

LOCUS PLAN  
NOT TO SCALE

# NON-RESIDENTIAL SITE PLAN

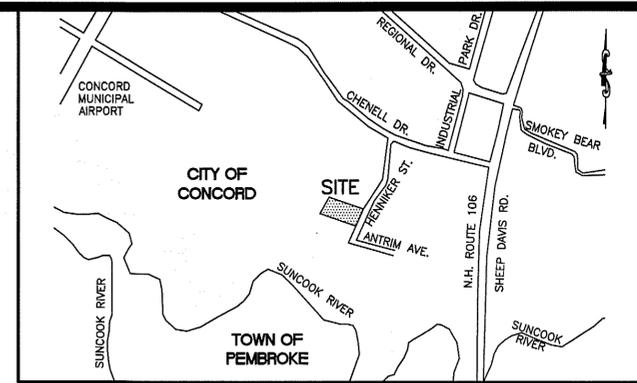
## MAP 111 LOT G1-61

# ADVANTAGE PLASTIC PRODUCTS, INC.

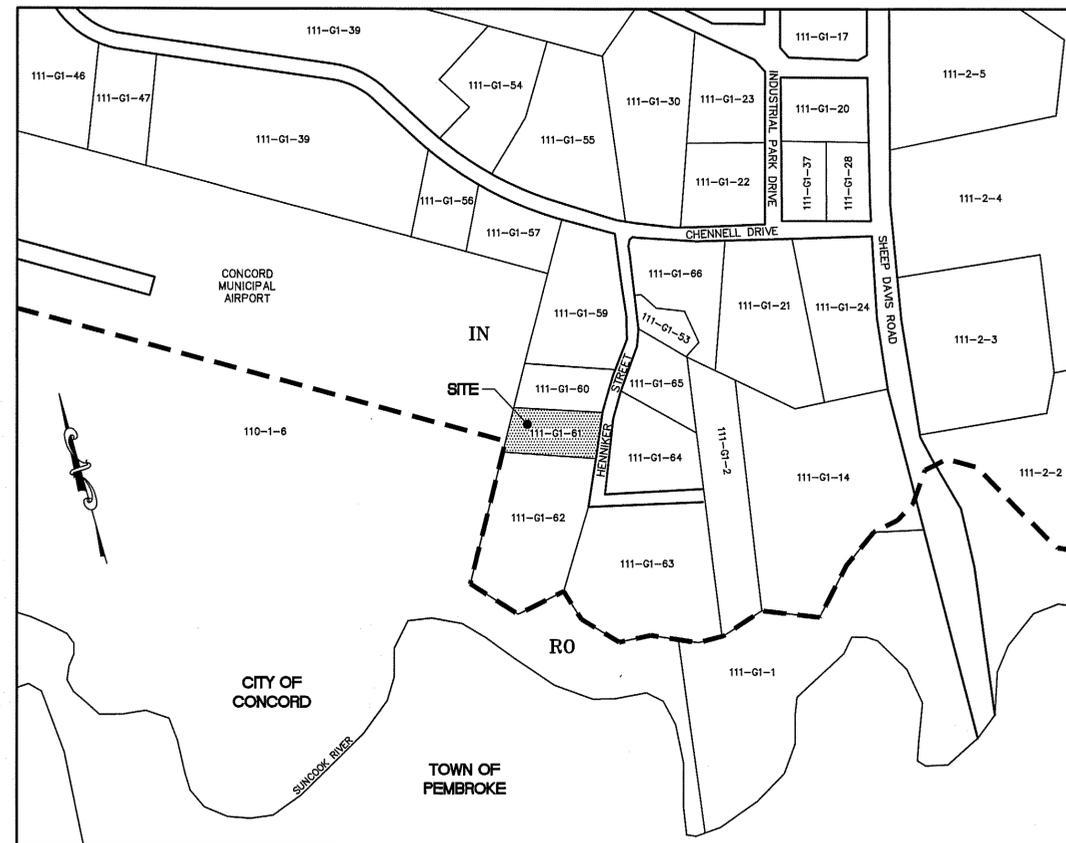
## 38 HENNIKER STREET

## CONCORD, NEW HAMPSHIRE

## MERRIMACK COUNTY



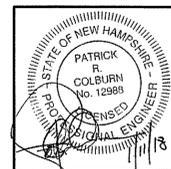
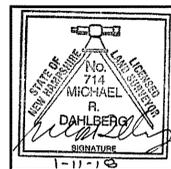
VICINITY PLAN  
SCALE: 1" = 1,000'



LOCATION PLAN  
SCALE: 1" = 400'±

**OWNER OF RECORD / APPLICANT:**  
**JWB REALTY, LLC**  
**38 HENNIKER STREET**  
**CONCORD, NEW HAMPSHIRE 03301-8520**  
**(603) 227-9540**

**PREPARED BY:**  
**KEACH-NORDSTROM ASSOCIATES, INC.**  
**10 COMMERCE PARK NORTH, SUITE 3B**  
**BEDFORD, NEW HAMPSHIRE 03110**  
**(603) 627-2881**



**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

**NOVEMBER 28, 2017**  
**PROJECT NO. 15-0417-1**

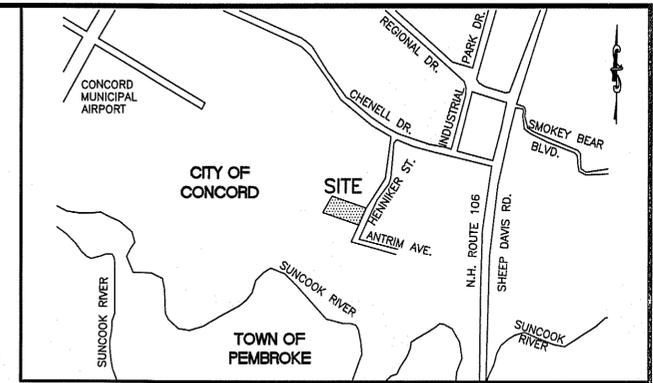
<u>SHEET TITLE</u>	<u>SHEET No.</u>
OVERVIEW PLAN	1
EXISTING CONDITIONS PLAN	2
REMOVALS / DEMOLITION PLAN	3
NON-RESIDENTIAL SITE LAYOUT PLAN	4
GRADING AND DRAINAGE PLAN	5
EROSION CONTROL PLAN	6
LIGHTING PLAN	7
LANDSCAPE PLAN	8
CONSTRUCTION DETAILS	9 - 11

- LEGEND**
- GB-F STONE BOUND FOUND
  - IPIN-F IRON PIN FOUND
  - UTILITY POLE
  - SIGN
  - LIGHT
  - GAS VALVE
  - WATER VALVE
  - HYDRANT
  - WATER SHUT OFF
  - SEWER MANHOLE
  - DRAINAGE MANHOLE
  - CATCH BASIN
  - FLARED END SECTION
  - ABUTTER LINE
  - PROPERTY LINE
  - WETLAND
  - FENCE
  - OHU OVERHEAD UTILITIES

- G — G GAS LINE
- W — W WATER LINE
- S — S SEWER LINE
- SFM — SFM SEWER FORCE MAIN
- DRAINAGE LINE
- TREELINE
- EOP EDGE OF PAVEMENT
- BCC BITUMINOUS CONCRETE CURB
- SGC SLOPED GRANITE CURB
- 5' CONTOUR
- 1' CONTOUR
- BUILDING SETBACK EASEMENT
- ZONE LINE
- ADDRESS #

**REFERENCE PLANS:**

- "SUBDIVISION, RE-SUBDIVISION & CONSOLIDATION PLAN," LAND OF CAPITAL REGIONAL DEVELOPMENT COUNCIL, SCALE: 1"=50', DATED DECEMBER 10, 2004, BY BURD ENGINEERING ASSOCIATES, M.C.R.D. PLAN NO. 17345
- "SITE DEVELOPMENT PLAN" FOR JWB REALTY LLC, SCALE 1"=20', DATED MAY 22, 2007, BY TRUE ENGINEERING, INC.



- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO PROPOSE EXPANSION OF THE EXISTING ADVANTAGE PLASTIC PRODUCTS, INC. FACILITY TO INCLUDE 10,100 S.F. OF ADDITIONAL WAREHOUSE SPACE AND ASSOCIATED PARKING AND CIRCULATION IMPROVEMENTS.
  - AREA OF SUBJECT PARCEL = 81,449 SF OR 1.870 ACRES.
  - MAP 111 LOT G1-61 INDICATES CITY OF CONCORD TAX ASSESSORS MAP AND LOT NUMBER.
  - OWNER OF RECORD:  
JWB REALTY LLC  
38 HENNIKER ST.  
CONCORD, NH 03301  
BK.3031 PG. 0241
  - THE SUBJECT PARCEL IS LOCATED WITHIN THE INDUSTRIAL DISTRICT (IN). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:  

REQUIRED:	EXISTING:
- MINIMUM LOT AREA	40,000 SF
- MINIMUM BUILDABLE AREA	20,000 SF
- MINIMUM LOT FRONTAGE	200 FT
- MINIMUM BUILDING SETBACKS:	
- FRONT	50 FT
- SIDE	25 FT
- REAR	30 FT
- MAXIMUM LOT COVERAGE	85%
- MAXIMUM BUILDING HEIGHT	45 FT
	100.77 FT
	46.95 FT
	169.52 FT
	16 FT
  - TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING SEPTEMBER OF 2017.
  - HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM IS NAVD88.
  - BOUNDARY INFORMATION IS TAKEN FROM REFERENCE PLAN NO. 1.
  - THERE ARE NO WETLANDS ON THIS SITE, PER TES ENVIRONMENTAL CONSULTANTS, LLC ON JANUARY 4, 2018.
  - SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
  - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
  - EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF CONCORD MAP NUMBER 3301C0553E, PANEL 553 OF 7051, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
  - EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED HEREON ARE THOSE FOUND DURING RESEARCH AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. OTHER EASEMENTS, RIGHTS, AND RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PREMISES MAY DETERMINE.
  - EXISTING AVIGATION EASEMENT M.C.R.D. BK. 2739, PG. 1702 STATES THAT NO BUILDING SHALL EXCEED AN ELEVATION OF 386.4' MSL.
  - PRIOR TO CERTIFICATE OF OCCUPANCY OR FINAL CONSTRUCTION SIGN OFF, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE CITY ENGINEER IN ACCORDANCE WITH SECTION 12.09 OF THE SITE PLAN REGULATIONS. THE AS-BUILT DRAWINGS SHALL BE SURVEYED ON NH STATE PLANE COORDINATES AND NAVD 88 DATUM.
  - ALL WORK PERFORMED ON BEHALF OF THIS PROJECT, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
  - SHOULD THE VOLUME OF ACCUMULATED SNOW EXCEED THE CAPACITY OF THE ONSITE STORAGE AS SHOWN ON THIS PLAN, THE EXCESS SNOW SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
  - A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ONSITE. THE APPLICANT SHALL PICK UP ONE (1) SET OF SIGNED PLANS AT THE PLANNING OFFICE TO MAKE COPIES FOR THE PRE-CONSTRUCTION MEETING. A TOTAL OF FIVE (5) COPIES OF THE SIGNED PLAN SET SHALL BE PROVIDED BY THE APPLICANT AT THE PRE-CONSTRUCTION MEETING.
  - PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY, PAYMENT OF INSPECTION FEES IN AN AMOUNT APPROVED BY THE CITY ENGINEER SHALL BE MADE. A PROJECT SCHEDULE SHOULD BE SUBMITTED A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING FOR USE IN ESTABLISHING THE DEPOSIT AMOUNTS AND A DEPOSIT SHALL BE SUBMITTED A MINIMUM OF THREE DAYS PRIOR TO THE PRE-CONSTRUCTION MEETING.
  - PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, DIGITAL INFORMATION SHALL BE PROVIDED TO THE CITY ENGINEER FOR INCORPORATION INTO THE CITY OF CONCORD GEOGRAPHIC INFORMATION SYSTEM (GIS) AND TAX MAPS. THE INFORMATION SHALL BE SUBMITTED IN ACCORDANCE WITH SECTION 12.08 OF THE SITE PLAN REVIEW REGULATIONS AND ALL INFORMATION SHALL BE CONVERTED TO A VERTICAL DATUM OF NAVD 88.
  - PARKING CALCULATIONS:  

REQUIRED:	EXISTING BUILDING	12,000 SF
	EXISTING MEZZANINE	912 SF
	PROPOSED ADDITION	12,912 SF
	TOTAL BUILDING AREA	25,824 SF
	MANUFACTURING / INDUSTRIAL REQUIRED 1 SPACE / 800 SF (23,012 / 800) = 29 SPACES	
PROPOSED:	35 SPACES (INCLUDING 2 HANDICAP SPACES)	
  - LOADING CALCULATIONS:  

REQUIRED:	2 SPACES FOR 20,001 - 60,000 SF
PROPOSED:	2 SPACES FOR 23,012 SF
  - AREA OF WETLAND:  

	EXISTING	PROPOSED
BLUFF / Ravines	0 SF	0 SF
SLOPES >15%	7,513 SF	9,416 SF
SLOPES >25%	5,546 SF	3,913 SF
IMPERVIOUS SURFACE AREA	41,756 SF	55,086 SF

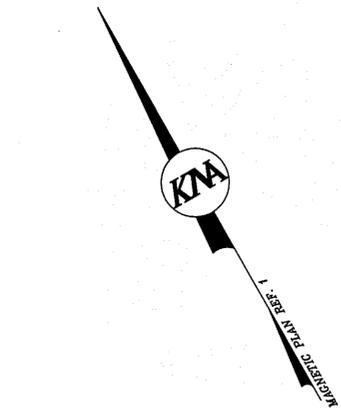
**OVERVIEW PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**  
 MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**  
 JWB REALTY LLC  
 38 HENNIKER STREET  
 CONCORD, NH. 03301-8528  
 M.C.R.D. BK. 3031 PG. 0241

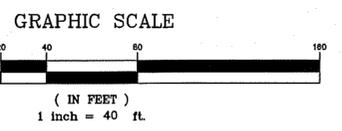
**KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 40'  
 PROJECT NO: 15-0417-1 SHEET 1 OF 11



ZONE LINE IN  
 ZONE LINE RO



**APPROVED**  
 UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
 CITY PLANNING BOARD  
 CITY OF CONCORD, NEW HAMPSHIRE  
 In accordance with vote of the board dated:  
 Approval of this plot is limited to lots as shown.  
 Clerk

