

SITE NOTES:

GROSS LOT AREA: 379,140 SF (8.7 AC)  
RM: 332,512 SF, CG 46,268 SF  
USABLE/BUILDABLE AREA: 320,510 SF  
BUILDING COVERAGE NEW+EXISTING: 32,194 SF (8.5%)  
PARKING & LOADING AREAS: 52,978 SF (INCLUDES ALL DRIVES, PARKING, AND VEHICLE CIRCULATION).  
LANDSCAPED ISLANDS: 1,970 SF  
PERCENT IMPERVIOUS COVERAGE: 25% (96,913 SF)  
RESIDENT OCCUPANCY: 50 UNITS EXISTING  
18 PROPOSED NEW UNITS

192P-96  
ERIC M. HANSON  
P.O. Box 4081  
Concord, NH  
03302-4081  
V. 2849 P. 69

192P-94  
WILLOW CROSSING, LP  
105 Loudon Road Suite 1  
Concord, NH 03301-5602  
V. 3489 P. 219

SURVEY NOTES:

1. SURVEY BY TOTAL STATION BETWEEN THE DATES OF AUGUST 8 THROUGH 17 2017 BY RICHARD D. BARTLETT & ASSOCIATES, LLC. CONTROL TRAVERSE ERROR OF CLOSURE IS 1:40,098.
2. HORIZONTAL DATUM IS BASED ON NEW HAMPSHIRE STATE PLANE COORDINATE SYSTEM NAD 83.
3. VERTICAL DATUM IS BASED ON NAVD 88.
4. OWNER OF RECORD: PENACOOK ASSISTED LIVING FACILITY INC. - P.O. 2032 CONCORD, NH 03302 - MAP 192P, LOT 89. V. 2147 P. 1678.
5. PARCEL IS ZONED RM-MEDIUM DENSITY RESIDENTIAL; BUILDING SETBACKS: FRONT 25', SIDE 15', AND REAR 25'. MINIMUM LOT SIZE = 40,000 SQ. FT., MINIMUM FRONTAGE = 100', MAXIMUM LOT COVERAGE = 40% ALSO ZONED CG-GENERAL COMMERCIAL, BUILDING SETBACKS: FRONT 30', SIDE 25', AND REAR 30'. MINIMUM LOT SIZE = 25,000 SQ. FT., MINIMUM FRONTAGE = 150', MAXIMUM LOT COVERAGE = 80%.
6. THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTION OF THE UTILITIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ANY UTILITY COMPANY AND APPROPRIATE GOVERNMENTAL AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233.
7. THE INTENT OF THIS PLAT IS TO DEPICT EXISTING CONDITIONS ON MAP 192P, LOT 89.

REFERENCES:

1. "PENACOOK ASSISTED LIVING FACILITY", REVISED THROUGH 11/19/98 BY BURD ENGINEERING RECORDED AT THE MCRD AS PLAN NO. 14814.
2. "RE-SUBDIVISION FOR: ARTHUR J. MACARTHUR ET. AL." DATED OCT. 8, 1977 BY RICHARD D. BARTLETT RLS, RECORDED AT MCRD AS PLAN NO. 5125.
3. "ALTA/ACSM LAND TITLE SURVEY LAND OF WILLOW CROSSING LIMITED PARTNERSHIP", DATED DEC. 5, 2003 BY FWS LAND SURVEYING P.L.L.C.
4. "VILLAGE HOUSE SUBDIVISION", DATED APRIL 27, 1976 BY JAMES H. NEIL CO., INC. RECORDED AT THE MCRD AS PLAN NO. 4456.
5. "AS-BUILT PLAT PREPARED FOR AMERICAN BARBER STUDIOS (OWNER OF RECORD DAVID CARON)", DATED OCT. 7, 2008 BY RICHARD D. BARTLETT & ASSOCIATES, LLC ON FILE AT THIS OFFICE.

EASEMENTS OF RECORD:

1. 15' NEW ENGLAND TELEPHONE AND TELEGRAPH CO. AND CONCORD ELECTRIC CO. EASEMENT V. 2198 P. 664.
2. CONCORD ELECTRIC CO. COMMERCIAL UNDERGROUND AGREEMENT AS DESCRIBED IN V. 2199 P. 563.
3. WALKWAY LICENSE GRANTED BY BO & POP LIMITED PARTNERSHIP AS DESCRIBED IN V. 2172 P. 45.
4. SIDEWALK AGREEMENT WITH THE CITY OF CONCORD AS DESCRIBED IN V. 2172 P. 42.

UTILITY STRUCTURE SCHEDULE:

CB 7700  
RIM 353.62  
INV 354.20 12" RCP (W)  
INV 355.17 12" PVC (N)  
INV 354.34  
CB 7701  
RIM 353.69  
INV 355.59 12" PVC (S)  
SUMP 352.6  
CB 7702  
RIM 353.54  
INV 354.86 12" RCP (W)  
INV 355.89 12" PVC (N)  
INV 354.92 12" RCP (E)  
SUMP 351.9  
CB 7703  
RIM 353.58  
INV 356.16 12" RCP (S)  
SUMP 353.5  
CB 18576  
RIM 354.1  
INV 356.76 12" RCP (S)  
SUMP 355.8  
CB 7702  
RIM 353.54  
INV 354.86 12" RCP (W)  
INV 355.89 12" PVC (N)  
INV 354.92 12" RCP (E)  
SUMP 351.94  
CB 7703  
RIM 353.58  
INV 356.16 12" RCP (S)  
SUMP 353.5  
CB 18577  
RIM 353.92  
INV 355.87 12" RCP (W)  
INV 357.32 12" RCP (N)  
INV 356.87 12" RCP (E)  
SUMP 353.0  
CB 18578  
RIM 353.89  
INV 356.87 12" PVC (S)  
SUMP 354.3  
CB 18579  
RIM 353.78  
INV 356.88 12" PVC (N)  
INV 356.88 12" RCP (E)  
SUMP 354.2  
DMH 18581  
RIM 364.00  
INV 347.30 30" RCP (W)  
INV 347.46 30" RCP (E)  
DMH 18584  
RIM 362.55  
INV 346.78 30" RCP (W)  
INV 346.88 30" RCP (E)  
SMH 148  
RIM 364.70  
INV 350.85 8" PVC (W)  
INV 350.85 8" PVC (E)  
SMH 147  
RIM 364.03  
INV 353.93 8" PVC (W)  
INV 353.93 8" PVC (N)  
INV 363.60 8" PVC (E)  
SMH 1082  
RIM 364.04  
INV 351.76 8" PVC (W)  
INV 351.43 12" PVC (E)  
INV 351.74 12" PVC (S)  
INV 356.48 4" PVC (SW)  
SMH RDB 280  
RIM 363.05  
INV 356.85 8" PVC (NW)  
INV 356.81 8" PVC (W)  
INV 355.23 8" PVC (S)

TURNER  
GROUP

The H.L. Turner Group Inc.

