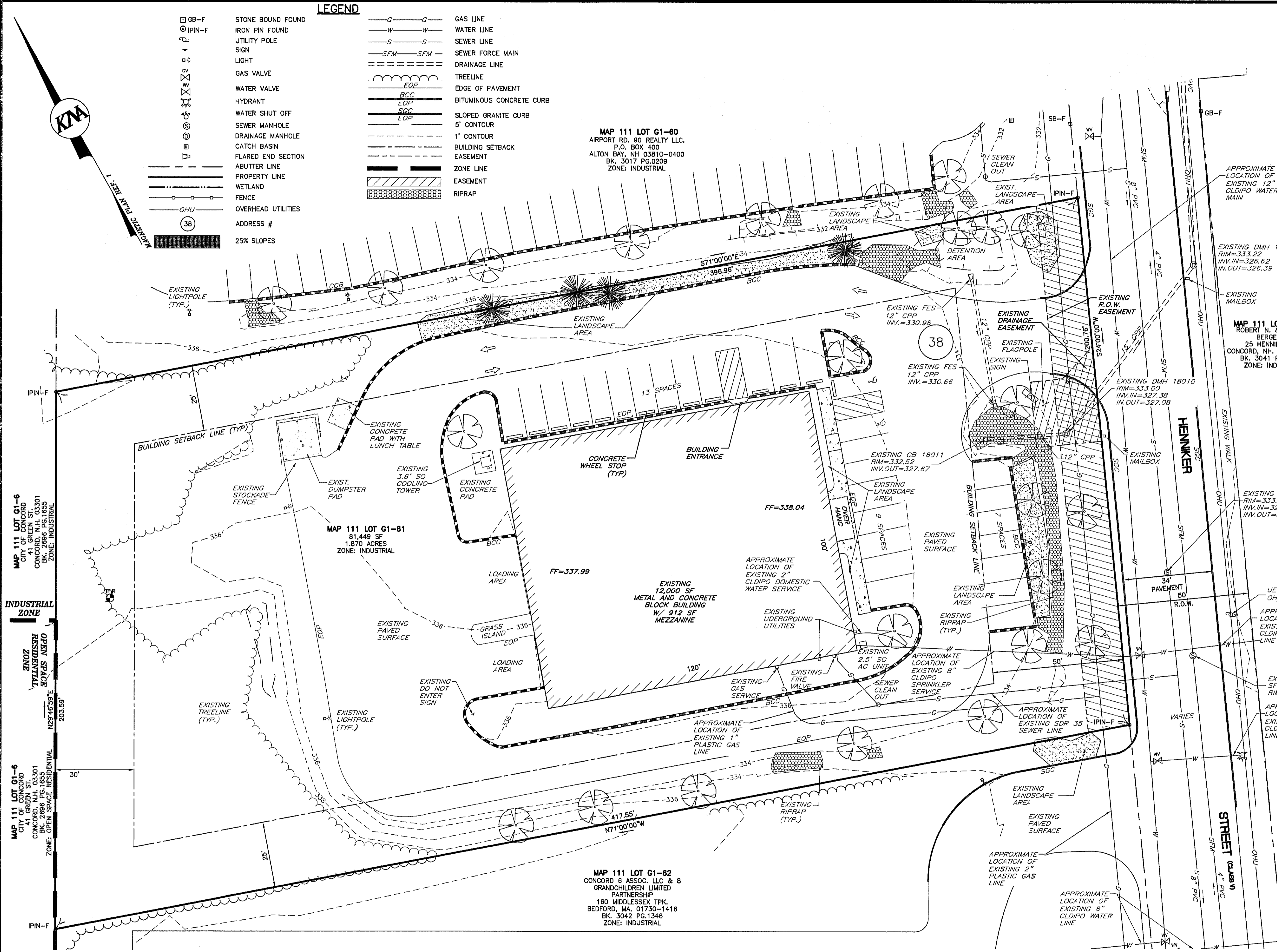
LICENSED LAND SURVEYOR

DATE: 1-11-18

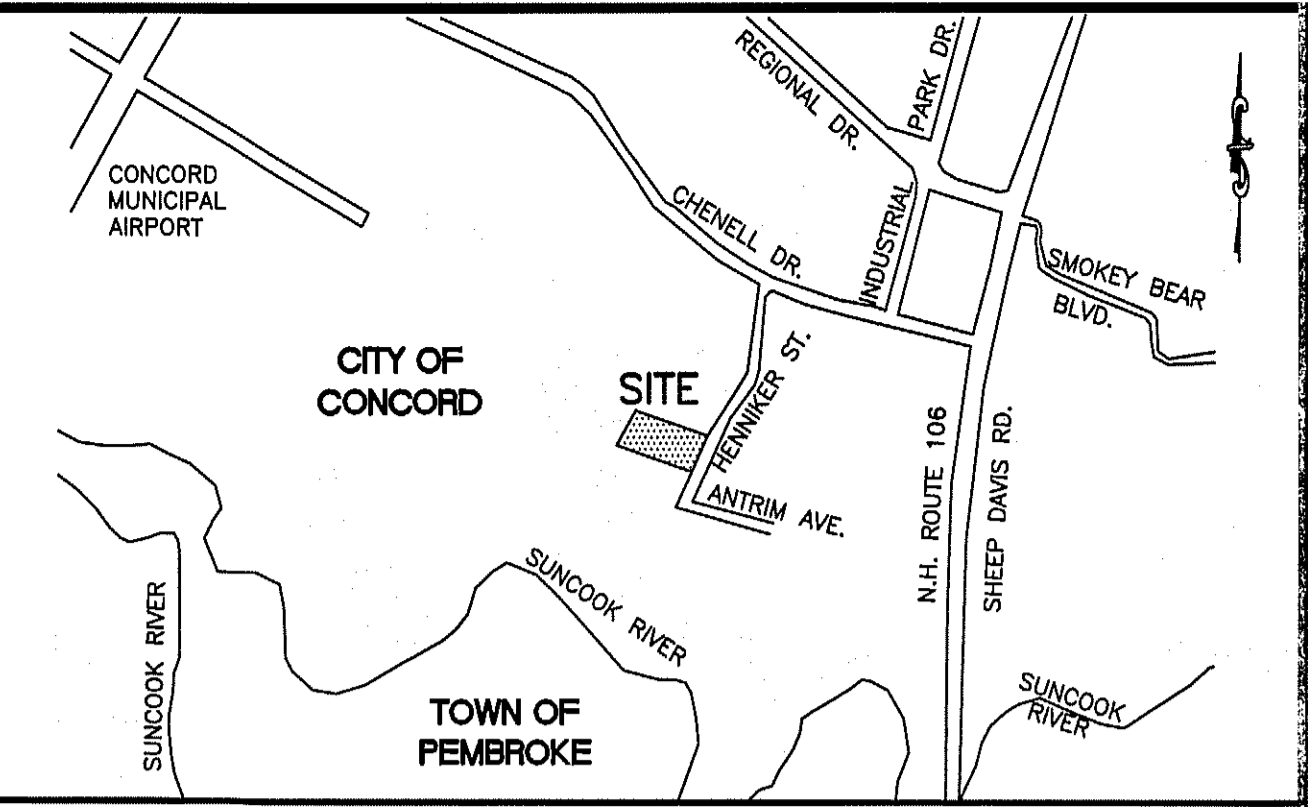


GRAPHIC SCALE





USDA SOIL MAP UNIT KEY		
SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%
SOURCE: WEB SOIL SURVEY, WWW.WEBSOILSURVEY.SCGOV.USDA.GOV		



VICINITY PLAN
SCALE: 1" = 1,000'

REFERENCE PLANS:

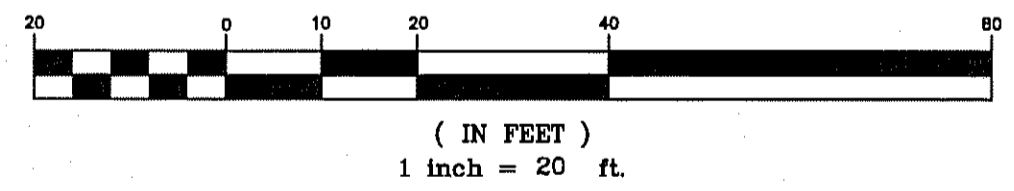
- "SUBDIVISION, RE-SUBDIVISION & CONSOLIDATION PLAN," LAND OF CAPITAL REGIONAL DEVELOPMENT COUNCIL, SCALE: 1"=50', DATED DECEMBER 10, 2004, BY BURD ENGINEERING ASSOCIATES, M.C.R.D. PLAN NO. 17345
- "SITE DEVELOPMENT PLAN" FOR JWB REALTY LLC, SCALE 1"=20', DATED MAY 22, 2007, BY TRUE ENGINEERING, INC.

NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON TAX MAP 111 LOT G1-81 AS OF THE DATE OF FIELD SURVEY, AND NO OTHER PURPOSE.
- AREA OF SUBJECT PARCEL = 81,449 SF, OR 1.870 ACRES.
- MAP 111 LOT G1-81 INDICATES CITY OF CONCORD TAX ASSESSORS MAP AND LOT NUMBER.
- OWNER OF RECORD:
JWB REALTY LLC
38 HENNIKER ST.
CONCORD, NH 03301
BK. 3031 PG. 0241
- THE SUBJECT PARCEL IS LOCATED WITHIN THE INDUSTRIAL DISTRICT (I). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:

MINIMUM LOT AREA	REQUIRED: 40,000 SF	EXISTING: 81,449 SF
MINIMUM BUILDING AREA	20,000 SF	78,012 SF
MINIMUM LOT FRONTAGE	200 FT	200.76 FT
MINIMUM BUILDING SETBACKS:		
FRONT	50 FT	100.77 FT
SIDE	25 FT	48.95 FT
REAR	30 FT	189.52 FT
MAXIMUM LOT COVERAGE	85%	68.45
MAXIMUM BUILDING HEIGHT	45 FT	18 FT
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING SEPTEMBER OF 2017.
- HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM IS NAVD 88.
- BOUNDARY INFORMATION IS TAKEN FROM REFERENCE PLAN NO. 1
- THERE ARE NO WETLANDS ON THIS SITE. PER TES ENVIRONMENTAL CONSULTANTS, LLC ON JANUARY 4, 2018.
- SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF CONCORD MAP NUMBER 3301CD553E, PANEL 553 OF 7051, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
- EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MERRIMACK COUNTY REGISTRY OF DEEDS, OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
- EXISTING AVIGATION EASEMENT M.C.R.D. BK. 2739, PG. 1702 STATES THAT NO BUILDING SHALL EXCEED AN ELEVATION OF 386.4' MSL.

GRAPHIC SCALE



EXISTING CONDITIONS PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.
MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

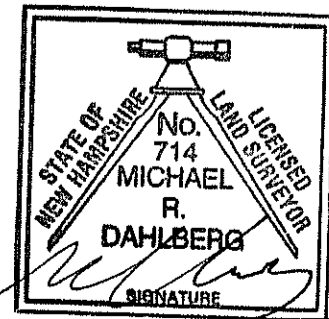
JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241