**OWNER OF MAP 111G BLOCK 1 LOT 61**  
 SIGNATURE: *Wayne D. Stearns*  
 FOR JWB REALTY  
 DATE: 2018 Jan 11

**LICENSED LAND SURVEYOR**  
 STATE OF NEW HAMPSHIRE  
 No. 714  
 MICHAEL R. DAHLBERG  
 SIGNATURE: *Michael R. Dahlberg*  
 DATE: 1-11-18

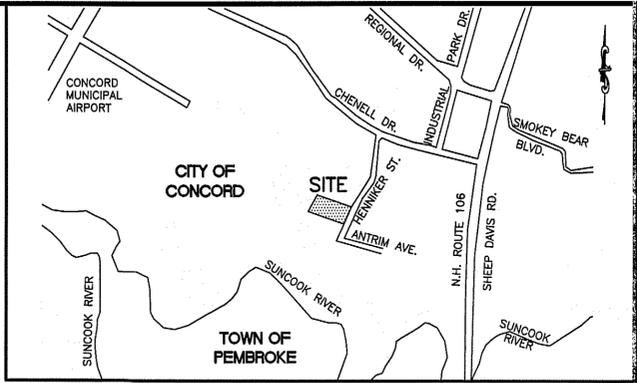
**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY THIS OFFICE DURING OCTOBER OF 2017. SAID SURVEY HAS AN ERROR OF CLOSURE BETTER THAN ONE PART IN TEN THOUSAND (1:10,000).  
 LICENSED LAND SURVEYOR DATE

- NOTES - CONTINUED:**
- PRIOR TO ANY SITE CLEARING:  
 A. LIMITS OF CLEARING MUST BE APPROVED BY PLANNING AND ENGINEERING.  
 B. SITE STABILIZATION PROVIDED; AND  
 C. EROSION CONTROL INSTALLED.
  - THE PROJECT FALLS WITHIN OR NEAR THE CONCORD AIRPORT OBSTRUCTION ZONE. THE CONTRACTOR SHALL COMPLETE FORM FAA 7460.1 NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION, PRIOR TO BEGINNING CONSTRUCTION.
  - WAIVERS REQUESTED:  
 SECTION 22.07 (2) - TO ALLOW 3 FEET OF SEPARATION TO SEASONAL HIGH WATER FROM BOTTOM OF INFILTRATION SYSTEM.

**LEGEND**

□ CB-F	STONE BOUND FOUND	—○—○—	GAS LINE
⊙ IPIN-F	IRON PIN FOUND	—W—W—	WATER LINE
⊕	UTILITY POLE	—S—S—	SEWER LINE
⊕	SIGN	—SFM—SFM—	SEWER FORCE MAIN
⊕	LIGHT	—D—D—D—	DRAINAGE LINE
⊕	GAS VALVE	—T—T—T—	TREELINE
⊕	WATER VALVE	—EOP—	EDGE OF PAVEMENT
⊕	HYDRANT	—BCC—	BITUMINOUS CONCRETE CURB
⊕	WATER SHUT OFF	—SGC—	SLOPED GRANITE CURB
⊕	SEWER MANHOLE	—EOP—	5' CONTOUR
⊕	DRAINAGE MANHOLE	—EOP—	1' CONTOUR
⊕	CATCH BASIN	—EOP—	BUILDING SETBACK
⊕	FLARED END SECTION	—EOP—	EASEMENT
⊕	ABUTTER LINE	—EOP—	EASEMENT
⊕	PROPERTY LINE	—EOP—	EASEMENT
⊕	WETLAND	—EOP—	EASEMENT
⊕	FENCE	—EOP—	EASEMENT
⊕	OVERHEAD UTILITIES	—EOP—	EASEMENT
⊕	ADDRESS #	—EOP—	EASEMENT
⊕	25% SLOPES	—EOP—	EASEMENT

MAP 111 LOT G1-80  
 AIRPORT RD. 80 REALTY LLC.  
 P.O. BOX 400  
 ALTON BAY, NH 03810-0400  
 BK. 3017 PG.0209  
 ZONE: INDUSTRIAL



**REFERENCE PLANS:**

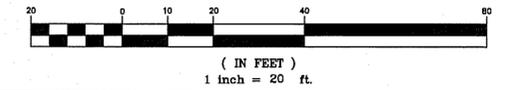
- "SUBDIVISION, RE-SUBDIVISION & CONSOLIDATION PLAN," LAND OF CAPITAL REGIONAL DEVELOPMENT COUNCIL. SCALE: 1"=50', DATED DECEMBER 10, 2004. BY BURD ENGINEERING ASSOCIATES, M.C.R.D. PLAN NO. 17345.
- "SITE DEVELOPMENT PLAN" FOR JWB REALTY LLC. SCALE 1"=20', DATED MAY 22, 2007. BY TRUE ENGINEERING, INC.

**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS PRESENT ON TAX MAP 111 LOT G1-81 AS OF THE DATE OF FIELD SURVEY, AND NO OTHER PURPOSE.
- AREA OF SUBJECT PARCEL IS 81,449 SF, OR 1.870 ACRES.
- MAP 111 LOT G1-81 INDICATES CITY OF CONCORD TAX ASSESSORS MAP AND LOT NUMBER.
- OWNER OF RECORD:  
 JWB REALTY LLC  
 38 HENNIKER ST.  
 CONCORD, NH 03301  
 BK. 3031 PG. 0241
- THE SUBJECT PARCEL IS LOCATED WITHIN THE INDUSTRIAL DISTRICT (I). DIMENSIONAL REQUIREMENTS ARE AS FOLLOWS:  

MINIMUM LOT AREA	REQUIRED: 40,000 SF	EXISTING: 81,449 SF
MINIMUM BUILDABLE AREA	20,000 SF	78,012 SF
MINIMUM LOT FRONTAGE	200 FT	200.76 FT
MINIMUM BUILDING SETBACKS:		
FRONT	50 FT	100.77 FT
SIDE	25 FT	48.86 FT
REAR	30 FT	189.52 FT
MAXIMUM LOT COVERAGE	85%	68.45
MAXIMUM BUILDING HEIGHT	45 FT	16 FT
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE DURING SEPTEMBER OF 2017.
- HORIZONTAL DATUM IS ASSUMED. VERTICAL DATUM IS NAVD 88.
- BOUNDARY INFORMATION IS TAKEN FROM REFERENCE PLAN NO. 1
- THERE ARE NO WETLANDS ON THIS SITE. PER TES ENVIRONMENTAL CONSULTANTS, LLC ON JANUARY 4, 2018.
- SITE IS SERVICED BY MUNICIPAL WATER AND SEWER.
- THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. KEACH-NORDSTROM ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- EXAMINATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF CONCORD MAP NUMBER 3301CD553E, PANEL 553 OF 7051, EFFECTIVE DATE: APRIL 19, 2010, INDICATES THAT NO PORTION OF THE SUBJECT PARCEL IS LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA.
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- EXISTING AVIGATION EASEMENT M.C.R.D. BK. 2739, PG. 1702 STATES THAT NO BUILDING SHALL EXCEED AN ELEVATION OF 386.4' MSL.

**GRAPHIC SCALE**



**EXISTING CONDITIONS PLAN  
 ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**

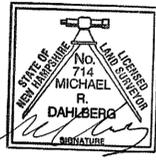
JWB REALTY LLC  
 38 HENNIKER STREET  
 CONCORD, NH. 03301-8528  
 M.C.R.D. BK. 3031 PG. 0241



Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2081

**CERTIFICATION:**  
 I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. FURTHER, THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY MADE BY THIS OFFICE DURING SEPTEMBER OF 2017 SAID SURVEY HAS A RELATIVE ERROR OF CLOSURE OF ONE PART IN TEN THOUSAND (1:10,000) OR BETTER.

*Michael R. Dahlberg*  
 1-11-18  
 LICENSED LAND SURVEYOR DATE



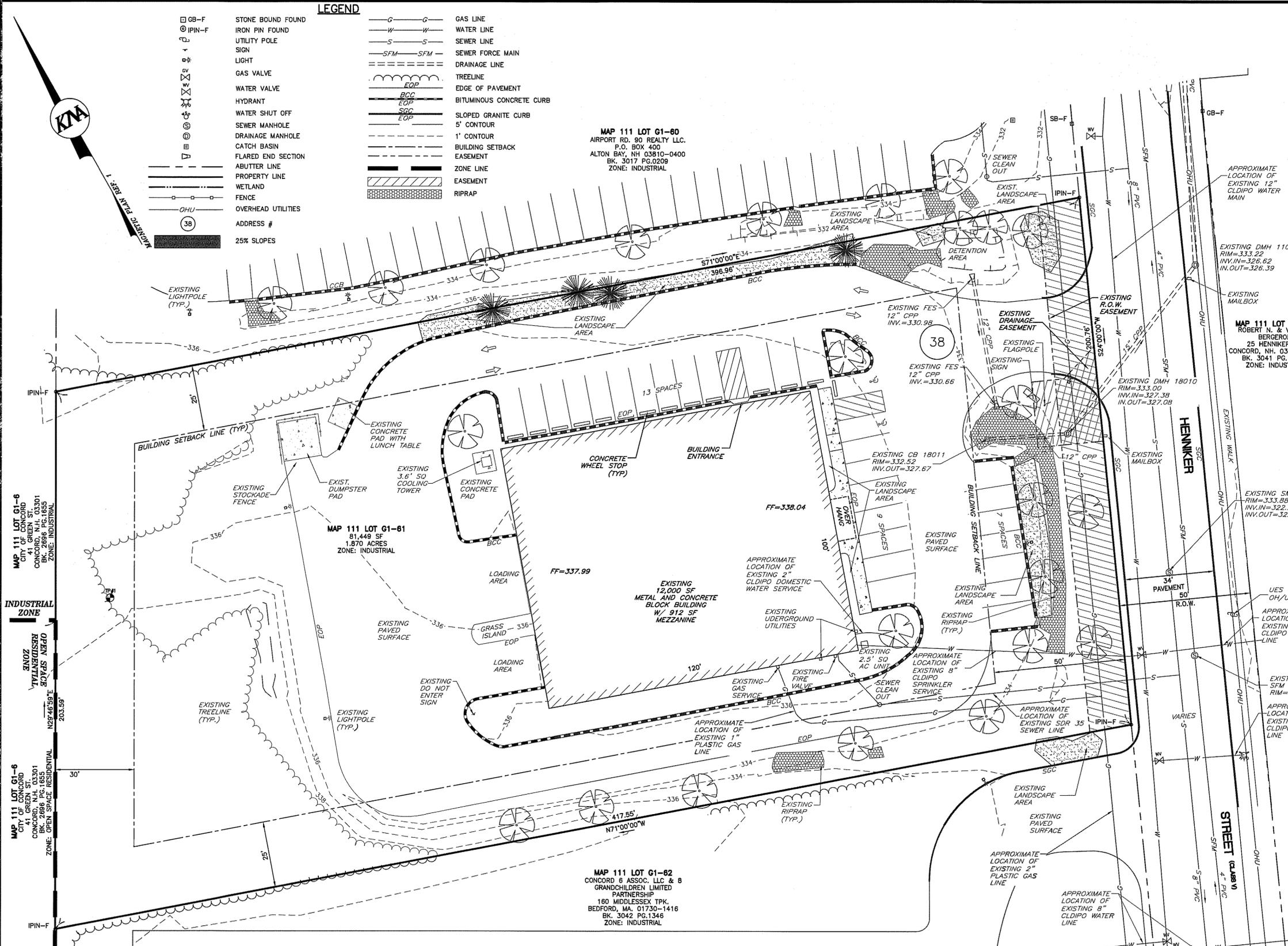
REVISONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 20'  
 PROJECT NO: 15-0417-1 SHEET 2 OF 11

**USDA SOIL MAP UNIT KEY**

SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%

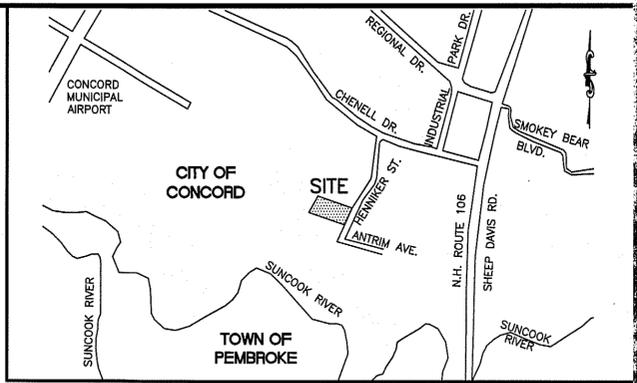
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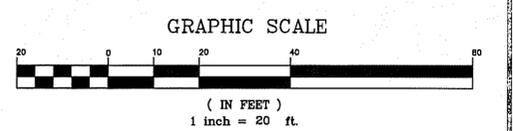
**LEGEND**

□ GB-F	STONE BOUND FOUND	—SFM—SFM—	SEWER FORCE MAIN
○ IPIN-F	IRON PIN FOUND	---	DRAINAGE LINE
⊕	UTILITY POLE	---	TREELINE
⊙	SIGN	---	EDGE OF PAVEMENT
⊙	LIGHT	---	BITUMINOUS CONCRETE CURB
⊙	GAS VALVE	---	SLOPED GRANITE CURB
⊙	WATER VALVE	---	5' CONTOUR
⊙	HYDRANT	---	1' CONTOUR
⊙	WATER SHUT OFF	---	BUILDING SETBACK
⊙	SEWER MANHOLE	---	EASEMENT
⊙	DRAINAGE MANHOLE	---	ZONE LINE
⊙	CATCH BASIN	---	EASEMENT
⊙	FLARED END SECTION	---	RIPRAP
⊙	ABUTTER LINE	---	SAWCUT LINE
⊙	PROPERTY LINE	---	PAVEMENT OR GRAVEL TO BE REMOVED
⊙	WETLAND	---	ADDRESS #
⊙	FENCE	---	
⊙	OVERHEAD UTILITIES	---	
⊙	GAS LINE	---	
⊙	WATER LINE	---	
⊙	SEWER LINE	---	

MAP 111 LOT G1-80  
 AIRPORT RD. 90 REALTY LLC.  
 P.O. BOX 400  
 ALTON BAY, NH 03810-0400  
 BK. 3017 PG.0209  
 ZONE: INDUSTRIAL



- NOTES:**
- ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
  - STRIP, STOCKPILE, AND REUSE ONSITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
  - REMOVE ALL ASPHALT, CURBING, CONCRETE, VEGETATION, TREES, SHRUBS, LIGHT POLES, SIGNAGE, AND STRUCTURES WITHIN THE HATCHED AREA, UNLESS OTHERWISE NOTED.
  - EXISTING ASPHALT REMOVED FROM THE SITE AS PART OF THIS SITE PLAN SHALL BE GROUND AND REUSED AS FILL OR TRUCKED OFFSITE AND DISPOSED OF BY AN APPROVED METHOD.
  - DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
  - ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
  - THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
  - THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
  - THE CONTRACTOR SHALL ESTABLISH TEMPORARY PERMITTER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.
  - CONTRACTOR SHALL WORK WITH LOCAL UTILITY PROVIDERS DURING SHUT DOWN AND REMOVAL EFFORTS.
  - PER CITY ORDINANCE ARTICLE 26-9, THE PROJECT WILL REQUIRE A DEMOLITION PERMIT WHICH IS AVAILABLE FROM CODE ADMINISTRATION DIVISION.
  - ALL ITEMS TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR.
  - PRESERVE AND PROTECT EXISTING DUMPSTER ENCLOSURE FOR REUSE IF IN GOOD CONDITION.