27 Locke Rd.  
Concord, New Hampshire 03301  
603.228.1122  
hturner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

COPYRIGHT: THE H.L. TURNER GROUP INC. 2018  
Electronic images of these documents may be used for the purpose of  
expediting shop drawings and coordination drawings for this project only - except  
as indicated by individual specifications (e.g. Structural steel). It shall be unlawful  
to use them for any other purpose. The Architect or Engineer's seals shall not  
appear on any documents that are modified by others. The Architect shall bear  
no responsibility for any modifications to the original documents by others.

KEY PLAN:

PROJECT OWNER/APPLICANT:  
PENACOOK ASSISTED LIVING FACILITY, INC.  
PO Box 2032  
Concord, NH 03302-2032

PROJECT NAME/ADDRESS:  
WHITAKER PLACE  
BUILDING EXPANSION  
30 BOROUG ROAD  
PENACOOK, NH 03303  
TAX MAP 192P, LOT 89  
BOOK 2147, PAGE 1678

ISSUE:

Planning Board Review

PROJ. NO.: 4428 STAMP

SCALE: 1"=40'

DESIGN BY: NWH

DRAWN BY: PDR

CHECK BY: NWH

ISSUE DATE: 11/18/2017

REVISIONS

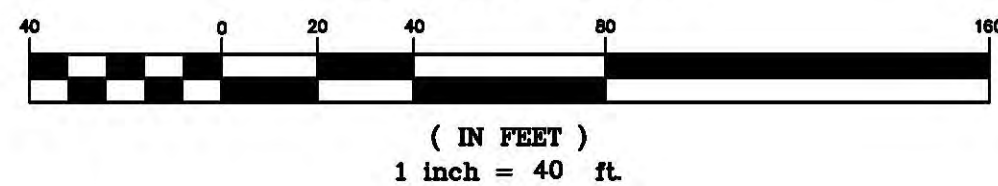
NO.	DATE	DESCRIPTION
1	01.05.18	PLANNING DEPT. RESUBMISSION

SHEET TITLE:

EXISTING CONDITIONS  
PLAN

C1.0

GRAPHIC SCALE



NRCS SOILS LEGEND

SYMBOL DESCRIPTION

- 613 CROGHAN FINE SANDY LOAM, 0-5% SLOPES, HSG A/D  
789B CHAMPLAIN-URBAN LAND COMPLEX, 0-8% SLOPES, HSG A

192P-15  
WILLIAM & LEONE  
GAGNON  
37 Amy Way  
Concord, NH  
03303  
V. 3035 P. 129

192P-16  
JERRY, CAROLYN,  
RYAN & BRIDGET  
SPRING  
38 Amy Way  
Concord, NH 03303  
V. 3443 P. 1341

192P-17  
JOANNA LORDEN &  
STEWART MCPHEE  
38 Amy Way  
Concord, NH 03303  
V. 3442 P. 1

192P-30  
SEAN &  
STEPHANIE WHEELER  
75 Alice Drive  
Concord NH 03303  
V. 3075 P. 576

192P-93  
DEREK A. BOLDUC, TRUSTEE OF  
BARCHY FAMILY REALTY TRUST  
33 Village Street  
Concord, NH 03303-1948  
V. 2036 P. 1460

192P-92  
TOY REAL ESTATE HOLDINGS, LLC  
27 Village Street  
Penacook, NH 03303  
V. 3512 P. 1387

192P-91  
DAVID & CYNTHIA CARON  
74 Broad Cove Drive  
Concord, NH 03303  
V. 3255 P. 390

192P-89  
PENACOOK ASSISTED LIVING  
FACILITY, INC.  
P.O. Box 2032  
Concord, NH 03302-2032  
V. 2147 P. 1678  
Total Area: 379,140 Sq. Ft.  
or 8.70 Ac.

192P-90  
BO & POP LIMITED PARTNERSHIP  
c/o Foxfire Management  
Attn: Paul Cole  
P.O. Box 1438  
Concord, NH 03302  
V. 1976 P. 102

192P-1  
VILLAGE AT THIRTY PINES LLC  
201 Loudon Road  
Concord, NH 03301  
V. 2991 P. 1784



ON DECEMBER 6, 2017, THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO ARTICLE 28-4-5(d)3 OF THE ZONING ORDINANCE: TO ALLOW A BUILDING WITH A 350-FOOT WIDTH WHERE A MAXIMUM OF 160-FEET IS ALLOWED.

28-7-11(b): CONSTRUCTION OF FEWER PARKING SPACES (60 WHERE 72 ARE REQUIRED)

28-7-10(a): PARKING LOT PERIMETER LANDSCAPING REQUIRED  
THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT TO PROVIDE A 5-FOOT WIDE LANDSCAPED PERIMETER AROUND THE PARKING AREAS.

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITION AND SITE RENOVATIONS TO WHITAKER PLACE.
2. THE OWNER OF THE PROPERTY IS PENACOCK ASSISTED LIVING FACILITY, INC. P.O. BOX 2032, CONCORD, NH 03302-3022.
3. THIS SITE IS SERVED BY MUNICIPAL SEWER, WATER, AND STORM SEWER INFRASTRUCTURE.
4. THE SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS DEPICTED ON FLOOD INSURANCE RATE MAP 33013C0355E, EFFECTIVE DATE 4/19/2010.
5. SNOW WILL BE STOCKPILED IN THE AREAS SHOWN. THE OWNER WILL BE RESPONSIBLE FOR DISPOSING OF EXCESS ACCUMULATION AT AN OFFSITE LOCATION ON AN AS NEEDED BASIS.
6. PROPOSED LANDSCAPING NOT SHOWN ON THIS PLAN FOR CLARITY. SEE SHEET L-1.

30 BOROUGH ROAD, PENACOOK, NH  
PREDOMINANTLY ZONED RM (MEDIUM DENSITY RESIDENTIAL)  
THE SITE ABUTS THE CG (GENERAL COMMERCIAL) DISTRICT AT THE SOUTHEASTERN  
LOT LINE AND THE UT (URBAN TRANSITIONAL) ALONG THE NORTHEASTERN LOT LINE.  
TAX MAP 192P, LOT 89.

<u>DIMENSIONAL INFORMATION</u>	<u>REQUIRED (RM DISTRICT*)</u>	<u>PROVIDED</u>
MIN. LOT SIZE	12,500 SF	379,140 SF
BUILDABLE AREA	6,250 SF	246,212 SF
MIN. FRONTAGE	100 LF	821 LF
SETBACKS		
FRONT	25 LF	25 LF
SIDE	15 LF	15 LF
REAR	25 LF	25 LF
MAX. LOT COVERAGE	40%	25% (98,265 SF)
MAX. HEIGHT	35 FT	27 FT

\* NONE OF THE CONSTRUCTION OR DISTURBANCE OCCURS WITHIN THE CG DISTRICT.

<u>DIMENSIONAL INFORMATION</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
MIN. LOT SIZE	25,000 SF	379,140 SF

MAXIMUM ALLOWABLE DENSITY: 14 UNITS/ACRE OF BUILDABLE LAND.  
7.35 AC X 14 UNITS = 103 UNITS ALLOWABLE  
EXISTING BUILDING PROVIDES 54 DWELLING UNITS.  
THIS DESIGN PROPOSES 18 NEW UNITS FOR A TOTAL OF 72.

