

FOR REGISTRY OF DEEDS USE ONLY

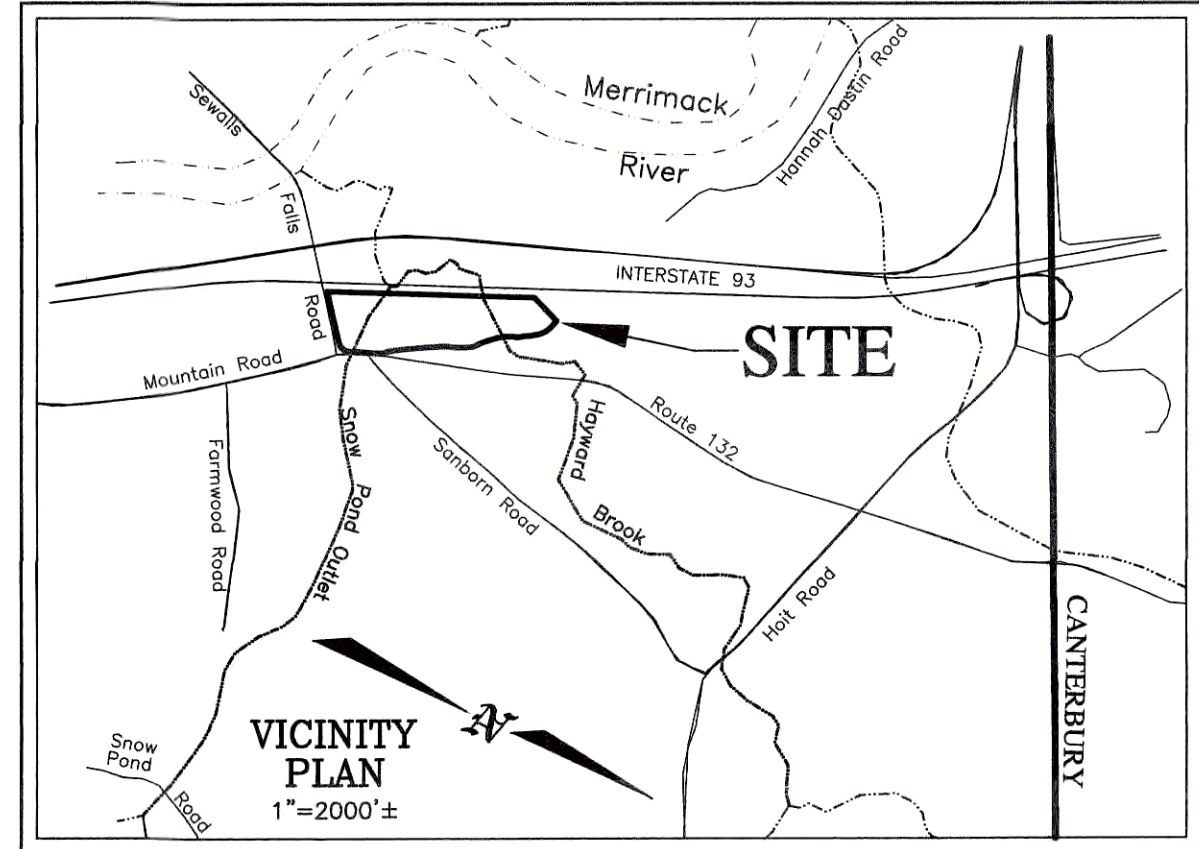
LINE AND CURVE TABLE CONT.				
LINE	BEARING	DISTANCE	CURVE	RADIUS
L12	S16°12'17"E	5.16'	C12	R=140.00'
L13	S16°12'17"E	15.30'	C13	R=140.00'
L14	S16°12'17"E	8.80'	C14	R=125.00'
			C15	R=110.00'
			C16	R=125.00'
			C17	R=110.00'
			C18	R=124.75'

PARCEL TABLE	
PARCEL	AREA OF EASEMENT
A	4,817 S.F. OF LOT 1
B	1,907 S.F. OF LOT 6
C	2,078 S.F. OF LOT 7
D	2,135 S.F. OF LOT 6
E	2,678 S.F. OF LOT 5
F	4,523 S.F. OF LOT 7
G	2,402 S.F. OF LOT 7
H	7,286 S.F. OF OPEN SPACE

OPEN SPACE CALCULATIONS

TOTAL OPEN SPACE (1,149,547 S.F.) X 50% = 574,774 S.F.
TOTAL BUILDABLE OPEN SPACE (574,774 S.F.) X 40% = 229,910 S.F.
TOTAL CONTIGUOUS BUILDABLE OPEN SPACE (229,910 S.F.) X 50% = 114,955 S.F.
CONTIGUOUS BUILDABLE OPEN SPACE AREA WITH NO DIMENSION <150' AS SHOWN:
MAXIMUM DENSITY 1 UNIT/AC. OF BUILDABLE LAND X 7 LOTS = 304,920 S.F.

REQUIRED
811,234 S.F.
>315,000 S.F.
114,974 S.F.
>580,000 S.F.



NOTES

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 3 AS SHOWN ON THE CITY OF CONCORD ASSESSOR'S MAP 122 BLOCK 4 INTO 7 RESIDENTIAL LOTS USING THE DESIGN STANDARDS OF THE CLUSTER DEVELOPMENT. LOT 3 CONTAINS 26,390 AC.
- THE PARCEL SHOWN HEREON IS LOCATED IN THE "RM" MEDIUM RESIDENTIAL ZONING DISTRICT AS SHOWN ON THE CITY OF CONCORD ZONING MAP AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL RESTRICTIONS FOR A CLUSTER DEVELOPMENT:

	SINGLE FAMILY W/O SEWER
MINIMUM TRACT SIZE	10 AC.
MINIMUM TRACT FRONTAGE	200'
MAXIMUM DENSITY	1 UNIT/BUILDABLE AC.
MINIMUM OPEN SPACE	50% OF TRACT
MAXIMUM COVERAGE	20%
MINIMUM LOT SIZE	20,000 S.F. (BUILDABLE)
MINIMUM LOT FRONTAGE	100'
MINIMUM LOT SETBACKS:	
FRONT	25'
REAR	25'
SIDE	15'
WETLAND BUFFER	50'
SHORELAND BUFFER	75'
MAXIMUM LOT COVERAGE	30%
- THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN MARCH 2017 USING A TOTAL STATION FOR TRAVERSE WHICH HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES, LRS 500.
- A PORTION OF LOT 3 LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED), AS DEPICTED ON THE FLOOD INSURANCE RATE MAPS FOR MERRIMACK COUNTY MAP NO 33013C0339E AND 33013C0343E, WITH EFFECTIVE DATES OF APRIL 19, 2010.
- THE HORIZONTAL DATUM IS NAD83/11 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN SEPTEMBER 2016 CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD.
- SHEETS 1 AND 2 SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS SHALL BE ON FILE WITH THE CITY OF CONCORD AND CONTAIN NO ADDITIONAL LAND TITLE INFORMATION.
- ALL LOTS IN THE SUBDIVISION WILL BE SERVED BY UNDERGROUND UTILITIES, INDIVIDUAL SEPTIC SYSTEMS AND WELLS.
- NHDES SUBDIVISION APPROVAL NO:
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY JAMES FOUGERE, CWS #161 IN MARCH 2017 IN ACCORDANCE WITH Env-Wq 1014.03.

SEE SHEET 2 FOR NOTES CONT.

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, N.H.
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN
CLERK CHAIR

SUBDIVISION PLAN
LAND OF
H. BYERS SMITH &
MARIAN B. SMITH TRUST
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE
SCALE: 1"=50' * DATE: APRIL 2017
SHEET 1 OF 8

OWNER OF RECORD

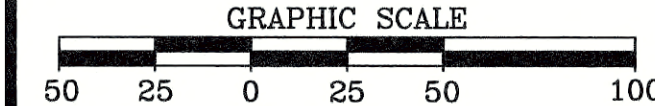
MAP 122 BLOCK 4 LOT 3
H. BYERS SMITH &
MARIAN B. SMITH TRUST
BRIAN SMITH & LORA GOSS, TRUSTEES
698 DANIELS ROAD
PIKE, NH 03780
BOOK 2066 PAGE 0184

PLAN SET

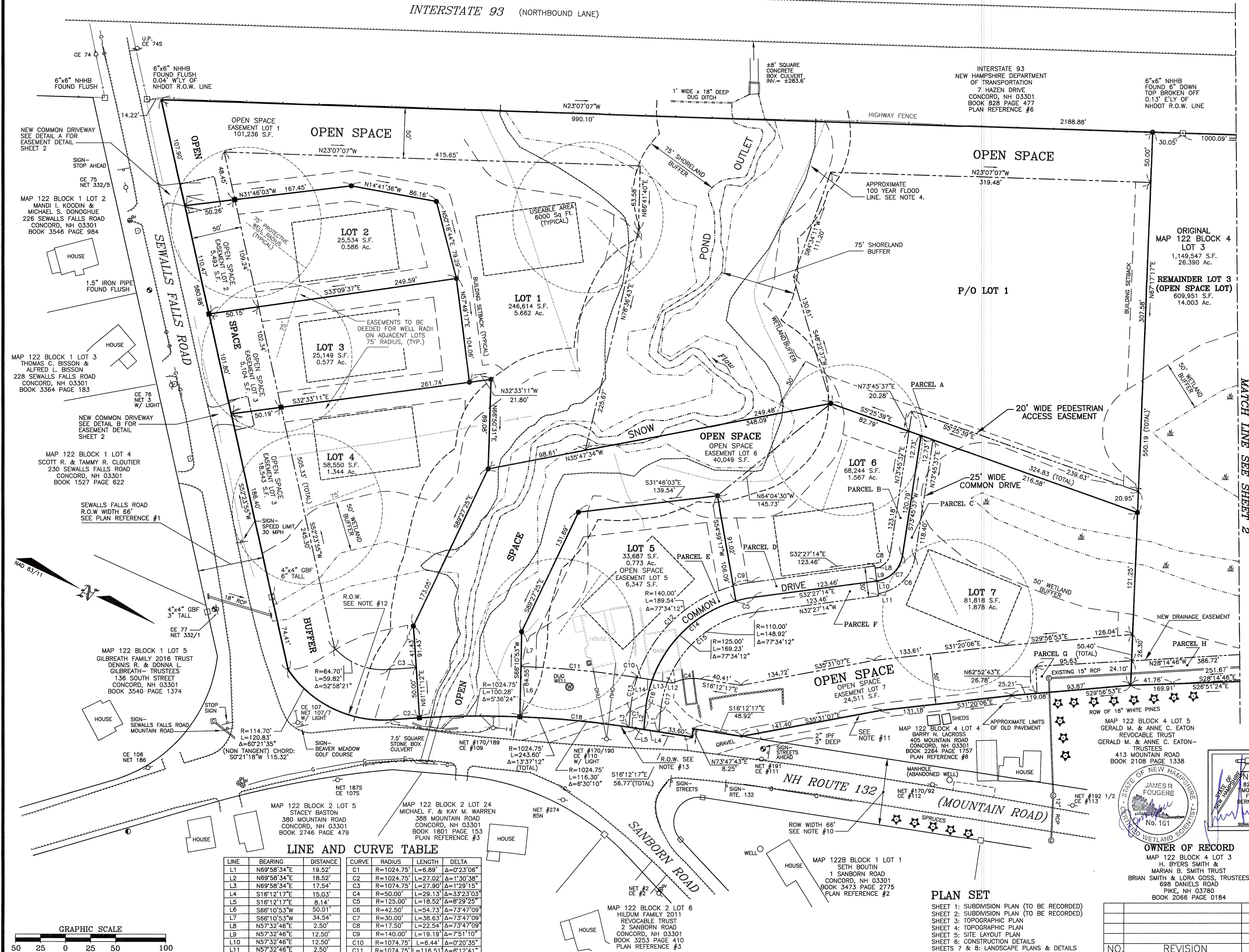
- SHEET 1: SUBDIVISION PLAN (TO BE RECORDED)
SHEET 2: SUBDIVISION PLAN (TO BE RECORDED)
SHEET 3: TOPOGRAPHIC PLAN
SHEET 4: TOPOGRAPHIC PLAN
SHEET 5: SITE LAYOUT PLAN
SHEET 6: CONSTRUCTION DETAILS
SHEETS 7 & 8: LANDSCAPE PLANS & DETAILS

NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	P.G.	JOB #
TFB/JRC	JRC/TFB	TFB	188	01	580-03
DRAWING NAME 01Subdivision.dwg					



LINE AND CURVE TABLE				
LINE	BEARING	DISTANCE	CURVE	RADIUS
L1	N69°58'34"E	19.52'	C1	R=1024.75'
L2	N69°58'34"E	18.52'	C2	R=1024.75'
L3	N69°58'34"E	17.54'	C3	R=1074.75'
L4	S16°12'17"E	15.03'	C4	R=50.00'
L5	S16°12'17"E	8.14'	C5	R=125.00'
L6	S66°10'53"W	50.01'	C6	R=42.50'
L7	S66°10'53"W	34.54'	C7	R=30.00'
L8	N57°32'46"E	2.50'	C8	R=17.50'
L9	N57°32'46"E	12.50'	C9	R=140.00'
L10	N57°32'46"E	12.50'	C10	R=1074.75'
L11	N57°32'46"E	2.50'	C11	R=1074.75'

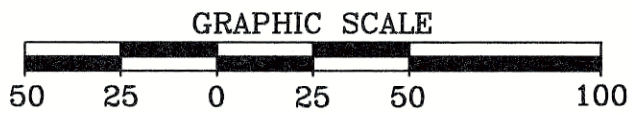
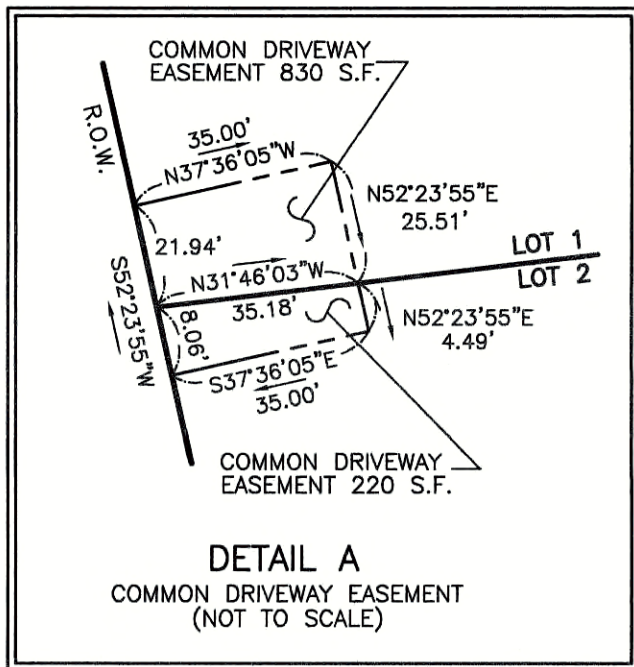


FOR REGISTRY OF DEEDS USE ONLY

INTERSTATE 93 (NORTHBOUND LANE)

REMAINDER LOT 3
(OPEN SPACE LOT)
609,951 S.F.
14.003 Ac.

MATCH LINE SEE SHEET 1



PLAN REFERENCES

- RIGHT-OF-WAY REESTABLISHMENT PLAT OF SEWALLS FALLS ROAD PREPARED FOR THE CITY OF CONCORD. SCALE: 1"=40'. DATE: DEC. 03, 2014. PREPARED BY RICHARD D. BARTLETT ASSOCIATES, LLC OF CONCORD, NEW HAMPSHIRE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #20150004826.
- SUBDIVISION PLAN LAND OF THOMAS H. SLAYTON & VIRGINIA K. SLAYTON ASSESSORS MAP 122 BLOCK 3 LOT 2 SANBORN ROAD & MOUNTAIN ROAD CONCORD, NEW HAMPSHIRE SCALE: 1"=60' DATE: JUNE 2001 PREPARED BY THIS OFFICE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #15620.
- BOUNDARY SURVEY AND PROPOSED SUBDIVISION FOR LESLIE & NIKOLETA RYDER MOUNTAIN ROAD CONCORD NEW HAMPSHIRE SCALE: 1"=40'. DATE: SEPTEMBER 1985. PREPARED BY TWIN STATE SURVEYS OF SPRINGFIELD, NEW HAMPSHIRE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #6694.
- SUBDIVISION OF THE LAND OF RICHARD W. & CAROLINE M. SMITH & THEODORE R. & MARIE C. O'NEILL CONCORD, NEW HAMPSHIRE SCALE: 1"=40'. DATE: 1-27-83. PREPARED BY HOLDEN ENGINEERING & SURVEYING, INC. OF CONCORD, NEW HAMPSHIRE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #7437.
- SUBDIVISION SURVEYED FOR W.E. NELSON BYERS CONCORD. SCALE: 1"=40'. DATE: OCT. 1972. PREPARED BY E.F. CHASE OF CONCORD, NEW HAMPSHIRE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #3112.
- STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-93-2(6)41, NH PROJECT NO. P-3264-D, INTERSTATE ROUTE 93, SHEETS 50-52, AND FEDERAL AID PROJECT I-93-2(7)44, NH PROJECT NO. P-3264-E, INTERSTATE ROUTE 93, SHEETS 45 & 46, BOTH DATED 1958. ON FILE AT THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION IN CONCORD.
- STATE OF NEW HAMPSHIRE DEPARTMENT STATE HIGHWAY DEPARTMENT PLAN & PROFILE OF PROPOSED U.S. WORKS PROGRAM HIGHWAY PROJECT NO. WPMS 304, PEMBROKE STREET AND SEWALLS FALLS ROAD CITY OF CONCORD MERRIMACK COUNTY, DATED 1936. ON FILE AT THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION IN CONCORD.
- PLAN RECORDED NOVEMBER 6, 1933. NO TITLE, NO NAME OF PREPARER, RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #659.

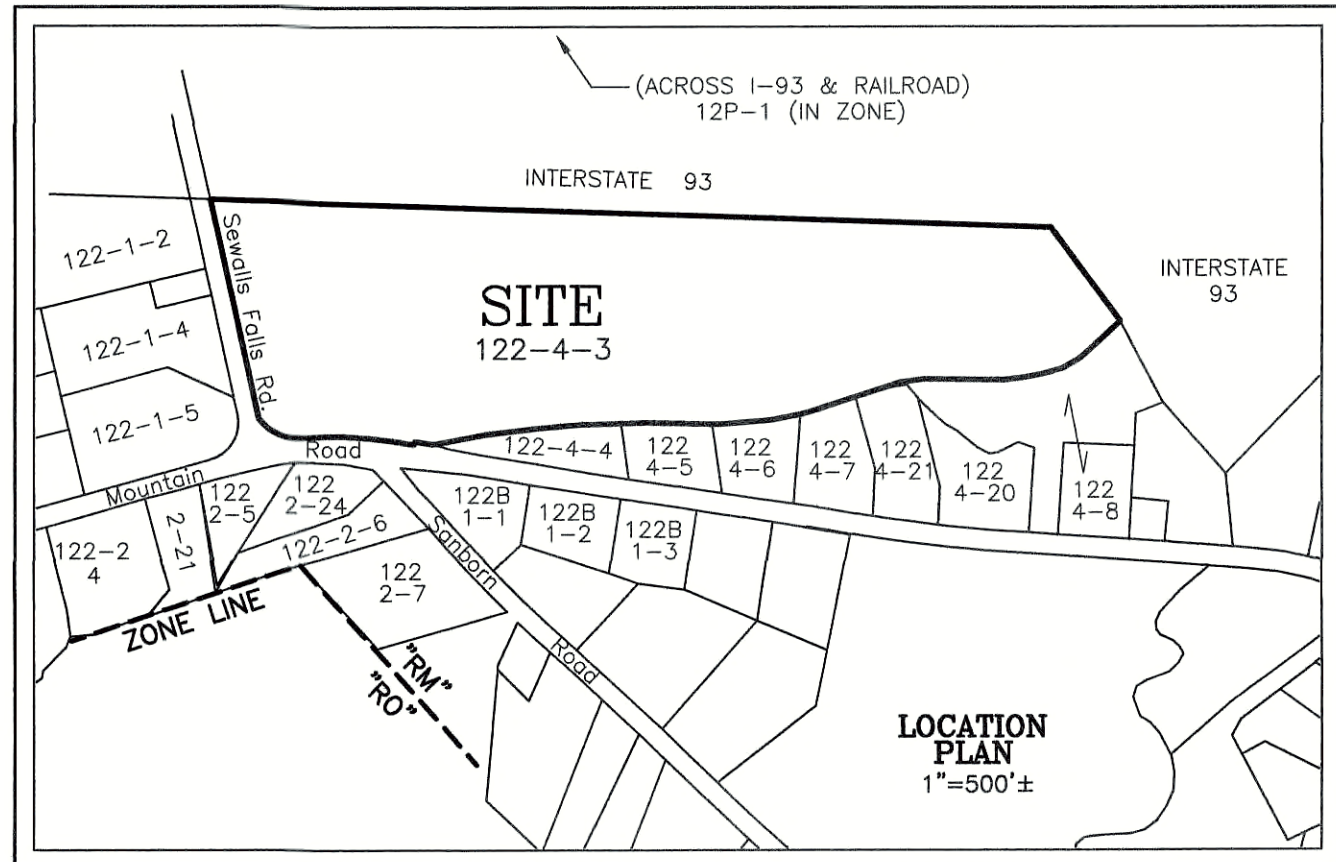
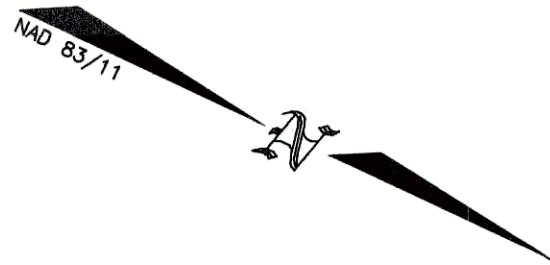
NOTES CONT.

- MOUNTAIN ROAD WAS LAID OUT IN 1814 AS FOUR RODS WIDE (66'). ORIGINALLY FILED IN BOOK 1 ON PAGE 106 OF THE PROPRIETORS RECORDS. SEE EXTRACT ON FILE WITH THE NEW HAMPSHIRE ARCHIVES. PRIOR SURVEYORS HAVE DEPICTED THE R.O.W. AS 45 FEET WIDE.
- ORIGINAL LAYOUT OF HANNAH DUSTIN DRIVE MAY 24, 1805 ON FILE IN CITY OF CONCORD TOWN RECORDS, NO R.O.W. WIDTH SPECIFIED. HANNAH DUSTIN DRIVE WAS DISCONTINUED NOVEMBER 10, 1958, SEE RECORDS OF CONCORD CITY CLERK, BOOK 10 PAGE 19-20. CENTERLINE OF REMAINING PAVEMENT HELD AS BOUNDARY LINE.
- THIS R.O.W. FILLET WAS DEEDED TO THE CITY OF CONCORD BY HENRY H. SMITH MAY 17, 1937. SEE DEED BOOK 538 PAGE 540 AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. SEE ALSO PLAN REFERENCE #7.
- THIS SECTION OF MOUNTAIN ROAD IS THE ORIGINAL LAYOUT OF HANNAH DUSTIN DRIVE, WITH NO WIDTH SPECIFIED. A 3 ROD WIDTH WAS HELD BASED ON PRESCRIPTIVE RIGHTS, PHYSICAL EVIDENCE LOCATION OF EXISTING TRAVELED WAY.