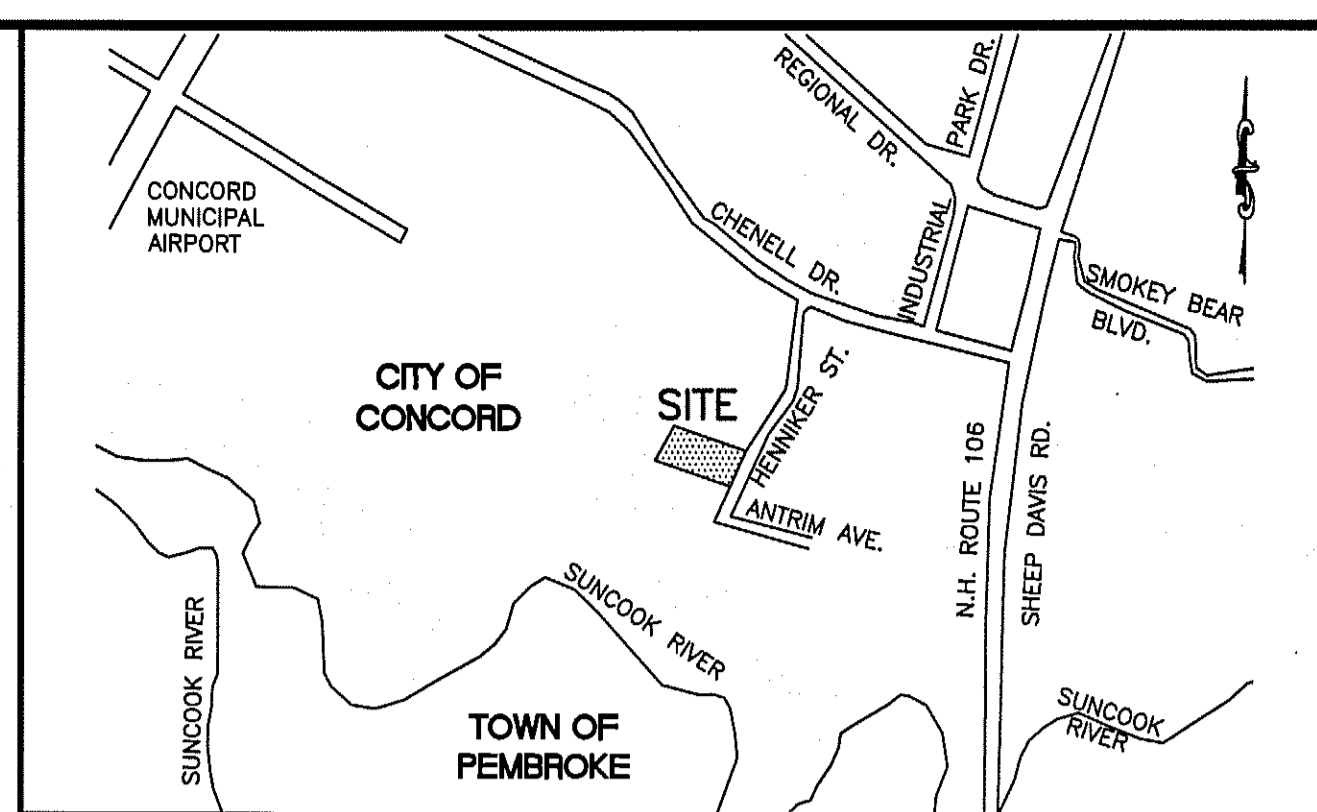
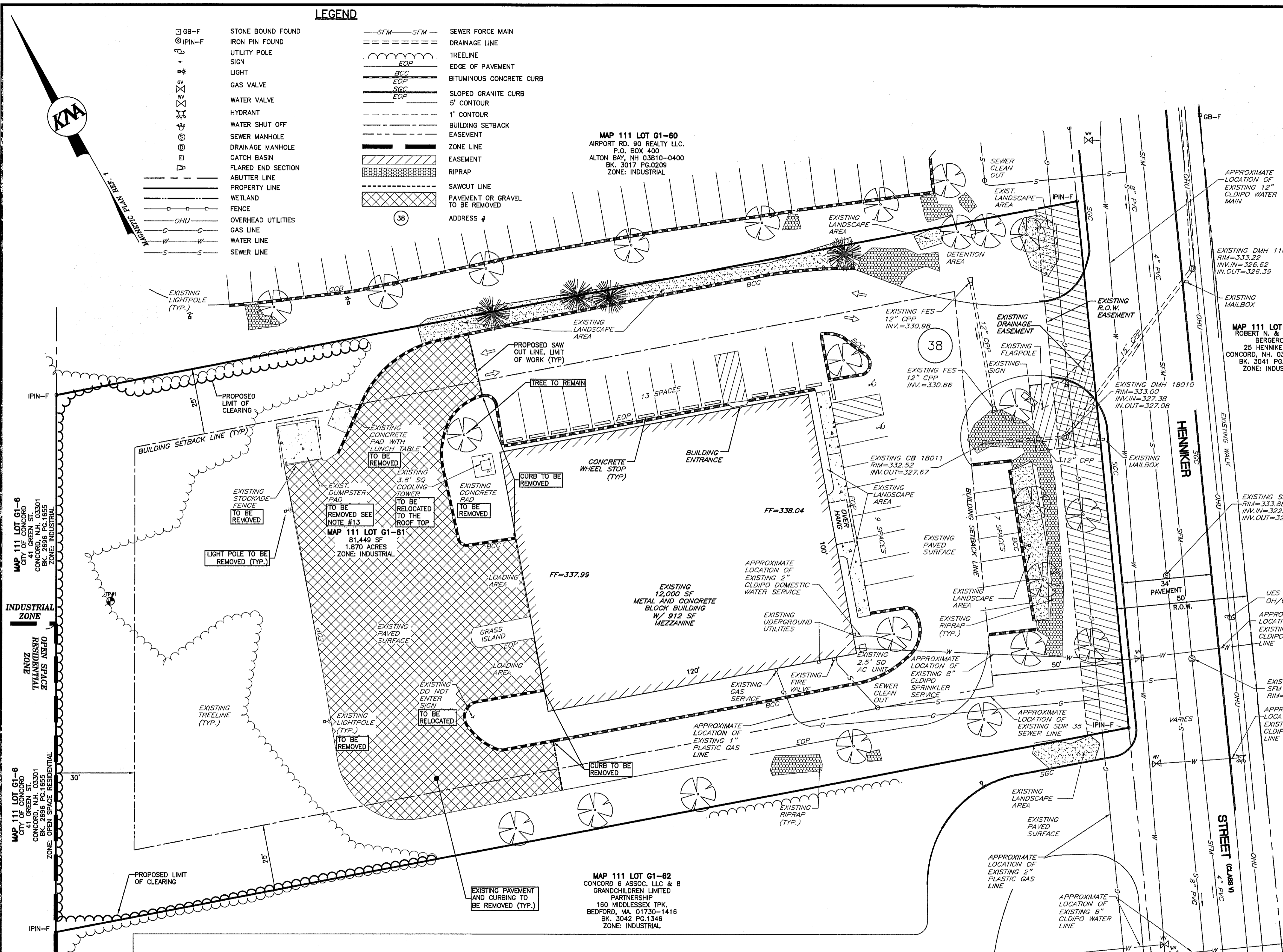
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2081

CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING SEPTEMBER OF 2017. SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

Michael R. Dahlberg
LICENSED LAND SURVEYOR
DATE: 1-11-18



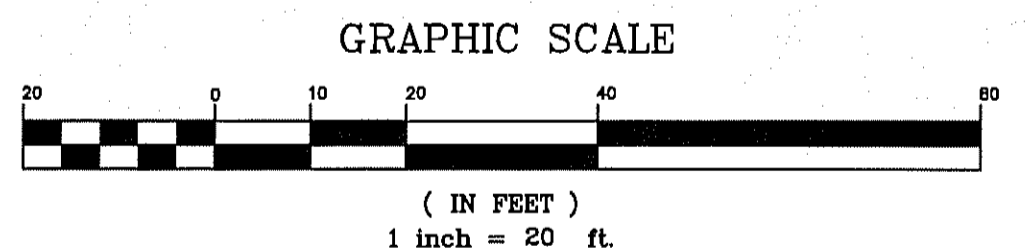
REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: SEPTEMBER 15, 2017		SCALE: 1" = 20'	
PROJECT NO: 15-0417-1		SHEET 2 OF 11	



VICINITY PLAN
SCALE: 1" = 1,000'

NOTES:

1. ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
2. STRIP AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
3. REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, LIGHT POLES, AND SIGNAGE, STRUCTURES, AND UTILITIES FROM THE PROJECT AREA OFFSITE.
4. EXISTING ASPHALT REMOVED FROM THE SITE AS PART OF THIS SITE PLAN SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFFSITE AND DISPOSED OF BY AN APPROVED METHOD.
5. DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
6. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
7. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR PER CITY OWNED PROPERTY.
8. THE CONTRACTOR SHALL APPLY FOR A CONSTRUCTION PERMIT TO APPLY FOR THE PERMIT.
9. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
10. THE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
11. CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL OF UTILITIES.
12. PER CITY ORDINANCE ARTICLE 26-9, THE PROJECT WILL REQUIRE A DEMOLITION PERMIT WHICH IS AVAILABLE FROM CODE ADMINISTRATION DIVISION.
13. ALL ITEMS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.
14. PRESERVE AND PROTECT EXISTING DUMPSTER ENCLOSURE FOR REUSE IF IN GOOD CONDITION.



REMOVALS/DEMOLITION PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.

MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

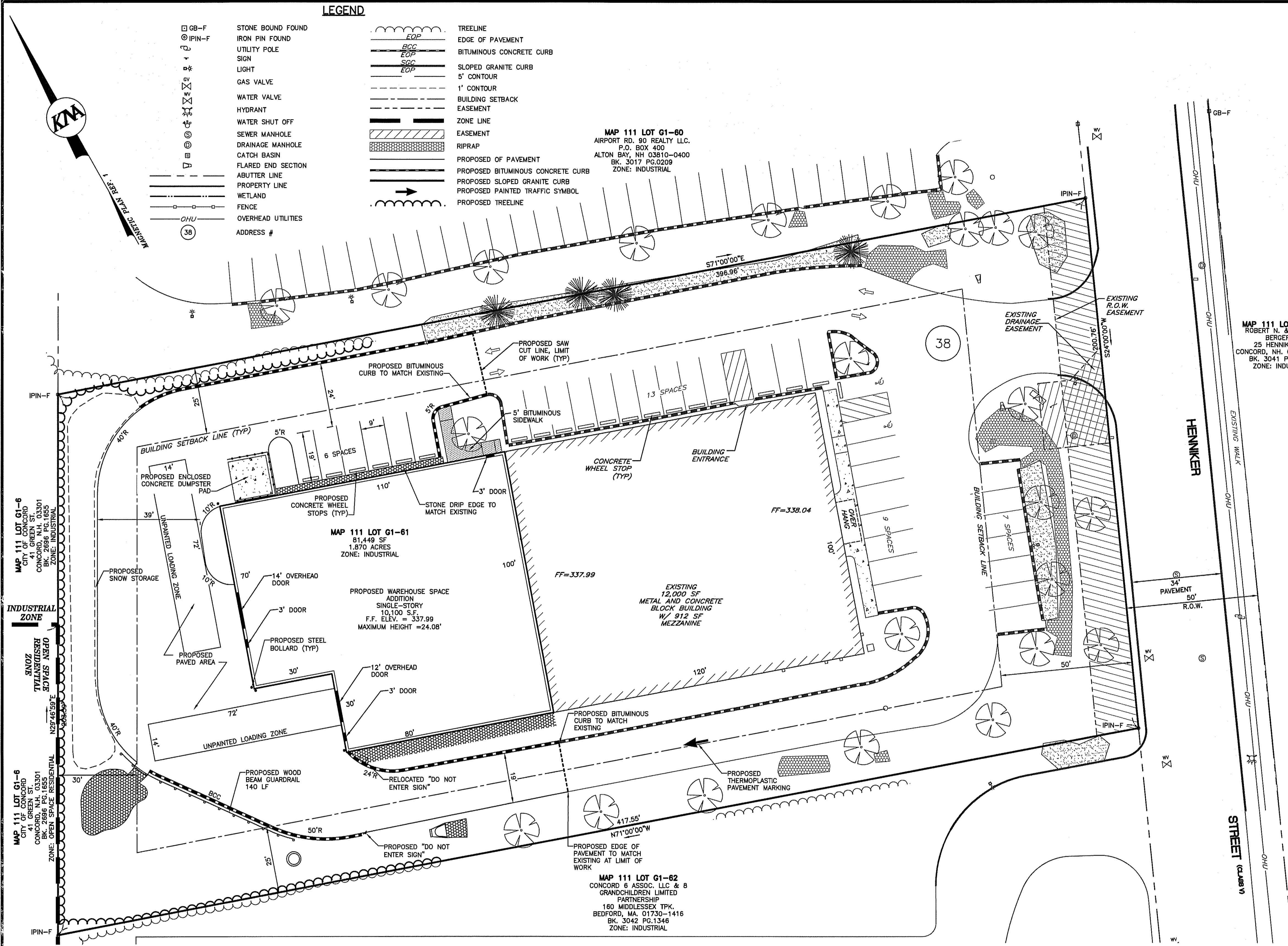
JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241

KNA KEACH-NORDSTROM ASSOCIATES, INC.

Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: SEPTEMBER 15, 2017		SCALE: 1" = 20'	
PROJECT NO: 15-0417-1		SHEET 3 OF 11	

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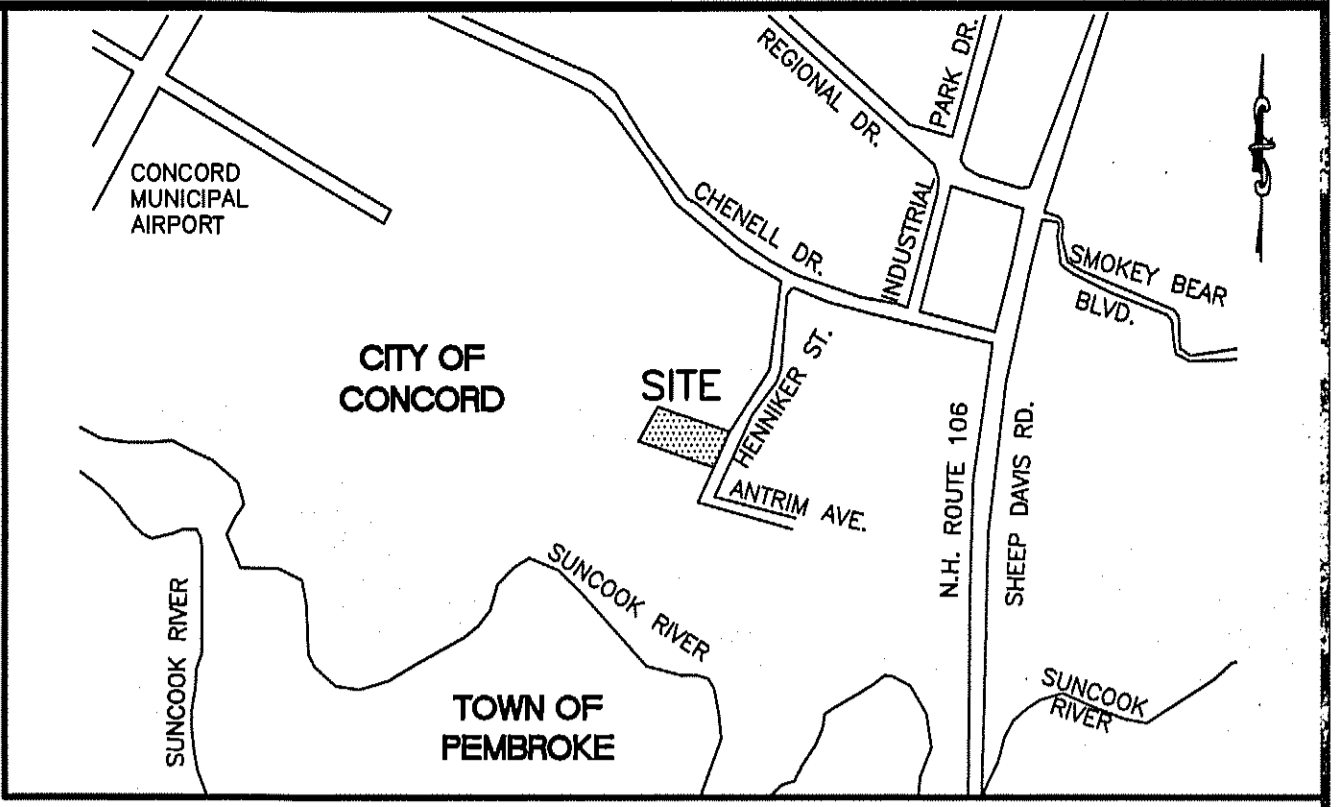
- LEGEND**
- | | | | |
|--------------------|--------------------|-----|-----------------------------------|
| GB-F | STONE BOUND FOUND | EOP | TREELINE |
| IPIN-F | IRON PIN FOUND | BCC | EDGE OF PAVEMENT |
| UTILITY POLE | UTILITY POLE | EOP | BITUMINOUS CONCRETE CURB |
| SIGN | SIGN | SGC | SLOPED GRANITE CURB |
| LIGHT | LIGHT | EOP | 5' CONTOUR |
| GAS VALVE | GAS VALVE | --- | 1' CONTOUR |
| WATER VALVE | WATER VALVE | --- | BUILDING SETBACK |
| HYDRANT | HYDRANT | --- | EASEMENT |
| WATER SHUT OFF | WATER SHUT OFF | --- | ZONE LINE |
| SEWER MANHOLE | SEWER MANHOLE | --- | EASEMENT |
| DRAINAGE MANHOLE | DRAINAGE MANHOLE | --- | RIPRAP |
| CATCH BASIN | CATCH BASIN | --- | PROPOSED OF PAVEMENT |
| FLARED END SECTION | FLARED END SECTION | --- | PROPOSED BITUMINOUS CONCRETE CURB |
| ABUTTER LINE | ABUTTER LINE | --- | PROPOSED SLOPED GRANITE CURB |
| PROPERTY LINE | PROPERTY LINE | --- | PROPOSED PAINTED TRAFFIC SYMBOL |
| WETLAND | WETLAND | --- | PROPOSED TREELINE |
| FENCE | FENCE | --- | |
| OVERHEAD UTILITIES | OVERHEAD UTILITIES | --- | |
| ADDRESS # | ADDRESS # | --- | |