**BUILDING DIMENSIONS: NO BUILDING SHALL HAVE A HORIZONTAL DIMENSION IN EXCESS OF 160- FEET.**

PERIMETER BUFFER: MIN. BUFFER WIDTH ALONG PERIMETER OF LOT SHALL BE 50- FEET FOR A TWO-STORY STRUCTURE

USE	UNIT OF MSMT.	MIN. SPACES REQ'D. PER UNIT OF MSMT.
ASSISTED LIVING RESIDENCES	DWELLING UNIT	1 PER UNIT

Spaces Required: 72  
72 UNITS X 1 SPACE/UNIT

SPACES PROVIDED: 59 CURRENT, 13 FUTURE (72 TOTAL).  
9 OF THE SPACES ARE HANDICAP ACCESSIBLE, 3 OF WHICH ARE VAN ACCESSIBLE.  
\*\* FUTURE SPACES INDICATED AS \_\_\_\_\_.

**DIMENSIONS**  
STANDARD SPACE: 9'X19'  
ACCESSIBLE SPACE: 8'X19'  
NO PARKING IS PERMITTED WITHIN THE FRONT SETBACK.  
NO PARKING IS PERMITTED WITHIN 5- FEET OF ANY PROPERTY LINE.



( IN FEET )  
1 inch = 40 ft.

TURNER  
GROUP

The H.L. Turner Group Inc.

**27 Locke Rd.  
Concord, New Hampshire 03301  
603.228.1122  
hlturner.com**

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

Copyright : The H.L. Turner Group Inc. 2018

**Y PLAN:**

PROJECT OWNER/ APPLICANT:  
**ENACOOK ASSISTED LIVING FACILITY, INC.**  
 PO Box 2032  
 Concord, NH 03302-2032

**PROJECT NAME/ADDRESS:**  
**WHITAKER PLACE**  
**BUILDING EXPANSION**  
0 BOROUGH ROAD  
PENACOOK, NH 03303  
TAX MAP 192P, LOT 89  
BOOK 2147, PAGE 1678

**SUE:**

### Planning Board Review

QJ. NO.:	4428	STAMP
SCALE:	1"=48'	
SN. BY:	MHM	
DRAWN BY:	PDH	
CHECKED BY:	MHM	
DATE:	11/10/2017	

[illegible]

EET TITLE:

## SITE PLAN

## C2.0



ZONING NOTE

ON DECEMBER 6, 2017, THE ZONING BOARD OF ADJUSTMENT GRANTED A VARIANCE TO ARTICLE 28-4-5(d)3 OF THE ZONING ORDINANCE: TO ALLOW A BUILDING WITH A 350-FOOT WIDTH WHERE A MAXIMUM OF 160-FEET IS ALLOWED.

CONDITIONAL USE PERMIT NOTE

28-7-11(b): CONSTRUCTION OF FEWER PARKING SPACES (60 WHERE 72 ARE REQUIRED)

WAIVER REQUEST

28-7-10(a): PARKING LOT PERIMETER LANDSCAPING REQUIRED  
THE APPLICANT REQUESTS A WAIVER FROM THE REQUIREMENT TO PROVIDE A 5-FOOT WIDE LANDSCAPED PERIMETER AROUND THE PARKING AREAS.

GENERAL NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE BUILDING ADDITION AND SITE RENOVATIONS TO WHITAKER PLACE.
2. THE OWNER OF THE PROPERTY IS PENACOOK ASSISTED LIVING FACILITY, INC. P.O. BOX 2032, CONCORD, NH 03302-2032.
3. THIS SITE IS SERVICED BY MUNICIPAL SEWER, WATER, AND STORM SEWER INFRASTRUCTURE.
4. THE SITE IS NOT LOCATED WITHIN A 100-YEAR FLOOD ZONE AS DEPICTED ON FLOOD INSURANCE RATE MAP 33013C0535E, EFFECTIVE DATE 4/19/2010.
5. SNOW WILL BE STOCKPILED IN THE AREAS SHOWN. THE OWNER WILL BE RESPONSIBLE FOR DISPOSING OF EXCESS ACCUMULATIONS AT AN OFFSITE LOCATION ON AN AS NEEDED BASIS.
6. PROPOSED LANDSCAPING NOT SHOWN ON THIS PLAN FOR CLARITY. SEE SHEET L-1.

PLANNING AND ZONING NOTES

30 BOROUGH ROAD, PENACOOK, NH  
PREDOMINANTLY ZONED RM (MEDIUM DENSITY RESIDENTIAL)  
THE SITE ABUTS THE CG (GENERAL COMMERCIAL) DISTRICT AT THE SOUTHEASTERN LOT LINE AND THE UT (URBAN TRANSITIONAL) ALONG THE NORTHEASTERN LOT LINE.  
TAX MAP 192P, LOT 89.

PERMITTED USES IN THIS DISTRICT: ASSISTED LIVING RESIDENCE

DIMENSIONAL INFORMATION

	REQUIRED (RM DISTRICT*)	PROVIDED
MIN. LOT SIZE	12,500 SF	379,140 SF
BUILDABLE AREA	6,250 SF	246,212 SF
MIN. FRONTAGE	100 LF	821 LF
SETBACKS		
FRONT	25 LF	25 LF
SIDE	15 LF	15 LF
REAR	25 LF	25 LF
MAX. LOT COVERAGE	40%	25% (98,265 SF)
MAX. HEIGHT	35 FT	27 FT
* NONE OF THE CONSTRUCTION OR DISTURBANCE OCCURS WITHIN THE CG DISTRICT.		

MULTIFAMILY DWELLING STANDARDS

DIMENSIONAL INFORMATION	REQUIRED	PROVIDED
MIN. LOT SIZE	25,000 SF	379,140 SF

MAXIMUM ALLOWABLE DENSITY: 14 UNITS/ACRE OF BUILDABLE LAND.  
7.35 AC X 14 UNITS = 103 UNITS ALLOWABLE  
EXISTING BUILDING PROVIDES 54 DWELLING UNITS.  
THIS DESIGN PROPOSES 18 NEW UNITS FOR A TOTAL OF 72.

BUILDING DIMENSIONS: NO BUILDING SHALL HAVE A HORIZONTAL DIMENSION IN EXCESS OF 160- FEET.

PERIMETER BUFFER: MIN. BUFFER WIDTH ALONG PERIMETER OF LOT SHALL BE 50- FEET FOR A TWO-STORY STRUCTURE

PARKING

USE	UNIT OF MSMT.	MIN. SPACES REQ'D. PER UNIT OF MSMT.
ASSISTED LIVING RESIDENCES	DWELLING UNIT	1 PER UNIT

Spaces Required: 72  
72 UNITS X 1 SPACE/UNIT

SPACES PROVIDED: 59 CURRENT, 13 FUTURE (72 TOTAL).  
9 OF THE SPACES ARE HANDICAP ACCESSIBLE, 3 OF WHICH ARE VAN ACCESSIBLE.  
\*\* FUTURE SPACES INDICATED AS -----

DIMENSIONS  
STANDARD SPACE: 9'X19'  
ACCESSIBLE SPACE: 8'X19'  
NO PARKING IS PERMITTED WITHIN THE FRONT SETBACK.  
NO PARKING IS PERMITTED WITHIN 5- FEET OF ANY PROPERTY LINE.