BUILDABLE AREA

	LOT AREA	SLOPES >15%	WETLANDS	EASEMENTS / BUFFERS	100 YR. FH	75' SP BUFFER	BUILDABLE AREA
ORIGINAL LOT 3	1,149,547 S.F.						>580,000 S.F.
NEW LOT #1	246,813 S.F.	33,766 S.F.	29,244 S.F.	106,602 S.F.	±59,872 S.F.	±73,292 S.F.	*35,655 S.F.
NEW LOT #2	25,534 S.F.	0	0	5,493 S.F.	0	0	*20,040 S.F.
NEW LOT #3	25,149 S.F.	0	0	5,104 S.F.	0	0	*20,045 S.F.
NEW LOT #4	58,550 S.F.	12,385 S.F.	4,620 S.F.	18,543 S.F.	±325 S.F.	±10,915 S.F.	20,340 S.F.
NEW LOT #5	33,687 S.F.	4,390 S.F.	0	8,273 S.F.	0	±4,950 S.F.	*20,170 S.F.
NEW LOT #6	68,244 S.F.	25,895 S.F.	16,027 S.F.	44,092 S.F.	±20,116 S.F.	±43,159 S.F.	*20,942 S.F.
NEW LOT #7	81,818 S.F.	3,436 S.F.	3,551 S.F.	28,690 S.F.	0	0	*42,177 S.F.
OPEN SPACE	609,908 S.F.(REMAINDER LOT 3) + BUFFER EASEMENTS OVER LOTS (201,283 S.F.)=	811,234 S.F. TOTAL					

*CONTIGUOUS



LEGEND

- ANGLE POINT
- GRANITE BOUND TO BE SET
- IRON ROD TO BE SET
- GRANITE / STONE BOUND
- IRON ROD FOUND
- IRON PIPE FOUND
- MAILBOX
- SIGN
- OLD BARBED WIRE FENCE
- UTILITY POLE W/ANCHOR
- GAS VALVE
- GAS LINE PAINT
- CONIFEROUS TREE
- SHRUB
- DECIDUOUS TREE
- MAPPED WETLAND
- MAPPED WETLAND
- EDGE OF PAVEMENT
- TREELINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- SLOPES OVER 15%
- AREA OF CONTIGUOUS BUILDABLE AREA IN OPEN SPACE, WITH NO DIMENSION LESS THAN 150', SHEETS 3 & 4.
- GBF GRANITE BOUND FOUND
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- NHHB 6"x6" CONCRETE NEW HAMPSHIRE HIGHWAY BOUND (NHDOT)
- USEABLE AREA RECTANGLE
- WETLAND SYMBOL

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD
CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

SUBDIVISION PLAN

LAND OF

**H. BYERS SMITH &
MARIAN B. SMITH TRUST**

ASSESSOR'S MAP 122 BLOCK 4 LOT 3

393 MOUNTAIN ROAD (NH ROUTE 132)

& SEWALLS FALLS ROAD

CONCORD, NEW HAMPSHIRE

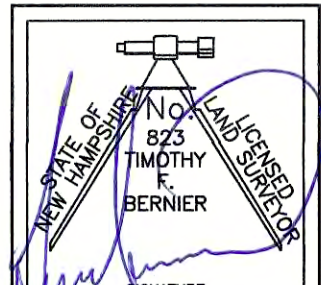
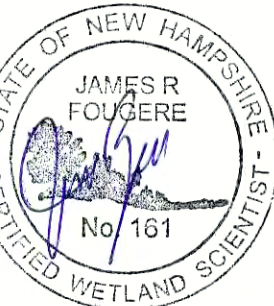
SCALE: 1"=50' * DATE: APRIL 2017

SHEET 2 OF 8



T. F. BERNIER, INC.
Land Surveyors - Designers - Consultants

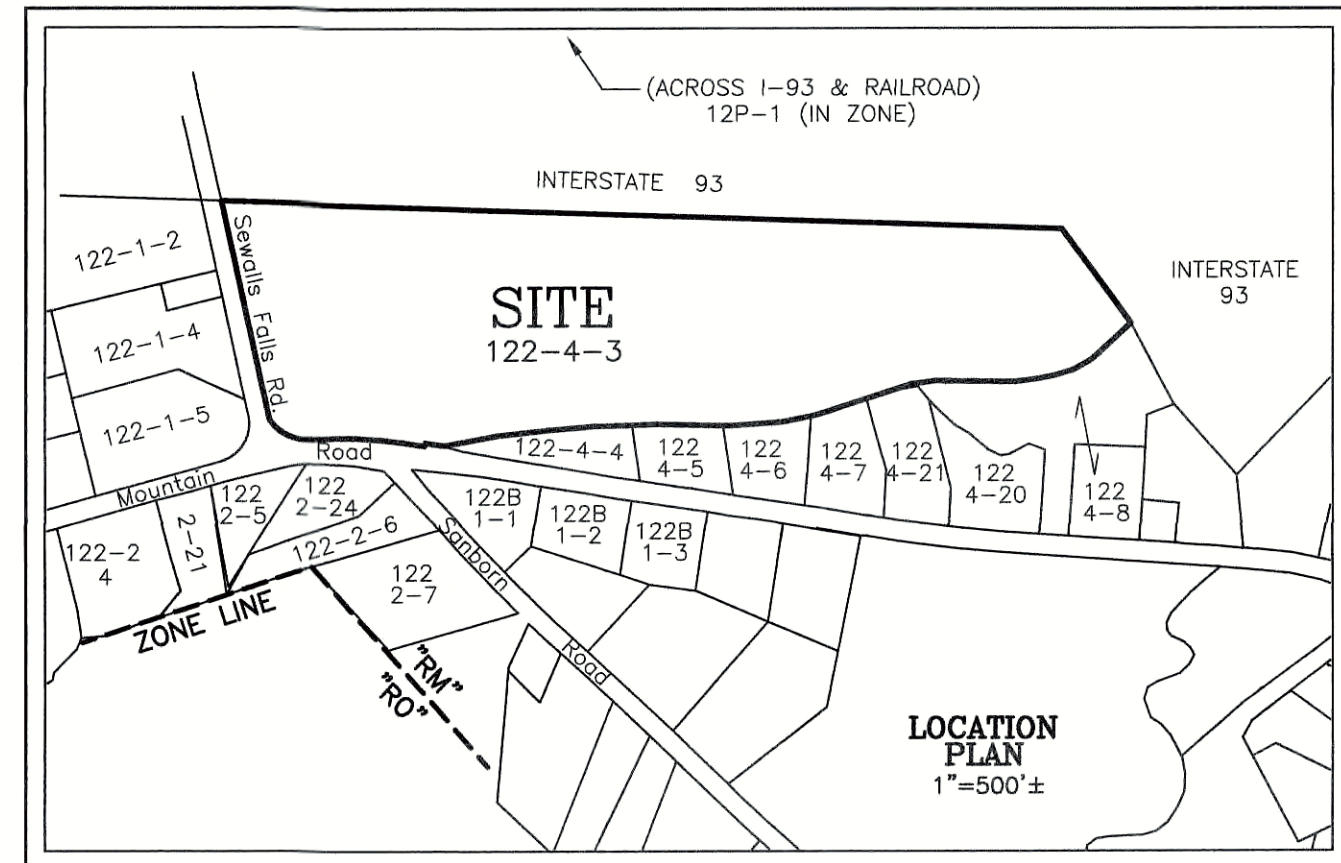
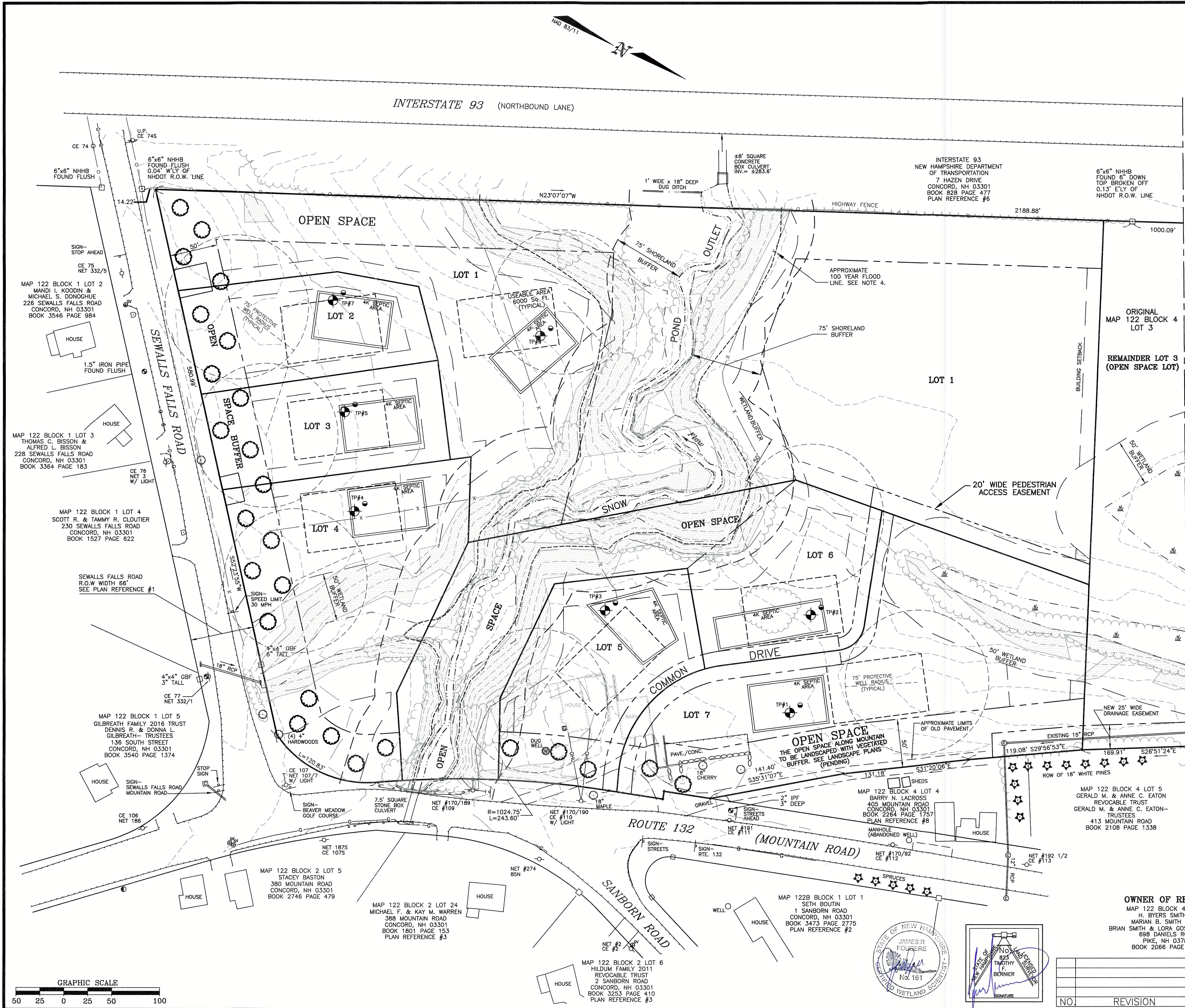
39 WARREN STREET - P.O. BOX 3464
CONCORD, NEW HAMPSHIRE 03302-3464
Tel:(603)224-4148 - Fax:(603)224-0507



NO.	REVISION	DATE

DESIGNED BY TFB/JRC	DRAWN BY JRC/TFB	CHECKED BY TFB	F.B.	PG.	JOB #
			188	01	580-03

DRAWING NAME
02Subdivision.dwg



NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW TOPOGRAPHY AND PHYSICAL FEATURES ON LOT 3. THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH SHEET 1 AND 2 TO SHOW THE SUBDIVISION OF LOT 3 INTO 7 SINGLE-FAMILY RESIDENTIAL LOTS IN A CLUSTER/OPEN SPACE SUBDIVISION.
2. THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN MARCH 2017 USING A TOTAL STATION FOR TRAVERSE WHICH HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN THE NH CODE OF ADMINISTRATIVE RULES, LAR 500.
3. THE VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN MARCH 2017, CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD, N.H. GEOD 12A GRAVITY MODEL.
4. A PORTION OF LOT 3 LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED), AS DEPICTED ON THE FLOOD INSURANCE RATE MAPS FOR MERRIMACK COUNTY MAP NO. 33030339E AND 33030334E, WITH EFFECTIVE DATES OF APRIL 19, 2010. THE LINE SHOWN HEREON IS APPROXIMATE, BASED ON A PRELIMINARY STORMWATER HYDROLOGICAL ANALYSIS. FINAL LIMITS TO BE REQUESTED FROM FEMA.
5. THE WETLANDS SHOWN HEREON WERE DELINEATED BY JAMES FOUGERE, CWS #161 IN MARCH 2017 IN ACCORDANCE WITH Env-Wq 1014.03.
6. THE SOIL TYPE ON LOT 3 IS SHOWN AS CHAMPLAIN LOAMY FINE SAND (35B & 35E), SOMEWHAT EXCESSIVELY DRAINED (HSG A) ON THE NRCS WEB SOIL SURVEY APRIL 2017.
7. ALL WORK COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
8. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE IN THE ENGINEERING DEPT.) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
9. CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-8 TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.