**REMOVALS/DEMOLITION PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**  
 MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY  
**OWNER OF RECORD / APPLICANT:**  
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REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 20'  
 PROJECT NO: 15-0417-1 SHEET 3 OF 11



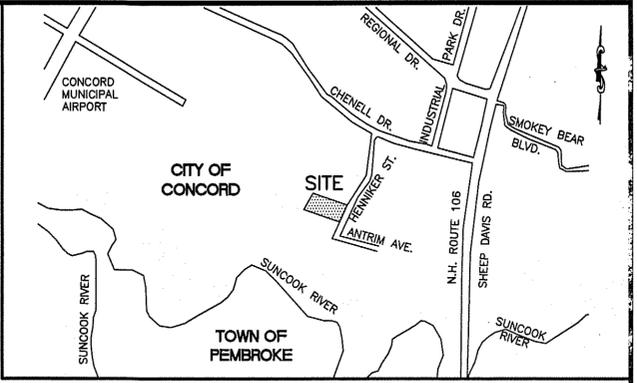
R:\project\150417\dwg\Production Drawings\150417-1-51TE.dwg, 17/10/2019 4:08:26 PM, \\www-newernews\SAMVIN MP W6700 P5

- LEGEND**
- GB-F STONE BOUND FOUND
  - IPIN-F IRON PIN FOUND
  - UTILITY POLE
  - SIGN
  - LIGHT
  - GAS VALVE
  - WATER VALVE
  - HYDRANT
  - WATER SHUT OFF
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  - PROPERTY LINE
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  - FENCE
  - OHU OVERHEAD UTILITIES
  - ADDRESS #
- EOP TREELINE
  - BCC EDGE OF PAVEMENT
  - EOP BITUMINOUS CONCRETE CURB
  - SGC SLOPED GRANITE CURB
  - EOP 5' CONTOUR
  - 1' CONTOUR
  - BUILDING SETBACK
  - EASEMENT
  - ZONE LINE
  - EASEMENT
  - RIPRAP
  - PROPOSED OF PAVEMENT
  - PROPOSED BITUMINOUS CONCRETE CURB
  - PROPOSED SLOPED GRANITE CURB
  - PROPOSED PAINTED TRAFFIC SYMBOL
  - PROPOSED TREELINE

MAP 111 LOT G1-60  
 AIRPORT RD. 90 REALTY LLC.  
 P.O. BOX 400  
 ALTON BAY, NH 03810-0400  
 BK. 3017 PG.0209  
 ZONE: INDUSTRIAL

MAP 111 LOT G1-61  
 81,449 SF  
 1.870 ACRES  
 ZONE: INDUSTRIAL

MAP 111 LOT G1-62  
 CONCORD 6 ASSOC. LLC & B  
 GRANDCHILDREN LIMITED  
 PARTNERSHIP  
 180 MIDDLESEX TPK.  
 BEDFORD, MA 01730-1416  
 BK. 3042 PG.1346  
 ZONE: INDUSTRIAL

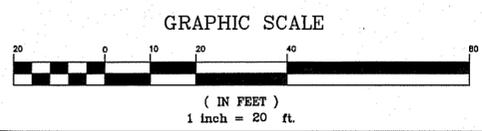


VICINITY PLAN  
 SCALE: 1" = 1,000'

SEE SHEET 1 FOR REFERENCE  
 PLANS & GENERAL NOTES

**APPROVED**  
 UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
 CITY PLANNING BOARD  
 CITY OF CONCORD, NEW HAMPSHIRE  
 In accordance with vote of the board dated:  
 Approval of this plat is limited to lots as shown.  
 Clerk

LOAM & SEED ALL DISTURBED  
 AREAS (TYP.)



**NON-RESIDENTIAL SITE LAYOUT PLAN  
 ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY

OWNER OF RECORD / APPLICANT:  
 JWB REALTY LLC  
 38 HENNIKER STREET  
 CONCORD, NH. 03301-8528  
 M.C.R.D. BK. 3031 PG. 0241

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2661

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 20'  
 PROJECT NO: 15-0417-1 SHEET 4 OF 11



**TABULATION:**

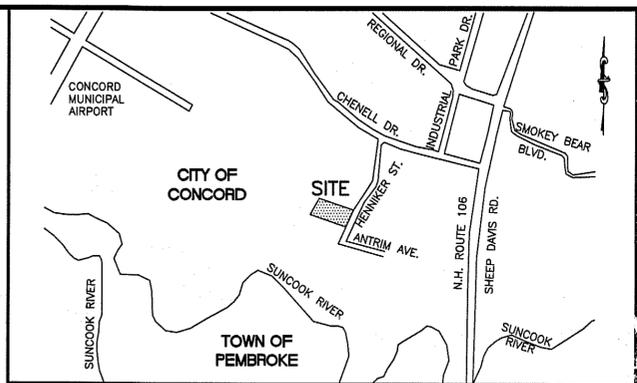
GROSS ACREAGE - 81,449 S.F. "INDUSTRIAL"  
 PROPOSED BUILDING COVERAGE - 22,100 SF (27.1%) "MANUFACTURING, FABRICATION, AND ASSEMBLY"  
 PROPOSED PAVEMENT AREA - 32,986 SF (40.4%)  
 LANDSCAPE ISLANDS - 1,013 SF (1.2%)  
 IMPERVIOUS SURFACE COVERAGE - 55,086 (67.6%)  
 NET LAND AREA - 78,012 SF

PARKING CALCULATIONS:  
 REQUIRED: EXISTING BUILDING 12,000 SF  
 EXISTING MEZZANINE 912 SF  
 12,912 SF  
 PROPOSED ADDITION 10,100 SF  
 TOTAL BUILDING AREA 23,012 SF  
 MANUFACTURING / INDUSTRIAL REQUIRED 1 SPACE / 800 SF (23,012 / 800) = 29 SPACES  
 PROPOSED: 35 SPACES (INCLUDING 2 HANDICAP SPACES)

**LEGEND**

□ GB-F	STONE BOUND FOUND	— G — G —	GAS LINE	— — — — —	PROPOSED OF PAVEMENT
○ IPIN-F	IRON PIN FOUND	— W — W —	WATER LINE	— — — — —	PROPOSED BITUMINOUS CONCRETE CURB
⊕	UTILITY POLE	— S — S —	SEWER LINE	— — — — —	PROPOSED SLOPED GRANITE CURB
⊕	SIGN	— SFM — SFM —	SEWER FORCE MAIN	— — — — —	PROPOSED EASEMENT
⊕	LIGHT	— — — — —	DRAINAGE LINE	— — — — —	PROPOSED DRAINAGE LINE
⊕	GAS VALVE	— — — — —	TREELINE	— — — — —	PROPOSED ROOF DRAIN
⊕	WATER VALVE	— — — — —	EDGE OF PAVEMENT	— — — — —	PROPOSED 1' CONTOUR LINE
⊕	HYDRANT	— — — — —	BITUMINOUS CONCRETE CURB	— — — — —	PROPOSED GRADE BREAK
⊕	WATER SHUT OFF	— — — — —	SLOPED GRANITE CURB	— — — — —	SAWCUT LINE
⊕	SEWER MANHOLE	— — — — —	5' CONTOUR	— — — — —	
⊕	DRAINAGE MANHOLE	— — — — —	1' CONTOUR	— — — — —	
⊕	CATCH BASIN	— — — — —	BUILDING SETBACK	— — — — —	
⊕	FLARED END SECTION	— — — — —	EASEMENT	— — — — —	
⊕	ABUTTER LINE	— — — — —	ZONE LINE	— — — — —	
⊕	PROPERTY LINE	— — — — —	EASEMENT	— — — — —	
⊕	WETLAND	— — — — —	RIPRAP	— — — — —	
⊕	FENCE	— — — — —			
⊕	OVERHEAD UTILITIES	— — — — —			

MAP 111 LOT G1-80  
 AIRPORT RD. 90 REALTY LLC.  
 P.O. BOX 400  
 ALTON BAY, NH 03810-0400  
 BK. 3017 PG.0209  
 ZONE: INDUSTRIAL



**VICINITY PLAN**  
 SCALE: 1" = 1,000'

- CONSTRUCTION NOTES:**
- ALL WORK SHALL CONFORM TO THE CITY OF CONCORD, LATEST EDITION, CONSTRUCTION STANDARDS AND DETAILS. IN THE ABSENCE OF A CITY STANDARD/SPECIFICATION, WORK SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AS PUBLISHED BY THE STATE OF NEW HAMPSHIRE, DEPARTMENT OF TRANSPORTATION, ARE HEREBY INCORPORATED BY REFERENCE.
  - PARKING LOT CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 811 AT LEAST 72 HOURS BEFORE DIGGING.
  - ALL DRAINAGE PIPE SHALL BE INSTALLED FOLLOWING MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  - ALL DISTURBED AREAS SHALL RECEIVE 6" LOAM AND SHALL BE SEED.
  - PLUMBING OF UTILITIES FOR PROPOSED ADDITION WILL BE FROM WITHIN EXISTING BUILDING, THEREFORE NO NEW BUILDING UTILITIES ARE REQUIRED/PROPOSED.

EXISTING DMH 11005  
 RIM=333.22  
 INV.IN=326.62  
 INV.OUT=326.39

MAP 111 LOT G1-84  
 ROBERT N. & VIRGINIA BERGERON  
 25 HENNIKER ST.  
 CONCORD, NH 03301-8528  
 BK. 3041 PG. 0305  
 ZONE: INDUSTRIAL

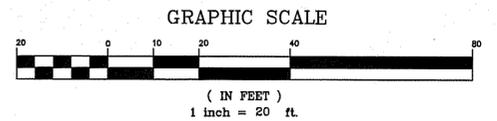
EXISTING DMH 18010  
 RIM=333.00  
 INV.IN=327.38  
 INV.OUT=327.08

EXISTING FES 12" CPP  
 RIM=332.52  
 INV.=330.98

EXISTING FES 12" CPP  
 INV.=330.66

EXISTING CB 18011  
 RIM=332.67  
 INV.OUT=327.67

**LOAM & SEED ALL DISTURBED AREAS (TYP.)**



**GRADING AND DRAINAGE PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**  
 JWB REALTY LLC  
 38 HENNIKER STREET  
 CONCORD, NH. 03301-8528  
 M.C.R.D. BK. 3031 PG. 0241

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 20'  
 PROJECT NO: 15-0417-1 SHEET 5 OF 11