192P-88  
ERIK & KATHYRN  
HODGES, TRUSTEES OF  
HODGES FAMILY  
REVOCABLE TRUST  
38 Borough Road  
Penacook, NH 03303  
V. 2770 P. 1182

PSNH 317-54

192P-96  
ERIC M. HANSON  
P.O. Box 4081  
Concord, NH  
03302-4081  
V. 2849 P. 69

PSNH 317-53

192P-94  
WILLOW CROSSING, LP  
105 Loudon Road Suite 1  
Concord, NH 03301-5602  
V. 3489 P. 219

192P-93  
DEREK A. BOLDUC, TRUSTEE OF  
BARCHY FAMILY REALTY TRUST  
33 Village Street  
Concord, NH 03303-1948  
V. 2036 P. 1460

192P-92  
TOY REAL ESTATE HOLDINGS, LLC  
27 Village Street  
Penacook, NH 03303  
V. 3512 P. 1367

192P-91  
DAVID & CYNTHIA CARON  
74 Broad Cove Drive  
Concord, NH 03303  
V. 3255 P. 390

KEY PLAN:

PROJECT OWNER/APPLICANT:  
**PENACOOK ASSISTED LIVING FACILITY, INC.**  
PO Box 2032  
Concord, NH 03302-2032

PROJECT NAME/ADDRESS:  
**WHITAKER PLACE  
BUILDING EXPANSION**  
30 BOROUGH ROAD  
PENACOOK, NH 03303  
TAX MAP 192P, LOT 89  
BOOK 2147, PAGE 1678

ISSUE:

Planning Board Review

PROJ. NO.: 4428

SCALE: 1"=40'

DES. BY: MMH

DRAWN BY: PDH

CHKD BY: MMH

ISSUE DATE: 11/02/2017

REVISIONS

3	01.03.18	PLANNING DEPT. RESUBMISSION
2	12.21.17	INTERNAL COORDINATION
1	12.1.17	FUTURE PARKING SPACES

SHEET TITLE:

**SITE PLAN**

**C2.0**

The H.L. Turner Group Inc.

27 Locke Rd.  
Concord, New Hampshire 03301  
603.228.1122  
hturner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

COPYRIGHT : THE H.L. TURNER GROUP INC, 2018  
"Electronic images of these documents may be used for the purpose of expediting shop drawings and coordination drawings for this project only - except as excluded by individual specifications (e.g. Structural steel). It shall not be used to use them for any other purpose. The Architect or Engineer's seals shall not appear on any documents that are modified by others. The Architect shall bear no responsibility for any modifications to the original documents by others."

**APPROVED**

UNDER THE PROVISION OF R.S.A. 674:35 & R.S.A. 674:36

**CITY PLANNING BOARD**  
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with the vote of the board dated:

Approval of this plan is limited to the lots as shown

Chair

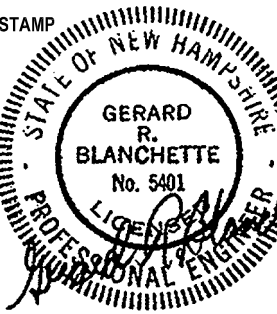
Clerk

GRAPHIC SCALE



( IN FEET )

1 inch = 40 ft.





1. LIGHTING LAYOUT BY CHARRON, INC.  
40 LONDONDERRY TPKE.  
HOOKSETT, NH 03106  
(603) 624-4827

3. CONTRACTOR TO USE EXISTING MASTS AND FOUNDATIONS, FOR FIXTURES SHOWN TO BE REPLACED WITH NEW L.E.D. FIXTURE HEADS ONLY, OTHERWISE NEW FOUNDATIONS AND MASTS ARE REQUIRED. CONTRACTOR MAY REUSE SALVAGED, UNDAMAGED MASTS (SHOWN TO BE REMOVED ON SHEET C1.1). PREPARE AND REPAINT SALVAGED MASTS AS REQUIRED.

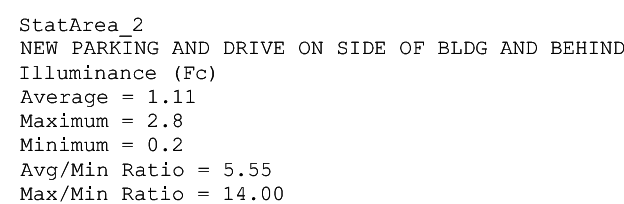
4. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ANCHOR BOLT LAYOUT AND LIGHT BASE WITH LIGHT POLES BEFORE ORDERING.

5. LIGHT POLES SHALL BE SET MIN. 18" OFF THE EDGE OF PAVEMENT (TYP).

6. THE MAST AND FOUNDATION HEIGHTS SHALL MATCH EXISTING CONDITIONS. THE LUMINAIRE HEIGHTS ARE ESTIMATED TO BE 13' A.F.G. (VERIFY IN FIELD).

7. REFER TO SPECIFICATIONS SUPPLIED BY THE LIGHT POLE MANUFACTURER FOR ADDITIONAL INFORMATION.

8. ALL SITE LIGHTING SHALL BE INSTALLED BY AN ELECTRICIAN LICENSED IN THE STATE OF NEW HAMPSHIRE.



Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
9	9	E4	SINGLE	UTL0-E01-LED-E-U-SL4-A/ ON EXISTING 10' POLE ON 2.5' PEDESTAL
10	6	E5	SINGLE	UTL0-E02-LED-E-U-SM0/ ON EXISTING 10' POLES ON 2.5' PEDESTALS
11	14	E3	SINGLE	UTL0-E03-LED-E-U-SL3-A/ ON EXISTING 10' POLE ON 2.5' PEDESTAL
12	13	E1	SINGLE	UTL0-E04-LED-E-U-SL4-A/ R03080404T4-P2 CMX-BCT2-AB 10' POLES ON 2.5' PEDESTAL
13	2	W	SINGLE	3/2"Ø WALL MDT AT DOORS

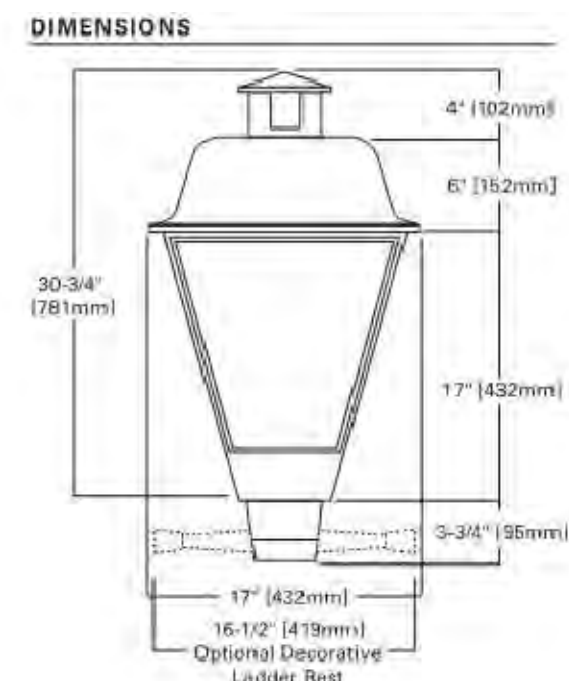


## Dimensions

Height	12.50"
Width	5.50"