STREET TREES

ARTICLE 28.04(6). ONE TREE REQUIRED ON AVERAGE FOR EVERY 30' OF FRONTAGE (DRIVEWAYS AND DRIVEWAY EASEMENTS EXEMPT).

STREET TREES REQUIRED:

- TOTAL FRONTAGE ALONG BOTH ROADS: 1059.36'
- DRIVEWAY (3) COMMON DRIVEWAY EASEMENTS: 90'
- 85' ALONG MOUNTAIN RD. AT SNOW POND OUTLET (TOO STEEP, EXISTING BRUSH & TREES)
- 50' ALONG SEWALLS FALLS RD. AT WETLAND (STEEP, WETLAND, EXISTING BRUSH & TREES)
- TOTAL APPLICABLE FRONTAGE: 884.36'
- 834.36' / 30' = 27.8 TREES
- PRESERVE 2 EXISTING TREES SHOWN (OUTSIDE OF R.O.W.).
- NEW STREET TREES TO BE PLANTED: 26
- FOR SPECIFIC INFORMATION REGARDING SPECIES, LAYOUT AND PLANTING DETAILS SEE LANDSCAPE PLANS.

APPROXIMATE LOCATION OF STREET TREE TO BE PLANTED

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

TOPOGRAPHIC PLAN

LAND OF
H. BYERS SMITH & MARIAN B. SMITH TRUST
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE

SCALE: 1"=50' * DATE: APRIL 2017

SHEET 3 OF 8

T. F. BERNIER, INC.

Land Surveyors - Designers - Consultants

39 WARREN STREET - P.O. BOX 3464
CONCORD, NEW HAMPSHIRE 03302-3464
Tel: (603) 224-4148 - Fax: (603) 224-0507

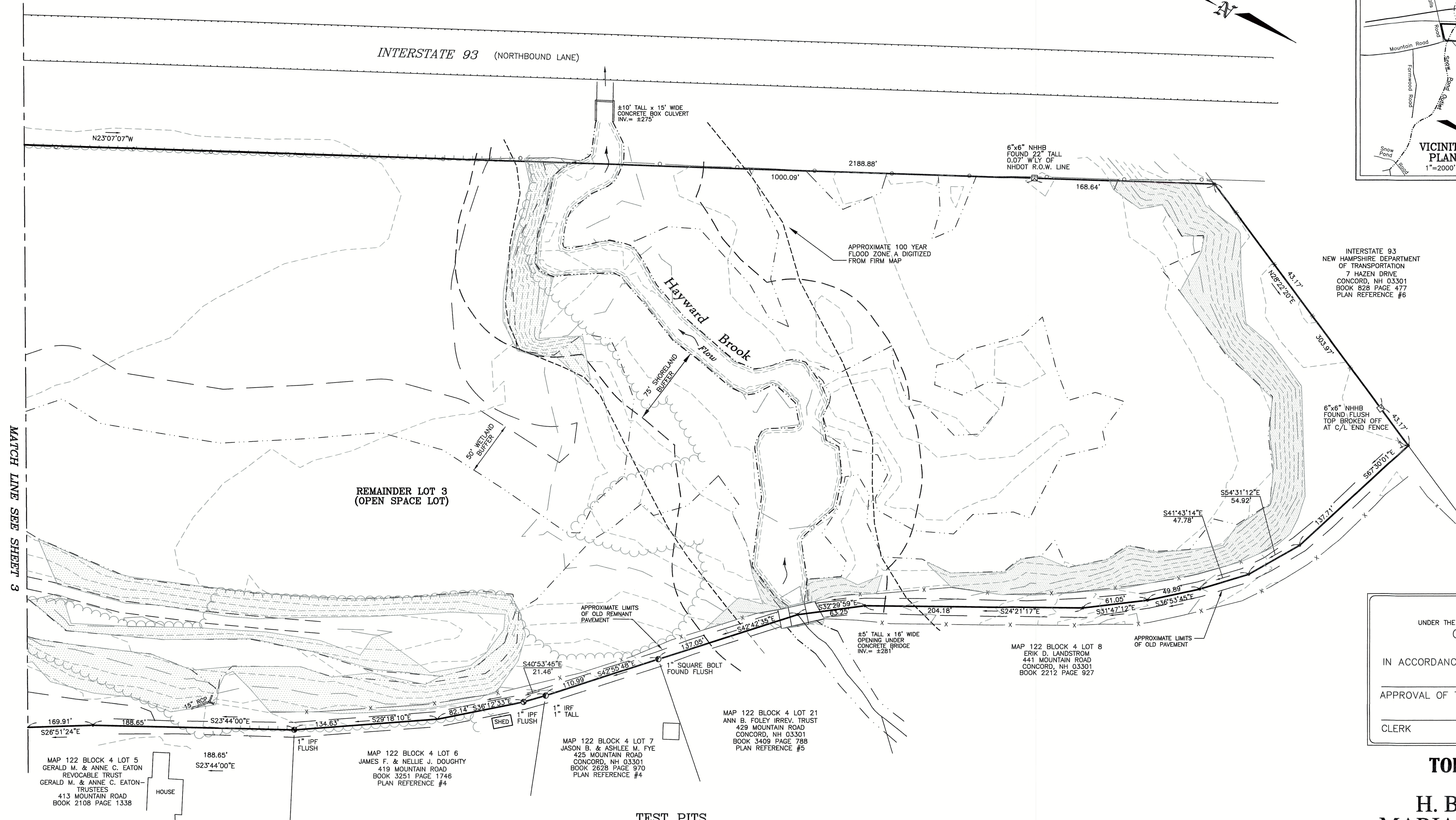
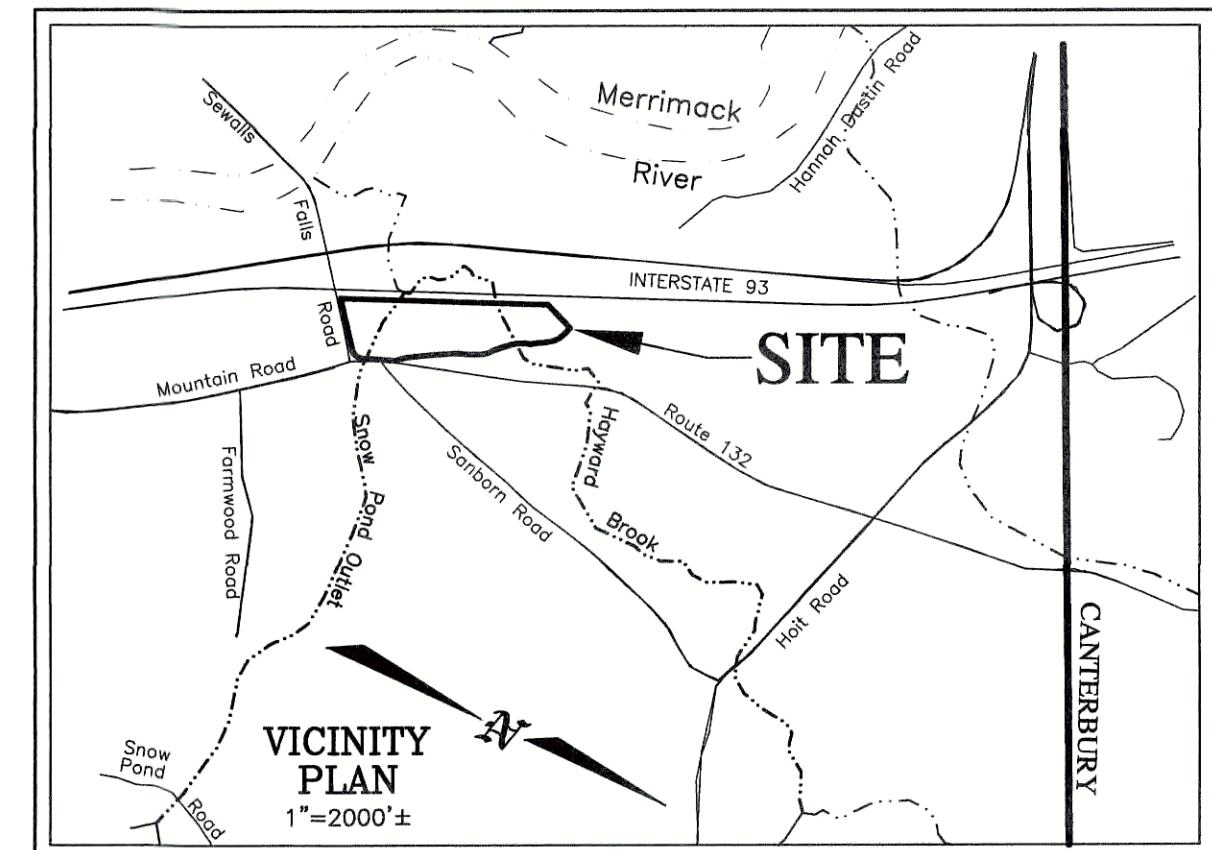
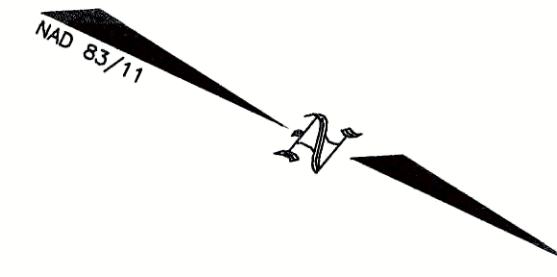
OWNER OF RECORD

MAP 122 BLOCK 4 LOT 3
H. BYERS SMITH &
MARIAN B. SMITH TRUST
BRIAN SMITH & LORA GOSS, TRUSTEES
698 DANIELS ROAD
PIKE, NH 03780
BOOK 2066 PAGE 0184

NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB/JRC	JRC/TFB	TFB	188	01	580-03

DRAWING NAME
03Topographic.dwg

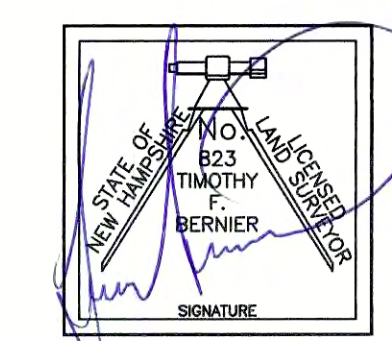
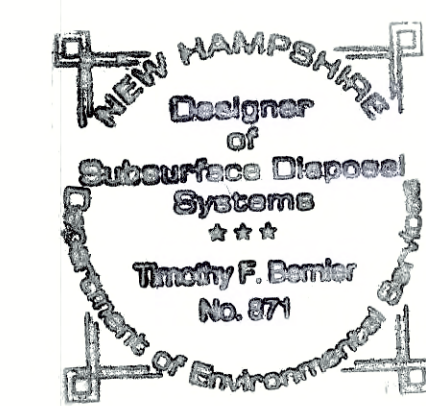


