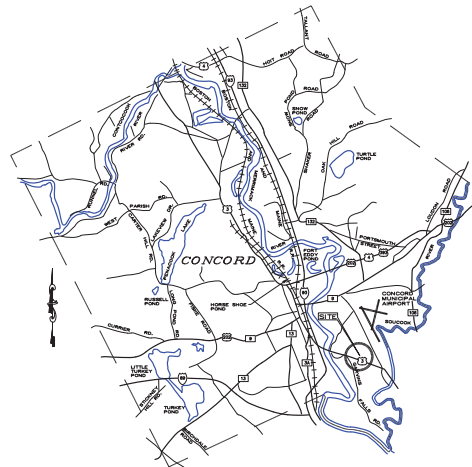


COMMERCIAL SITE PLAN

117 Manchester Street, LLC
Tax Map 110D / Block 1 / Lot 8
117 Manchester St.~ Concord, N.H.




SHEET INDEX

S-1	EXISTING CONDITIONS PLAT
C-1	SITE PLAN
C-2	CONSTRUCTION DETAILS
LA-1.0	LANDSCAPE PLAN 1
LA-2.0	LANDSCAPE PLAN 2
A-1	ARCHITECTURAL PLAN 1
A-2	ARCHITECTURAL PLAN 2
A-3	ARCHITECTURAL PLAN 3

Submitted
October 18, 2017

REVISION BLOCK

NO.	DATE	DESCRIPTION	BY

**RICHARD D. BARTLETT**
& ASSOCIATES, LLC
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Concord, N.H. 03301
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LICENSED LAND SURVEYORS

g2

Landscape Architecture Site Planning Graphics
70 New Road Salisbury, New Hampshire 03268
1/1: 603.648.6434 www.g2plus1.com

APPROVED
UNDER THE PROVISIONS OF RSA 674:35 & 675:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
IN ACCORDANCE WITH VOTE OF THE BOARD DATED:
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN:
CLERK _____ CHAIRMAN _____