WALL MOUNTED FIXTURE  
TYPE W

KICHLER MOUNT VERNON  
STYLE SHOWN



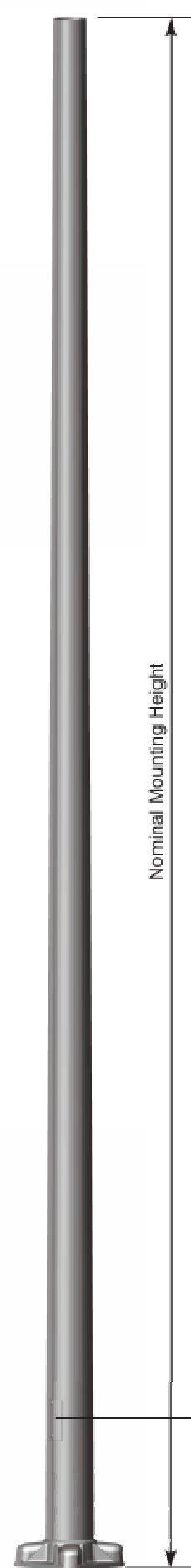
POLE MOUNTED FIXTURE  
TYPE E4,E5,EP3, & P3

EATON UTLD  
LED DOWNLIGHT SHOWN



MAST DETAIL FOR E,P AND  
EP STYLE FIXTURES

VALMONT RTA  
STYLE SHOWN



TURNER  
GROUP

The H.L. Turner Group Inc.

27 Locke Rd.  
Concord, New Hampshire 03301  
603.228.1122  
hlturner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

**COPYRIGHT : THE H.L. TURNER GROUP INC. 2018**  
 "Electronic Images of these documents may be used for the purpose of expediting shop drawings and coordination drawings for this project only - except as excluded by Individual specifications (e.g. Structural steel). It shall be unlawful to use them for any other purpose. The Architect's or Engineer's seals shall not appear on any documents that are modified by others. The Architect shall bear no responsibility for any modifications to the original documents by others."

**KEY PLAN:**

PROJECT OWNER/ APPLICANT:  
**PENACOOK ASSISTED LIVING FACILITY, INC**  
 PO Box 2032  
 Concord, NH 03302-2032

**PROJECT NAME/ADDRESS:**  
**WHITAKER PLACE**  
**BUILDING EXPANSION**  
 30 BOROUGH ROAD  
 PENACOOK, NH 03303  
 TAX MAP 192P, LOT 89  
 BOOK 2147, PAGE 1678

ISSUE

### Planning Board Review

PROJ. NO.:	4426	STAMP
SCALE:	1"=40'	
DESN. BY:	MHM	
DRAWN BY:	PDH	
CHKD BY:	MHM	
ISSUE DATE:	11/10/2017	

## REVISION

1	01.03.18	PLANNING DEPT. RESUBMISSION

SHEET TITLE

## SITE LIGHTING

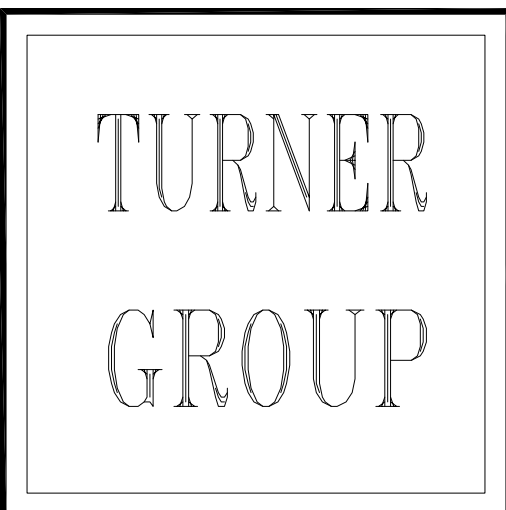
# C5.0

GRAPHIC SCALE



( IN FEET )  
1 inch = 40 ft.