- LEGEND**
- ANGLE POINT
 - GRANITE BOUND TO BE SET
 - IRON ROD TO BE SET
 - GRANITE / STONE BOUND
 - IRON ROD FOUND
 - IRON PIPE FOUND
 - MAILBOX
 - SIGN
 - OLD BARBED WIRE FENCE
 - UTILITY POLE W/ANCHOR
 - GAS VALVE
 - GAS LINE PAINT
 - CONIFEROUS TREE
 - SHRUB
 - DECIDUOUS TREE
 - MAPPED WETLAND
 - EDGE OF BROOK
 - EDGE OF PAVEMENT
 - TREELINE
 - EXISTING 2' CONTOUR LINE
 - EXISTING 10' CONTOUR LINE
 - SLOPES OVER 15%
 - AREA OF CONTIGUOUS BUILDABLE AREA IN OPEN SPACE, WITH NO DIMENSION LESS THAN 150'. (CONTINUES ONTO SHEET 3)

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, N.H.
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED _____
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN
CLERK _____ CHAIR _____

TOPOGRAPHIC PLAN
LAND OF
H. BYERS SMITH & MARIAN B. SMITH TRUST
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE
SCALE: 1"=50' * DATE: APRIL 2017
SHEET 4 OF 8

- TEST PITS**
APRIL 7, 2017
- TP #1**
0-15" 10YR 3/2 VERY DARK GRAYISH BROWN MEDIUM SANDY LOAM, FRIABLE WEAK, MASSIVE
15-28" 10YR 5/8 YELLOWISH BROWN MEDIUM SAND, LOOSE, GRANULAR
28-60" 10YR 6/4 LIGHT YELLOWISH BROWN MEDIUM SAND, LOOSE, GRANULAR
ESHWIT = 51"
WATER AT 51"
NO LEDGE FOUND
TERMINATED AT 60"
PERC RATE 2 MIN/INCH AT 30"
- TP #2**
0-7" 10YR 3/4 DARK YELLOWISH BROWN MEDIUM SANDY LOAM, FRIABLE, MASSIVE
7-18" 10YR 6/8 BROWNISH YELLOW FINE LOAMY SAND, FRIABLE WEAK, MASSIVE
18-60" 10YR 5/3 BROWN FINE LOAMY SAND, FRIABLE, MASSIVE
ESHWIT = 30"
WATER AT 56"
NO LEDGE FOUND
TERMINATED AT 60"
PERC RATE 10 MIN/INCH AT 28"
- TP #3**
0-22" 10YR 4/3 BROWN MEDIUM LOAMY SAND, LOOSE, GRANULAR
22-38" 10YR 6/8 BROWNISH YELLOW FINE SAND, LOOSE, GRANULAR
38-72" 10YR 6/4 LIGHT YELLOWISH BROWN MEDIUM SAND, LOOSE, GRANULAR
ESHWIT = 72"
NO WATER FOUND
NO LEDGE FOUND
TERMINATED AT 72"
PERC RATE 4 MIN/INCH AT 40"
- TP #4**
0-7" 10YR 4/3 BROWN MEDIUM LOAMY SAND, LOOSE, GRANULAR
7-24" 10YR 6/8 BROWNISH YELLOW FINE SAND, LOOSE, GRANULAR
24-36" 10YR 6/3 PALE BROWN FINE SILTY SAND, FRIABLE, MASSIVE
36-72" 10YR 6/4 LIGHT YELLOWISH BROWN COARSE SAND, LOOSE, GRANULAR
ESHWIT > 72"
NO WATER FOUND
NO LEDGE FOUND
TERMINATED AT 72"
PERC RATE 5 MIN/INCH AT 40"
- TP #5**
0-8" 10YR 7/3 VERY PALE BROWN FINE SANDY LOAM, FROZEN
8-36" 10YR 6/8 BROWNISH YELLOW MEDIUM LOAMY SAND, LOOSE, GRANULAR
36-48" 10YR 6/2 LIGHT BROWNISH GRAY FINE SAND, FRIABLE, MASSIVE
48-80" 10YR 6/4 LIGHT YELLOWISH BROWN MEDIUM SAND, LOOSE, GRANULAR
ESHWIT > 80"
NO WATER FOUND
NO LEDGE FOUND
TERMINATED AT 80"
PERC RATE 10 MIN/INCH AT 38"
- TP #6**
0-8" 10YR 7/3 VERY PALE BROWN FINE SANDY LOAM, LOOSE, GRANULAR
8-30" 10YR 6/8 BROWNISH YELLOW FINE LOAMY SAND, LOOSE, GRANULAR
30-50" 10YR 6/2 LIGHT BROWNISH GRAY FINE SILTY SAND, FRIABLE, MASSIVE
ESHWIT = 30"
WATER AT 48"
NO LEDGE FOUND
TERMINATED AT 50"
PERC RATE 10 MIN/INCH AT 24"
- TP #7**
0-6" 10YR 7/3 VERY PALE BROWN FINE LOAMY SAND, LOOSE, GRANULAR
6-42" 10YR 6/8 BROWNISH YELLOW MEDIUM LOAMY SAND, LOOSE, GRANULAR
42-60" 10YR 6/2 LIGHT BROWNISH GRAY MEDIUM SILTY SAND, LOOSE, GRANULAR
ESHWIT = 44"
NO WATER FOUND
NO LEDGE FOUND
TERMINATED AT 60"
PERC RATE 6 MIN/INCH AT 34"



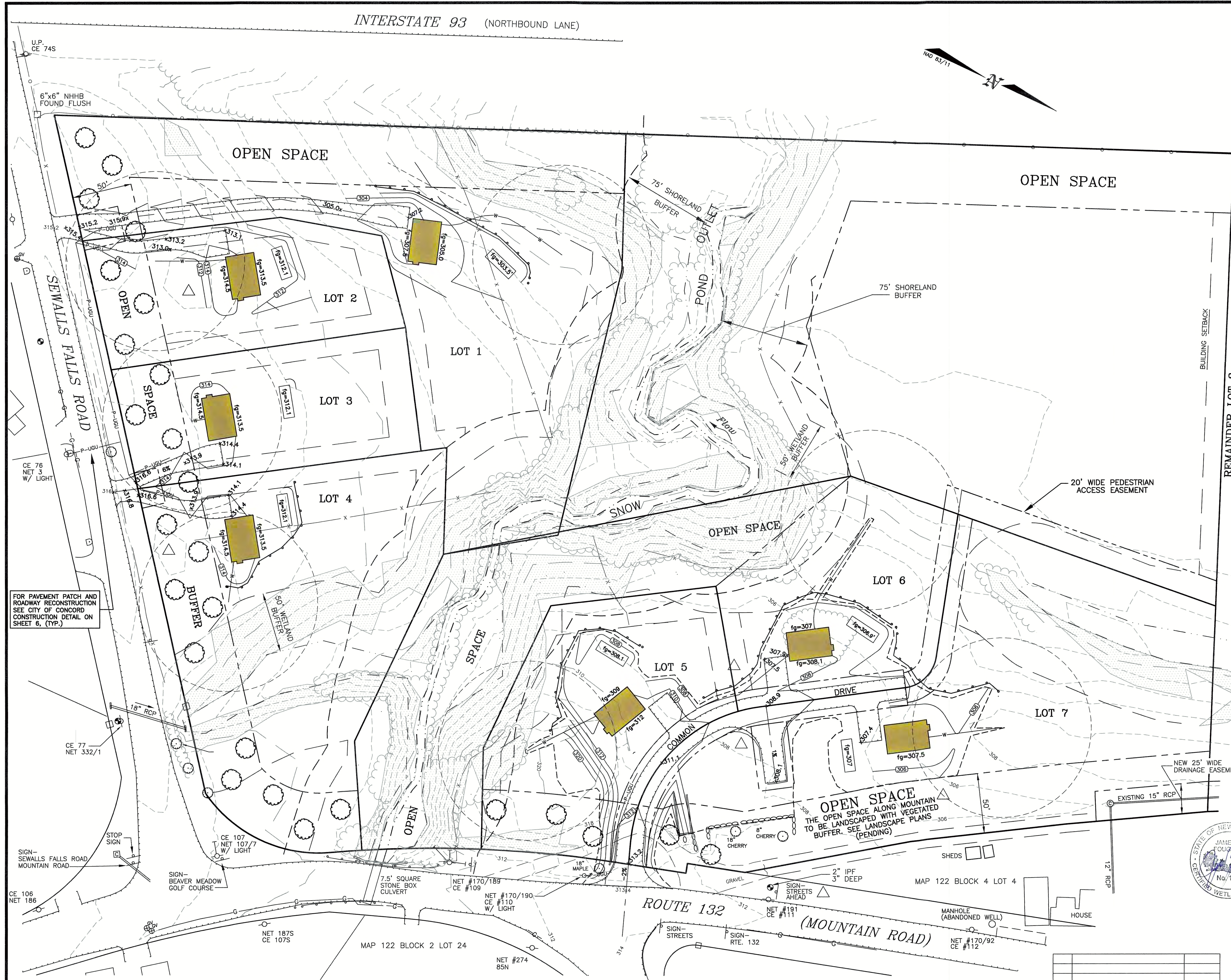
GRAPHIC SCALE		
50	25	0 25 50 100
NO.	REVISION	DATE

T. F. BERNIER, INC.
Land Surveyors - Designers - Consultants
39 WARREN STREET - P.O. BOX 3464
CONCORD, NEW HAMPSHIRE 03302-3464
Tel: (603) 224-4148 - Fax: (603) 224-0507

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	P.G.	JOB #
TFB/JRC	JRC/TFB	TFB	188	01	580-03
DRAWING NAME					
04Topographic.dwg					

LEGEND

- TREELINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED 2' CONTOUR
- PROPOSED PAVED DRIVEWAY
- PROPOSED UNDERGROUND ELEC. TEL. CABLE
- PROPOSED WATER LINE
- PROPOSED SILT FENCE
- EXISTING GRADE
- PROPOSED GRADE
- SHALLOW DEPRESSION EXISTING OR FORMED BY NEW CONSTRUCTION/GRADING/LANDSCAPING
- APPROXIMATE LOCATION PROPOSED STREET TREE



ORIGINAL
MAP 122 BLOCK 4
LOT 3

REMAINDER LOT 3
(OPEN SPACE LOT)

PLAN NOTES;

1. THE PURPOSE OF THIS PLAN SHEET IS TO SHOW ON POSSIBLE DEVELOPMENT SCHEME FOR THE PURPOSES OF COMPUTING STORMWATER RUNOFF AS REQUIRED BY THE CITY OF CONCORD. THIS PROJECT IS FOR THE SUBDIVISION OF LOTS IN ACCORDANCE WITH STATE STATUTE. IT IS THE INTENTION THAT THE LOTS CREATED MAY BE DEVELOPED IN ANY MANNER CONSISTENT WITH THE CURRENT ZONING ORDINANCE.
2. THE CONTIGUOUS AREA OF DISTURBANCE IS ANTICIPATED TO BE LESS THAN 47,000 S.F. (LOTS 5-7).