MAP 111 LOT G1-60
AIRPORT RD. 90 REALTY LLC.
P.O. BOX 400
ALTON BAY, NH 03810-0400
BK. 3017 PG.0209
ZONE: INDUSTRIAL

MAP 111 LOT G1-61
81,449 SF
1,870 ADRES
ZONE: INDUSTRIAL
PROPOSED WAREHOUSE SPACE
ADDITION
SINGLE-STORY
10,100 S.F.
F.F. ELEV. = 337.99
MAXIMUM HEIGHT = 24.08'

MAP 111 LOT G1-62
CONCORD 6 ASSOC. LLC & 8
GRANDCHILDREN LIMITED
PARTNERSHIP
180 MIDDLESEX TPK.
BEDFORD, MA. 01730-1416
BK. 3042 PG.1346
ZONE: INDUSTRIAL

TABULATION:
GROSS ACREAGE - 81,449 S.F. "INDUSTRIAL"
PROPOSED BUILDING COVERAGE - 22,100 SF (27.1%) "MANUFACTURING, FABRICATION, AND ASSEMBLY"
PROPOSED PAVEMENT AREA - 32,986 SF (40.4%)
LANDSCAPE ISLANDS - 1,013 SF (1.2%)
IMPERVIOUS SURFACE COVERAGE - 55,086 (67.6%)
NET LAND AREA - 78,012 SF
PARKING CALCULATIONS:
REQUIRED: EXISTING BUILDING 12,000 SF
EXISTING MEZZANINE 912 SF
12,912 SF
PROPOSED ADDITION 10,100 SF
TOTAL BUILDING AREA 23,012 SF
MANUFACTURING / INDUSTRIAL REQUIRED 1 SPACE / 800 SF (23,012 / 800) = 29 SPACES
PROPOSED: 35 SPACES (INCLUDING 2 HANDICAP SPACES)

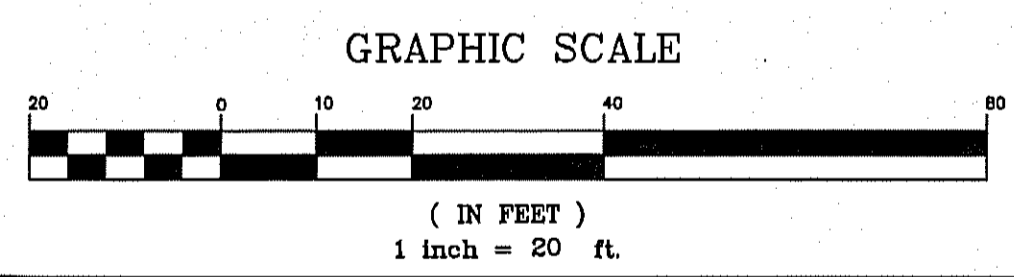


VICINITY PLAN
SCALE: 1" = 1,000'

SEE SHEET 1 FOR REFERENCE
PLANS & GENERAL NOTES

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated:
Approval of this plot is limited to lots as shown.
Clerk

LOAM & SEED ALL DISTURBED
AREAS (TYP.)



NON-RESIDENTIAL SITE LAYOUT PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.
MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:
JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2661

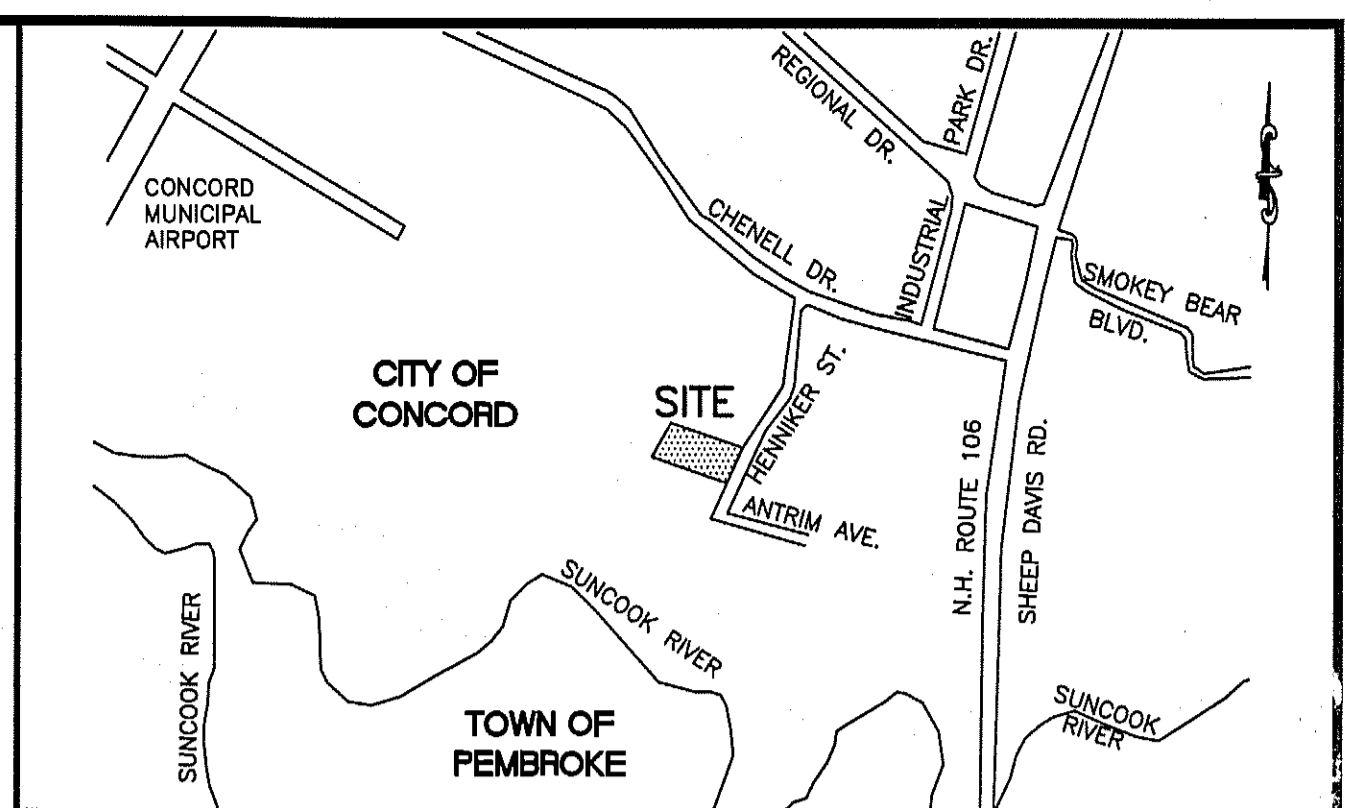
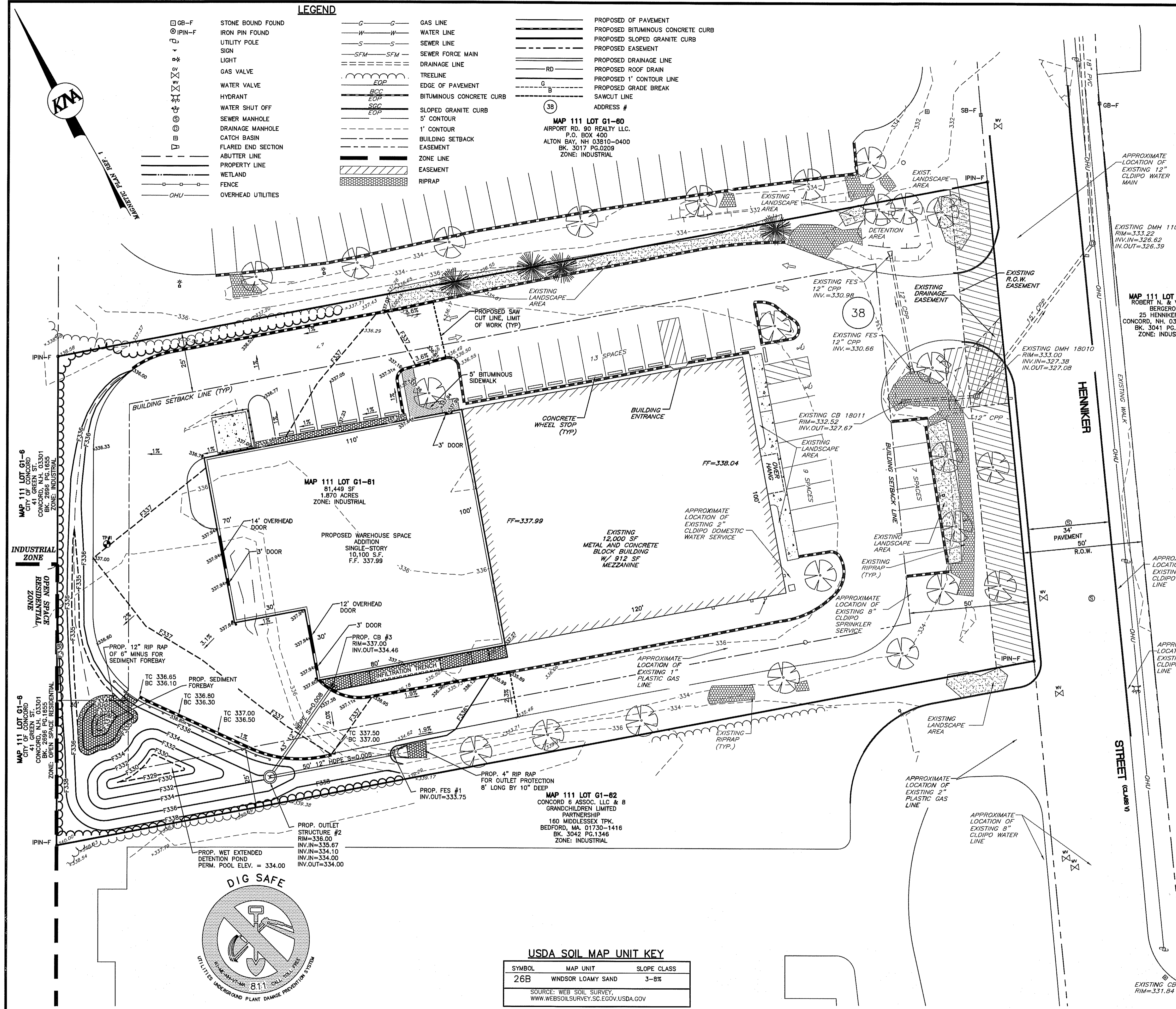
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017
PROJECT NO: 15-0417-1

SCALE: 1" = 20'
SHEET 4 OF 11

MAP 111 LOT G1-64
ROBERT N. & VIRGINIA
BERGERON
25 HENNIKER ST.
CONCORD, NH. 03301-8528
BK. 3041 PG. 0305
ZONE: INDUSTRIAL

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VICINITY PLAN

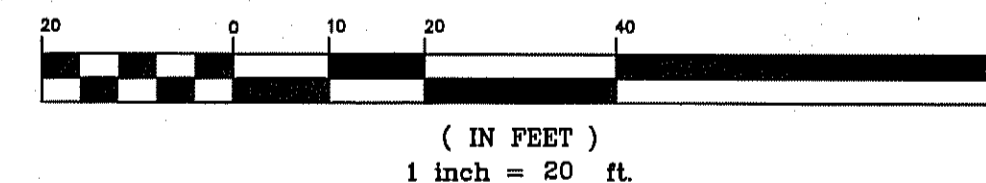
SCALE: 1" = 1,000'

CONSTRUCTION NOTES:

1. ALL WORK SHALL CONFORM TO THE CITY OF CONCORD, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A CITY STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
2. PARKING LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
4. ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. ALL DISTURBED AREAS SHALL RECEIVE 6" LOAM AND SHALL BE SEED.
6. PLUMBING OF UTILITIES FOR PROPOSED ADDITION WILL BE FROM WITHIN EXISTING BUILDING, THEREFORE NO NEW BUILDING UTILITIES ARE REQUIRED/PROPOSED.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

GRAPHIC SCALE



GRADING AND DRAINAGE PLAN ADVANTAGE PLASTIC PRODUCTS, INC.

MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241

KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS

No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017

SCALE: 1" = 20'

PROJECT NO: 15-0417-1

SHEET 5 OF 11

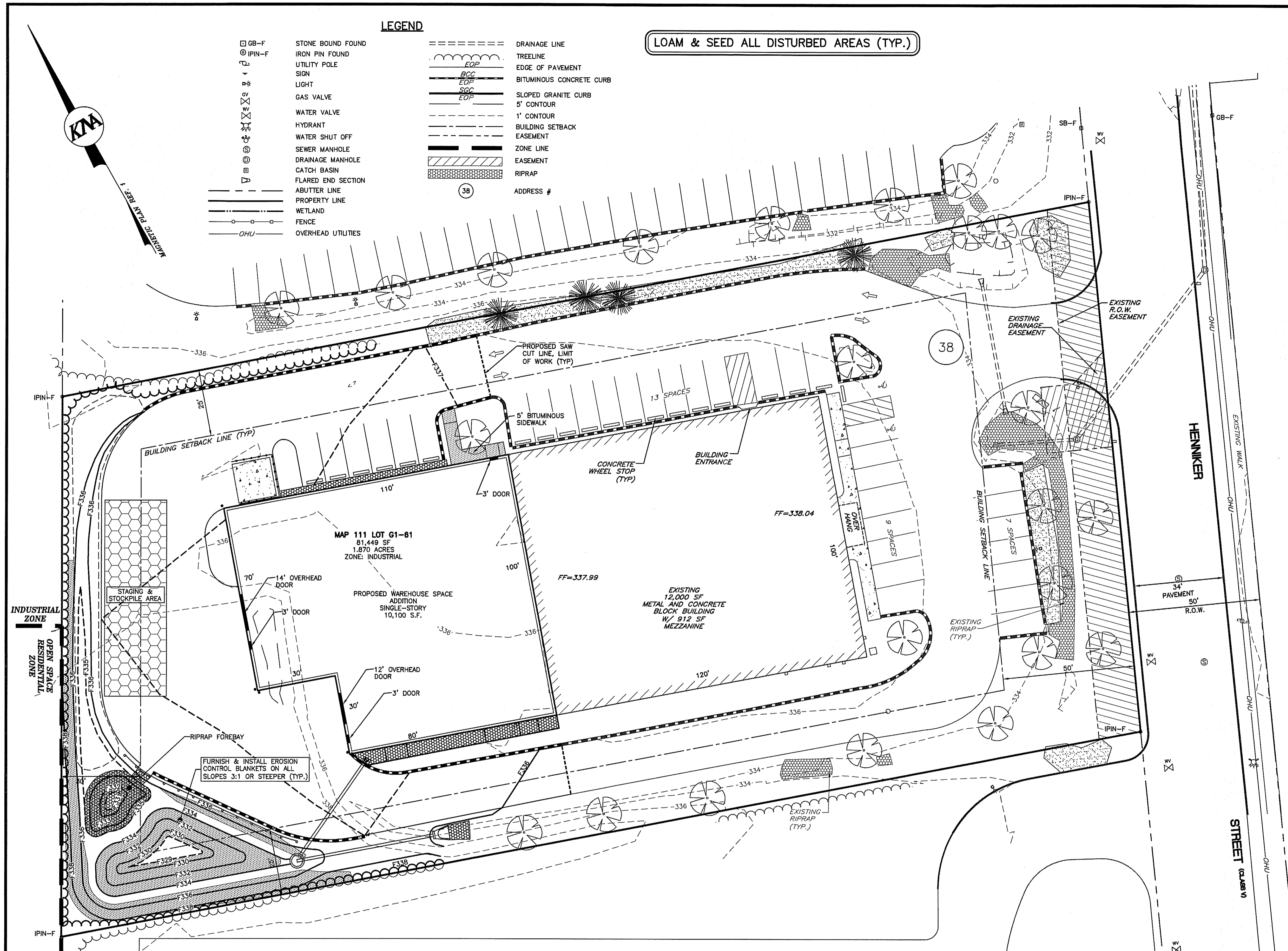
USDA SOIL MAP UNIT KEY

SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%

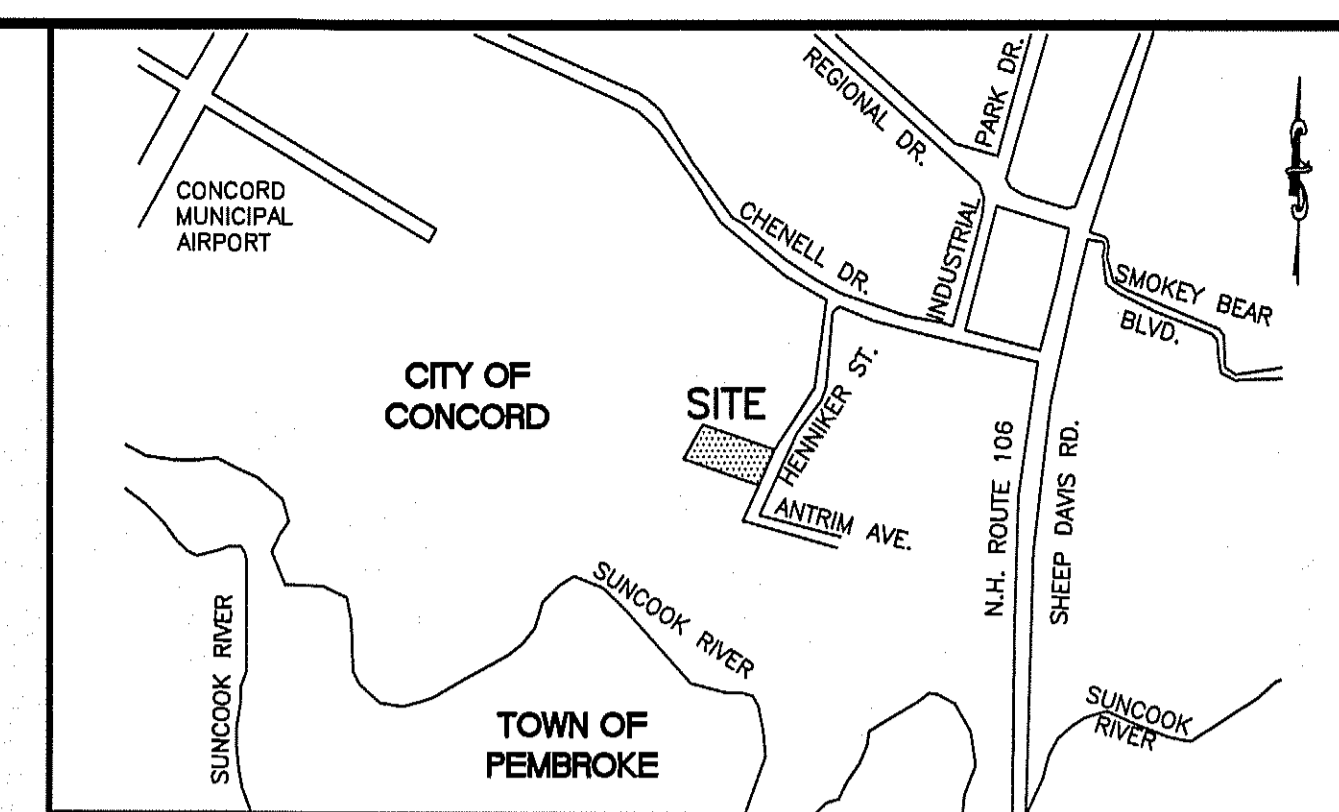
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WWW.WEBSOILSURVEY.SC.EGOV.USDA.GOV



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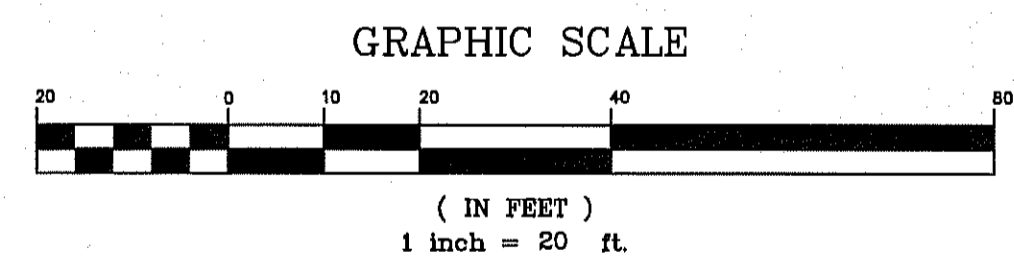
USDA SOIL MAP UNIT KEY		
SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%
SOURCE: WEB SOIL SURVEY, WWW.WEBSOILSURVEY.SC.EGOV.USDA.GOV		



VICINITY PLAN
SCALE: 1" = 1,000'

- EROSION CONTROL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
 2. ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
 3. WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
 4. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
 5. THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
 6. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
 7. OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
 8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
 9. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
 10. THE CITY OF CONCORD SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.

EROSION & SEDIMENT CONTROL LEGEND	
	PERMANENT OUTLET PROTECTION APRON (RIP RAP)
	LIMITS OF CLEARING
	STAGING AND STOCKPILE AREA
	EROSION CONTROL BLANKETS



EROSION CONTROL PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.
MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:
JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH 03301-8528
M.C.R.D. BK. 3031 PG. 0241

KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: SEPTEMBER 15, 2017		SCALE: 1" = 20'	
PROJECT NO: 15-0417-1		SHEET 6 OF 11	

GB-F
IPIN-F

STONE BOUND FOUND
IRON PIN FOUND
UTILITY POLE
SIGN
LIGHT
GAS VALVE
WATER VALVE
HYDRANT
WATER SHUT OFF
SEWER MANHOLE
DRAINAGE MANHOLE
CATCH BASIN
FLARED END SECTION

ABUTTER LINE
PROPERTY LINE
WETLAND
FENCE
OVERHEAD UTILITIES
DRAINAGE LINE
TREELINE
EDGE OF PAVEMENT
BITUMINOUS CONCRETE CURB
SLOPED GRANITE CURB
BUILDING SETBACK
EASEMENT
ZONE LINE
RIPRAP
PROPOSED OF PAVEMENT
PROPOSED BITUMINOUS CONCRETE CURB
PROPOSED SLOPED GRANITE CURB

LEGEND

LANDSCAPE NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
- ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOWN HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
- IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
- PLANTING BEDS AND SAUCERS WITHIN THE LIMITS OF CONDO UNITS 2 AND 3 SHALL RECEIVE 6" MINIMUM THICKNESS OF TOPSOIL UNDER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
- PLANTING BEDS WITHIN THE LIMITS OF CONDO UNIT 1 SHALL RECEIVE A MINIMUM TOPSOIL DEPTH OF 12 INCHES. TWO LAYERS OF WEED BARRIER MADE FROM FIBERGLASS AND ULTRA-VIOLET LIGHT RESISTANT SHALL BE PLACED OVER ALL PLANTING BEDS PRIOR TO MULCHING.
- MINIMUM TOPSOIL DEPTH IN LAWN AREAS AND ALL OTHER DISTURBED AREAS SHALL BE 6".
- MULCH SHALL BE MINIMUM 3" THICKNESS CONSISTING OF 50% SHREDDED BARK AND 50% WOOD CHIPS, 3/4 TO 2 INCH IN SIZE, UNIFORMLY MIXED AND FREE OF ELM WOOD. MULCH TO BE PLACED UNIFORMLY OVER THE PLANTING BED ALLOWING NO WEED BARRIER TO BE SEEN.
- PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
- THE APPLICANT OR THEIR SUCCESSORS SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL PLANTING AND OTHER LANDSCAPE FEATURES. PLANT MATERIALS SHALL BE MAINTAINED ALIVE, HEALTHY AND FREE FROM PESTS AND DISEASE.
- EXISTING TREES SPECIFIED TO REMAIN AND ARE USED TO MEET THE PARKING LOT LANDSCAPING REQUIREMENTS SHALL BE REPLACED BY THE OWNER IF THEY DO NOT SURVIVE THE CONSTRUCTION PROCESS OR OTHERWISE IN PERPETUITY.

LANDSCAPE IRRIGATION SYSTEM DESIGN NOTES:

- LANDSCAPE/IRRIGATIONS SYSTEM CONTRACTOR SHALL FURNISH AND INSTALL AN UNDERGROUND IRRIGATION SYSTEM CAPABLE OF PROVIDING SEASONAL COVERAGE OVER THOSE AREAS DESIGNATED ON THIS PLAN.
- PRIOR TO THE INSTALLATION OF IRRIGATION SYSTEM, LANDSCAPE/IRRIGATION SYSTEM CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF SYSTEM TOGETHER WITH CATALOGUE CUTS OF ALL HEADS, VALVING, CONTROLLER EQUIPMENT, PIPING AND BACKFLOW PREVENTION EQUIPMENT AND APPURTENANCES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL. INSTALLATION OF SYSTEM SHALL NOT COMMENCE UNTIL DESIGN ENGINEER HAS APPROVED SAID SHOP DRAWINGS IN WRITING AND INFORMED THE GENERAL CONTRACTOR OF THE SAME.
- BACKFLOW PREVENTION AND WATER SUPPLY CONNECTIONS TO CONFORM TO THE REQUIREMENTS OF THE LOCAL WATER PRECINCT.

LOAM & SEED ALL DISTURBED AREAS (TYP.)

LANDSCAPE CALCULATIONS

REQUIRED PARKING LOT TREES:
PROPOSED PAVED AREA: *14,679 SF
TREES REQUIRED: (1 TREE/1,000 SF x 13,189): 13 TREES REQUIRED
TREES PROVIDED: 13 TOTAL TREES PROVIDED
* INCLUDES PARKING SPACES, INTERNAL LANDSCAPE ISLANDS, ACCESS AISLES, DRIVEWAYS, FIRE LANES, AND OTHER VEHICULAR CIRCULATION AREAS.

LANDSCAPE PLAN

ADVANTAGE PLASTIC PRODUCTS, INC.

MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241

KMA

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REVISIONS

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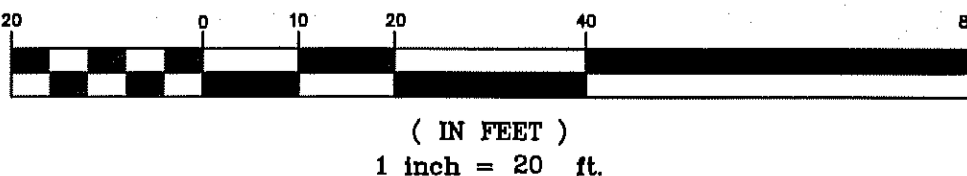
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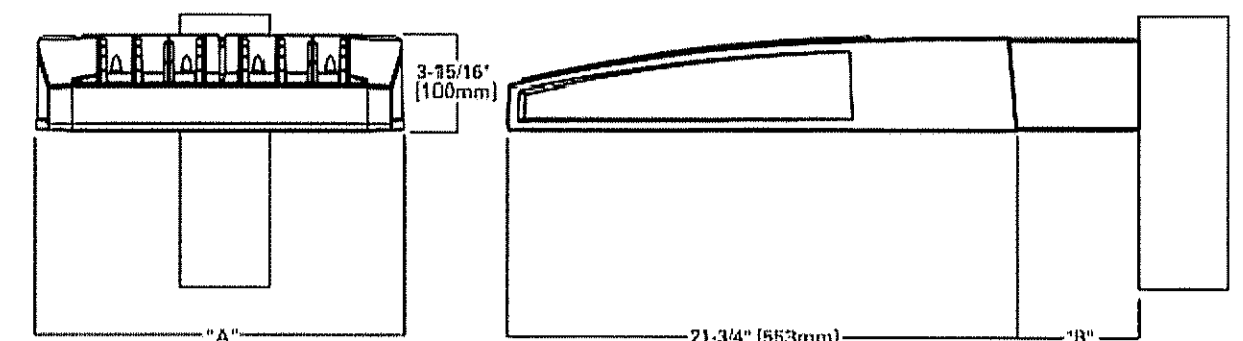
SHEET 7 OF 11

PLANT LIST

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
TREES					
Ar	8	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5-3" CAL.	40-60'
Sr	5	SYRINGA RETICULATA	JAPANESE LILAC TREE	2.5-3" CAL.	20-30'
SHRUBS					
Ig	3	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	2.5-3"	4-5'
Jc	4	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18-24"	6-12"

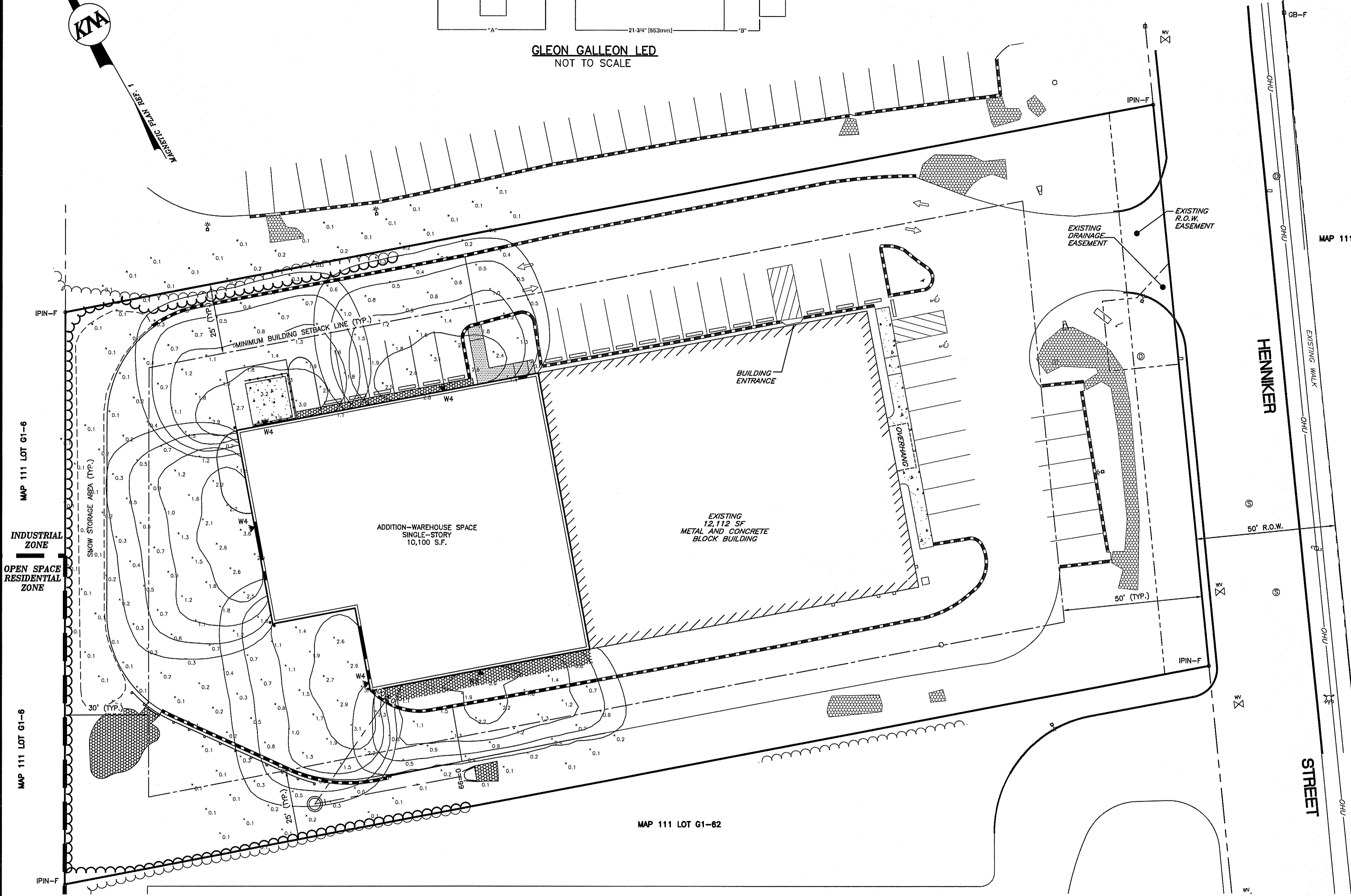
GRAPHIC SCALE





GLEON GALLEON LED
NOT TO SCALE

- CONSTRUCTION NOTES:**
1. PROVIDE NEW WIRE FROM PANELS TO NEW AND EXISTING LIGHTS IN SCHEDULE 80 ELECTRICAL CONDUIT, 1" MINIMUM.
 2. PROVIDE PHOTO CELL AND TIME CLOCK CONTROL.
 3. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



MAP 111 LOT G1-6
INDUSTRIAL ZONE
OPEN SPACE
RESIDENTIAL ZONE

MAP 111 LOT G1-62

MAP 111 LOT G1-64

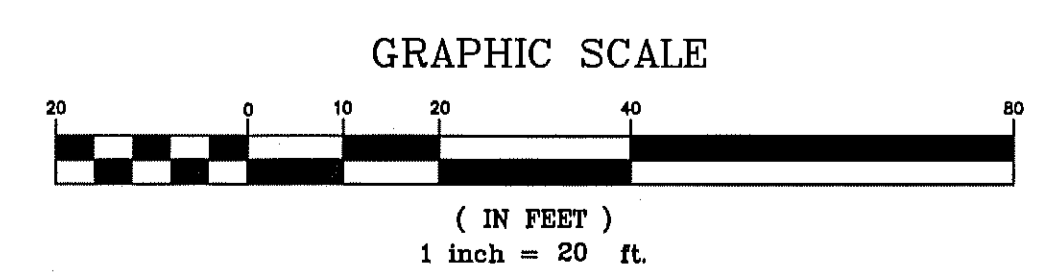
HENNIKER STREET

STREET



StatArea_1
PARKING LOT AREA ONLY
Illuminance (Fc)
Average = 1.56
Maximum = 3.7
Minimum = 0.4
Avg/Min Ratio = 3.90
Max/Min Ratio = 9.25

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
W3	1	W3	SINGLE	GWG-AP-01-LED-E1-SL3-600 / WALL MTD 15' AFG
W4	4	W4	SINGLE	GWG-AP-01-LED-E1-SL4 / WALL MTD 15' AFG



IN ASSOCIATION WITH:

CHARRON
INCORPORATED
P.O. BOX 4550
MANCHESTER, NH 03108
(603) 624-4827
FAX (603) 624-9764

LIGHTING PLAN
ADVANTAGE PLASTIC PRODUCTS, INC.
MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

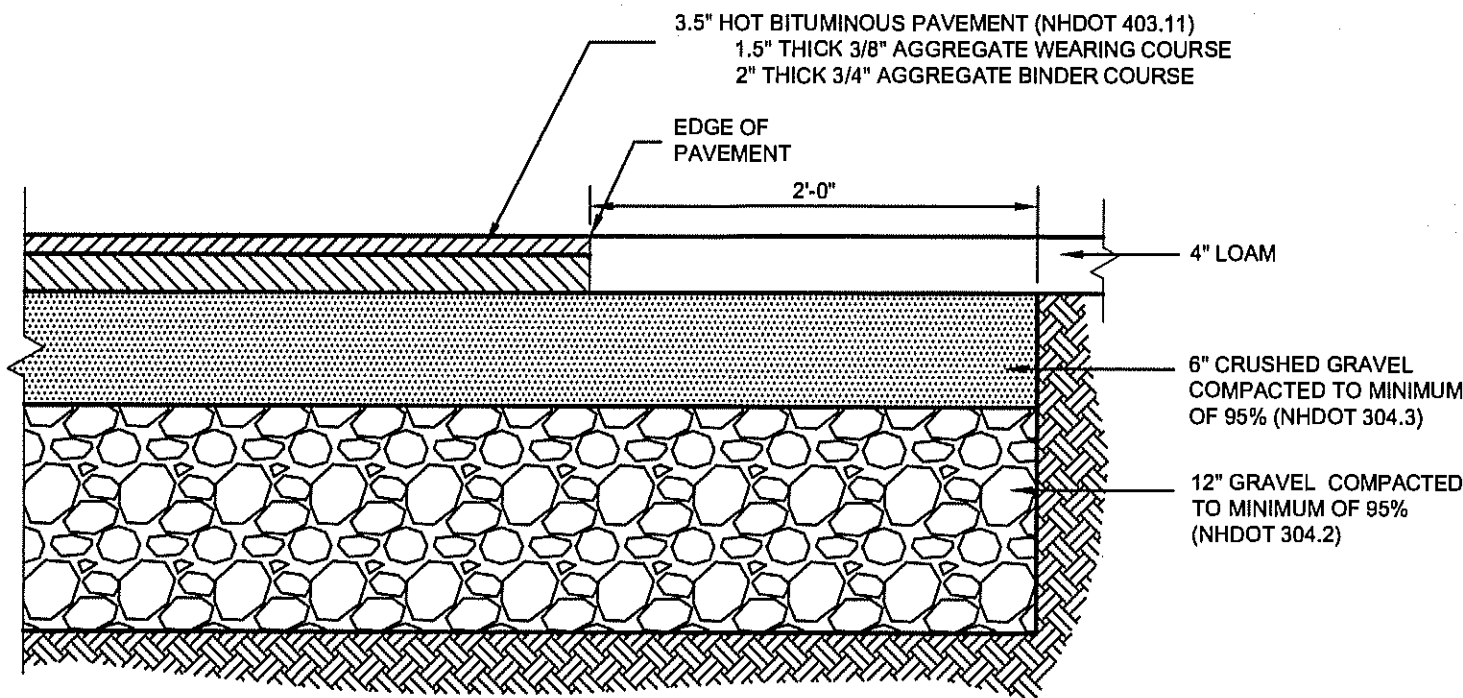
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SHEET 8 OF 11



DRIVEWAY AND PARKING LOT SECTION
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION SEQUENCE

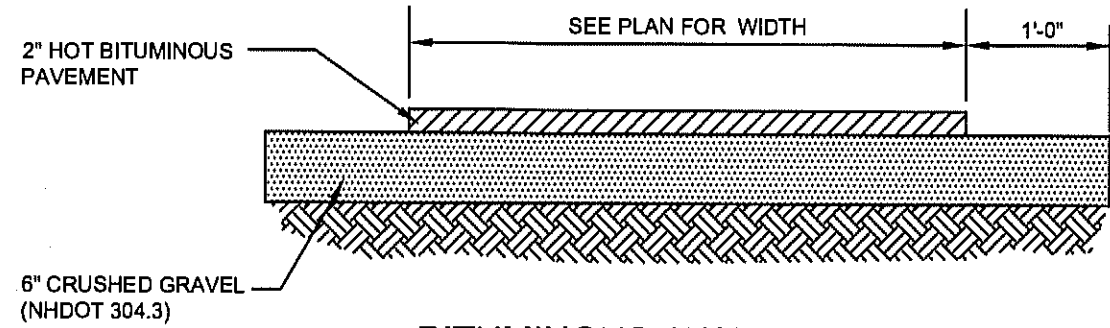
1. FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:33 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
2. PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
3. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
4. INSTALL ALL PONDS AND SWALES PRIOR TO ROUGH GRADING THE SITE.
5. BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADIENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
6. ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
7. INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
8. PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS. ALL ROADS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
9. COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
10. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
11. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
12. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
13. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
14. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

EROSION CONTROL NOTES:

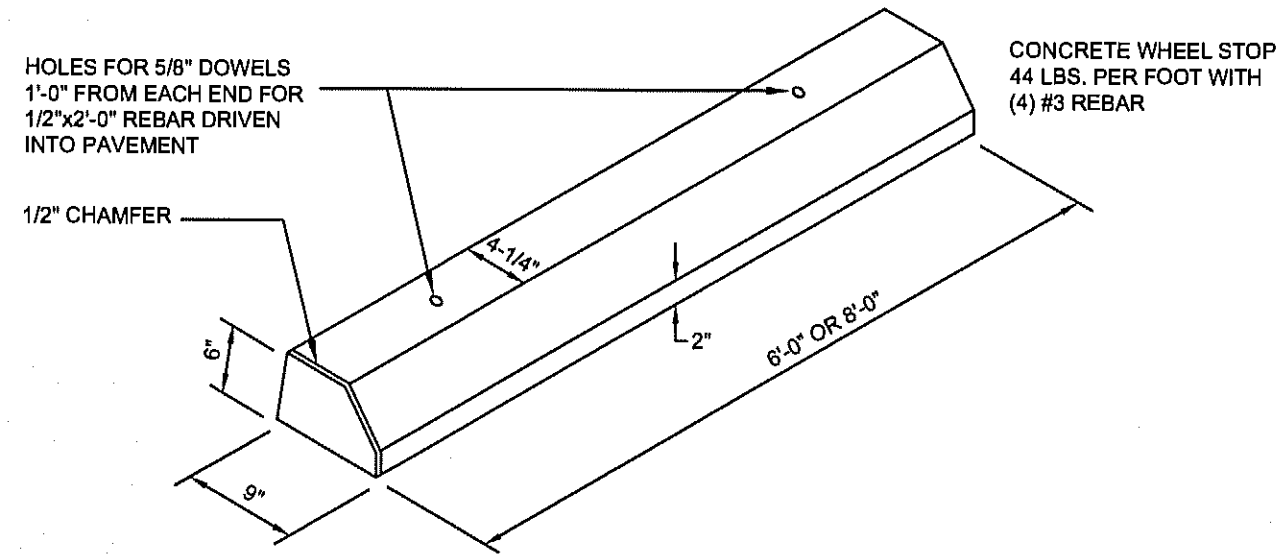
1. EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
2. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OF RAINFALL OR MORE. THEY SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATING MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
3. ALL STORMWATER PONDS, INFILTRATION BASINS, AND SWALES MUST BE INSTALLED BEFORE ROUGH GRADING THE SITE.
4. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4 INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
5. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION. ALL SWALES AND DITCHLINES SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
6. IN THE EVENT THAT, DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
7. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
8. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD, IN ACCORDANCE WITH ENV-A 1000.
9. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
10. AREAS HAVING FINISH GRADE SLOPES OF 3:1 OR STEEPER, SHALL BE STABILIZED WITH JUTE MATTING WHEN AND IF FIELD CONDITIONS WARRANT. IF SO ORDERED, JUTE MATTING INSTALLED IN ACCORDANCE WITH THE RECOMMENDED BEST MANAGEMENT PRACTICE OUTLINED IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION."
11. ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
12. ALL CUT AND FILL SLOPES SHALL BE SEEDED AND MULCHED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

WINTER CONSTRUCTION NOTES:

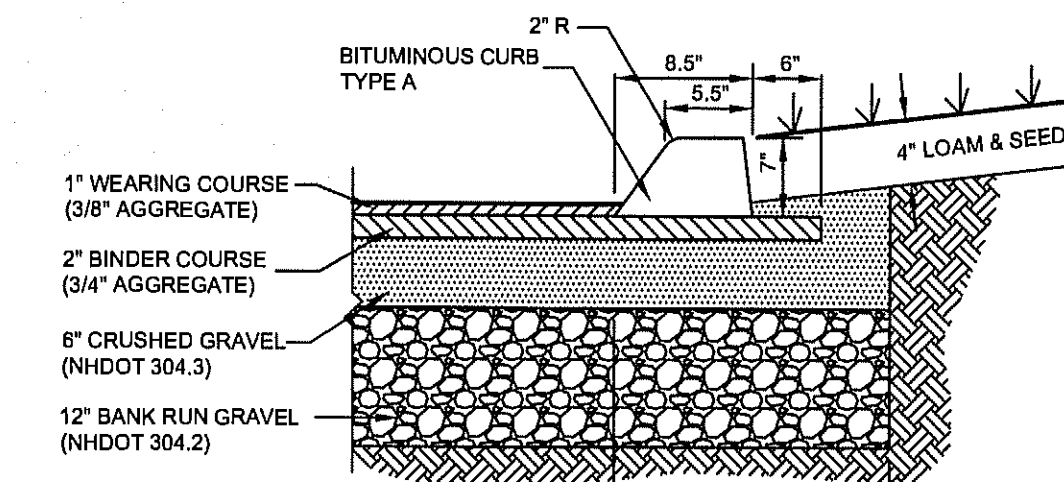
1. ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
3. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
4. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - A. BASE COURSE GRAVELS ARE INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.



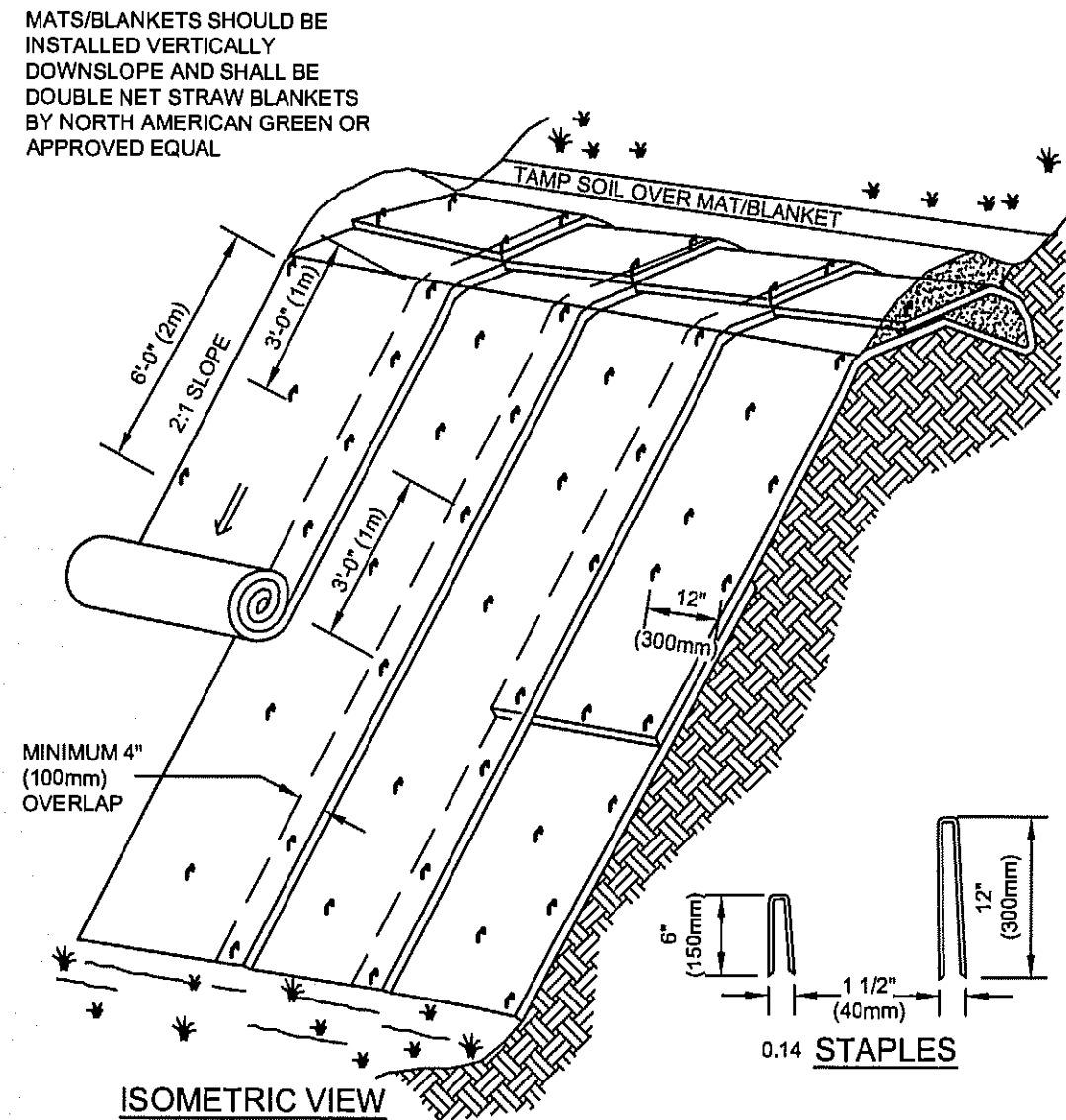
BITUMINOUS WALK DETAIL
NOT TO SCALE
(MARCH 2008)



PRECAST CONCRETE WHEEL STOP
NOT TO SCALE



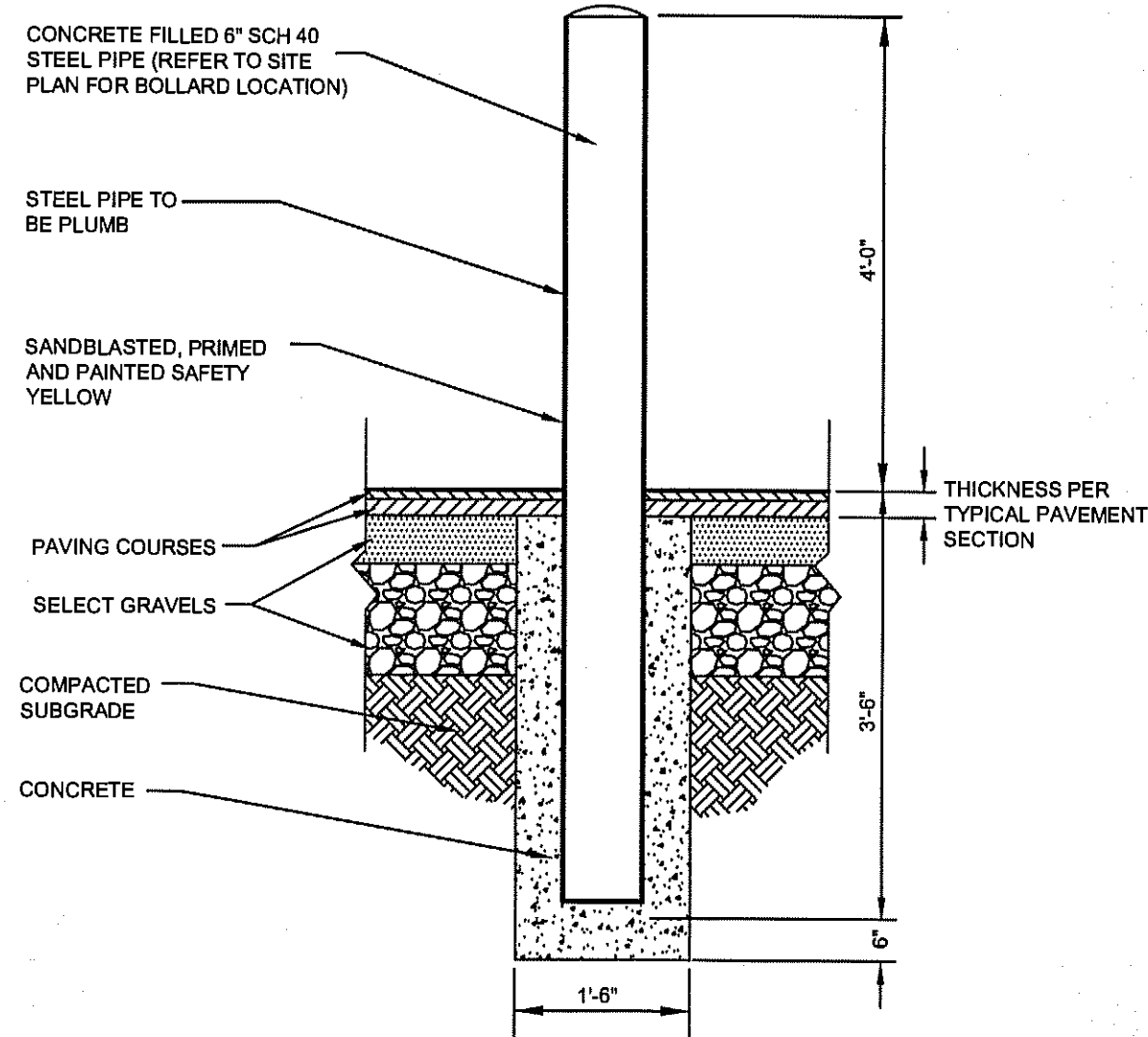
NHDOT BITUMINOUS CURB TYPE A DETAIL
NOT TO SCALE
(MARCH 2008)



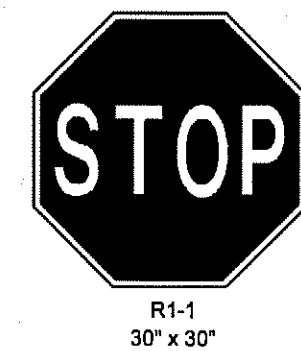
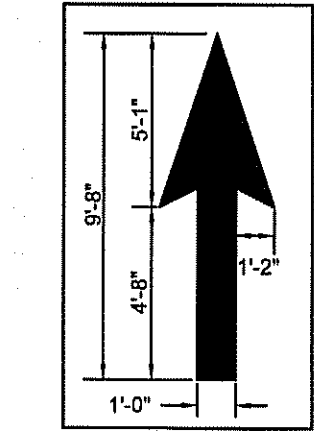
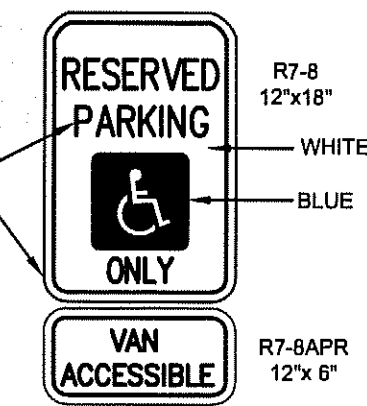
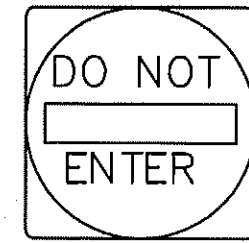
NOTES:

1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
2. APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
3. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

EROSION CONTROL BLANKETS - SLOPE INSTALLATION
NOT TO SCALE
(AUGUST 2011)



BOLLARD DETAIL
NOT TO SCALE
(MARCH 2008)