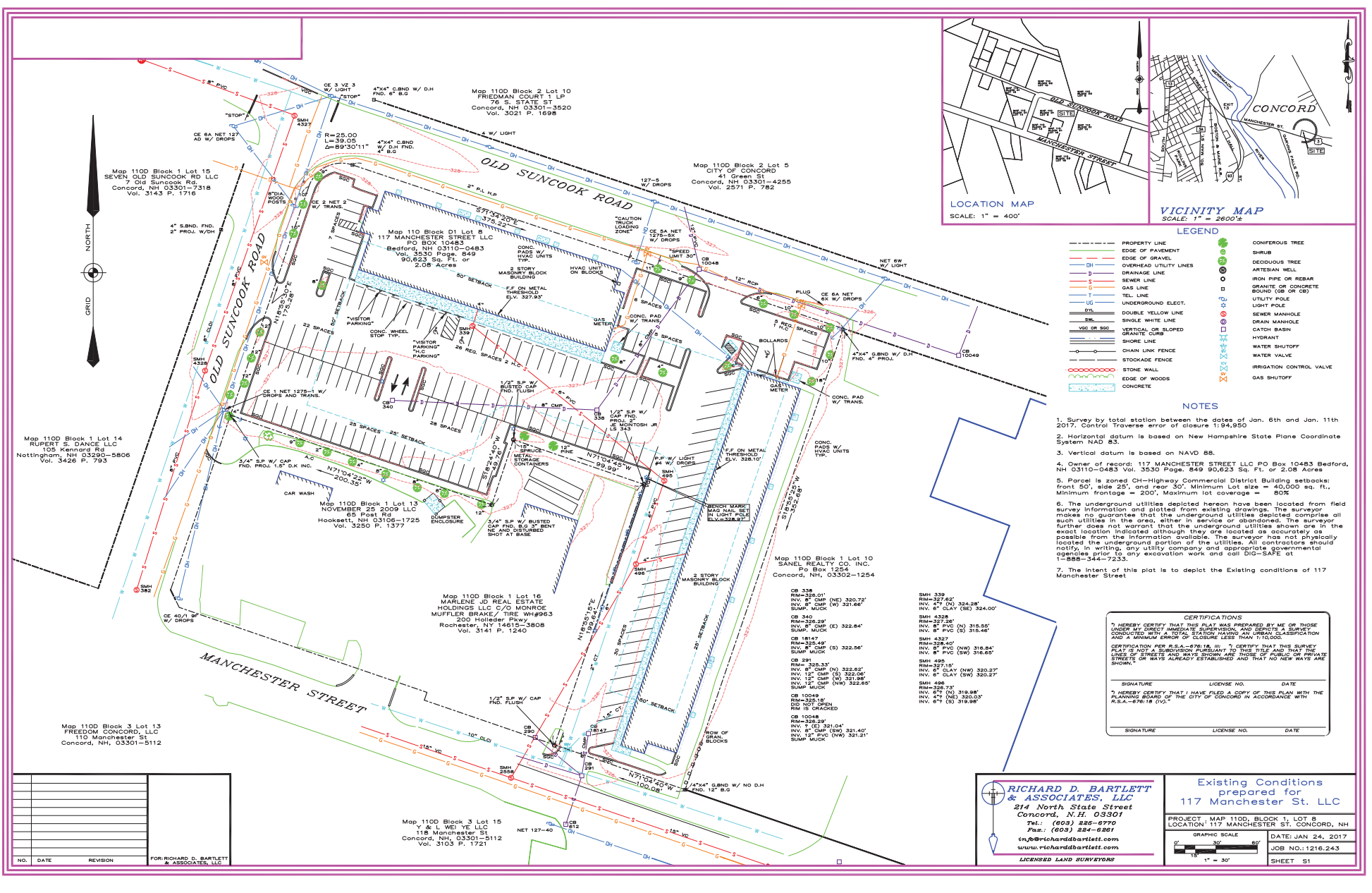


Diagram illustrating the cross-section of a curb and gutter assembly. The diagram shows a 1 1/2" wearing course, a 12" curb, and a 19" gutter. The curb is 10" high and 12" wide. The gutter is 19" wide and 10" high. The curb is made of crushed gravel, and the gutter is made of crushed gravel. The diagram also shows a 18" limit of cold planing and a 7" reveal. The curb is 10" high and 12" wide. The gutter is 19" wide and 10" high. The curb is made of crushed gravel, and the gutter is made of crushed gravel. The diagram also shows a 18" limit of cold planing and a 7" reveal.

18" LIMIT OF COLD PLANING

NOT TO SCALE

SAWCUT

12"

7" REVEAL

10" MIN

4" MIN

10" MIN

19"

CRUSHED GRAVEL

CRUSHED AND COMPACTED HAND COMB NOT ALLOW

MIN LENGTH OF CURB STONES 3'

MAX LENGTH OF CURB STONES 10'

MAX LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

1 1/2" WEARING COURSE

PAVEMENT DEPTH Varies

RADIUS	≤ 30'
31'	31'
36'	36'
43'	43'
50'	50'
57'	57'
OVER 60'	OVER 60'

RADIUS	MAX LENGTH
≤ 30'	CURVED CURB
31' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

RADIUS	MAX LENGTH
≤ 30'	CURVED CURB
31' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB		
AREA	FINISH SURFACE	TOLERANCE
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+½" to +¾"
	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+½" to +¾"
FRONT FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE, NO DRILL HOLES SHOWING IN TOP 10"	+1" to -½"
BACK FACE EXPOSED	PLANE PARALLEL WITH FRONT FACE, STRAIGHT SPLIT TO 1½" BELOW EXPOSED SURFACE, NO LARGER THAN ¾" SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" to -1"
CONCEALED BOTTOM	BELOW 1½" FROM EXPOSED SURFACE, APPROXIMATELY PARALLEL TO TOP, MINIMUM WIDTH: 3"	+1½" to -1½"
ENDS EXPOSED PORTION	SQUARE WITH PLANES OF TOP AND FACE	SEE PLANS
JOINTS EXPOSED	OPTIMUM WIDTH: 1"	
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+¾" to -¾"

Diagram illustrating the dimensions and specifications for a reserved parking sign and its pavement marking.

Sign Dimensions and Specifications:

- Overall dimensions: 12" x 18"
- Text: "RESERVED PARKING" and "E" symbol.
- Material: REFLECTIVE WHITE PAINT.
- Mounting: 6" Tr.
- Sign height: 12"
- Sign width: 12"
- Sign offset: 4" (typ.)
- Sign depth: 2" - 3"
- Sign thickness: 1/2"
- Sign base: 1" - 6"
- Sign offset: 12"

Pavement Marking Dimensions:

- Overall dimensions: 6' - 2"
- Marking width: 12"
- Marking depth: 2" - 3"
- Marking offset: 4"
- Marking base: 1" - 6"
- Marking offset: 12"

Signage

Pavement Marking

1. SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
2. SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
3. ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

Diagram illustrating a concrete slab with reinforcement and bollards. The slab is labeled "SLAB ON GRADE WITH 6\"x6\" W2.9 x W2.9 WELDED WIRE MESH REINFORCEMENT & 4000 PSI CONCRETE". The slab is shown with a "FRONT" edge. Two "8\" BOLLARDS (CONCRETE FILLED GALVANIZED PIPE INSTALLED SECURELY AT THE REAR OF THE PAD)" are positioned on the slab. The slab is supported by a "12\" MIN" base. The slab thickness is indicated as "6\"". The overall width of the slab is "12\" MIN".