SITE DEVELOPMENT PLAN

LAND OF

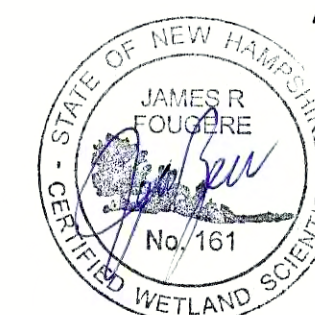
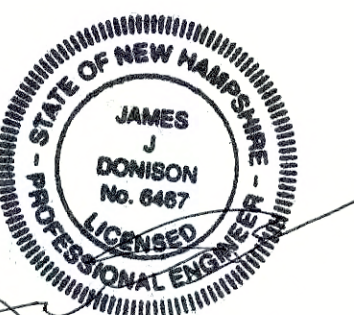
**H. BYERS SMITH &
MARIAN B. SMITH TRUST**

ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE

SCALE: 1"=40' * DATE: APRIL 2017
SHEET 5 OF 8

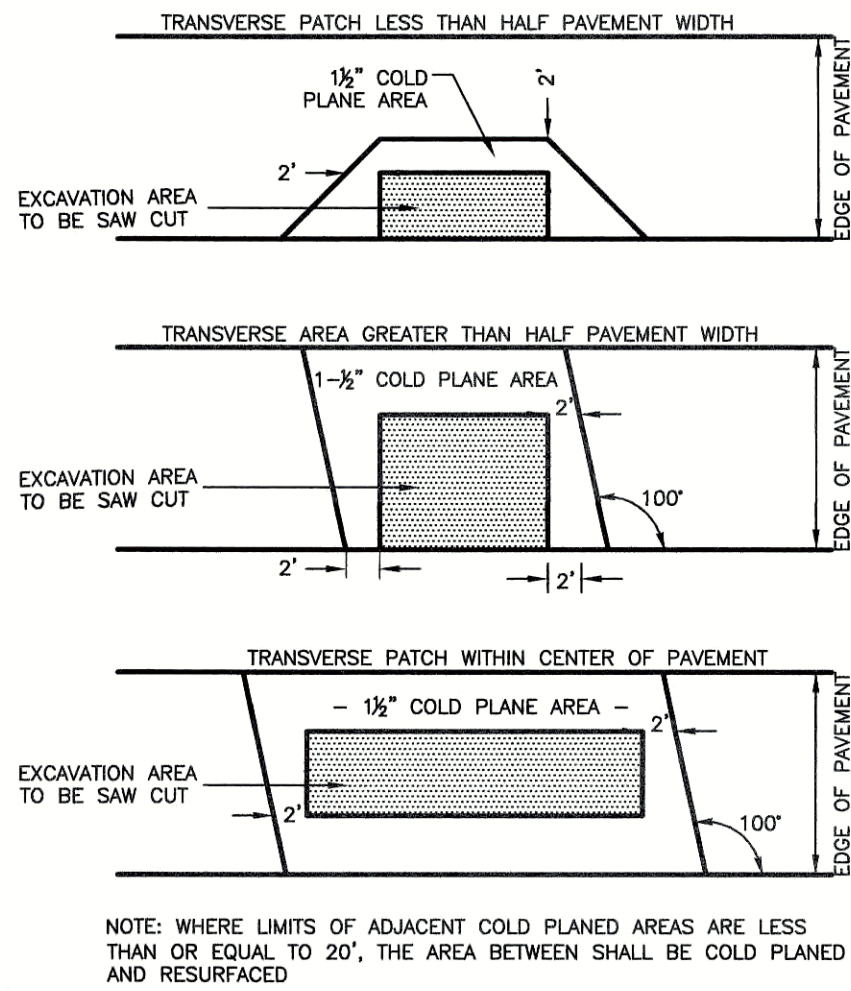
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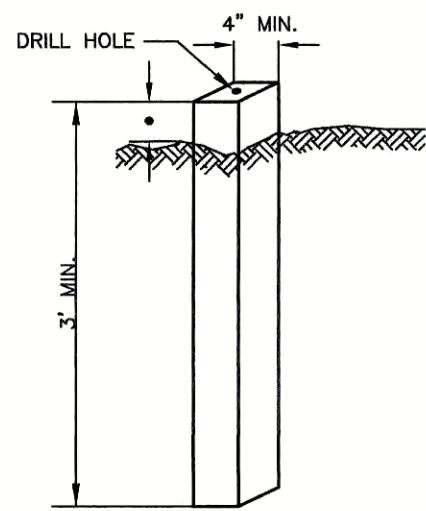


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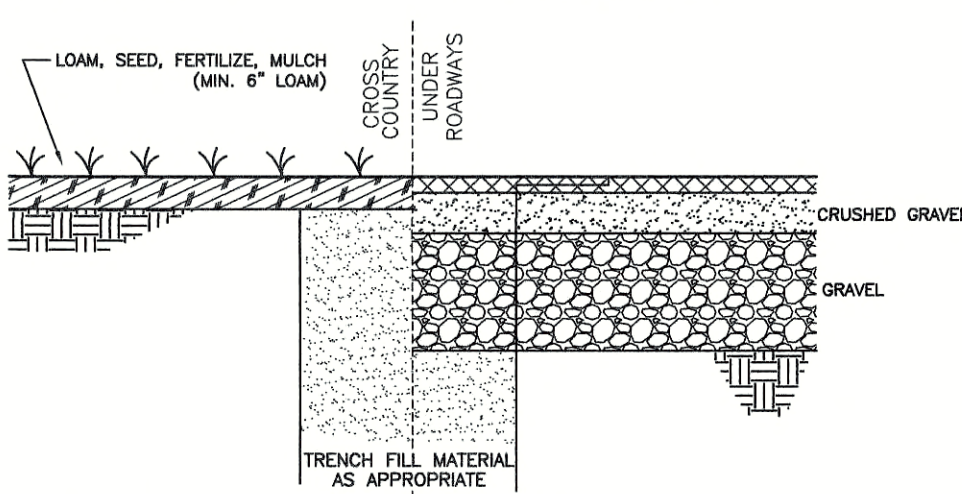
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NOT TO SCALE



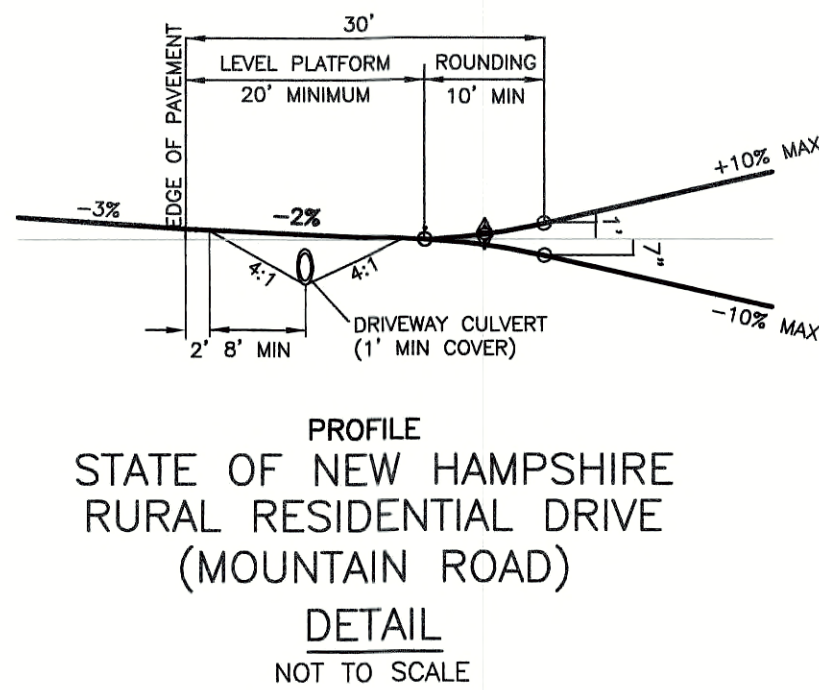
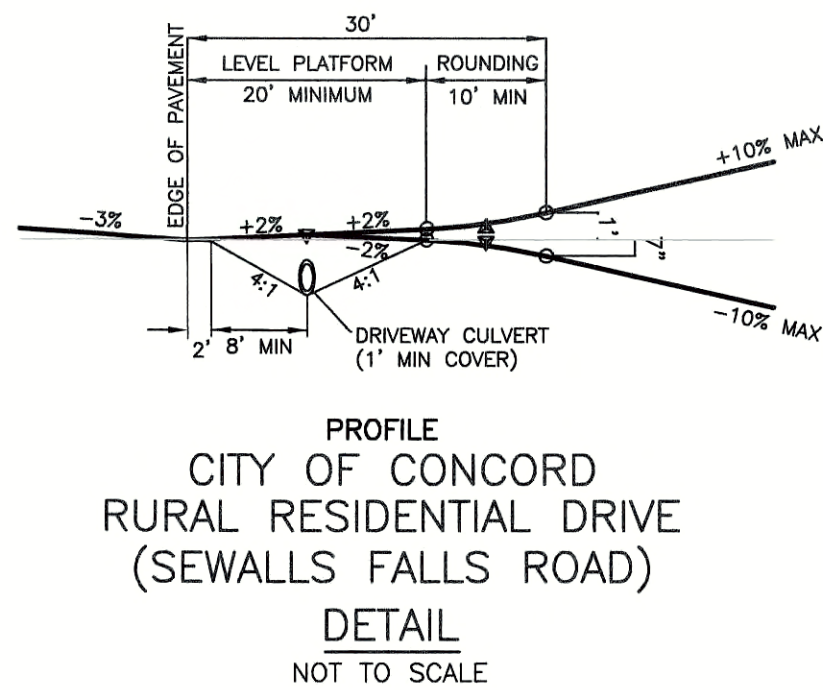
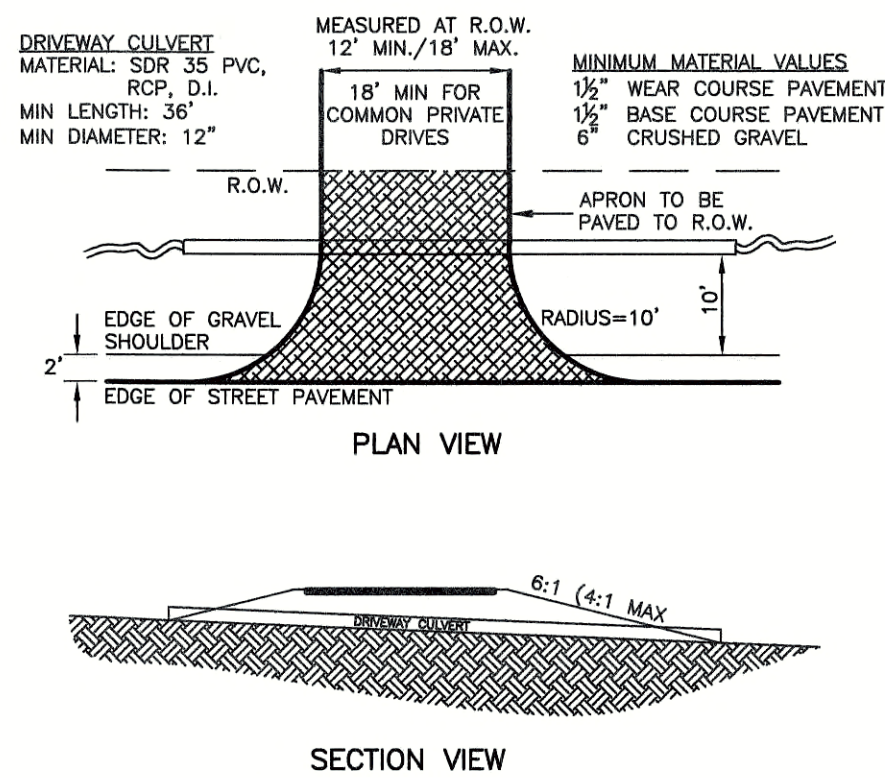
- NOTES:
- BOUND TO BE VERTICAL AND SOIL COMPACTED WHEN SET.
 - RIGHT-OF-WAY BOUNDS SHALL BE REINFORCED CONCRETE OR GRANITE, 4"x4"x3" MINIMUM IN SIZE.
 - RIGHT-OF-WAY BOUNDS SHALL BE INSPECTED BY THE CITY OF CONCORD ENGINEERING SERVICES DIVISION.
- *RIGHT-OF-WAY BOUNDS SHALL BE SET 5/8" TO 1" ABOVE GROUND IN RESIDENTIAL AREAS, 4" TO 6" ABOVE GROUND IN WOODED AREAS AND SLIGHTLY BELOW GRADE WHEN SET IN PAVEMENT.