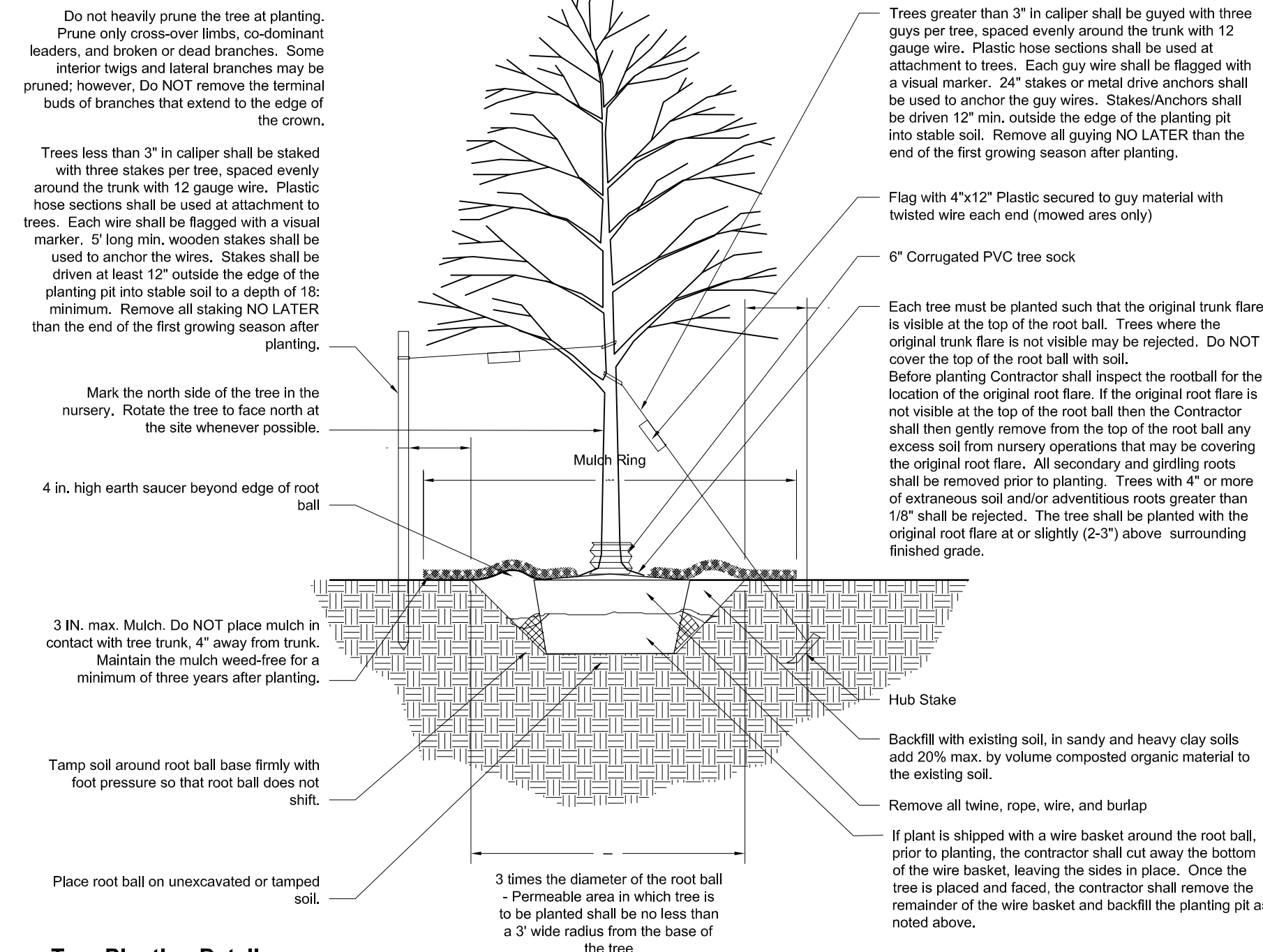
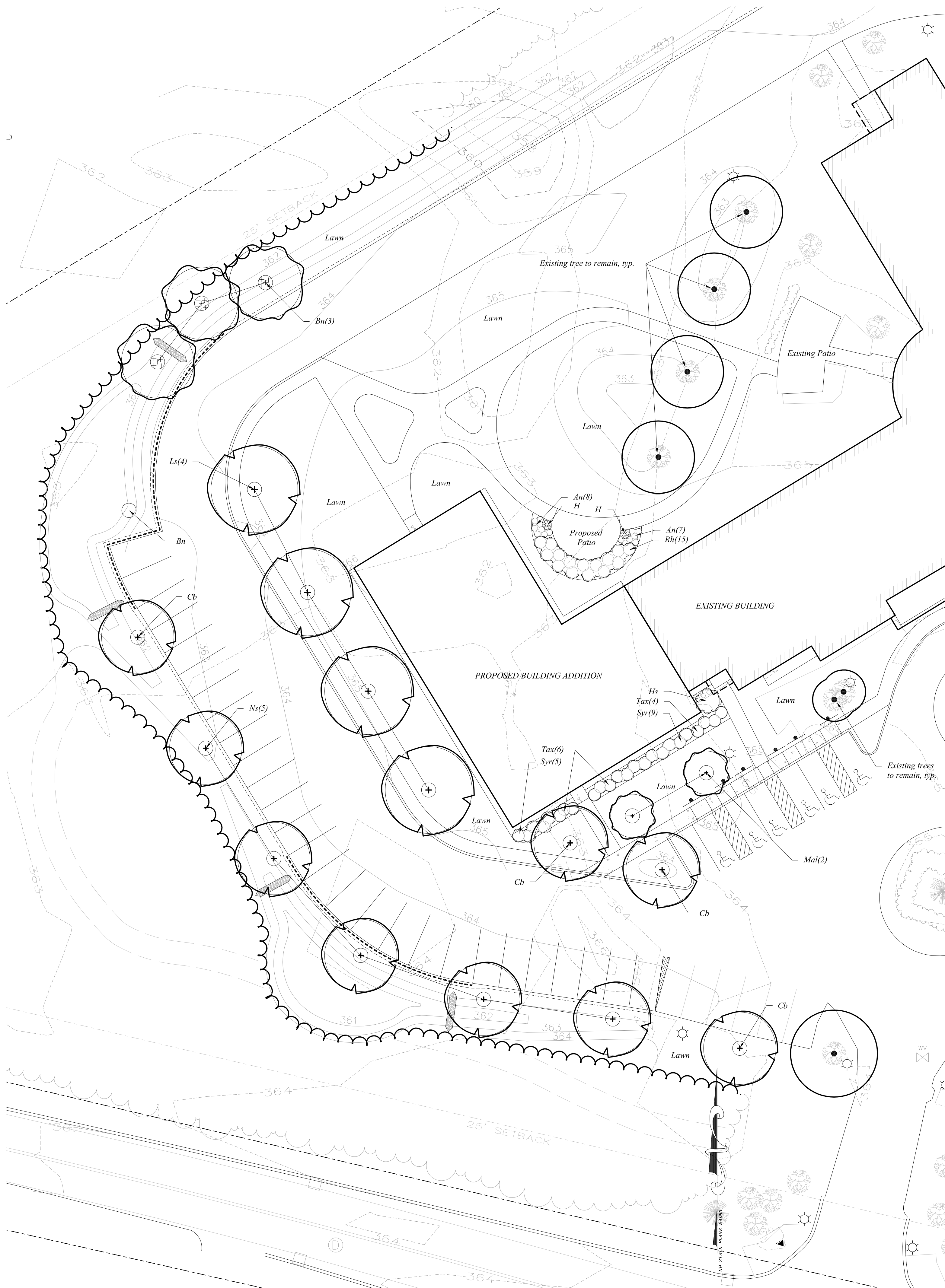


The H.L. Turner Group Inc.

27 Locke Rd.  
Concord, New Hampshire 03301  
603.228.1122  
hlturner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

COPYRIGHT : THE H.L. TURNER GROUP INC. 2017  
Electronic images of these documents may be used for the purpose of  
expediting photo drawings and coordination drawings for this project only - except  
as excluded by individual specifications (e.g. Structural steel). It shall be unlawful  
to use them for any other purpose. The Architect's or Engineer's seals shall not  
appear on any documents that are modified by others. The Architect shall bear  
no responsibility for any modifications to the original documents by others.