NOTES:

1. POSTS SHALL BE PLUMB, ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED, CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
2. WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH, AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE ERRECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
6. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN.

1/4" BOLT

2' MIN

EDGE OF SIGN TO EDGE OF PAVEMENT

6' MIN

2' MIN

EDGE OF SIGN TO EDGE OF PAVEMENT

1/4" BOLT

F.O.C.

GROUND

50' MIN

GREEN ENAMEL, 2.5#/FT MINIMUM FLANGED CHANNEL STEEL POST

PVC OR STEEL SLEEVE REQUIRED IN PAVED OR CONCRETE LOCATIONS

SLEEVE WILL BE LARGE ENOUGH TO ALLOW FOR REPLACEMENT POST

E.O.P.

GROUND

NOTES:

1. POSTS SHALL BE PLUMB. ANY POST BENT OR TWISTED OR DAMAGED SHALL BE REMOVED AND REPLACED, CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
2. DAMAGED OR MISSING SIGNS SHALL BE DUE TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN THE SIGN IS TAKEN TO PROTECT THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING MATTER SHALL BE TAKEN TO PROTECT THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST.
4. THE SIGN SHALL BE ATTACHED TO THE POST.
5. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
6. THE SIGN SHALL BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM 'TRAFFIC CONTROL DEVICES'"
7. THE SIGN SHALL BE ATTACHED TO THE PART OF THE POST SHALL EXTEND ABOVE SIGN.

GREEN ENAMEL, 2.5# / FT
MINIMUM FLANGED
CHANNEL STEEL POST

PVC OR STEEL SLEEVE
REQUIRED IN PAVED OR
CONCRETE LOCATIONS

SLEEVE WILL BE LARGE
ENOUGH TO ALLOW FOR
REPLACEMENT POST

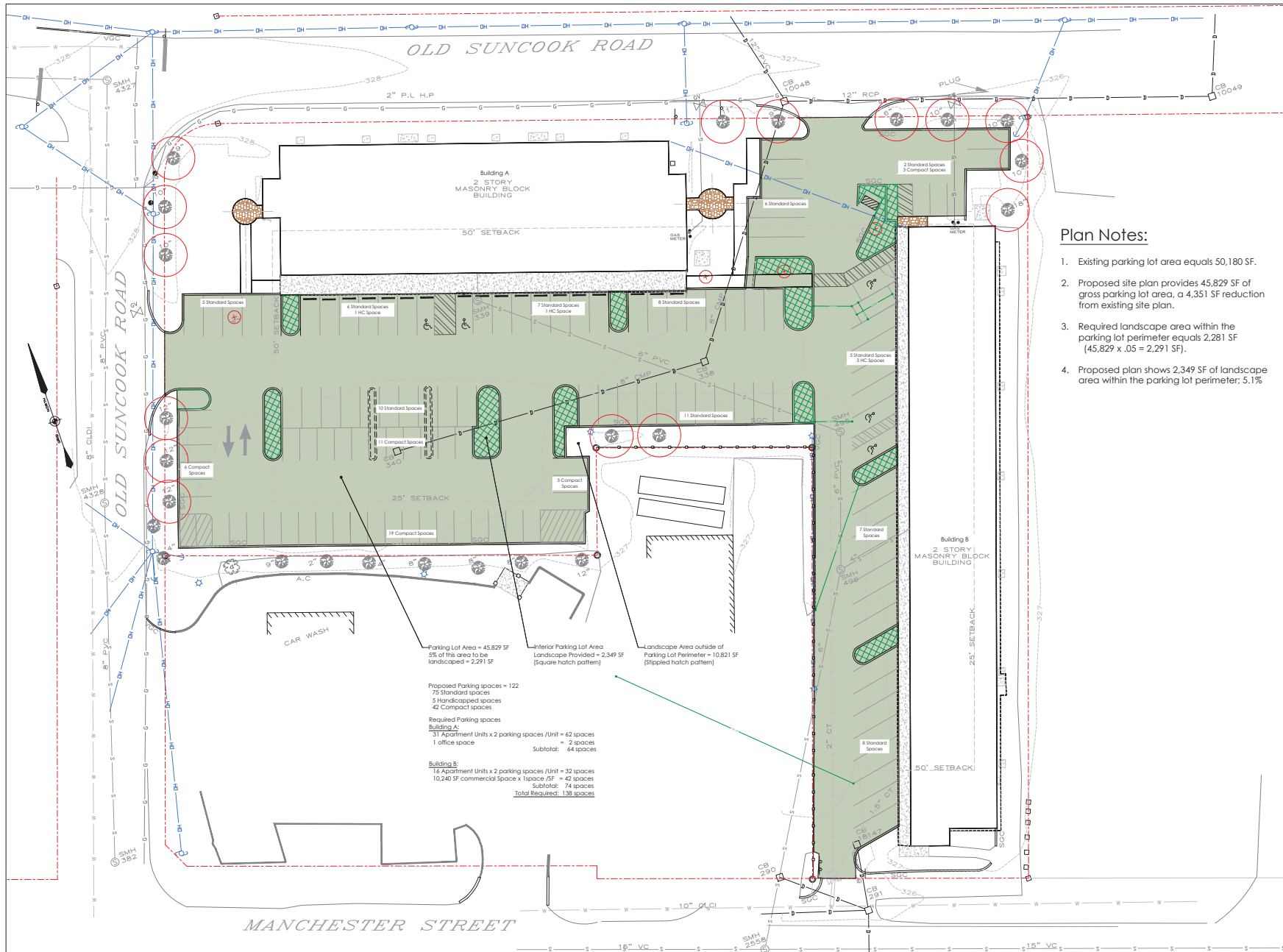
NOTES:

1. DUMPERSTAD PADS AND ASSOCIATED SCREENING SHALL BE PLACED WHERE THE REFUSE BINS CAN BE UNLOADED WITH A SINGLE TURNING MOVEMENT WITH A 35' FRONT LOADING TRUCK. THE WIDTH OF THE GATE SHOULD BE TAKEN INTO ACCOUNT WHEN REVIEWING TURNING MOVEMENTS.
2. GATES SHALL BE PROVIDED UNLESS THE DUMPERSTAD IS BLOCKED FROM VIEW FROM THE ROAD, RIGHT-OF-WAY AND ADJUTING PROPERTIES BY BUILDINGS OR WALLS.
3. TRASH CONTAINERS SHALL BE LOCATED A MINIMUM DISTANCE OF 25' FROM ANY DRAINAGE STRUCTURE, INLET OR STORMWATER FACILITY.

<h1 style="margin: 0;">APPROVED</h1> <p style="margin: 5px 0;">UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36</p> <h2 style="margin: 0;">CITY PLANNING BOARD</h2> <p style="margin: 5px 0;">CITY OF CONCORD, NEW HAMPSHIRE</p> <p style="margin: 5px 0;">In accordance with vote of the board dated: _____</p> <p style="margin: 10px 0;">Approval of this plat is limited to lots as shown.</p> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%; text-align: center;"> _____ Clerk </div> <div style="width: 45%; text-align: center;"> _____ Chair </div> </div>


<p align="center">SITE PLAN prepared for 117 Manchester St. LLC</p>	
<p>PROJECT: MAP 110D, BLOCK 1, LOT 8 LOCATION: 117 MANCHESTER ST. CONCORD, NH</p>	
<p align="center">GRAPHIC SCALE</p>  <p align="center">NOT TO SCALE</p>	<p>DATE: OCTOBER, 2017</p> <p>JOB NO.: 1216.243</p> <p>SHEET C2 OF</p>

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LICENSED LAND SURVEYORS



117 Manchester Street
Tax Map 110 Block D1 Lot 8
Concord, New Hampshire 03301

117 Manchester Street LLC
P.O. Box 10483
Bedford, NH 03110



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registrations:

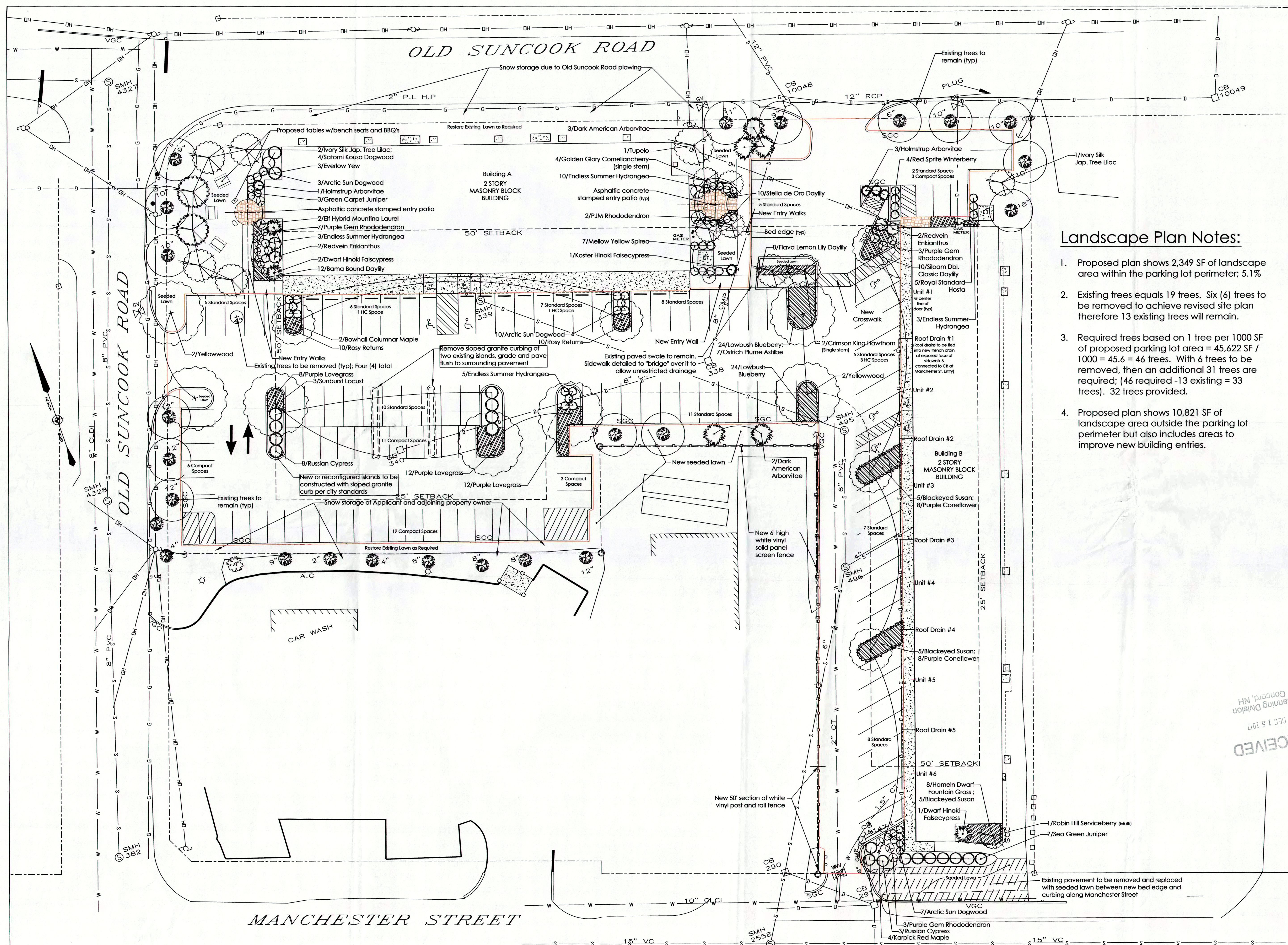
no.	date	issued
1	11/4/17	Revised per discussions with City
2	11/22/17	Revised for ZBA Hearing & per discussion with City
4	12/3/17	Revised per discussions with City
6	12/11/17	Revised per discussions with City
7		
8		

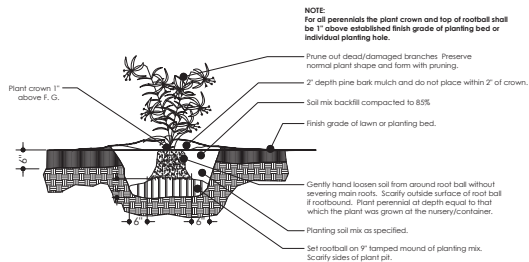
date: 10/18/2017

Conceptual Site & Landscape Plan

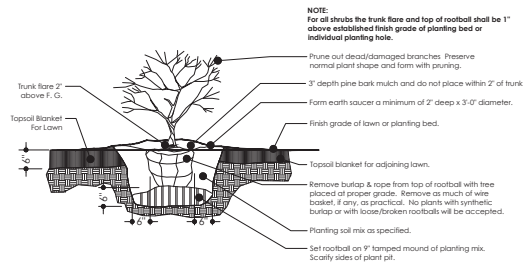
LA-1.2

g2+1 LLC copyright 200

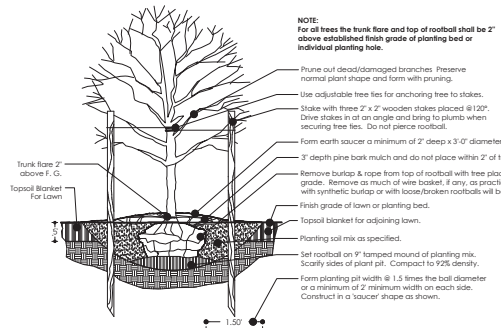




1 Perennial Planting Detail
LA-2 No Scale



2 Shrub Planting Detail
LA-2 No Scale



3 Tree Planting Detail
LA-2 No Scale

NOTE:
For all trees the trunk flare and top of rootball shall be 2' above established finish grade of planting bed or individual planting hole.

g2 LLC
Landscape Architecture Site Planning Graphics
70 New Road
Salem, NH 03268
tel/fax: 603.648.6434
web: www.g2plus1.com

Project Name:

117 Manchester Street
Tax Map 110 Block D Lot 6
Concord, New Hampshire 03301

Applicant/Owner of Record:

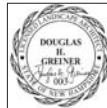
117 Manchester Street LLC
P.O. Box 10483
Bedford, NH 03110