R.O.W. BOUND DETAIL
NOT TO SCALE

- NEW ROADWAY CONSTRUCTION SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS.
 - FOR RECONSTRUCTION OF EXISTING PAVED AREAS, PAVEMENT AND SUB-BASE DEPTHS SHALL MATCH THE EXISTING CONDITIONS.
 - MINIMUM PAVEMENT DEPTHS FOR NEW OR RECONSTRUCTED ROADWAYS SHALL BE AS FOLLOWS:
- | MINOR STREET | COLLECTOR STREET |
|---------------------------------|---------------------------------|
| 4" MIN. HOT BITUMINOUS PAVEMENT | 5" MIN. HOT BITUMINOUS PAVEMENT |
| 1 1/2" WEARING COURSE | 1 1/2" WEARING COURSE |
| 2 1/2" BASE COURSE | 3 1/2" BASE COURSE |

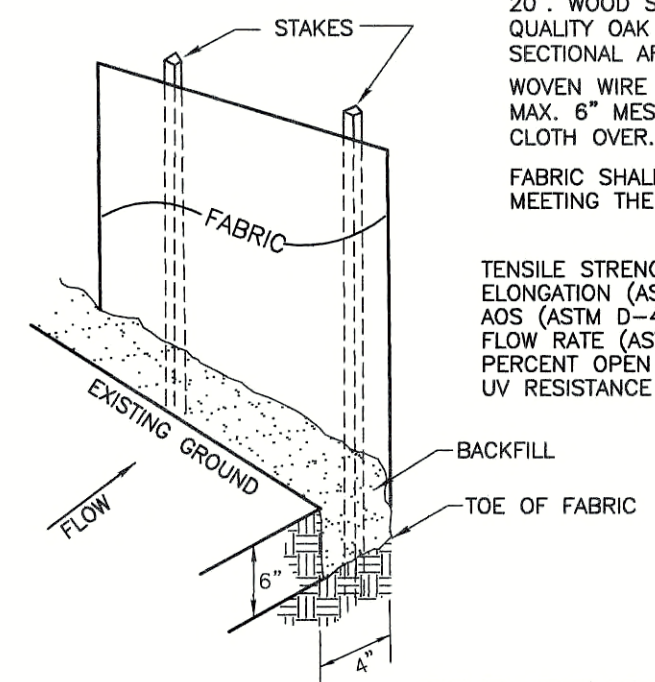


ROADWAY RECONSTRUCTION
DETAIL
NOT TO SCALE



CONSTRUCTION NOTES:

- FABRIC SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



STAKES SHALL BE A MINIMUM OF 48" LONG AND DRIVEN INTO THE GROUND 20". WOOD STAKES SHALL BE OF SOUND QUALITY OAK & HAVE A MINIMUM CROSS SECTIONAL AREA OF 3 SQUARE INCHES.

WOVEN WIRE FENCE (14 1/2 GA. MIN. MAX. 6" MESH SPACING) WITH FILTER CLOTH OVER.

FABRIC SHALL BE WOVEN PROPYLENE YARN MEETING THE FOLLOWING SPECIFICATIONS:

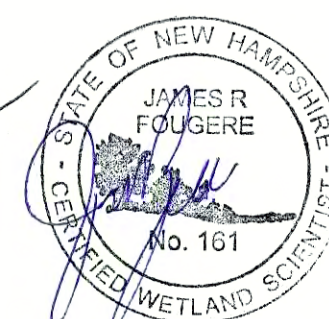
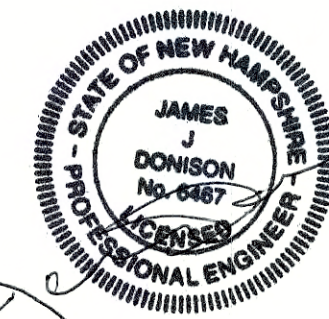
TENSILE STRENGTH (ASTM-4632) MIN. 370-200 LBS
ELONGATION (ASTM D-4632) MAX. 20%
AOS (ASTM D-4751) MAX SIEVE #40
FLOW RATE (ASTM D-4491) G/M/SF 75
PERCENT OPEN AREA (CW-02215) 10%
UV RESISTANCE @500HRS (ASTM D-4355) 90%

SILT FENCE
N.T.S.

CONSTRUCTION DETAILS

LAND OF
**H. BYERS SMITH &
MARIAN B. SMITH TRUST**
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE

SCALE: AS SHOWN * DATE: APRIL 2017
SHEET 6 OF 8



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TFB/JRC	JRC/TFB	TFB	188	01	580-03
DRAWING NAME 06_Construction-De					

LEGEND

- TREELINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- PROPOSED 2' CONTOUR
- PROPOSED PAVED DRIVEWAY
- PROPOSED UNDERGROUND ELEC. TEL. CABLE
- PROPOSED WATER LINE
- PROPOSED SILT FENCE
- EXISTING GRADE
- PROPOSED GRADE
- SHALLOW DEPRESSION EXISTING OR FORMED BY NEW CONSTRUCTION/GRADING/LANDSCAPING

PLANT LEGEND

- 10/ACE ACER RUBRUM (RED MAPLE) 2.5'-3" CAL.
- 2/CEL CELTIS OCCIDENTALIS (HACKBERRY) 2.5'-3" CAL.
- 3/GYM GYMNOCLADUS DIOICUS (KENTUCKY COFFEE TREE) 2.5'-3" CAL.
- 2/LIR LIRIODENDRON TULIPIFERA (TULIPTREE) 2.5'-3" CAL.
- 7/NYS NYSSA SYLVATICA (GREEN GABLE TUPELO) 2.5'-3" CAL.
- 9/PIC PICEA ABIES (NORWAY SPRUCE) 6'-7" BB
- 13/PIN PINUS STROBUS (WHITE PINE) 6'-7" BB
- 4/PRE PINUS RESINOSA (RED PINE) 6'-7" BB
- 3/QUE QUERCUS RUBRA (RED OAK) 2.5'-3" CAL.
- 2/TIL TILIA CORDATA (GREENSPIRE LINDEN) 2.5'-3" CAL.
- 3/ULM ULMUS PARVIFOLIA (ALLEE CHINESE ELM) 2.5'-3" CAL.
- 12/VIB VIBURNUM SIEBOLDII (SIEBOLDI VIBURNUM) 4'-5" BB
- 1/ZEL ZELKOVA SERRATA (GREEN VASE ZELKOVA) 2.5'-3" CAL.

LANDSCAPE ARCHITECT
BLACKWATER DESIGN

PHONE (603) 648 - 6500 FAX (603) 648 - 6506
Land Planning - Landscape Architecture
85 Frost Lane - Webster, NH 03303

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, N.H.
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK CHAIR

LANDSCAPE PLAN

LAND OF
H. BYERS SMITH & MARIAN B. SMITH TRUST
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
CONCORD, NEW HAMPSHIRE

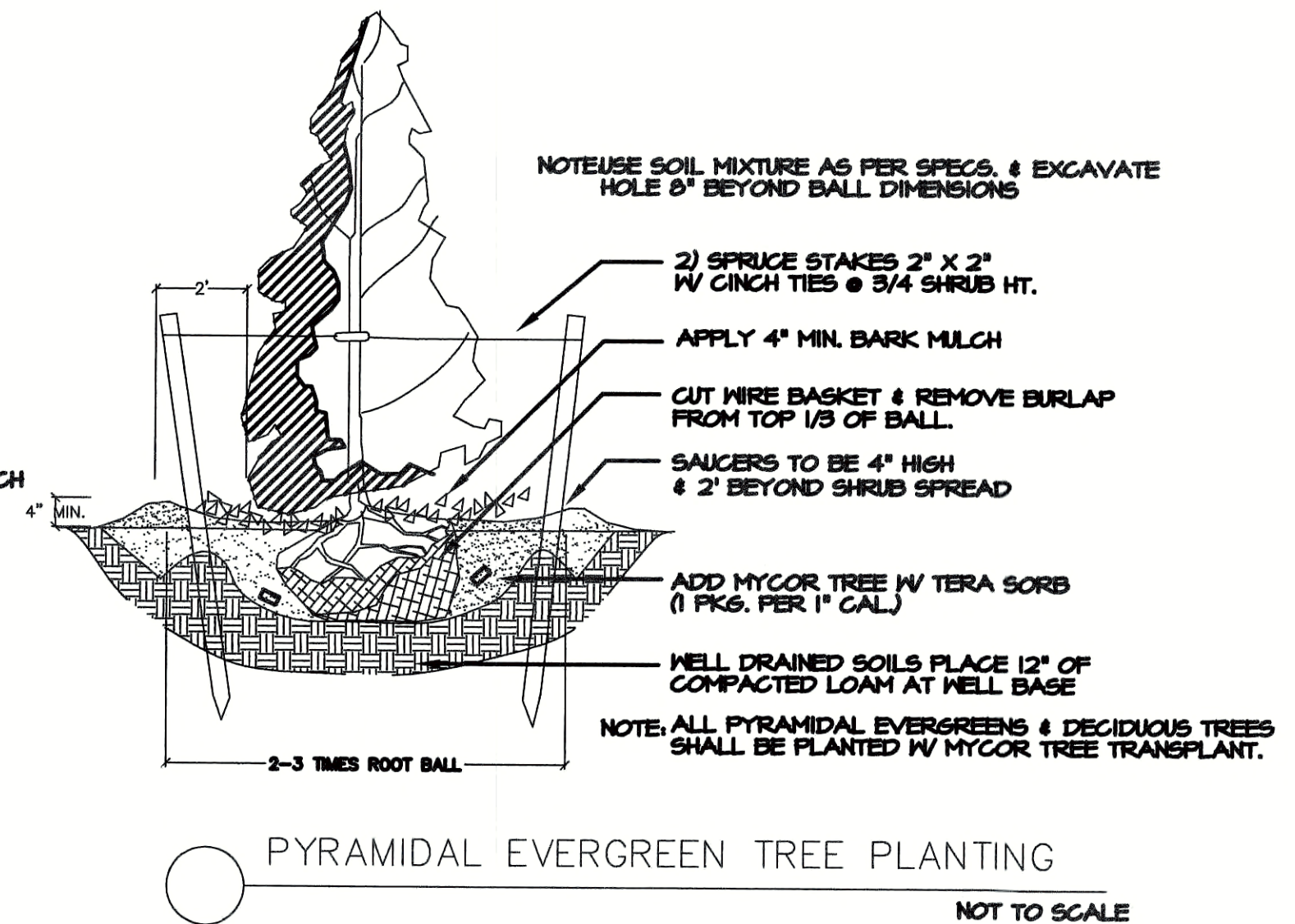
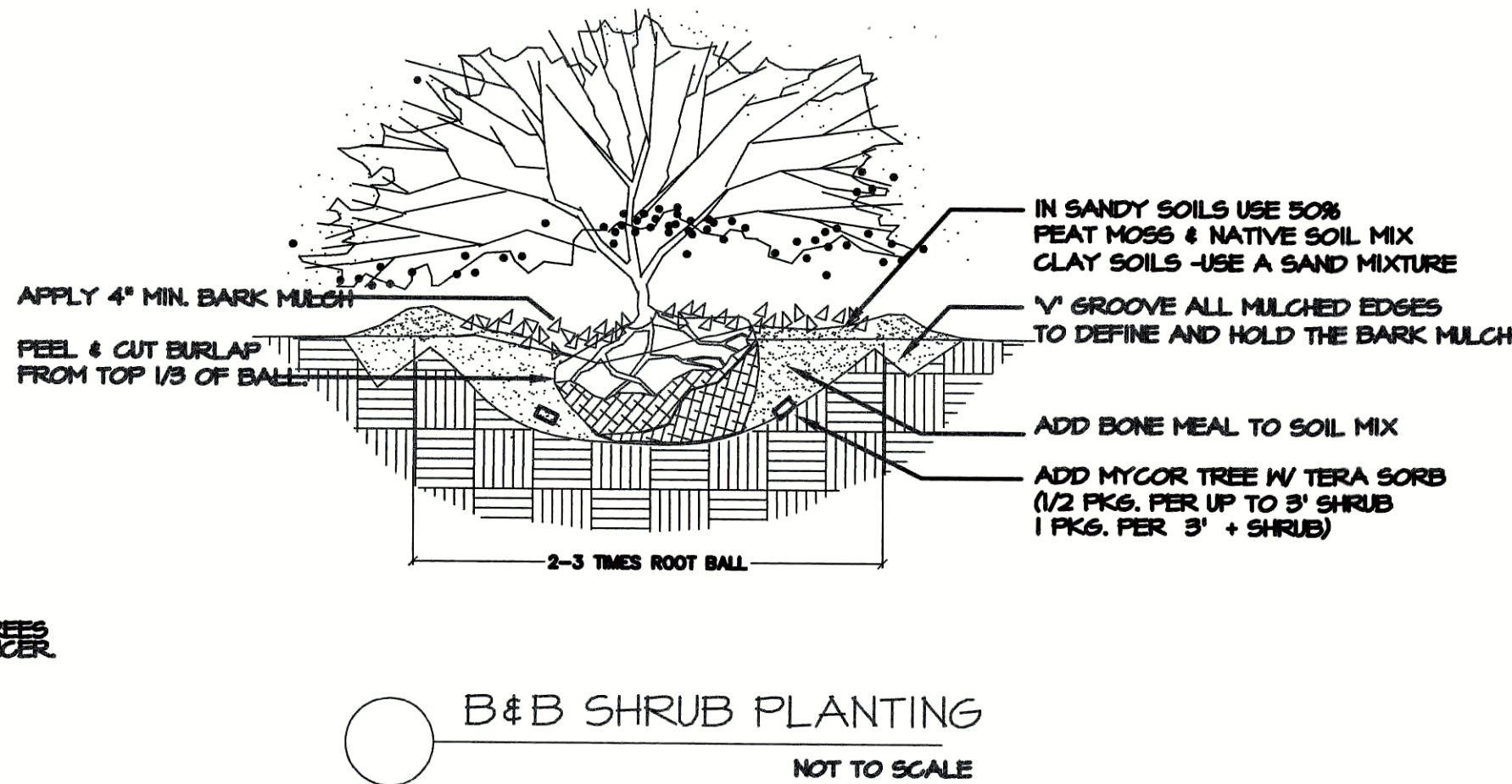
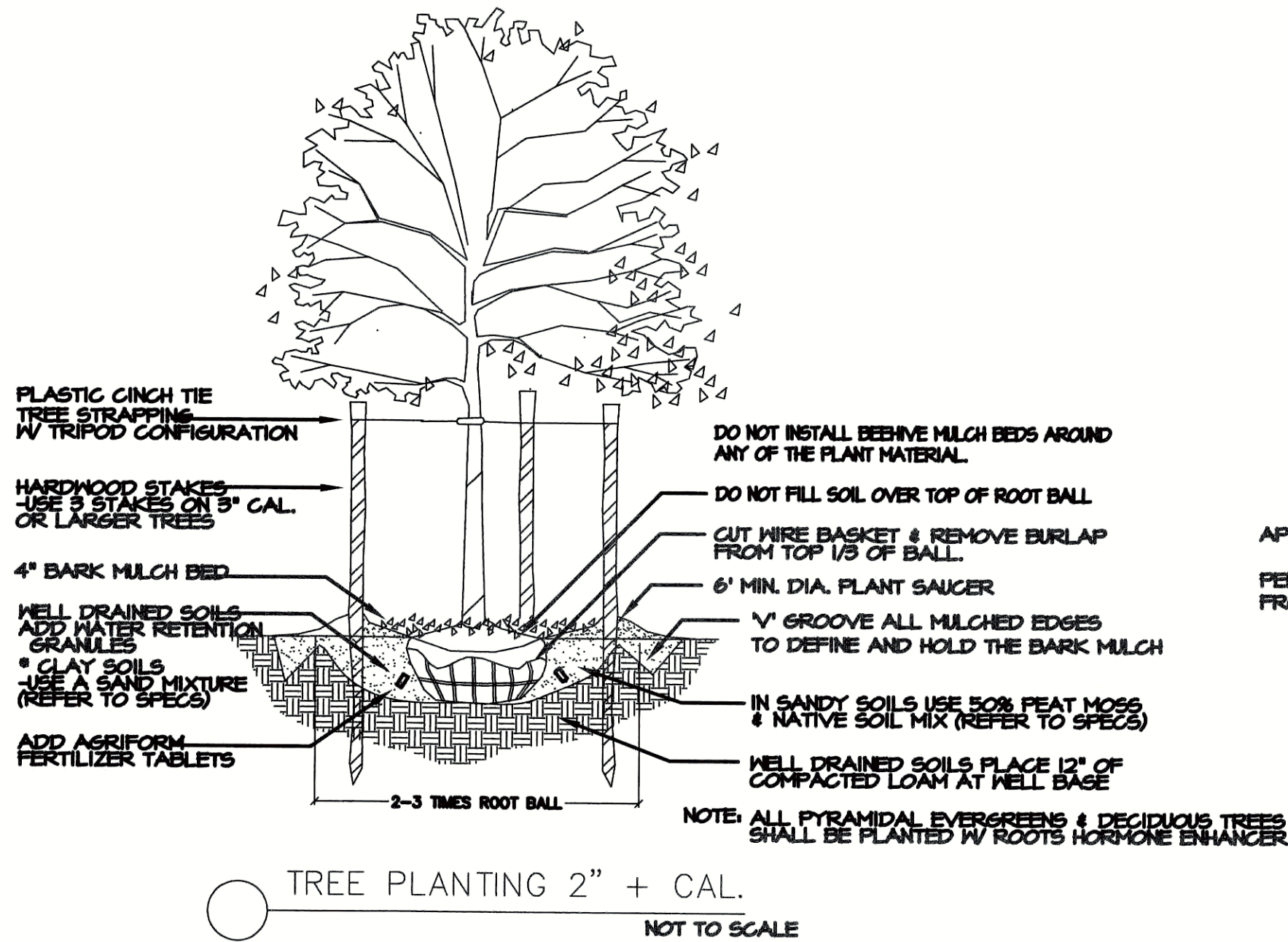
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					580-03
DRAWING NAME					