**USDA SOIL MAP UNIT KEY**

SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%

SOURCE: WEB SOIL SURVEY  
 WWW.WEBSOILSURVEY.SC.EGOV.USDA.GOV

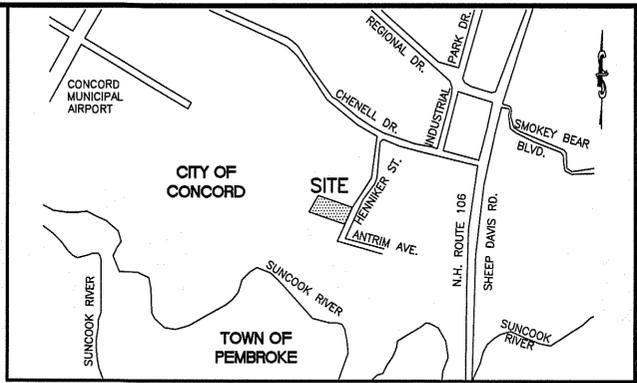


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**LEGEND**

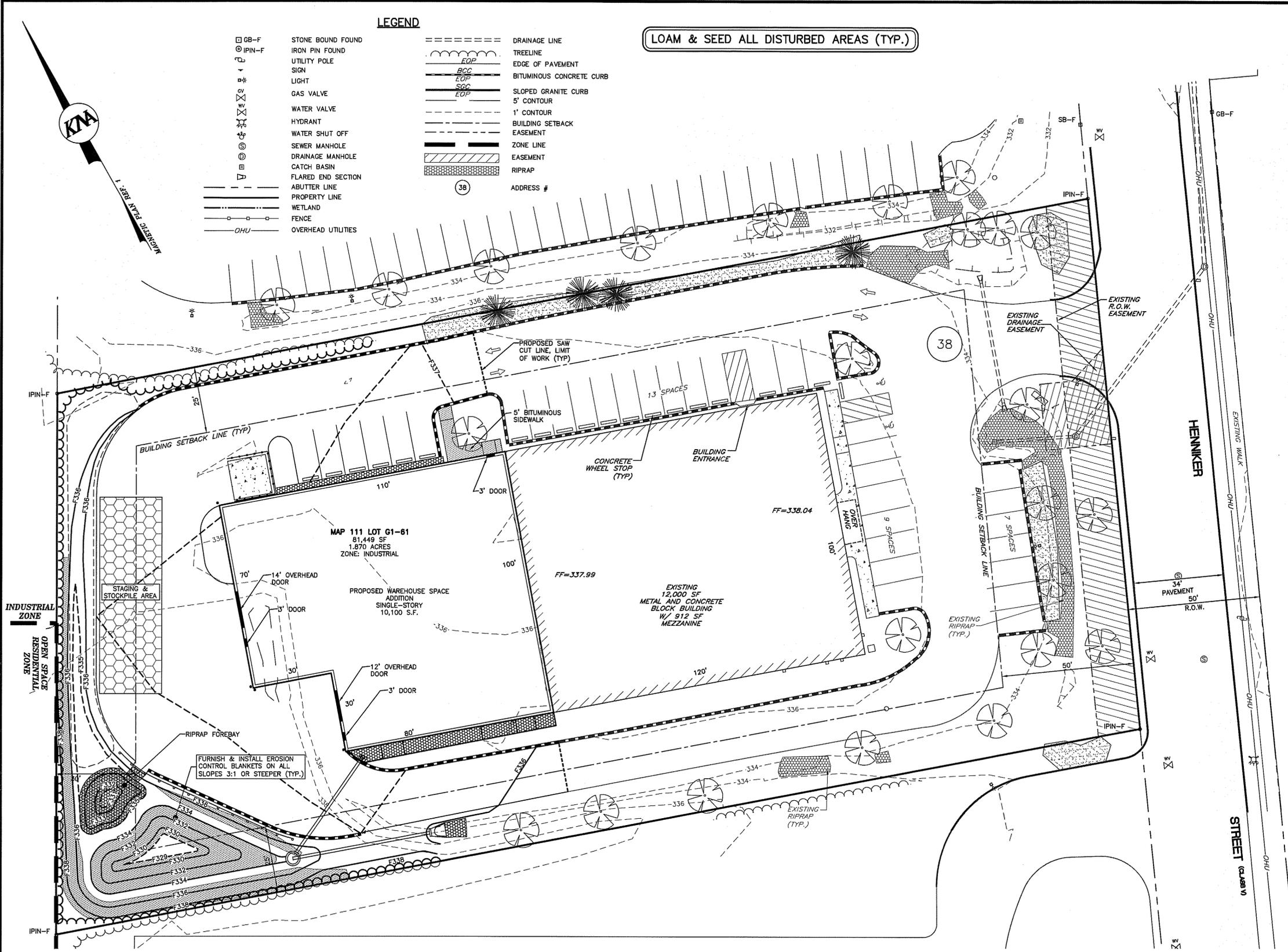
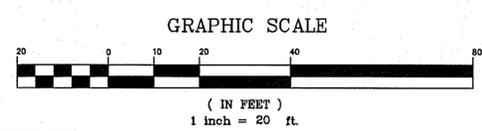
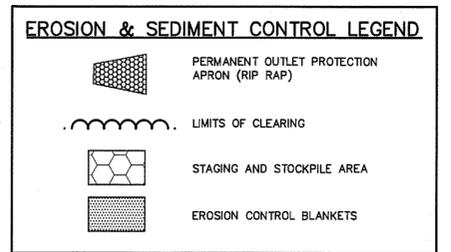
□ GB-F	STONE BOUND FOUND	---	DRAINAGE LINE
○ IPIN-F	IRON PIN FOUND	~	TREELINE
⊕	UTILITY POLE	---	EDGE OF PAVEMENT
⊙	SIGN	---	BITUMINOUS CONCRETE CURB
⊙	LIGHT	---	SLOPED GRANITE CURB
⊙	GAS VALVE	---	5' CONTOUR
⊙	WATER VALVE	---	1' CONTOUR
⊙	HYDRANT	---	BUILDING SETBACK EASEMENT
⊙	WATER SHUT OFF	---	ZONE LINE
⊙	SEWER MANHOLE	---	EASEMENT
⊙	DRAINAGE MANHOLE	---	RIPRAP
⊙	CATCH BASIN	---	ADDRESS #
⊙	FLARED END SECTION	---	
⊙	ABUTTER LINE	---	
⊙	PROPERTY LINE	---	
⊙	WETLAND	---	
⊙	FENCE	---	
⊙	OVERHEAD UTILITIES	---	

**LOAM & SEED ALL DISTURBED AREAS (TYP.)**



**VICINITY PLAN**  
SCALE: 1" = 1,000'

- EROSION CONTROL NOTES:**
- THE PURPOSE OF THIS PLAN IS TO DEPICT THE REQUIRED ONSITE TEMPORARY CONSTRUCTION EROSION CONTROL MEASURES AS WELL AS THE PERMANENT EROSION CONTROL MEASURES.
  - ALL MEASURES IN THE PLAN SHALL MEET AS A MINIMUM THE BEST MANAGEMENT PRACTICES SET FORTH IN VOLUME 3 OF THE NEW HAMPSHIRE STORMWATER MANUAL TITLED "EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION," DATED DECEMBER 2010, AS AMENDED FROM TIME TO TIME.
  - WHENEVER PRACTICAL, NATURAL VEGETATION SHALL BE RETAINED, PROTECTED OR SUPPLEMENTED. THE STRIPPING OF VEGETATION SHALL BE DONE IN A MANNER THAT MINIMIZES SOIL EROSION.
  - APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
  - THE AREA OF DISTURBANCE SHALL BE KEPT TO A MINIMUM. DISTURBED AREAS REMAINING IDLE FOR MORE THAN 30 DAYS SHALL BE STABILIZED.
  - MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA USING APPROVED MEASURES. WETLAND AREAS AND SURFACE WATERS SHALL BE PROTECTED FROM SEDIMENT.
  - OFFSITE SURFACE WATER AND RUNOFF FROM UNDISTURBED AREAS SHALL BE DIVERTED AWAY FROM DISTURBED AREAS WHERE FEASIBLE OR CARRIED NON-EROSIVELY THROUGH THE PROJECT AREA. INTEGRITY OF DOWNSTREAM DRAINAGE SYSTEMS SHALL BE MAINTAINED.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN FUNCTIONING CONDITION UNTIL FINAL SITE STABILIZATION IS ACCOMPLISHED.
  - ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. TRAPPED SEDIMENT AND OTHER DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS UNLESS CONDITIONS DICTATE OTHERWISE.
  - THE CITY OF CONCORD SHALL RESERVE THE RIGHT TO REQUIRE FURTHER EROSION CONTROL PRACTICES DURING CONSTRUCTION SHOULD THEY FIND IT NECESSARY.



**USDA SOIL MAP UNIT KEY**

SYMBOL	MAP UNIT	SLOPE CLASS
26B	WINDSOR LOAMY SAND	3-8%

SOURCE: WEB SOIL SURVEY, WWW.WEBSOILSURVEY.SC.EGOV.USDA.GOV

**EROSION CONTROL PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
38 HENNIKER STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**  
JWB REALTY LLC  
38 HENNIKER STREET  
CONCORD, NH. 03301-8528  
M.C.R.D. BK. 3031 PG. 0241

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017      SCALE: 1" = 20'  
PROJECT NO: 15-0417-1      SHEET 6 OF 11

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**LEGEND**

- |          |                    |     |                                   |
|----------|--------------------|-----|-----------------------------------|
| □ GB-F   | STONE BOUND FOUND  | --- | ABUTTER LINE                      |
| ⊙ IPIN-F | IRON PIN FOUND     | --- | PROPERTY LINE                     |
| ⊙        | UTILITY POLE       | --- | WETLAND                           |
| ⊙        | SIGN               | --- | FENCE                             |
| ⊙        | LIGHT              | --- | OVERHEAD UTILITIES                |
| ⊙        | GAS VALVE          | --- | DRAINAGE LINE                     |
| ⊙        | WATER VALVE        | --- | TREELINE                          |
| ⊙        | HYDRANT            | --- | EDGE OF PAVEMENT                  |
| ⊙        | WATER SHUT OFF     | --- | BITUMINOUS CONCRETE CURB          |
| ⊙        | SEWER MANHOLE      | --- | SLOPED GRANITE CURB               |
| ⊙        | DRAINAGE MANHOLE   | --- | BUILDING SETBACK EASEMENT         |
| ⊙        | CATCH BASIN        | --- | ZONE LINE                         |
| ⊙        | FLARED END SECTION | --- | RIPRAP                            |
|          |                    | --- | PROPOSED OF PAVEMENT              |
|          |                    | --- | PROPOSED BITUMINOUS CONCRETE CURB |
|          |                    | --- | PROPOSED SLOPED GRANITE CURB      |

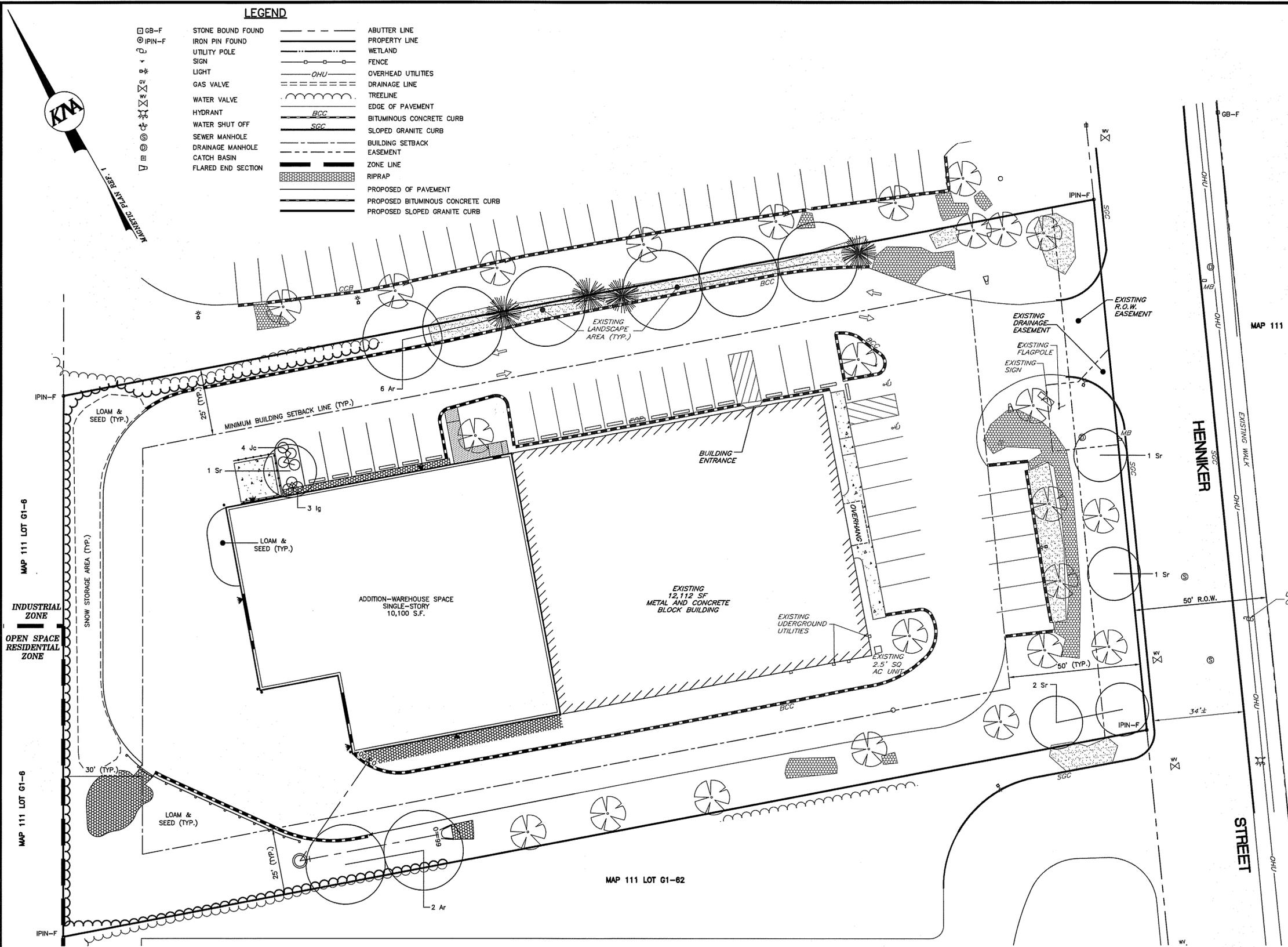
- LANDSCAPE NOTES:**
- THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED SITE LANDSCAPE WHICH PROVIDES CLIMATIC RELIEF AND AESTHETIC APPEAL.
  - ALL PLANT MATERIALS USED SHALL BE NURSERY STOCK AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM DATE OF INSTALLATION. ANY MATERIAL WHICH DIES OR DOES NOT SHOW HEALTHY APPEARANCE WITHIN THIS TIME SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, WITH SAME WARRANTY REQUIREMENTS AS THE ORIGINAL. WARRANTIES TYPICALLY DO NOT COVER LOSS DUE TO INSECT INFESTATION OR MECHANICAL DAMAGE (I.E. SNOW STORAGE).
  - IF THE SOIL CONDITIONS ARE EXTREMELY SANDY, ALL TREES SHALL HAVE A 6" LAYER OF COMPACTED TOPSOIL PLACED IN THE BASE OF THE PLANT PIT AS A MOISTURE RETENTION LAYER. THE PLANT PIT SIDEWALLS SHALL BE OVER EXCAVATED BY AN ADDITIONAL 12" BEYOND THE NORMAL OUTSIDE RADIUS OF THE HOLE. A TOPSOIL MIXTURE SHALL BE USED TO BACKFILL THE HOLE AS FOLLOWS: ORGANIC TOPSOIL, AMENDED WITH 10% WOOD ASH, 10% MANURE, 30% COMPOST AND A GRANULAR HYDROGEL TO ABSORB AND RETAIN WATER.
  - PLANTING BEDS AND SAUCERS WITHIN THE LIMITS OF CONDO UNITS 2 AND 3 SHALL RECEIVE 6" MINIMUM THICKNESS OF TOPSOIL UNDER A 5oz. POLYPROPYLENE WEED CONTROL FABRIC.
  - PLANTING BEDS WITHIN THE LIMITS OF CONDO UNIT 1 SHALL RECEIVE A MINIMUM TOPSOIL DEPTH OF 12 INCHES, TWO LAYERS OF WEED BARRIER MADE FROM FIBERGLASS AND ULTRA-VIOLET LIGHT RESISTANT SHALL BE PLACED OVER ALL PLANTING BEDS PRIOR TO MULCHING.
  - MINIMUM TOPSOIL DEPTH IN LAWN AREAS AND ALL OTHER DISTURBED AREAS SHALL BE 6".
  - MULCH SHALL BE MINIMUM 3" THICKNESS CONSISTING OF 50% SHREDDED BARK AND 50% WOOD CHIPS, 3/4 TO 2 INCH IN SIZE, UNIFORMLY MIXED AND FREE OF ELM WOOD. MULCH TO BE PLACED UNIFORMLY OVER THE PLANTING BED ALLOWING NO WEED BARRIER TO BE SEEN.
  - PAVEMENT AND ROAD BASE MATERIAL ENCOUNTERED IN ANY LAWN OR PLANTING BED SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AND SUITABLE AMENDED SOIL INSTALLED AS SPECIFIED IN THE TURF ESTABLISHMENT SCHEDULE.
  - THE APPLICANT OR THEIR SUCCESSORS SHALL BE RESPONSIBLE FOR THE REGULAR MAINTENANCE OF ALL PLANTING AND OTHER LANDSCAPE FEATURES. PLANT MATERIALS SHALL BE MAINTAINED ALIVE, HEALTHY AND FREE FROM PESTS AND DISEASE.
  - EXISTING TREES SPECIFIED TO REMAIN AND ARE USED TO MEET THE PARKING LOT LANDSCAPING REQUIREMENTS SHALL BE REPLACED BY THE OWNER IF THEY DO NOT SURVIVE THE CONSTRUCTION PROCESS OR OTHERWISE IN PERPETUITY.