Tree Planting Detail

Landscape Notes

- Design is based on drawings by The H.L. Turner Group Inc. dated 11-20-2017 and may require adjustment due to actual field conditions.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- Erosion Control to consist of Hay Bales and Erosion Control Fabric shall be staked in place between the work and Water bodies, Wetlands and/or drainage ways prior to any construction.
- The Contractor shall verify layout and grades and inform the Landscape Architect or Client's Representative of any discrepancies or changes in layout and/or grade relationships prior to construction.
- It is the contractor's responsibility to verify drawings provided are to the correct scale prior to any bid, estimate or installation. A graphic scale bar has been provided on each sheet for this purpose. If it is determined that the scale of the drawing is incorrect, the landscape architect will provide a set of drawings at the correct scale, at the request of the contractor.
- Trees to Remain within the construction zone shall be protected from damage for the duration of the project by snow fence or other suitable means of protection to be approved by Landscape Architect or Client's Representative. Snow fence shall be located at the drip line at a minimum and shall include any and all surface roots. Do not fill or muck on the trunk flare. Do not disturb roots. In order to protect the integrity of the roots, branches, trunk and bark of the tree(s) no vehicles or construction equipment shall drive or park in or on the area within the drip line(s) of the tree(s). Do not store any refuse or construction materials or portalets within the tree protection area.
- Location, support, protection, and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor.
- The Contractor shall verify exact location and elevation of all utilities with the respective utility owners prior to construction. Call DUGSAFE at 1-888-244-7233.
- The Contractor shall procure any required permits prior to construction.
- Prior to any landscape construction activities Contractor shall test all existing loam and loam from off-site intended to be used for lawns and plant beds using a thorough sampling throughout the supply. Soil testing shall indicate levels of pH, nitrates, macro and micro nutrients, texture, soluble salts, and organic matter. Contractor shall provide Landscape Architect with test results and recommendations from the testing facility along with soil amendment plans as necessary for the proposed plantings to thrive. All loam to be used on site shall be amended as approved by the Landscape Architect prior to placement.
- Contractor shall notify landscape architect or owner's representative immediately if at any point during demolition or construction a site condition is discovered which may negatively impact the completed project. This includes, but is not limited to, unforeseen drainage problems, unknown subsurface conditions, and discrepancies between the plan and the site. If a contractor is aware of a potential issue, and does not bring it to the attention of the landscape architect or owner's representative immediately, they may be responsible for the labor and materials associated with correcting the problem.
- The Contractor shall furnish and plant all plants shown on the drawings and listed thereon. All plants shall be nursery-grown under climatic conditions similar to those in the locality of the project. Plants shall conform to the botanical names and standards of size, culture, and quality for the highest grades and standards as adopted by the American Association of Nurserymen, Inc. in the American Standard of Nursery Stock, American Standards Institute, Inc. 230 Southern Building, Washington, D.C. 20005.
- A complete list of plants, including a schedule of sizes, quantities, and other requirements is shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials list, the planting plans shall govern.
- All plants shall be legibly tagged with proper botanical name.
- The Contractor shall guarantee all plants for not less than one year from time of acceptance.
- Owner or Owner's Representative will inspect plants upon delivery for conformity to Specification requirements. Such approval shall not affect the right of inspection and rejection during or after the progress of the work. The Owner reserves the right to inspect and/or select all trees at the place of growth and reserves the right to approve a representative sample of each type of shrub, herbaceous perennial, annual, and ground cover at the place of growth. Such sample will serve as a minimum standard for all plants of the same species used in this work.
- No substitutions of plants may be made without prior approval of the Owner or the Owner's Representative for any reason.
- All landscaping shall be provided with either of the following
  - a. An underground sprinkling system
  - b. An outside hose attachment within 150 feet
- If an automatic irrigation system is installed, all irrigation valve boxes shall be located within planting bed areas.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% compost.
- Trees, ground cover, and shrub beds shall be mulched to a depth of 2" with one-year-old, well-composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 5' diameter min. saucer. Color of mulch shall be black.
- Drip strip shall extend to 6" beyond roof overhang and shall be edged with 3/16" thick metal edger.
- In no case shall mulch touch the stem of a plant nor shall mulch ever be more than 3" thick total (including previously applied mulch) over the root ball of any plant.
- Secondary lateral branches of deciduous trees overhanging vehicular and pedestrian travel ways shall be pruned up to a height of 6' to allow clear and safe passage of vehicles and pedestrians under tree canopy.
- Snow shall be stored a minimum of 5' from shrubs and trunks of trees.
- Landscape Architect is not responsible for the means and methods of the contractor.

APPROVED  
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
CITY PLANNING BOARD  
CITY OF CONCORD, NEW HAMPSHIRE  
in accordance with vote of the board dated: \_\_\_\_\_  
Approval of this plan is limited to the lots as shown  
Chair \_\_\_\_\_ Clerk \_\_\_\_\_

TREE CALCULATIONS

REQUIRED: ONE TREE PER 1000 OF NEW PARKING AREA

NEW PARKING AREA : 17,695 SF

TREES REQUIRED: 18 TREES

TREES SPECIFIED : 19 TREES

Plant List

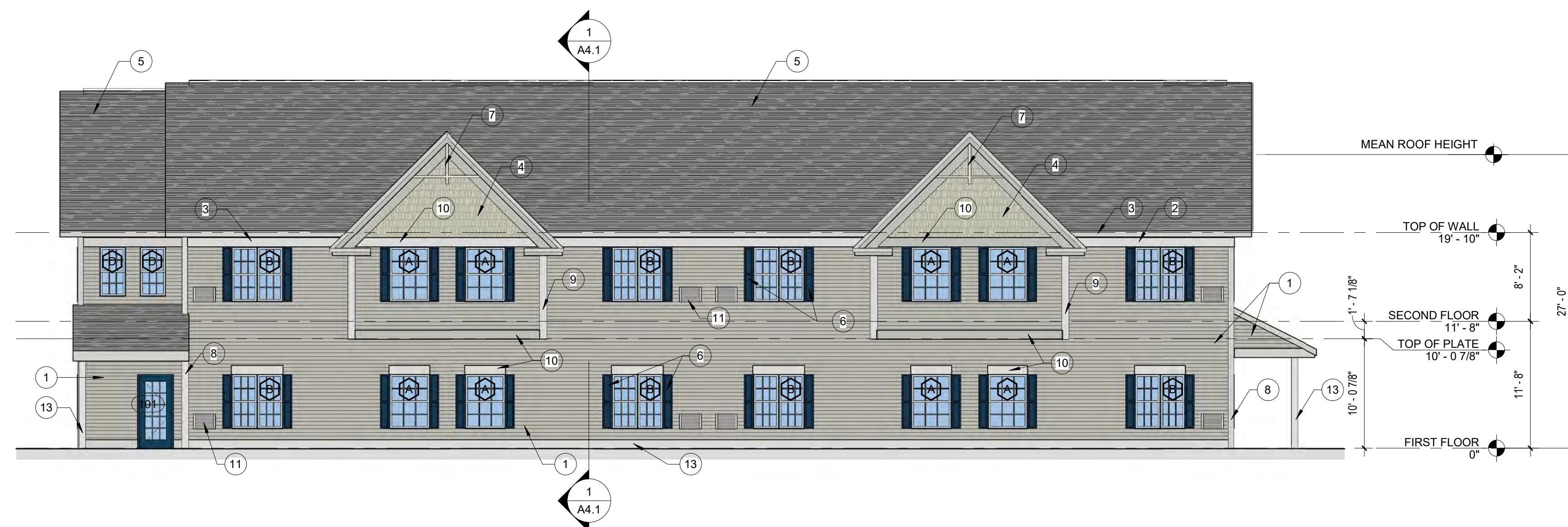
TREES							
Symbol	Botanical Name	Common Name	Quantity	Size		Comments	
Bn	<i>Betula nigra</i> 'Heritage'	Heritage River Birch	4	10-12' Ht		Clump B&B	
Cp	<i>Carpinus betulus</i>	European Hornbeam	4	2.5-3' Cal		B&B	
Ls	<i>Liquidambar styraciflua</i>	American Sweetgum	4	2.5-3' Cal		B&B	
Mal	<i>Malus</i> 'Prairiefire'	Prairie Fire Crabapple	2	2.5-3' Cal		B&B	
Ns	<i>Nyssa Sylvatica</i>	Black Tupelo	5	2.5-3' Cal		B&B	
SHRUBS							
Symbol	Botanical Name	Common Name	Quantity	Size	Minimum Height	Minimum Width	Comments
Hs	<i>Hibiscus syriacus</i> 'Ardens'	Ardens Rose-of-Sharon	1	5-6' Ht			B&B Full
Rh	<i>Rhododendron</i> 'Mary Fleming'	Mary Fleming Rhododendron	15	5 gal	2'	2'	
Syr	<i>Syringa</i> 'Bloomerang'	Bloomerang Lilac	14	5 gal	2'	2'	
Tax	<i>Taxus media</i> 'Greenwave'	Greenwave Yew	10	5 gal	2'	2'	
PERENNIALS, GROUNDCOVERS, VINES and ANNUALS							
Symbol	Botanical Name	Common Name	Quantity	Size			Comments
An	<i>Anemone hupehensis</i> 'September Charm'	Japanese Anemone	15	1 gal			
H	<i>Hosta</i> 'Frances Williams'	Frances Williams Hosta	2	1 gal			