Project Surveyor:

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 288-8990
Fax: (603) 288-8991
www.richardbartlett.com
LICENSED LAND SURVEYOR

For City Approval

registration:



Planting Notes

- Design is based on drawings by Richard D. Bartlett & Associates, Inc., dated January 24, 2017 and may require adjustment due to actual field conditions.
- This project shall comply with the City of Concord NH Construction Standards and Details.
- The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion.
- Erosion Control shall be in place prior to construction.
- If discrepancies exist between the number of plants shown on the planting plan and the number of plants in the plant list, the planting plan shall govern.
- All new plant material shall conform to the minimum guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition all new plant material for the project shall be of specimen quality.
- All new plants to be balled and burlapped or container - grown, unless otherwise noted on the plant list. All plants shall be legibly tagged with the proper botanical name.
- The contractor shall supply all new plant material in quantities sufficient to complete the planting shown on the drawings.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower leaf, color, fruit and culture, and only after written approval of the Landscape Architect.
- Contractor shall locate and verify all existing utility lines prior to planting and shall report any conflicts to the Landscape Architect.
- Stake the location of all proposed plantings for approval by Landscape Architect prior to the commencement of planting.
- New shrubs and ground cover shall bear the same relationship to grade as it bore to previous grade. Trees shall be set 2' higher than previous grade. No tree shall be planted before acceptance of rough grading.
- All plant beds to receive two inches (2") of bark mulch. Bark mulch shall be one year old, well composted, shredded native bark not longer than 4" in length and 1/2" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennials shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 6' diameter minimum saucer. Color of mulch shall be dark brown. Red, orange/red or black colored mulch is not acceptable.
- Landscape (weed) fabric is not allowed.
- All existing trees to remain shall be properly protected during construction. Protection techniques shall be reviewed and approved by the Landscape Architect.
- Prune trees in accordance to guidelines established for nursery stock published by the American Association of Nurserymen, Inc.
- All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% of 1/2" minus composted bark mulch compost.
- All alterations to these drawings made in the field during construction shall be recorded by the contractor on "as-built drawings."
- There shall be a full one (1) year replacement guarantee for all trees and shrubs after final acceptance of initial planting.