- LANDSCAPE IRRIGATION SYSTEM DESIGN NOTES:**
- LANDSCAPE/IRRIGATIONS SYSTEM CONTRACTOR SHALL FURNISH AND INSTALL AN UNDERGROUND IRRIGATION SYSTEM CAPABLE OF PROVIDING SEASONAL COVERAGE OVER THOSE AREAS DESIGNATED ON THIS PLAN.
  - PRIOR TO THE INSTALLATION OF IRRIGATION SYSTEM, LANDSCAPE/IRRIGATION SYSTEM CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF SYSTEM TOGETHER WITH CATALOGUE CUTS OF ALL HEADS, VALVING, CONTROLLER EQUIPMENT, PIPING AND BACKFLOW PREVENTION EQUIPMENT AND APPURTENANCES TO DESIGN ENGINEER FOR REVIEW AND APPROVAL. INSTALLATION OF SYSTEM SHALL NOT COMMENCE UNTIL DESIGN ENGINEER HAS APPROVED SAID SHOP DRAWINGS IN WRITING AND INFORMED THE GENERAL CONTRACTOR OF THE SAME.
  - BACKFLOW PREVENTION AND WATER SUPPLY CONNECTIONS TO CONFORM TO THE REQUIREMENTS OF THE LOCAL WATER PRECINCT.

**LOAM & SEED ALL DISTURBED AREAS (TYP.)**

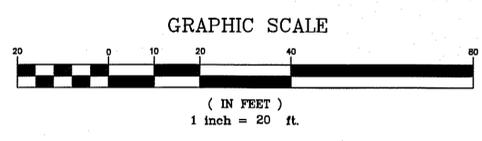
**LANDSCAPE CALCULATIONS**

**REQUIRED PARKING LOT TREES:**  
 PROPOSED PAVED AREA: \*14,679 SF  
 TREES REQUIRED: (1 TREE/1,000 SF x 13,189): 13 TREES REQUIRED  
 TREES PROVIDED: 13 TOTAL TREES PROVIDED  
 \* INCLUDES PARKING SPACES, INTERNAL LANDSCAPE ISLANDS, ACCESS AISLES, DRIVEWAYS, FIRE LANES, AND OTHER VEHICULAR CIRCULATION AREAS.



**PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT
<b>TREES</b>					
Ar	8	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5-3" CAL.	40-60'
Sr	5	SYRINGA RETICULATA	JAPANESE LILAC TREE	2.5-3" CAL.	20-30'
<b>SHRUBS</b>					
Ig	3	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	2.5-3"	4-5'
Jc	4	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18-24"	6-12'



**LANDSCAPE PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**  
 MAP 111 LOT G1-61  
 38 HENNIKER STREET  
 CONCORD, NEW HAMPSHIRE  
 MERRIMACK COUNTY

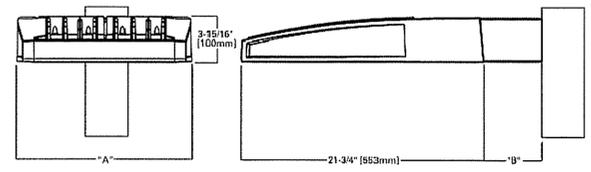
**OWNER OF RECORD / APPLICANT:**  
 JWB REALTY LLC  
 38 HENNIKER STREET  
 CONCORD, NH. 03301-8528  
 M.C.R.D. BK. 3031 PG. 0241

**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
 Civil Engineering Land Surveying Landscape Architecture  
 10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

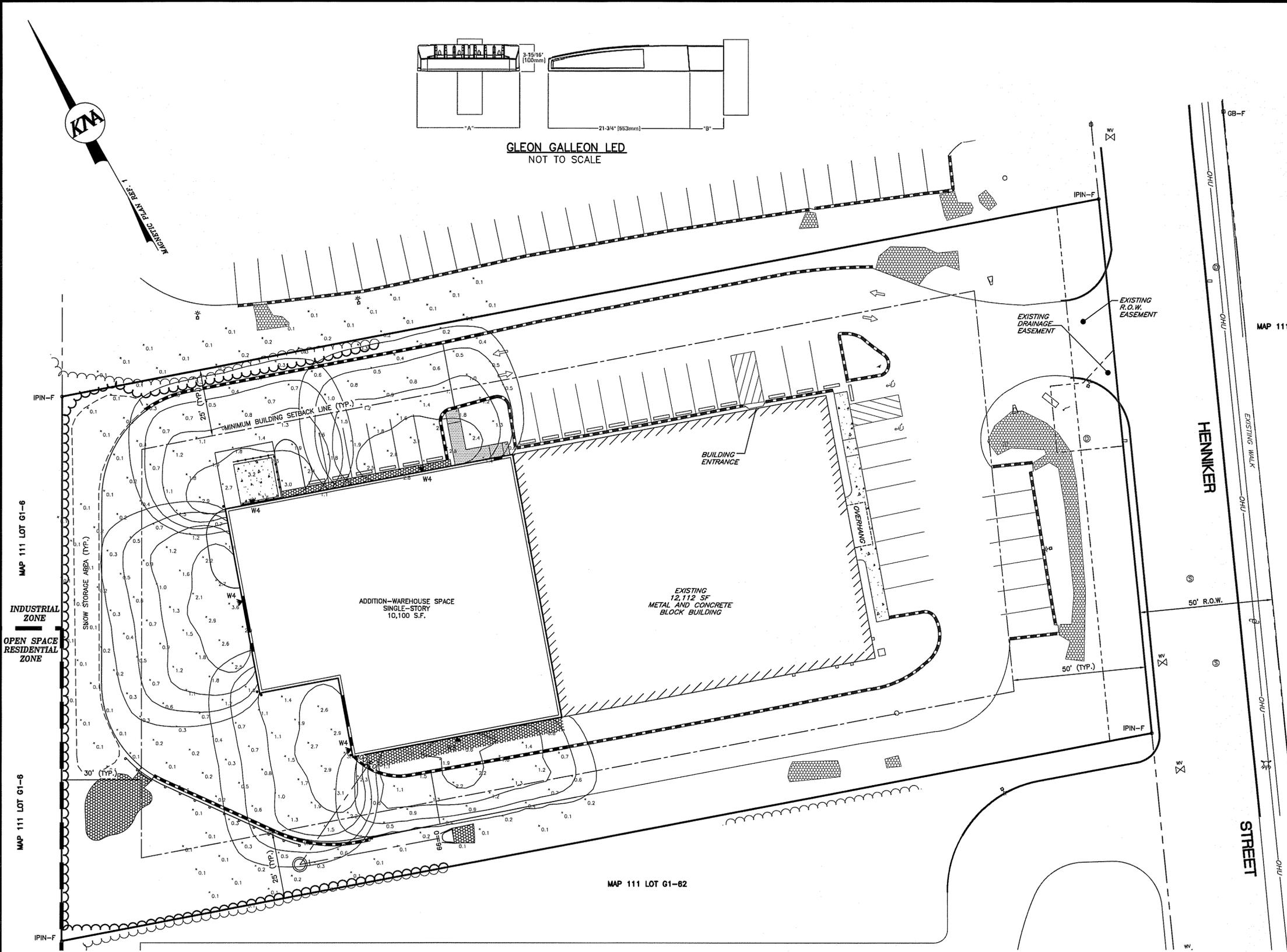
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: 1" = 20'  
 PROJECT NO: 15-0417-1 SHEET 7 OF 11

- CONSTRUCTION NOTES:**
1. PROVIDE NEW WIRE FROM PANELS TO NEW AND EXISTING LIGHTS IN SCHEDULE 80 ELECTRICAL CONDUIT, 1" MINIMUM.
  2. PROVIDE PHOTO CELL AND TIME CLOCK CONTROL.
  3. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION REGARDING LIGHT INSTALLATION AND WIRING REQUIREMENTS.



**GLEON GALLEON LED**  
NOT TO SCALE



IN ASSOCIATION WITH:

**CHARRON**  
INCORPORATED  
P.O. BOX 4550  
MANCHESTER, NH 03108  
(603) 624-4827  
FAX (603) 624-9764

**LIGHTING PLAN**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**  
MAP 111 LOT G1-61  
38 HENNIKER STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**  
JWB REALTY LLC  
38 HENNIKER STREET  
CONCORD, NH. 03301-8528  
M.C.R.D. BK. 3031 PG. 0241

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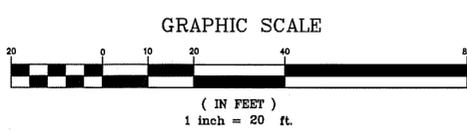
**REVISIONS**

No.	DATE	DESCRIPTION	BY

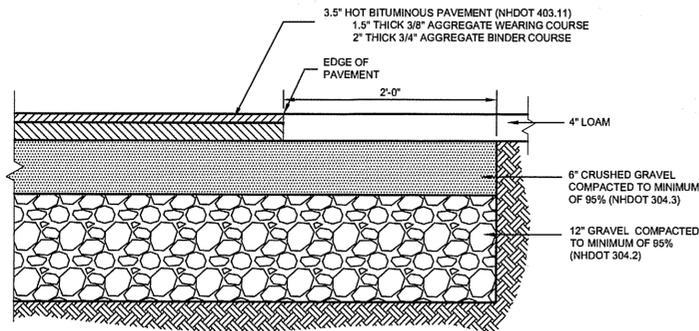
DATE: SEPTEMBER 15, 2017      SCALE: 1" = 20'  
PROJECT NO: 15-0417-1      SHEET 8 OF 11

StatArea\_1  
PARKING LOT AREA ONLY  
Illuminance (Fc)  
Average = 1.56  
Maximum = 3.7  
Minimum = 0.4  
Avg/Min Ratio = 3.90  
Max/Min Ratio = 9.25

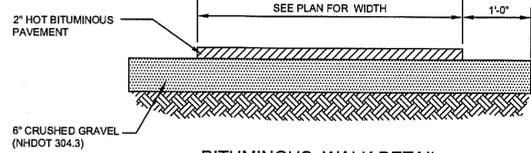
Symbol	Qty	Label	Arrangement	Description
W3	1	W3	SINGLE	GWC-AF-01-LED-E1-SL3-600 / WALL MTD 15' AFG
W4	4	W4	SINGLE	GWC-AF-01-LED-E1-SL4 / WALL MTD 15' AFG



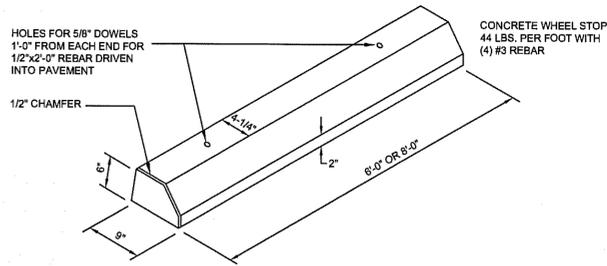
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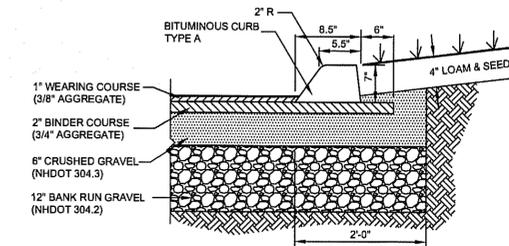
**DRIVEWAY AND PARKING LOT SECTION**  
NOT TO SCALE  
(MARCH 2009)



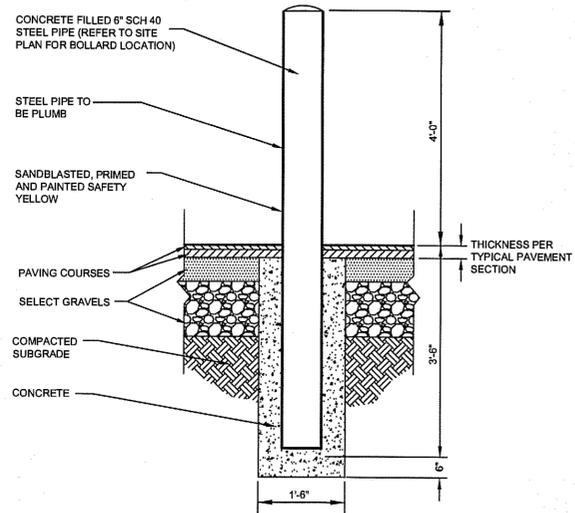
**BITUMINOUS WALK DETAIL**  
NOT TO SCALE  
(MARCH 2008)



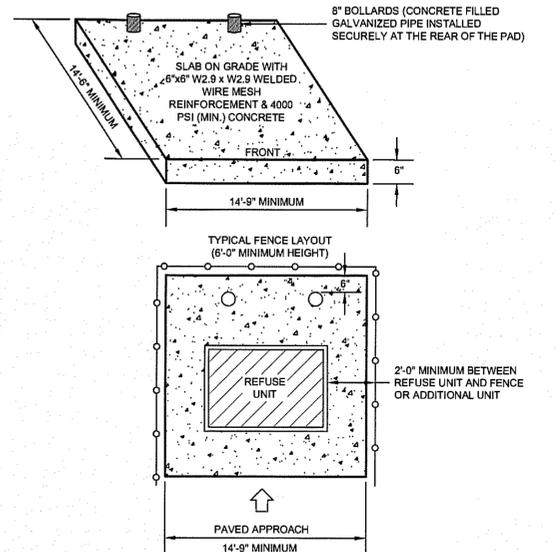
**PRECAST CONCRETE WHEEL STOP**  
NOT TO SCALE