General Specifications

- The contractor shall at his expense furnish all the materials, supplies, machinery, equipment, tool, superintendent, labor, insurance, & other accessories and services necessary to complete the said project within the unit costs stated within the bid price.
- The work to be done under this contract is as shown and described on the drawings. Each bidder shall make a careful examination of the plans and specifications (the plan shall dictate quantities) and acquaint himself with all conditions before making his proposal. He will be held responsible for errors in his proposal resulting from his failure to make such an examination. All bidders shall visit the site and inform themselves of all conditions.
- The bids shall be based on materials and equipment complying with the drawings and the specifications. The contractor shall be responsible under this contract price, for furnishing and installing materials confirming to the bid items. Under no circumstances may a species 'hybrid' be substituted or size changed without written consent of the landscape architect.
- The contractor shall be responsible for the protection of such existing utilities as water mains, sewer systems, gas mains, electrical conduits, telephone lines and any other utilities and if any damage or destruction may occur to these utilities, he shall be responsible for their repair and/or replacement at his expense.
- The contractor shall make payment for all damages to buildings, structures, trees, shrubs and/or any other property outside the construction area or located within those limits but not designated for removal or reconstructed providing such damage shall result from accident caused by negligence for which the contractor shall be legally liable.
- If additional labor and/or materials is requested or required, the contractor shall submit a price to the owner. If the owner approves the price he shall prepare a change order for approval and signature. The contractor shall not proceed without a written authorization from the owner for the additional work. If the contractor proceeds with the additional work without this authorization he shall forfeit any claim for additional compensation.
- The landscape architect shall reserve the right to inspect the project work at any time deemed necessary to insure that the specifications and plans and any other contract documents are being followed.
- The L.A. shall have the right to reject any plant on-site based upon condition, size, or incorrect species or hybrid. L.A. must be contacted prior to install, to inspect materials delivered to the site, and to insure that soil amendments, bark mulch, roof ballast, etc. are to the written specifications.

- Hydroseeding operations shall be a one part process with a paper fiber mulch; a tackifier shall be applied on all slopes greater than 3:1. Excelsior Drainage mat shall be applied to all 2:1 slopes and drainage swales per plan.
- All plant materials shall be installed in accordance with A.L.C.C. specifications and per plan details. Per details deciduous trees (excluding crabapples and/or smaller profile specimens); shall be guyed in a tripod fashion using plastic cinch ties & 2" x 2" x 8' hardwood stakes; trees and shrubs shall have appropriate soil mixtures, fertilizer and soil retention granules.
- If the soil conditions are extremely sandy, all trees shall have a 6" layer of compacted topsoil (verify with Landscape Architect) placed in the base of the plant pit as a moisture retention layer. The plant pit sidewalls shall be over excavated by an additional 12" beyond the normal outside radius of the hole. A topsoil planting mixture shall be used to backfill as per spec # 22.
- Landscape architect shall have the right to reject and have ground removed any plant material not of proper size or of weak quality, i.e. thin, no lower branching, etc. Contractor must submit shipping lists (billing invoices) for verification, prior to installation.
- All plant material shall be guaranteed for a period of one (1) year from date of installation. Any material which dies or does not show a healthy appearance within this time shall be replaced at the contractors expense; with same warranty requirements as the original. Warranty does not cover loss due mechanical damage, i.e. snow storage. Contractor should protect susceptible species from insect infestation. Use a liquid systemic application on birch, etc.
- Plant beds and saucers vary in dia. (refer to dwg). Trees and shrubs shall receive a 4" covering of pine/hemlock bark mulch; saucer diameters per drawing & details. Deciduous trees shall have a 6" dia. saucer (typ.), evergreen trees shall have a saucer 2' min. beyond it's outer branches. All edges shall have a 'V' groove.
- All B&B material which are encased in wire baskets shall have the wires cut loose and the top third removed prior to backfill operation.
- Soil planting mixture shall be a 6%-10% organic topsoil, amended with 10% wood ash, 10% manure, & 30% peatmoss (or incorporate a similar dehydrated compost material. If planting in sand, gravel or other well drained soils, a 50% peatmoss to excavated soil. Other soil amendments shall include: Agriform tablets, Hydro-Gel or equal, and Roots growth enhancer to all trees and shrubs listed, per manufacturers specifications. All plant material pits will receive a min. 20% in volume mix of a soil amendment. Submittal required. 'Roots' STEP 1 can be substituted for the individual supplements. Install per manufacturer's specs.

- Landscape contractor shall provide a soil analysis of the topsoil planting mixture. Analysis to show soil classification (min. sandy loam) and nutrients.
- Contractor shall protect all B&B materials left above grade prior to installation from drying out. All plants shall be stored, covered in mulch, and irrigated until planted. Any plant left on the ground and whose outer ball surface dries out, shall be rejected by the landscape architect. Plants stored in shade and off pavement.
- Plan dictates, contractor shall alert Landscape Architect if any discrepancies exist between the plan, the material list, and as-built site conditions.
- Installer shall notify landscape architect prior to planting, to review plant locations and bedline configurations. If contractor installs without the placement approval of the L.A., said architect shall have the right to relocate any installed plants at the contractor's expense.
- Installer shall notify landscape architect prior to plant installation to review all materials. Any plants of poor condition, improper size, or species will be rejected.
- Upon one year review, contractor shall remove all guys & stakes and/or straighten any trees that have shifted. Any weak or bare spots in lawn shall be reseeded.
- All bedlines shall have a deep 'V' groove to define lawn to mulch edge. No 'Beehive' mounding of mulch is allowed, also keep mulch away from base of perennials.
- Do not plant materials too close to the edge of bedlines. Refer to drawings for center of plant to bedline. At a minimum no outer branching of a shrub or perennial shall be closer than two feet from the bedlines. If the as-built does not comply contractor shall adjust the plant location or bedline at his expense.
- Any items not completed to the specifications will be required at contractors expense prior to final approvals. Contractor is to bid the work according to the specifications and not to what they may do under their standard practices. Special attention will be paid to soils, amendments, guy stakes, bedline & saucer configurations, seed mixtures, etc.
- Any questions concerning this drawing shall be directed to Joseph Hochrein c/o Blackwater Design, 85 Frost Lane, Webster, NH 03303, 603-648-2541.

PLANT LEGEND

- 10/ACE ACER RUBRUM (RED MAPLE)
2.5"-3" CAL.
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2.5"-3" CAL.

LANDSCAPE DETAILS & SPECIFICATIONS

LAND OF

**H. BYERS SMITH &
MARIAN B. SMITH TRUST**
ASSESSOR'S MAP 122 BLOCK 4 LOT 3
393 MOUNTAIN ROAD (NH ROUTE 132)
& SEWALLS FALLS ROAD
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SHEET 8 OF 8



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LANDSCAPE ARCHITECT
BLACKWATER DESIGN
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APPROVED
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CITY OF CONCORD, N.H.
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED _____
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN
CLERK _____ CHAIR _____

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