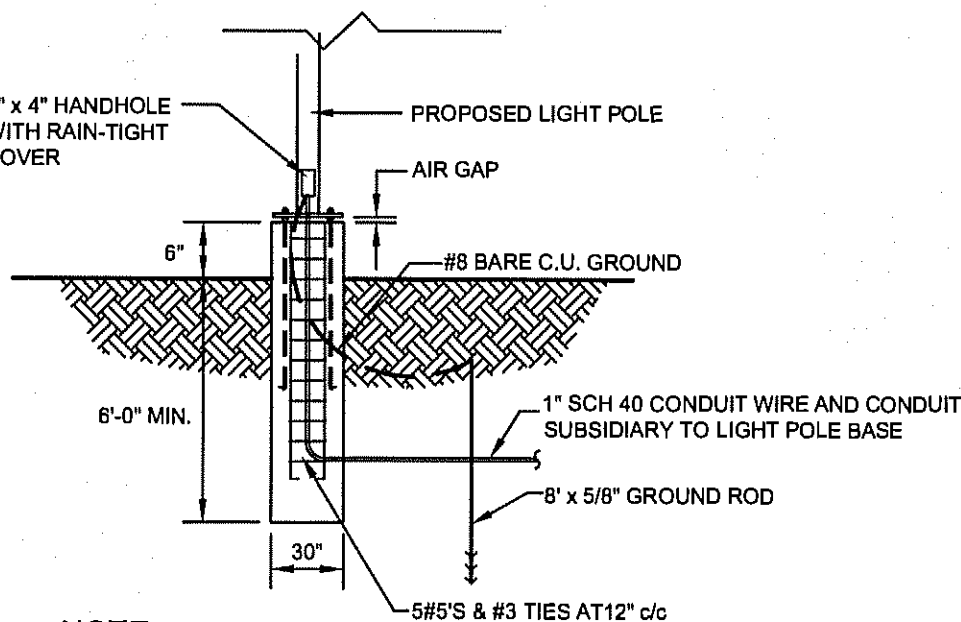


STOP SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL
NOT TO SCALE
(MARCH 2008)

TRAFFIC SIGN NOTES:

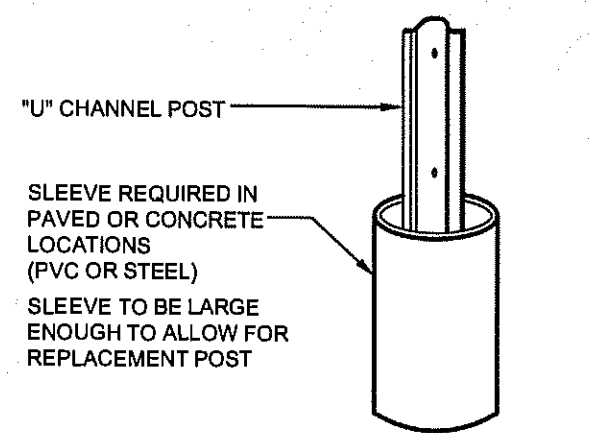
1. ALL TRAFFIC SIGN FACES AND SHAPES SHALL CONFORM WITH THE MUTCD.
2. ALL SIGN POST MOUNTS SHALL CONFORM WITH THE AASHTO AND NHDOT SPECIFICATIONS.



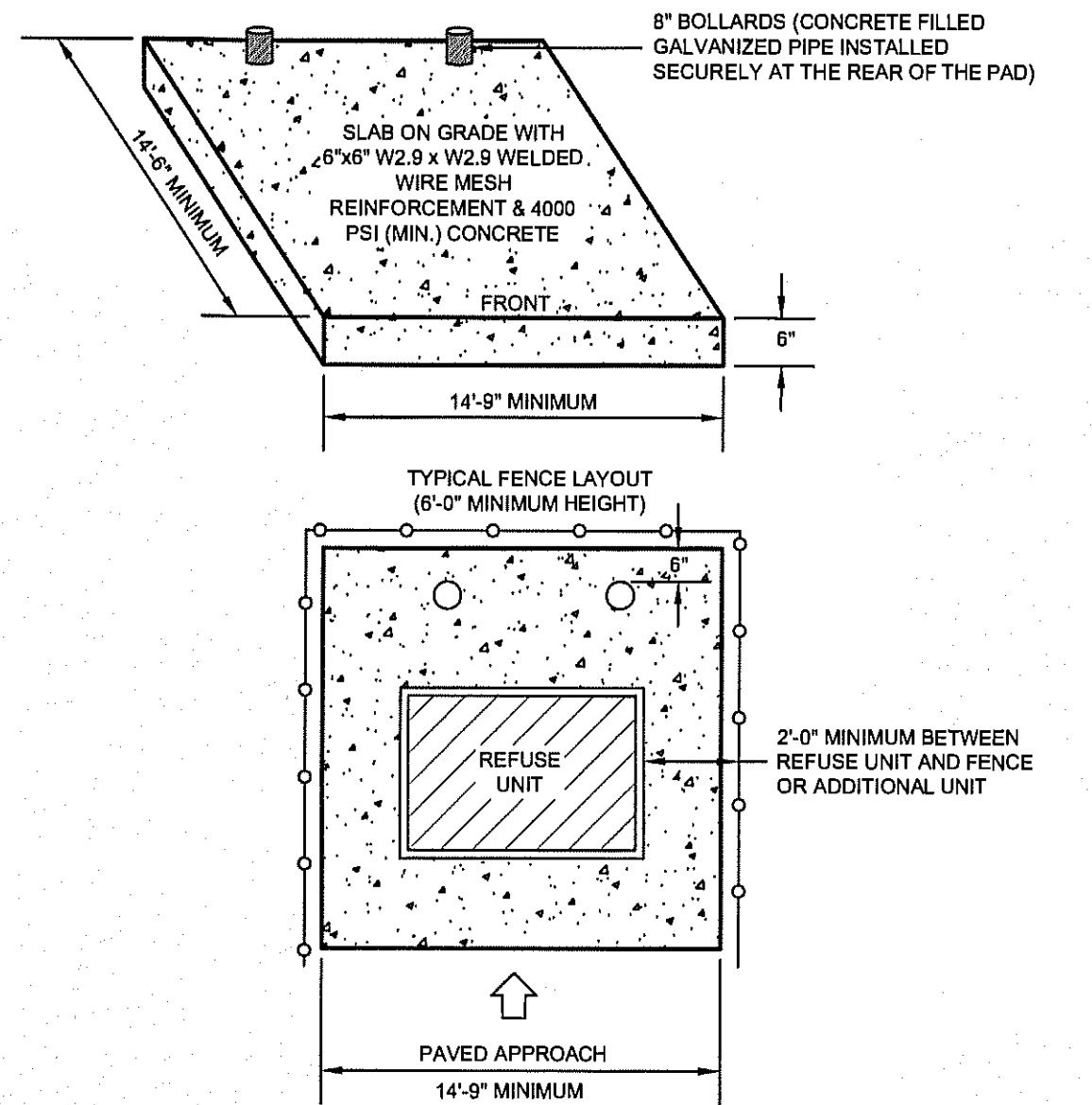
NOTE:

1. CONTRACTOR TO INSTALL POLE MOUNTED LIGHT POLES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.

CONCRETE LIGHT POLE BASE DETAIL
NOT TO SCALE
(MARCH 2008)



ROAD SIGN POST & SLEEVE
NOT TO SCALE
(MARCH 2008)

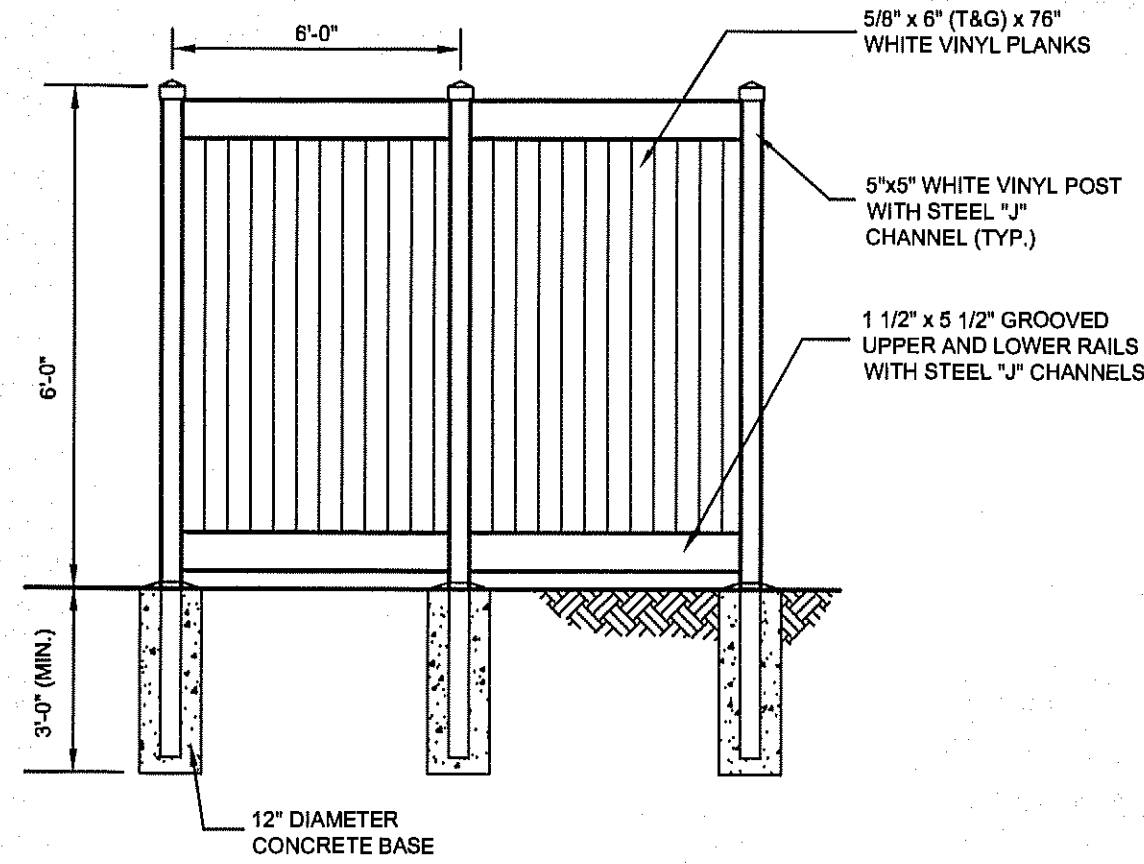


NOTES:

1. DUMPSTER PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVEMENT WITH A 35° FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.
2. TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25'-0" FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

SINGLE DUMPSTER PAD DETAIL

NOT TO SCALE
(AUGUST 2011)



WHITE VINYL FENCE DETAIL
NOT TO SCALE
(MARCH 2008)

CONSTRUCTION DETAILS ADVANTAGE PLASTIC PRODUCTS, INC.

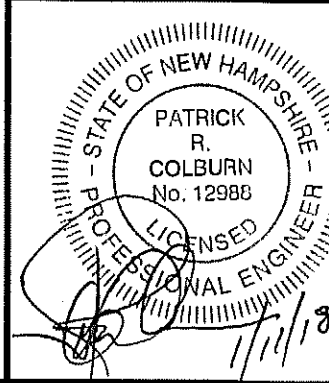
MAP 111 LOT G1-61
38 HENNIKER STREET
CONCORD, NEW HAMPSHIRE
MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:

JWB REALTY LLC
38 HENNIKER STREET
CONCORD, NH. 03301-8528
M.C.R.D. BK. 3031 PG. 0241

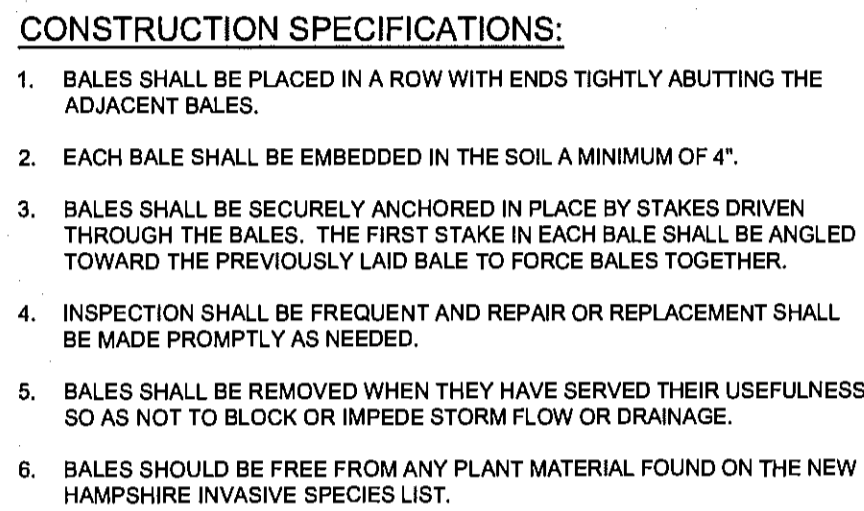
KMA KEACH-NORDSTROM ASSOCIATES, INC.
Civil Engineering Land Surveying Landscape Architecture

10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

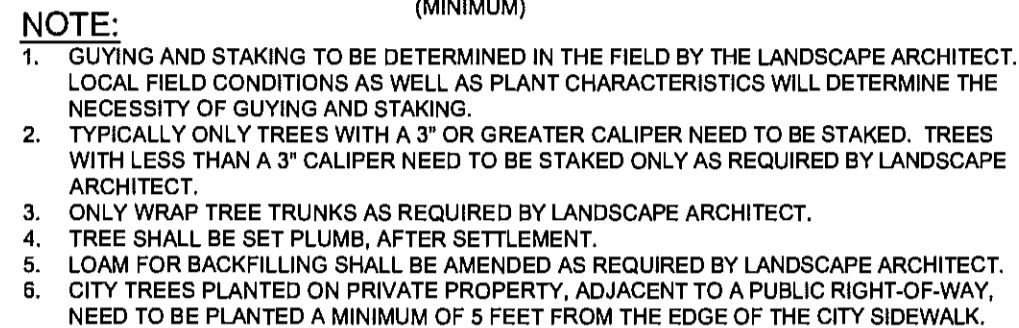
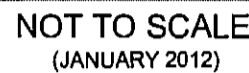
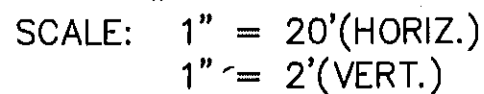