**NHDOT BITUMINOUS CURB TYPE A DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**BOLLARD DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**SINGLE DUMPSTER PAD DETAIL**  
NOT TO SCALE  
(AUGUST 2011)

**CONSTRUCTION SEQUENCE**

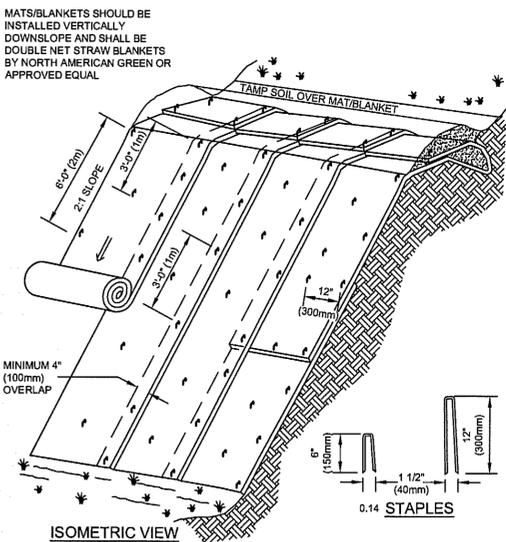
- FIRST CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE BY THE CONTRACTOR. THIS PROJECT IS MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:33 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO COMMENCEMENT OF ANY EARTHMOVING OPERATIONS, ALL APPLICABLE TEMPORARY EROSION CONTROL MEASURES, INCLUDING SPECIFIED PERIMETER SILTATION FENCING AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
- COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITH AREAS OUT OF THE WAY OF OTHER CONSTRUCTION ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
- INSTALL ALL PONDS AND SWALES PRIOR TO ROUGH GRADING THE SITE.
- BEGIN EARTHMOVING OPERATIONS, COMMENCING WITH WORK NEEDED TO BALANCE SITE AND FACILITATE BUILDING FOUNDATION CONSTRUCTION. PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADE STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
- ONCE BUILDING FOUNDATION WORK IS UNDERWAY, CONTINUE EARTHMOVING OPERATIONS UNTIL DESIGN SUBGRADE IS ACHIEVED.
- INSTALL DRAINAGE SWALE SYSTEMS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
- PLACE GRAVEL AND CRUSHED GRAVEL OVER PROPOSED DRIVEWAY, WALKS AND PARKING AREAS AND COMPACT IN SPECIFIED LIFT THICKNESS. ALL ROADS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- COMPLETE EXCAVATION/STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF AREAS USING STOCKPILED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY, TO LEAVE A THICKNESS OF 4 INCHES OF FRIABLE LOAM.
- FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED. ALL AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE.
- INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
- CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
- INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE.
- COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.

**EROSION CONTROL NOTES:**

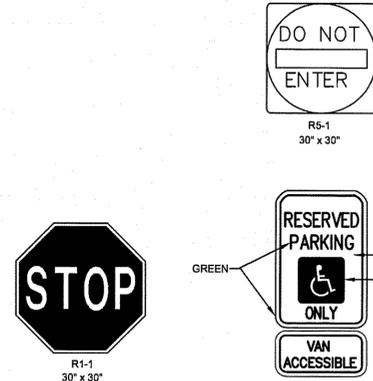
- EXPOSED EARTHWORK SHALL BE CONFINED TO AS LIMITED AN AREA AS IS PRACTICAL AT ANY GIVEN TIME THROUGHOUT THE CONSTRUCTION SEQUENCE. AT NO TIME SHALL MORE THAN FIVE (5) ACRES OF SITE AREA BE IN AN UNSTABLE CONDITION. NO GIVEN AREA OF THE SITE SHALL BE LEFT IN AN UNSTABILIZED CONDITION FOR A PERIOD OF TIME EXCEEDING THIRTY (30) CALENDAR DAYS.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR, MAY WARRANT. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25\"/>

**WINTER CONSTRUCTION NOTES:**

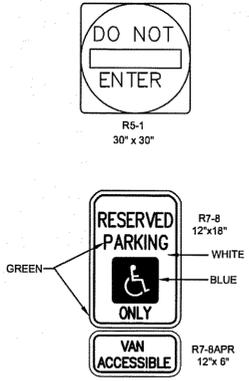
- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 4:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR, IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - A MINIMUM OF 3\"/>



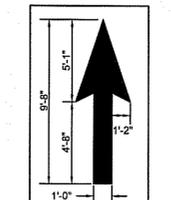
- NOTES:**
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
  - APPLY PERMANENT SEEDING BEFORE PLACING BLANKETS.
  - LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
- EROSION CONTROL BLANKETS - SLOPE INSTALLATION**  
NOT TO SCALE  
(AUGUST 2011)



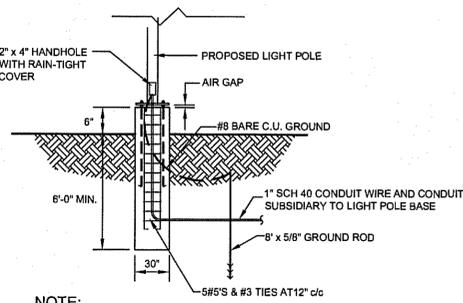
**STOP SIGN DETAIL**  
NOT TO SCALE  
(MARCH 2008)



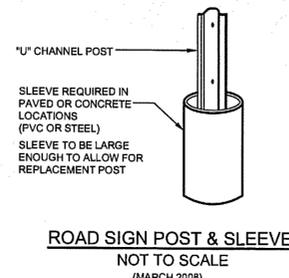
**VAN ACCESSIBLE HANDICAP PARKING SIGN DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**THROUGH (STRAIGHT) ARROW**



**CONCRETE LIGHT POLE BASE DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**ROAD SIGN POST & SLEEVE**  
NOT TO SCALE  
(MARCH 2008)

**CONSTRUCTION DETAILS**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**

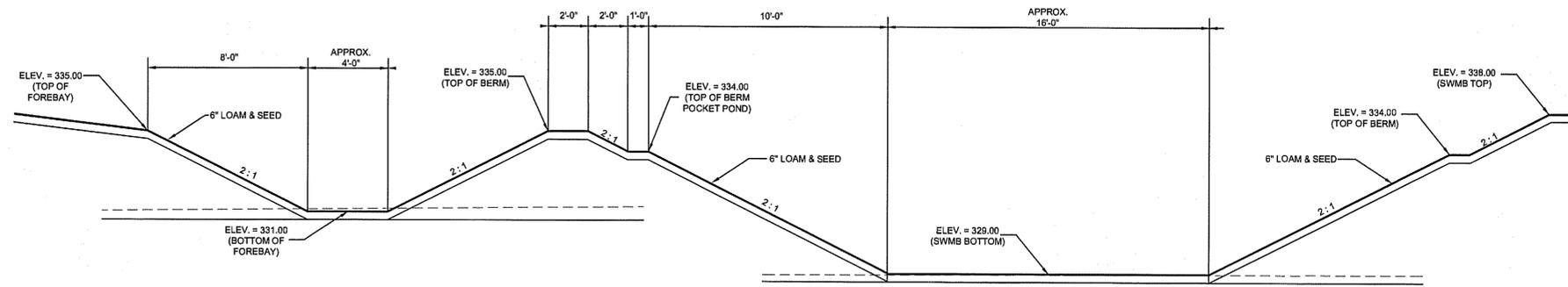
MAP 111 LOT G1-61  
38 HENNIKER STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**  
JWB REALTY LLC  
38 HENNIKER STREET  
CONCORD, NH. 03301-8528  
M.C.R.D. BK. 3031 PG. 0241

**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881

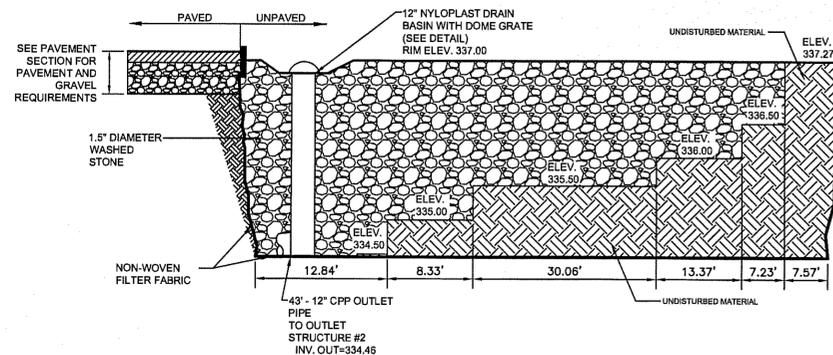
REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: AS SHOWN  
PROJECT NO: 15-0417-1 SHEET 9 OF 11

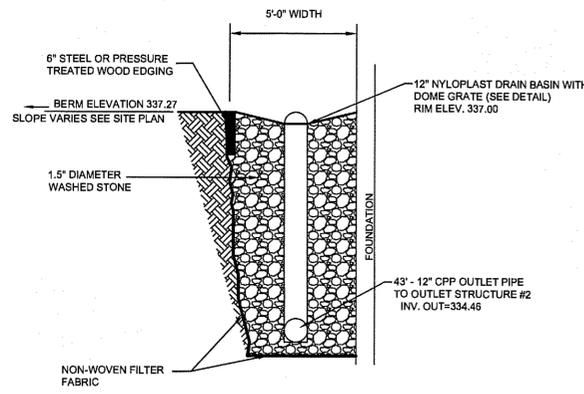


**STORMWATER MANAGEMENT BASIN EMBANKMENT DETAIL AND CONSTRUCTION CRITERIA FOR FILL EMBANKMENTS**

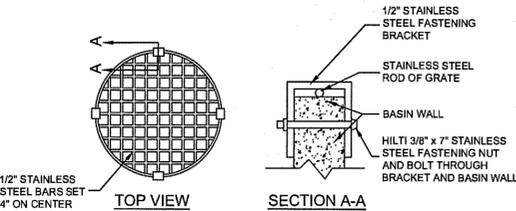
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(NOVEMBER 2017)



**INFILTRATION TRENCH CROSS SECTION**  
NOT TO SCALE

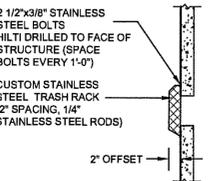


**INFILTRATION TRENCH DETAIL**  
NOT TO SCALE

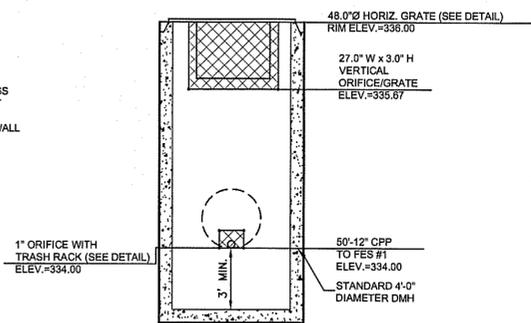


**GRATE DETAIL**  
NOT TO SCALE

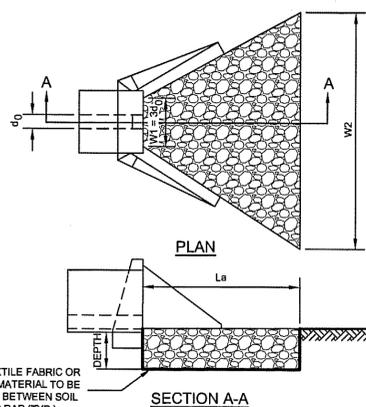
NOTE:  
CUSTOM STAINLESS STEEL TRASH RACK SHALL BE APPROVED BY ENGINEER PRIOR TO INSTALLATION.



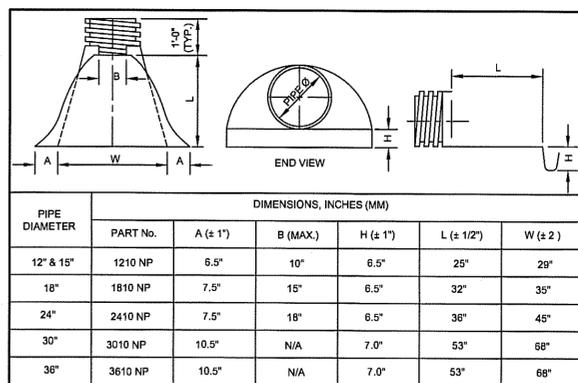
**TRASH RACK DETAIL**  
NOT TO SCALE



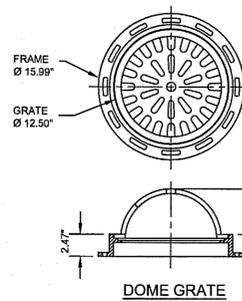
**OUTLET STRUCTURE #2 DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL**  
NOT TO SCALE



**ADS END SECTION DETAIL**  
NOT TO SCALE  
(MARCH 2008)



**NYLOPLAST 12" GRATES/COVERS**  
NOT TO SCALE

**DETENTION BASIN NOTES:**

**CONSTRUCTION CRITERIA:**

- FOUNDATION PREPARATION** - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED, IF NECESSARY, SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.  
  
THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL.  
  
EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPEMED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT.  
  
FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.
- FILL PLACEMENT** - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.  
  
SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTI-SEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.  
  
THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE SPECIFIED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD BOND WITH THE NEW FILL.  
  
THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION, THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE FIELD.
- MOISTURE CONTROL** - THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND BE MIXED UNTIL THE REQUIREMENT IS MET.
- COMPACTION** - CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OF EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED, IF NEEDED, TO OBTAIN THE REQUIRED COMPACTION.
- PROTECTION** - A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT, SPILLWAY, AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.  
  
SEEDBED PREPARATION, SEEDING, FERTILIZING AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BIMPS.
- CONCRETE** - THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED, IF NECESSARY. ALL CONCRETE IS TO BE CONSISTENT OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER. NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUBGRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.