SHEET TITLE:

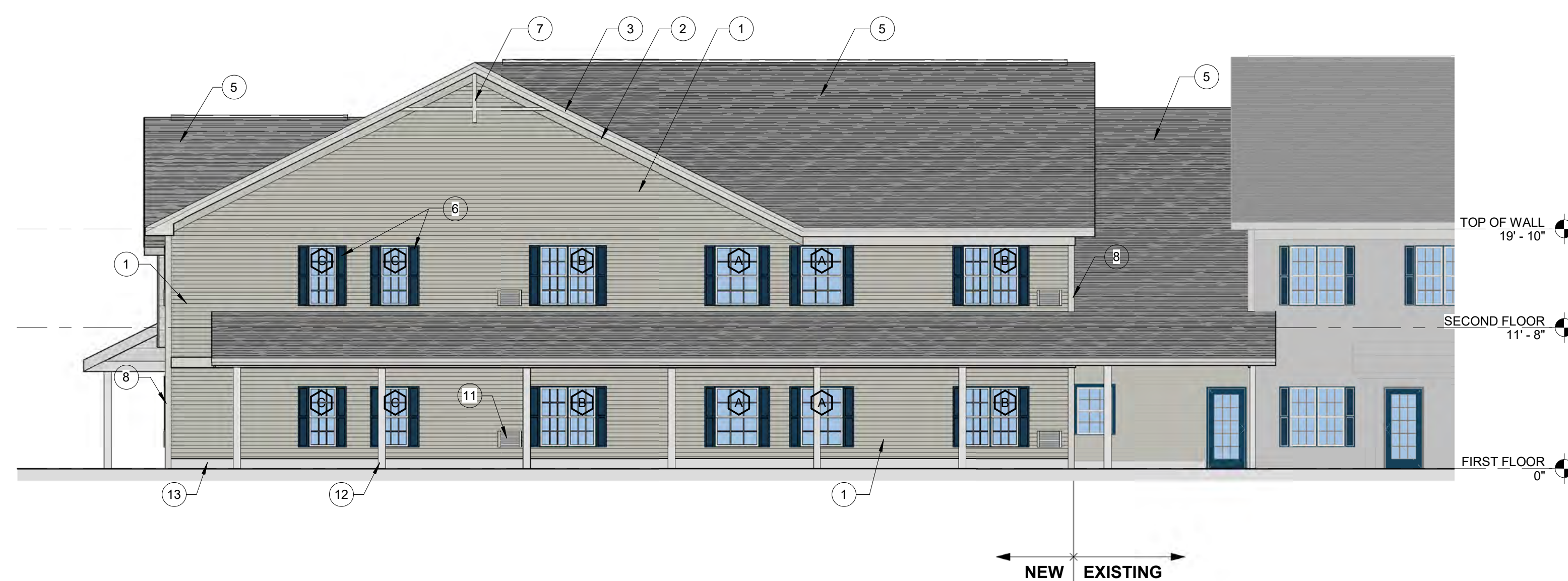
LANDSCAPE PLAN

L-1





4 WEST ELEVATION  
A3.1 Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION  
A3.1 Scale: 1/8" = 1'-0"

## GENERAL ELEVATION NOTES

1. FINISH FLOOR ELEVATION = XXX'-X". (X) = DISTANCE OF GRADE BELOW FFE IN INCHES. + X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FINISH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0". AND IS MEASURED FROM THE TOP OF CONCRETE SLAB. SEE CIVIL DRAWINGS FOR ELEVATIONS BASED ON TOPOGRAPHIC DATUM.
2. DO NOT SCALE DRAWINGS.
3. REFER TO MECHANICAL DRAWINGS FOR LOCATIONS OF LOUVERS AND VENTS. CONFIRM FINAL POSITION WITH ARCHITECT PRIOR TO ORDERING.

### ELEVATION LEGEND

(X) — CONSTRUCTION NOTE.  
SEE LEGEND BELOW

### CONSTRUCTION NOTE LEGEND

NOTE: ALL EXTERIOR MATERIALS,  
PROFILES, TEXTURES, FINISHES AND  
COLORS TO MATCH EXISTING BUILDING

- |    |  |
|----|--|
| 1  | VINYL CLAPBOARD SIDING   |
| 2  | 5/4 X 10 ALUM. CLAD FRIEZE BOARD   |
| 3  | ALUM. CLAD 2X10 FASCIA & RAKEBOARD w/2X4 TRIM                            |
| 4  | VINYL SHAKE SIDING   |
| 5  | ASPHALT FIBERGLASS ROOF SHINGLES w/CONT. RIDGE VENT                      |
| 6  | VINYL DOUBLE HUNG WINDOW UNITS w/INSUL. GLASS, INSECT SCREENS & SHUTTERS |
| 7  | GABLE END TRIMWORK   |
| 8  | 6" VINYL CORNERBOARD WITH QUARTER-ROUND TRIM                             |
| 9  | 5/4 X 8 ALUM. CLAD VERTICAL TRIM BOARD                                   |
| 10 | 5/4 X 10 ALUM. CLAD HORIZONTAL TRIM BOARD                                |
| 11 | THRU-WALL A/C UNIT   |
| 12 | 8X8 ALUM. CLAD P.T. POST w/POST BASE                                     |
| 13 | 5/4 X 10 ALUM. CLAD WATERTABLE TRIM                                      |

**KEY PLAN:**

PROJECT TITLE / ADDRESS:

**WHITAKER PLACE**

**PROPOSED ADDITION - 18 UNITS**

30 BOROUGH ROAD  
PENACOOK - CONCORD, NH 03303

**ISSUE:**

## PROGRESS CONSTRUCTION DOCUMENTS

PROJ. NO.:	4426	ST
SCALE:	As indicated	
DESN. BY:	Designer	
DRAWN BY:	Author	
CHKD BY:	Checker	
ISSUE DATE:	02/29/16	

## REVISIONS

**SHEET TITLE:**

## EXTERIOR ELEVATIONS

## A3.1

1/8/2018 6:53:53 PM





2 NORTH ELEVATION  
A3.2 Scale: 1/8" = 1'-0"