REVISIONS			
No.	DATE	DESCRIPTION	BY
DATE: SEPTEMBER 15, 2017		SCALE: AS SHOWN	
PROJECT NO: 15-0417-1		SHEET 9 OF 11	

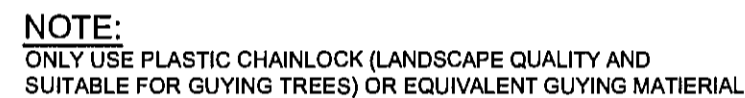




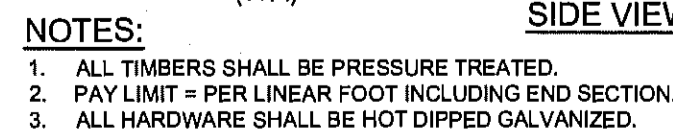
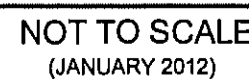
(JULY 2010)



NOT TO SCALE



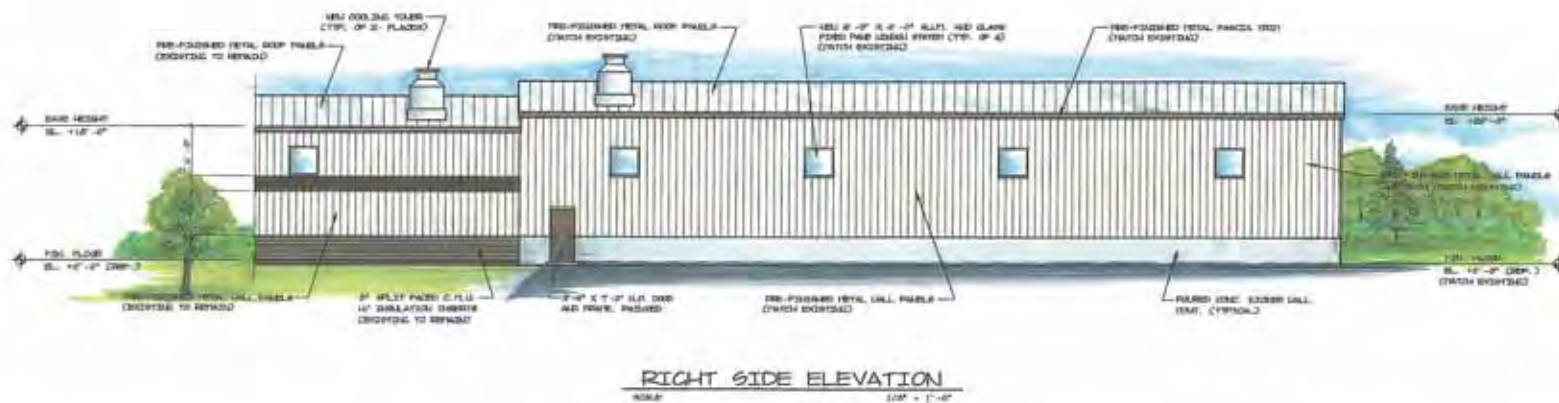
NOT TO SCALE



NOT TO SCALE

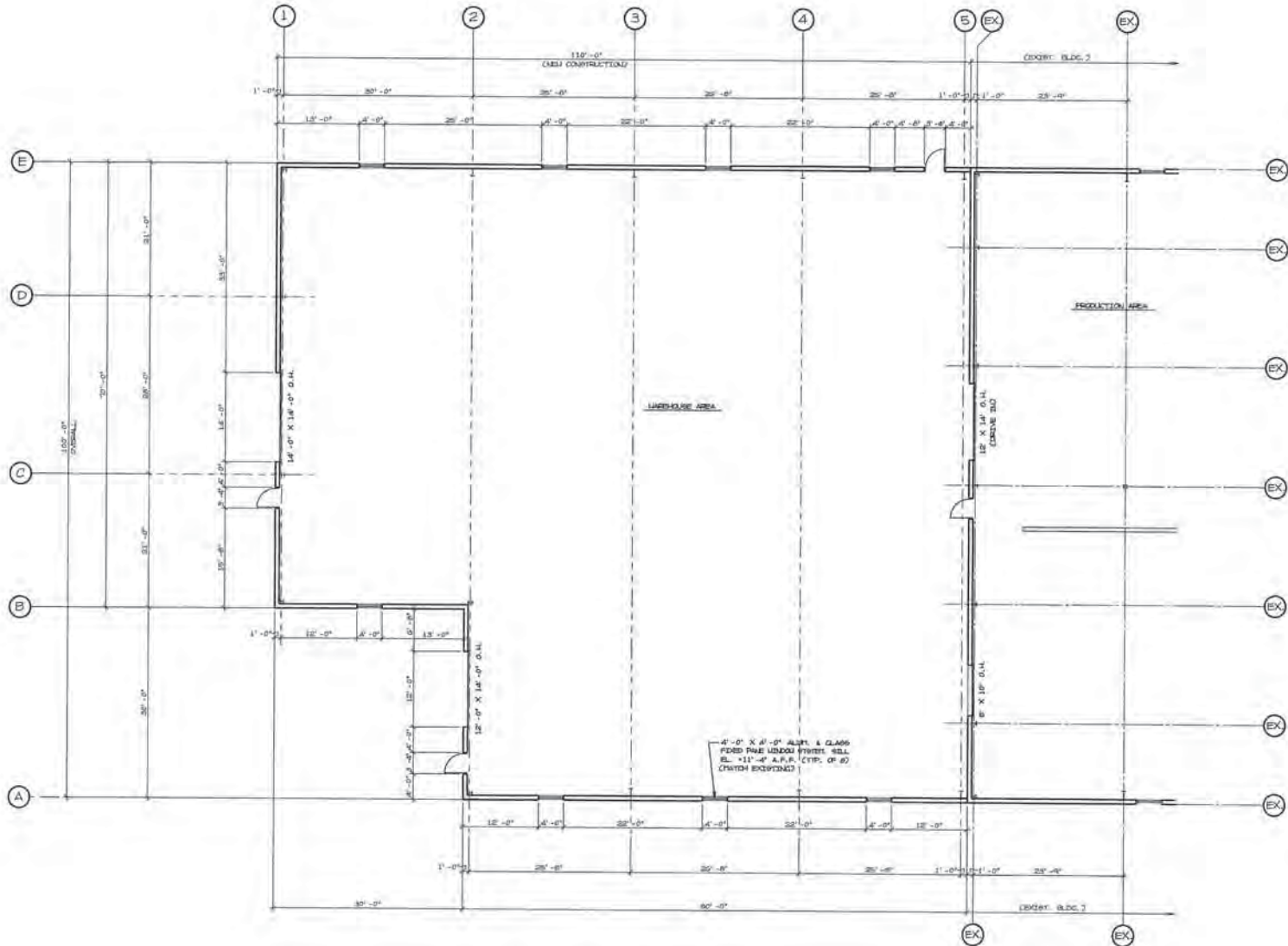
DATE: SEPTEMBER 15, 2017	SCALE: AS SHOWN
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DATE: SEPTEMBER 15, 2017	SCALE: AS SHOWN
PROJECT NO: 15-0417-1	SHEET 11 OF 11



FLYNN CONSTRUCTION CORP.
COMMERCIAL & INDUSTRIAL
17 OLD NORTH ROAD, STE. #10
AMHERST, NH 03055-0001

11/1/01		8/20/04	8/20/04
8/16/01		8/20/04	8/20/04



FLOOR PLAN- NEW CONSTRUCTION
SCALE 1/8" = 1'-0"

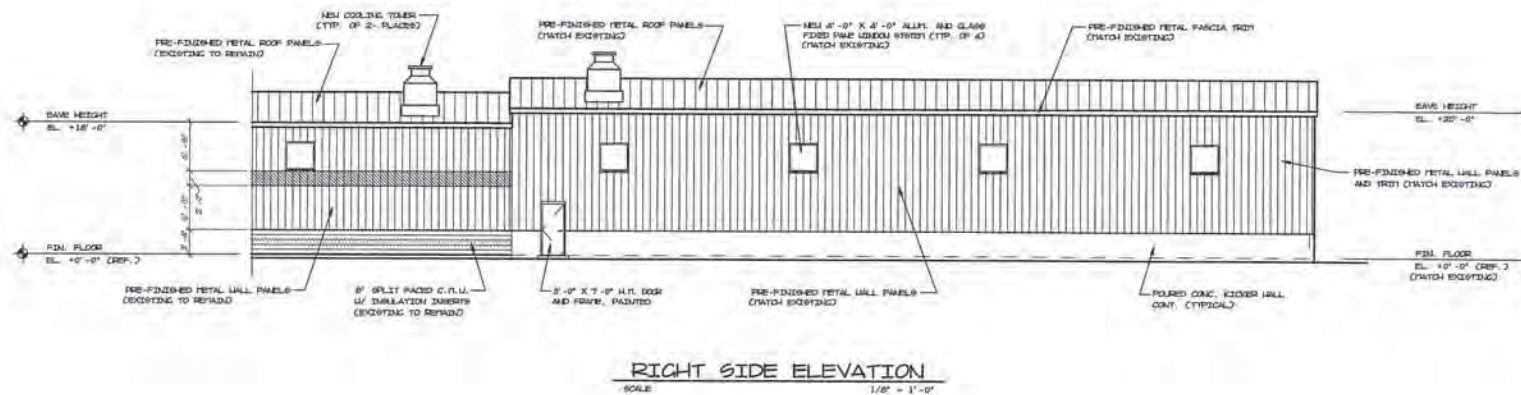
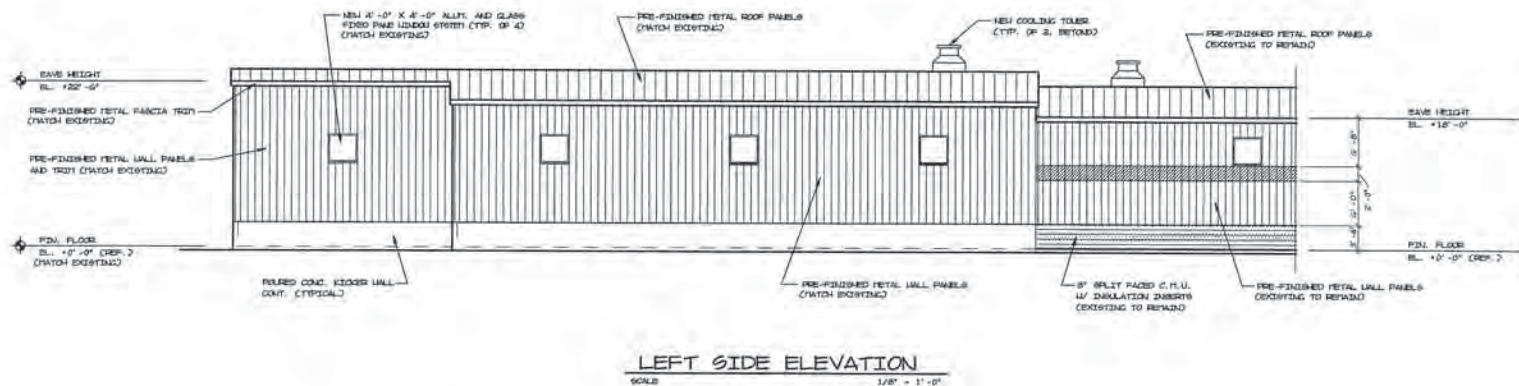
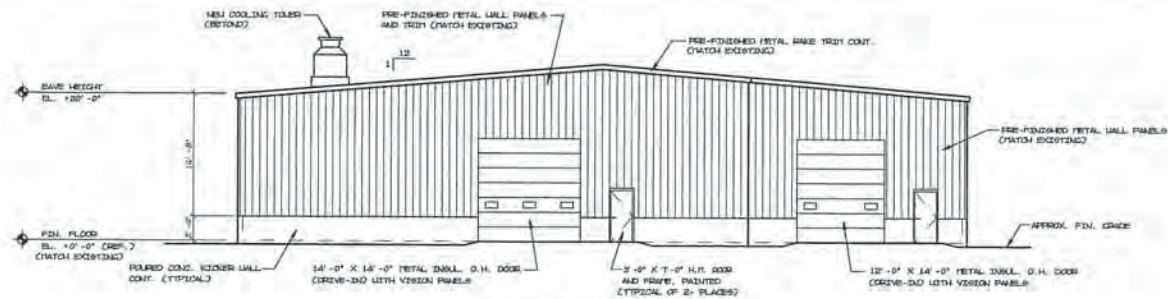


SHEET NO. **A-1**

PROJECT NO.	118871
SCALE	AS NOTED
TITLE	12/6/11
DATE	12/6/11
DESIGNED	
CHECKED	
APPROVED	

NO. 1	GENERAL DIVISIONS	DESCRIPTION OF REV.	REV. NO.
12/1/11			

FLYNN CONSTRUCTION CORP.
COMMERCIAL * INDUSTRIAL
17 OLD NUBIA ROAD, STE. 916
JANESVILLE, WISCONSIN 53401
PHONE (608) 832-8177 FAX (608) 832-8494



FLYNN CONSTRUCTION CORP.

COMMERCIAL • INDUSTRIAL

17 OLD NASHUA ROAD, STE. #118
ANDOVER, NEW HAMPSHIRE 03024

AMERICAN, NEW HAMPSHIRE 03031
PHONE (603) 282-8177 FAX (603) 282-0484

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12

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ADDITION TO:
ADVANTAGE PLASTIC PROD

COMCARO,	NEW HARTFORD
SUGG	

NEW CONSTRUCTION

Abstract

1000

171007

challenge for

419

UNIVERSITY OF CALIFORNIA

1



SHEET NO.

A-2