**MAINTENANCE:**

- MAINTENANCE IS NECESSARY FOR THE DETENTION BASIN TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. THE OWNER IS ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. THE FOLLOWING MAINTENANCE PLAN SHOULD BE ADOPTED:
- EMBANKMENT** - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
  - VEGETATION** - THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED, AS NECESSARY, AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
  - INLETS** - PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM EVENT. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
  - OUTLETS** - PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY. IF EROSION IS TAKING PLACE, THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA OF THE OUTLET.
  - SEDIMENT** - SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
  - SAFETY INSPECTIONS** - ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER. IF THERE IS POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. INSPECTIONS SHOULD BE MADE AFTER EVERY MAJOR STORM EVENT.

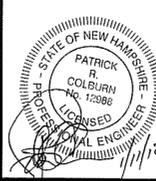
**CONSTRUCTION DETAILS**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
38 HENNIKER STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

**OWNER OF RECORD / APPLICANT:**

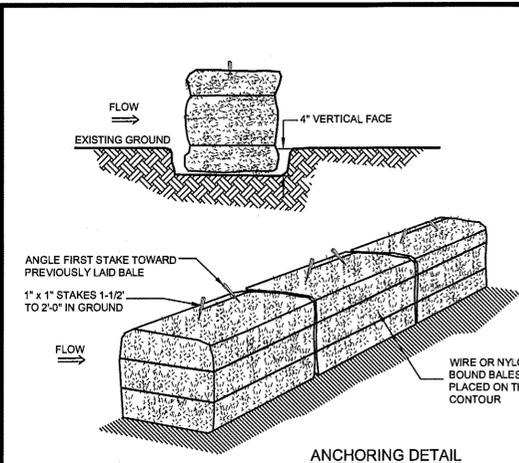
JWB REALTY LLC  
38 HENNIKER STREET  
CONCORD, NH, 03301-8528  
M.C.R.D. BK. 3031 PG. 0241

**KMA** KEACH-NORDSTROM ASSOCIATES, INC.  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 827-2881



REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017      SCALE: AS SHOWN  
PROJECT NO: 15-0417-1      SHEET 10 OF 11



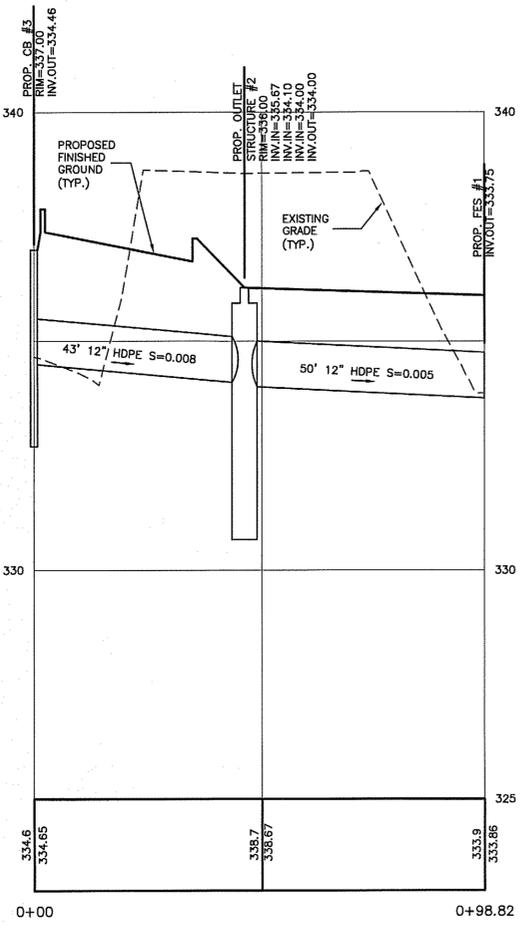
**ANCHORING DETAIL**

**CONSTRUCTION SPECIFICATIONS:**

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- BALES SHOULD BE FREE FROM ANY PLANT MATERIAL FOUND ON THE NEW HAMPSHIRE INVASIVE SPECIES LIST.

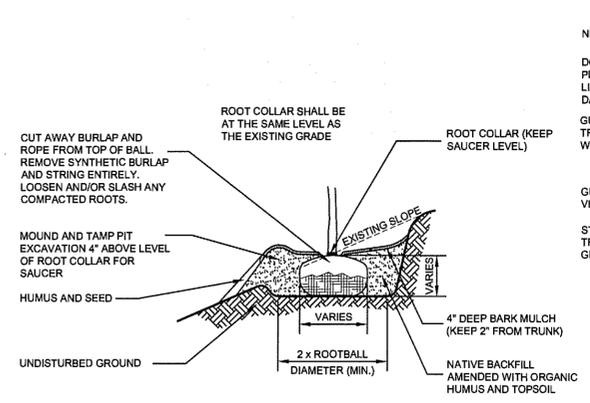
**STRAW BALE BARRIER**

NOT TO SCALE  
(JULY 2010)



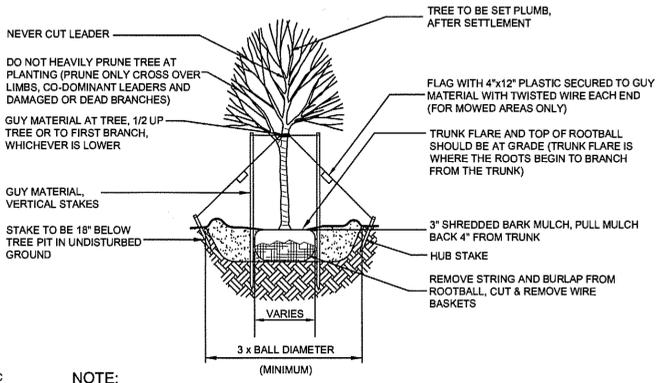
**DRAINAGE PROFILE**  
(PROP. CB#3 TO PROP. FES#1)

SCALE: 1" = 20'(HORIZ.)  
1" = 2'(VERT.)



**TYPICAL PLANTING PIT ON SLOPE 4:1 OR GREATER**

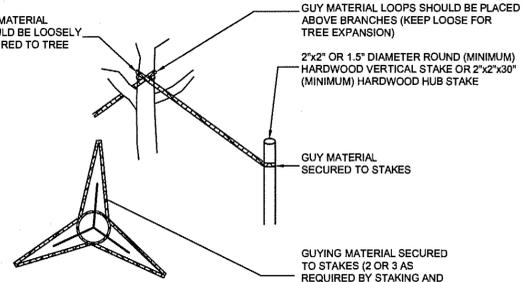
NOT TO SCALE  
(JANUARY 2012)



**DECIDUOUS TREE PLANTING DETAIL**

NOT TO SCALE

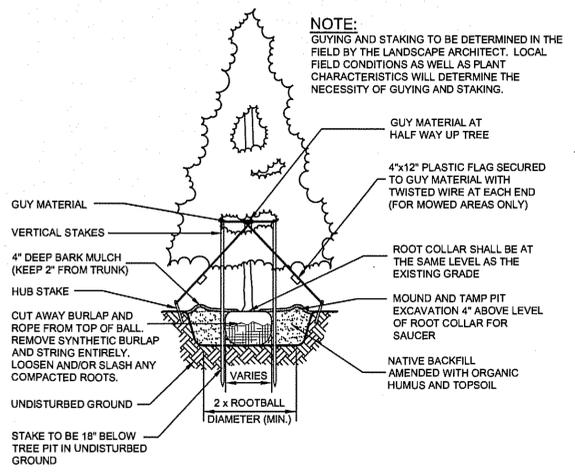
- NOTE:**
- GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
  - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
  - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
  - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
  - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
  - CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.



- NOTE:**
- ONLY USE PLASTIC CHAINLOCK (LANDSCAPE QUALITY AND SUITABLE FOR GUYING TREES) OR EQUIVALENT GUYING MATERIAL.

**DECIDUOUS TREE - GUYING & STAKING**

NOT TO SCALE



**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE  
(JANUARY 2012)

**TURF ESTABLISHMENT SCHEDULE**

**PURPOSE:**  
TO ESTABLISH AND MAINTAIN PERMANENT AND TEMPORARY TURF AREAS, RESTORE GROWTH TO EXISTING TURF AREAS DISTURBED DURING CONSTRUCTION AND CONTROL SOIL EROSION.

- PREPARATION AND EXECUTION:**
- RAKE THE SUBGRADE OF ALL AREAS TO BE LOAMED AND SEEDING TO REMOVE RUBBISH, STICKS, ROOTS AND STONES LARGER THAN 1 INCH.
  - PLACE LOAM OVER AREAS TO BE SEEDING AND SPREAD.
  - FINE GRADE SURFACE AND SUPPLEMENT WITH SUITABLE LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE ACCORDING TO THE FINISH GRADES INDICATED. TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED. NO LOAM SHALL BE SPREAD IF THE SUBGRADE IS EXCESSIVELY WET OR FROZEN.
  - IF THE PH OF THE SOIL NEEDS TO BE RAISED, APPLY LIME EVENLY OVER LOAM SURFACE AND THOROUGHLY INCORPORATE LIME INTO THE LOAM BY HEAVY RAKING TO AT LEAST ONE-HALF THE DEPTH OF THE LOAM.
  - APPLY FERTILIZER AND MIX WITH THE UPPER 2 INCHES OF LOAM.
  - DETERMINE APPROPRIATE MIXTURE FOR AREA TO BE SEEDING BASED ON EXAMINATION OF PROJECT PLANS. UNIFORMLY SPREAD THE SEED BY BROADCASTING OR HYDROSEEDING. IF BROADCASTING, LIGHTLY RAKE INTO THE PREPARED SURFACE AND ROLL. IF HYDROSEEDING, USE 4 TIMES THE RECOMMENDED RATE OF INOCULANT. AFTER SEED IS SPREAD, WATER THOROUGHLY WITH A FINE SPRAY.
  - SEEDING AND INITIAL FERTILIZING SHALL BE DONE BETWEEN APRIL 1 AND JUNE 1 OR BETWEEN AUGUST 15 AND OCTOBER 14, OR AS PERMITTED. SEEDING SHALL NOT BE DONE DURING WINDY WEATHER OR WHEN THE GROUND IS FROZEN, EXCESSIVELY WET OR OTHERWISE UNTILLABLE.
  - WITHIN 24 HOURS AFTER SEEDING OPERATION, UNIFORMLY MULCH THE AREA WITH STRAW. ANCHOR MULCH ON ALL SLOPES EXCEEDING 3:1 USING MULCH NETTING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER.
  - PROTECT AND PREVENT AGAINST WASHOUTS, ANY WASHOUTS WHICH OCCUR SHALL BE PROMPTLY REGRADED AND RESEEDED.
  - WHEN IT IS IMPRACTICAL TO ESTABLISH PERMANENT GROWTH ON DISTURBED EARTH BY OCTOBER 14, A TEMPORARY SEED MIXTURE SHALL BE USED. WHEN TEMPORARY SEEDING CANNOT ESTABLISH VISIBLE GROWTH, THE DISTURBED AREA SHALL BE COVERED WITH SIX INCHES OF MULCH FOR THE WINTER.

**MAINTENANCE:**  
ALL SEEDING AREAS SHALL BE KEPT WATERED AND IN GOOD CONDITION. RESEED AS NECESSARY TO ESTABLISH HEALTHY UNIFORM GROWTH OVER THE ENTIRE SEEDING AREA. MAINTAIN SEEDING AREAS IN AN APPROVED CONDITION UNTIL FINAL ACCEPTANCE. MAINTENANCE SHALL INCLUDE REPAIRS FOR DAMAGE CAUSED BY EROSION.

**APPLICATION RATES:**

- LOAM SHALL BE APPLIED AT A MINIMUM COMPACTED THICKNESS OF 4 INCHES.
- LIME SHALL BE USED WHEN NECESSARY TO RAISE THE PH OF THE SOIL AND APPLIED AT ONE OF THE FOLLOWING RATES:

EXISTING SOIL PH	TONS/ACRE	POUNDS/CUBIC YARD
4.0 - 4.4	3	12
4.5 - 4.9	2	8
5.0 - 5.4	1	4

- FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:

INITIAL APPLICATION	POUNDS/1,000 SF	MEASUREMENT FACTOR
10-10-10	20.0	1.0
15-15-15	13.4	1.5
19-19-19	10.5	1.9

REFERTILIZATION	POUNDS/1,000 SF	MEASUREMENT FACTOR
10-3-6	20.0	1.0
12-2-8	16.7	1.2
12-4-8	16.7	1.2

- MULCH SHALL BE APPLIED AT A RATE OF 13 CUBIC YARDS PER 1,000 S.F. OF LANDSCAPE BED.

**SOD SPECIFICATIONS:**

- SOD SHALL BE PROVIDED WITH A STRONG ROOT SYSTEM, NOT LESS THAN TWO YEARS OLD AND SHALL BE FREE OF ANY UNDESIRABLE NATIVE GRASSES OR WEEDS.
- SOD SHALL BE MACHINE CUT TO A THICKNESS NOT LESS THAN 3/4", EXCLUDING THATCH, AND SHALL BE CAPABLE OF VIGOROUS GROWTH WHEN PLANTED.
- SOD PADS SHALL BE OF UNIFORM SIZE AND COMPOSED OF AT LEAST TWO LOCAL GRASS VARIETIES.
- LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS, DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. TAMP SOD TO ENSURE CONTACT WITH SOIL.
- WATER WITHIN ONE HOUR OF PLANTING WITH A FINE SPRAY.