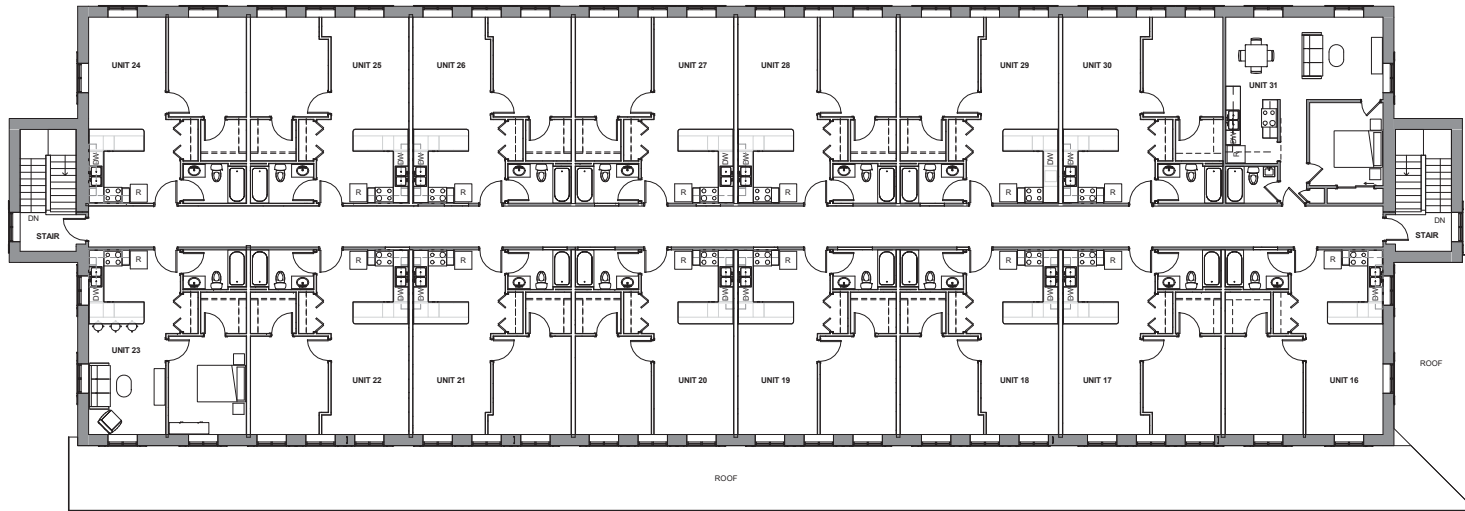
Plant Schedule

Manchester Street Housing Development
Concord, New Hampshire

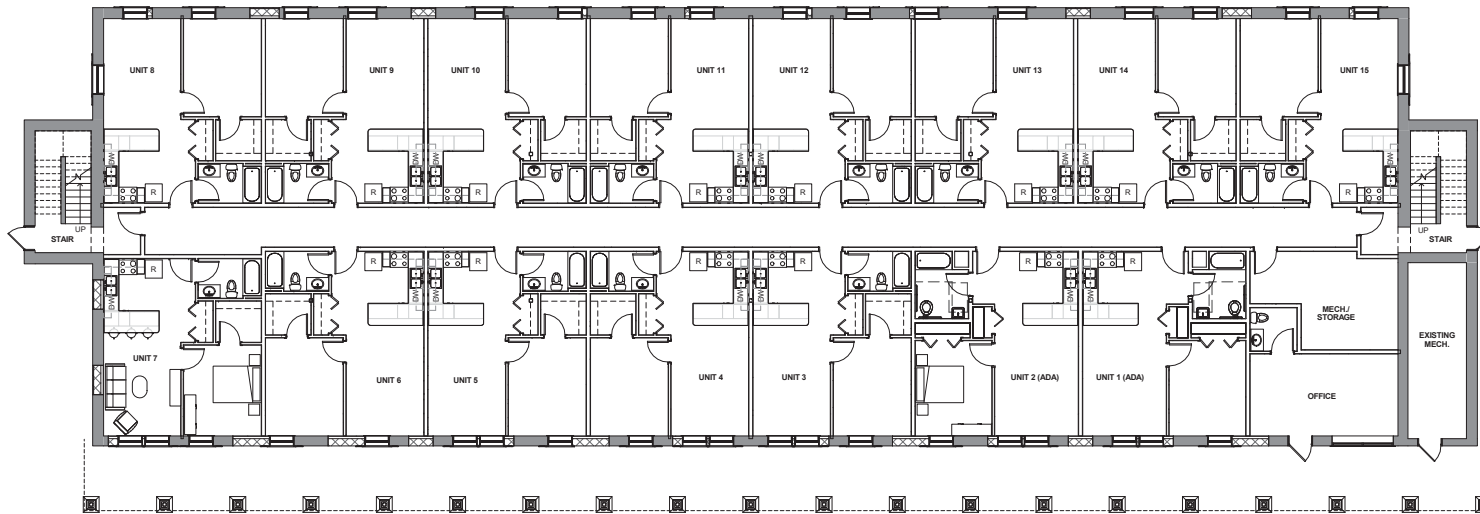
10/18/2017
Rev 11/22/17

Item	Qty	Common Name	Botanical Name	Zone	Height	Spread	Installed Size	Type	Notes
Large, Deciduous Trees									
YWL	4	Yellowwood	Cladonia trichomanes	4	30-40'	30-40'	2'-1/2" cal.	B&B	Fragment production flowers, grey bark
BWHL	2	Browall Columnar Maple	Acer rubrum 'browall'	4	40-50'	10-15'	2'-1/2" cal.	B&B	Columnar form
KRPM	4	Karjick Maple	Acer rubrum 'karjick'	4	40-50'	15-20'	2'-1/2" cal.	B&B	Columnar form
TUP	1	Tupelo	Nyssa sylvatica	3	30-50'	20-30'	2'-1/2" cal.	B&B	native, full sun & shade
HLH	3	Halla Honeylocust	Gleditsia triacanthos inermis 'halla'	4	40'	40'	3'-1/2" cal.	B&B	tough
Small, Accent Flowering Trees									
RHSB	1	Robin Hill Serviceberry - MULTI	Amelanchier grandiflora 'robin hill'	4	15-20'	10-15'	7'-8" ht.	B&B	yellow-red fall foliage, edible red-black berry
CCD	4	Golden Glory Corneliancherry	Cornus mas 'golden glory'	4	15-20'	10-15'	2'-1/2" cal.	B&B	single, upright form, yellow flowers
STLL	3	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'ivory silk'	3	20-30'	10-15'	2'-1/2" cal.	B&B	tough, full sun, fragrant creamy white flowers
KD	4	Katona Knave Dogwood	Cornus kousa 'katona'	5	15-20'	10-15'	2'-1/2" cal.	B&B	reddish purple fall foliage, exfoliating bark
CCH	2	Crimson Cloud Hawthorn	Crataegus laevigata 'crimson cloud'	4	14-21'	10-12'	2'-1/2" cal.	B&B	upright spreading, glossy red fruit
Evergreen Trees & Accent Evergreens									
DRK	5	Dark American Arborvitae	Thuja occidentalis 'yagra'	4	10-30'	10-12'	6'-7" ht.	B&B	columnar, wide base, shade tolerant
HPS	3	Oswald Hensel Falsecypress	Chamaecyparis obtusa 'nana gracilis'	4	5-6'	4-5'	2'-3 1/2" ht.	B&B	thick, curved dense fans of foliage
HMS	4	Holmstrup Arborvitae	Thuja occidentalis 'holmstrup'	2	10'	3-4'	3'-4" ht.	B&B	columnar, shade tolerant
Low, Evergreen Ground Cover									
GC1	3	Green Carpet Juniper	Juniper chinensis 'green carpet'	3	4-6"	2-3"	3 gal.	CTN	
SG1	7	Sea Green Juniper	Juniperus chinensis 'sea green'	4	5"	6"	18"-24" spd.	CTN	Bright green, arching foliage, fountain like habit
ELY	3	Ever Low Yew	Taxus media 'ever low'	4	1-3'	4-6"	18"-24" spd.	B&B	thick, shade tolerant
RSCP	11	Russian Cypress	Microbiota decussata	2	1-2'	4-5'	18"-24" spd.	CTN	Sun and shade, arborescent like foliage
Accent/Flowering Evergreen Shrubs									
MTL5	2	Elf Hybrid Mountain Laurel	Kalmia latifolia 'elf'	4	3'	3'	5 gal.	CTN	Small Accent, compact form