- MATERIALS:**
- LOAM SHALL CONSIST OF LOOSE, FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE OF VIABLE PARTS OF PROHIBITED INVASIVE PLANTS AND BE GENERALLY FREE OF STONES, LUMPS, STUMPS AND SIMILAR OBJECTS LARGER THAN 2 INCHES IN GREATEST DIAMETER, SUBSOIL, ROOTS AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUES SHALL BE FROM 6.5 TO 7.8.
  - LIME SHALL BE A CALIC OR DOLOMITIC GROUND AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 95% OF EITHER CALCIUM OR MAGNESIUM CARBONATE, OR BOTH. IT SHALL CONFORM TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS AND SHALL COMPLY WITH ALL STATE AND FEDERAL RULES AND REGULATIONS.
  - FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE FERTILIZER CONFORMING TO ALL STATE AND FEDERAL RULES AND REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. EXCEPT AS PERMITTED, THE ANALYSIS RATIO SHALL BE 1:1:1 FOR INITIAL APPLICATION AND 3:1:2 FOR REFERTILIZATION APPLICATION.
  - GRASS SEED SHALL MEET THE REQUIREMENTS OF THE NEW HAMPSHIRE AGRICULTURAL AND VEGETABLE SEED LAWS AND SHALL INCLUDE NO "PRIMARY NOXIOUS WEED SEEDS."
  - SEED MIXTURE FOR LAWN AREAS SHALL CONSIST OF THE FOLLOWING:

KIND OF SEED	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	POUNDS/ACRE (TOTAL 120 POUNDS)
CREeping RED FESCUE	98	85	40
PERENNIAL RYEGRASS	98	90	50
KENTUCKY BLUEGRASS	97	85	25
REDFEST	95	80	5

- SEED MIXTURE FOR SLOPE AREAS SHALL CONSIST OF THE FOLLOWING:

KIND OF SEED	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)	POUNDS/ACRE (TOTAL 95 POUNDS)
CREeping RED FESCUE	98	85	35
PERENNIAL RYEGRASS	98	90	30
REDFEST	95	80	5
ALSIKE CLOVER	97	80	5
BIRDSFOOT TREFOL	98	80	5
LANCE-LEAVED COREOPSIS	95	80	4
OXEYE DAISY	95	80	3
BLACKWYED SUSAN	95	80	4
WILD LUPINE	95	80	4

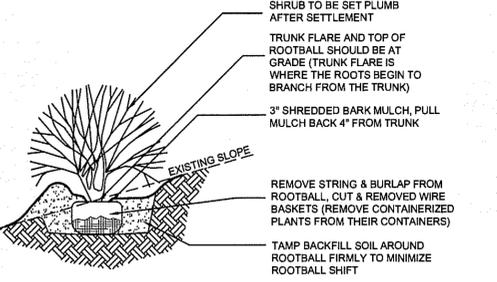
- TEMPORARY SEEDING MIXTURE SHALL BE APPLIED AT A RATE OF 2 POUNDS PER 1,000 SF AND SHALL BE AN APPROVED CONSERVATION MIX OR CONSIST OF THE FOLLOWING:

- 15% BLACKWELL OR SHELTER SWITCHGRASS
- 30% NIAGRA OR KAY BIG BLUESTEM
- 30% CAMPER OR BLAZE LITTLESTEM
- 15% NE-27 OR BLAZE SAND LOVEGRASS
- 10% VIKING BIRDSFOOT TREFOL
- INOCULUM SPECIFIC TO BIRDSFOOT TREFOL MUST BE USED WITH THIS MIXTURE. IF SEEDING BY HAND, A STICKING AGENT SHALL BE USED. IF SEEDING WITH A HYDROSEEDER, USE FOUR TIMES THE RECOMMENDED AMOUNT OF INOCULUM.

- SEED MIXTURE FOR STORMWATER MANAGEMENT AREAS, INCLUDING DETENTION BASINS AND VEGETATED TREATMENT SWALES, SHALL BE APPLIED AT A RATE OF 70 POUNDS PER ACRE OR 1.6 POUNDS PER 1,000 SF, AND SHALL CONSIST OF THE FOLLOWING:

- 25% CREeping RED FESCUE
- 15% SWITCH GRASS
- 15% FOX SEDGE
- 15% CREeping BENTGRASS
- 10% FLATFEA
- 20% WILDFLOWER VARIETY

- STRAW USED FOR MULCH SHALL CONSIST OF MOWED AND PROPERLY CURED GRASS OR LEGUME MOWINGS, FREE FROM WEEDS, TWIGS, DEBRIS, INVASIVE SPECIES OR OTHER DELETERIOUS MATERIAL AND ROT OR MOLD.



**SHRUB PLANTING**

NOT TO SCALE

- NOTES:**
- DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
  - BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
  - SHRUBS AND GROUNDCOVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT AND WIDTH, WILL NOT ENCRoACH INTO THE CITY'S SIDEWALK.

**CONSTRUCTION DETAILS**  
**ADVANTAGE PLASTIC PRODUCTS, INC.**

MAP 111 LOT G1-61  
38 HENNIKER STREET  
CONCORD, NEW HAMPSHIRE  
MERRIMACK COUNTY

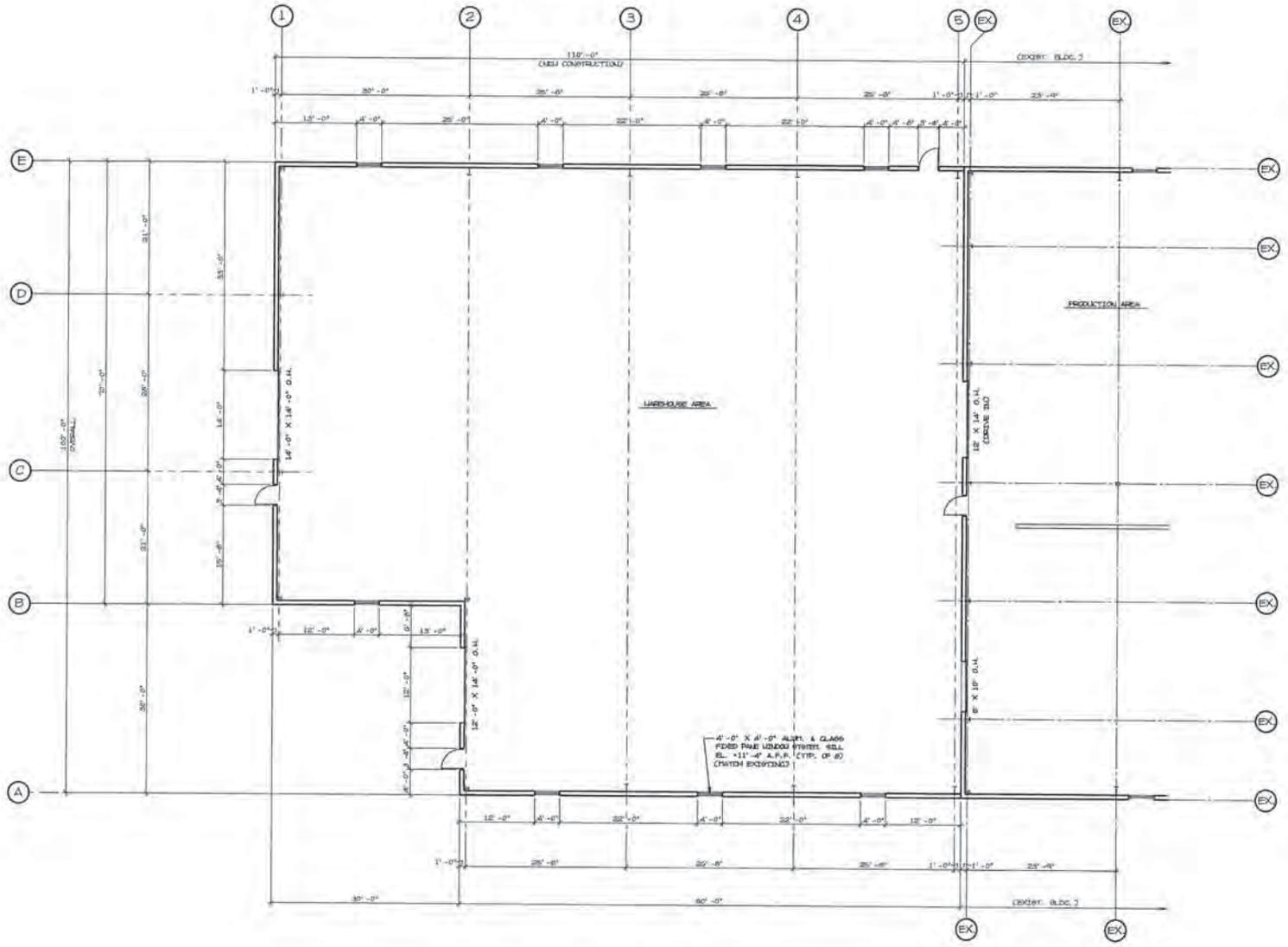
**OWNER OF RECORD / APPLICANT:**  
JWB REALTY LLC  
38 HENNIKER STREET  
CONCORD, NH. 03301-8528  
M.C.R.D. BK. 3031 PG. 0241

**KMA KEACH-NORDSTROM ASSOCIATES, INC.**  
Civil Engineering Land Surveying Landscape Architecture  
10 Commerce Park North, Suite 3B, Bedford, NH 03110 Phone (603) 627-2881

REVISIONS			
No.	DATE	DESCRIPTION	BY

DATE: SEPTEMBER 15, 2017 SCALE: AS SHOWN  
PROJECT NO: 15-0417-1 SHEET 11 OF 11





**FLOOR PLAN- NEW CONSTRUCTION**  
 SCALE 1/8" = 1'-0"

**FLYNN CONSTRUCTION CORP.**  
 COMMERCIAL & INDUSTRIAL  
 17 OLD NUBIA ROAD, STE. #18  
 JARVISPORT, NEW HAMPSHIRE 03021  
 PHONE (603) 882-8177 FAX (603) 882-9494

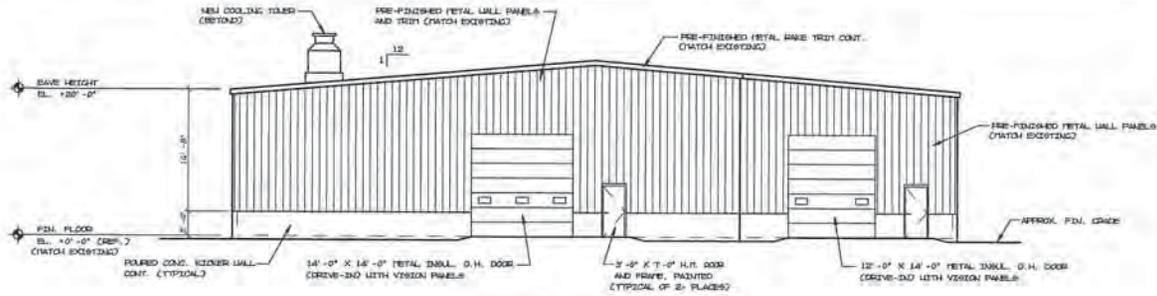
NO.	REVISION	DESCRIPTION OF REV.	REV. DATE
NO. 1	ORIGINAL DRAWINGS		12/11/17

PROJECT: **ADVANTAGE PLASTIC PROD.**  
 ADDRESS: **NEW HAMPSHIRE**  
 SUBJECT: **FLOOR PLAN**  
 DRAWN BY: **NEW CONSTRUCTION**

DATE: 12/09/17	DATE: 12/09/17
SCALE: AS NOTED	SCALE: AS NOTED
DESIGNER: T.J.L.	DESIGNER: T.J.L.
CLIENT: T.L.B.F.T.	CLIENT: T.L.B.F.T.

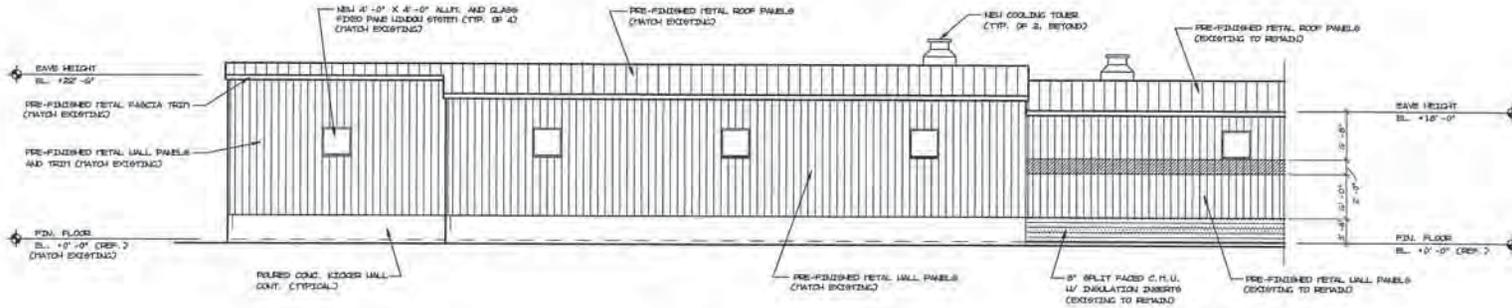


SHEET NO. **A-1**



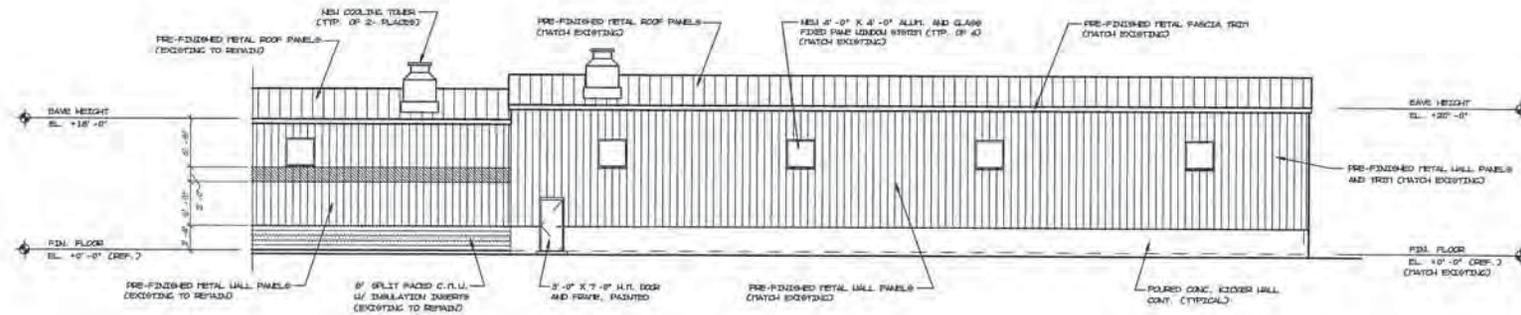
**REAR ELEVATION**

SCALE 1/8" = 1'-0"



**LEFT SIDE ELEVATION**

SCALE 1/8" = 1'-0"



**RIGHT SIDE ELEVATION**

SCALE 1/8" = 1'-0"

**FLYNN CONSTRUCTION CORP.**  
 COMMERCIAL - INDUSTRIAL  
 17 NEW MARKET ROAD, STE. #10  
 ANDOVER, MASS 01810  
 PHONE (603) 882-8177 FAX (603) 882-0454

DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_

NO. 1 AND COOLING TOWER  
 NO. 2 CRANIAL ENCLOSURE  
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ADDITION TO:  
**ADVANTAGE PLASTIC PROD.**  
 CONCRETE  
 ELEVATIONS  
 NEW CONSTRUCTION

DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_



SHEET NO. **A-2**