PM1	2	PJM Rhododendron	Rhododendron 'PJM'	4	6-8'	6'	3'-3 1/2" ht.	B&B	full sun, hardy
PRG	13	Purple Gem Rhododendron	Rhododendron 'Purple gem'	4	2'	4'	18"-24" spd.	CTN	full sun, hardy, late
KDS	1	Koster Falsecypress	Chamaecyparis obtusa 'koster'	4	3-4'	2-3'	6 gal.	CTN	Small Accent
Deciduous Flowering Shrubs									
RLH	21	Endless Summer Hydrangea	Hydrangea macrophylla 'Endless Summer'	4	3-5'	3-5'	5 gal.	CTN	Sun, winter hardy
RSE	4	Red Spire Winterberry	Vincetoxicum 'red spire'	4	3-4'	3-4'	3 gal.	CTN	Dense & compact, red persistent fruit
RVE	4	Redwin Enkianthus	Enkianthus campanulatus	4	8-10'	6-8'	4'-5" ht.	B&B	partial shade
MYS	7	Mellow Yellow Spirea	Spirea trilobata 'mellow yellow'	4	3-4'	3-4'	2 gal.	CTN	Brassolus arching branches
ARS0	20	Arctic Sun Dogwood	Cornus sanguinea 'arctic sun'	4	3-4'	3-4'	4'-5" ht.	B&B	brilliant yellow stems
Decorative Grasses									
DCGR-3	8	Hamel Dwarf Fountain Grass	Pennisetum alopecuroides 'hamel'	5	30"	24"	1 yr. potted	1 gal.	14" Ht., 1/4" Aug., purple seed heads
DCGR-4	2	Purple Lovegrass	Eragrostis spectabilis	4	18-24"	30"	1 yr. potted	2 gal.	14" Ht., 1/4" Aug., brown seed heads
Perennials/Seasonal Color									
Item	Qty	Common Name	Botanical Name	Zone	Height	Spread	Type	Size	Notes - Exposure, Bloom Period, Color
GC-A-1	12	Daylily	Heemerocallis 'Bama Bound'				1 yr. potted	1 gal.	14" Ht., 1/4" Aug., Deep red/purple green throat
GC-A-3	8	Daylily	Heemerocallis 'Lemon Lily'				1 yr. potted	1 gal.	14" Ht., 1/4" Aug., lemon yellow throat
GC-A-9	10	Daylily	Heemerocallis 'Sloan DB Classic'				1 yr. potted	1 gal.	14" Ht., 1/4" Aug., Double Soft Salmon Pink

Notes, Plant
Schedule &
Details
LA-3.0



SECOND FLOOR



FIRST FLOOR PLAN



117 MANCHESTER STREET PROPOSED HOUSING

CONCORD, NH

10/19/2017

WARRENSTREET
An Architecture & Engineering Design Cooperative



1 FRONT ELEVATION
1/8" = 1'-0"



2 LEFT ELEVATION
1/8" = 1'-0"



3 RIGHT ELEVATION
1/8" = 1'-0"



4 REAR ELEVATION
1/8" = 1'-0"

Not For Construction
For owner's use only

This document was prepared by StewartAssociates, LLC as an instrument of service and is not to be used for any other purpose without the written consent of StewartAssociates, LLC.

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Concord, NH 03301
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www.stewartarchitects.com

117 MANCHESTER STREET
PROPOSED HOUSING
CONCORD, NH
Project number: 2017-108
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Elevations

Scale: 1/8" = 1'-0"
Date: 01/08/18
Revisions:

A1.0