

JDH REALTY HOLDINGS, LLC

SITE PLAN

LOCATED AT:

52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

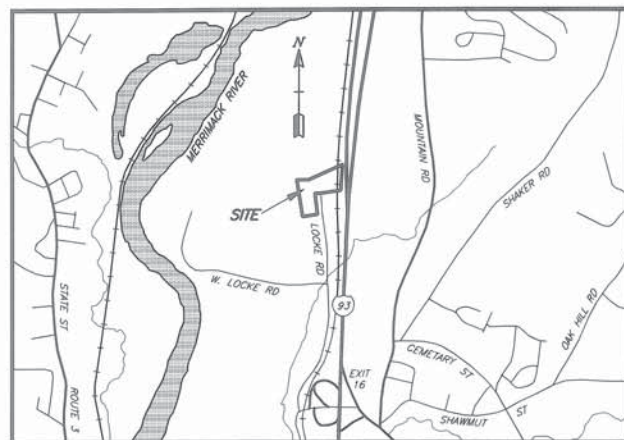
PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE

OWNER:

JAY W. STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NH 03049

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VICINITY PLAN
1"=±2000'

APPROVED

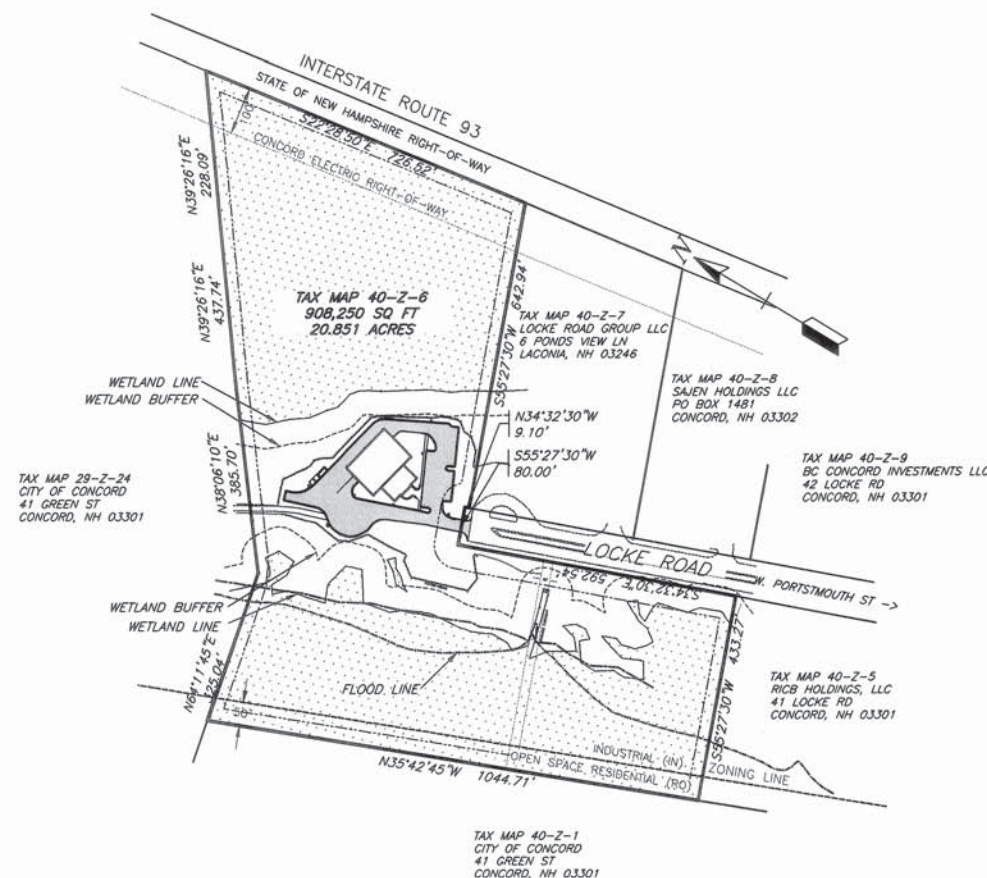
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk

Chair



OVERVIEW & LOCATION PLAN
1"=200'



ROBERT J. BASKERVILLE, P.E.
BEDFORD DESIGN CONSULTANTS, INC.

PLAN DATE: APRIL 19, 2017 (SUBMITTED TO THE CITY OF CONCORD ON APRIL 19, 2017)

DATE	DESCRIPTION	BY	REV.

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com

SOIL LEGEND

315A: MASHPEE SAND 0 - 5 PERCENT SLOPES, POORLY DRAINED.
313A: DEERFIELD FINE SANDY LOAM, 0 - 5 PERCENT SLOPES, MODERATELY WELL DRAINED.
26C: WINDSOR LOAMY FINE SAND, 8-15 PERCENT SLOPES, EXCESSIVELY DRAINED SOIL.

REFERENCE PLANS

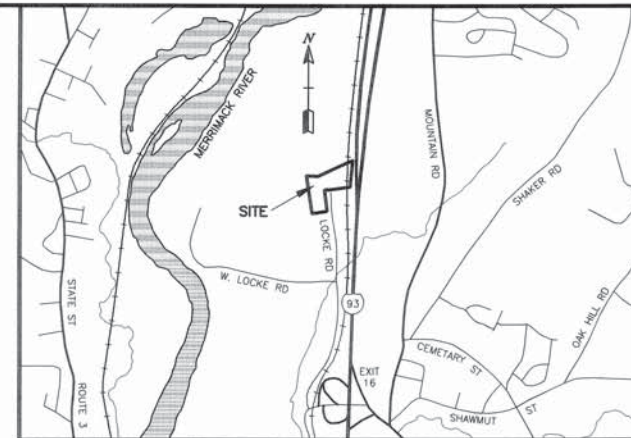
- "KEEWAYDIN LIMITED PARTNERSHIP LACONIA, NEW HAMPSHIRE/ CONCORD BUSINESS AND INDUSTRIAL PARK, MAP NO.121 TRACT 8207 LOT NO.2 CONCORD, NEW HAMPSHIRE, SUBDIVISION PLAN", PREPARED BY RIESLAND ASSOCIATES, INC., DATED SEPTEMBER 22, 1989, RECORDED AT THE M.C.R.D. PLAN NUMBER 11807.
- "SUBDIVISION PLAN, CONCORD BUSINESS AND INDUSTRIAL PARK, PREPARED FOR KEEWAYDIN SHORES, INC." PREPARED BY STORCH & BURD, DATED JUNE 24, 1986, RECORDED AT THE M.C.R.D. PLAN NO. 9120.
- "FINAL PLAT, CONCORD BUSINESS AND INDUSTRIAL PARK, CONCORD, NH, PREPARED FOR KEEWAYDIN LIMITED PARTNERSHIP", PREPARED BY STORCH ASSOCIATES, DATED MAY 20, 1988, RECORDED AT THE M.C.R.D. PLAN NO. 10570.

WETLAND NOTES

- WETLANDS WERE DELINEATED BY SCHAUER ENVIRONMENTAL CONSULTANTS, LLC, DURING APRIL 2014.
- WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987)
- DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY SCHAUER ENVIRONMENTAL CONSULTANTS UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004.
- DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY SCHAUER ENVIRONMENTAL CONSULTANTS UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) PORTER B. REED, JR.)
- WETLANDS WERE CLASSIFIED BY SCHAUER ENVIRONMENTAL CONSULTANTS, UTILIZING THE CRITERIA OF THE U.S. FISH AND WILDLIFE SERVICE MANUAL FWS/OBS-79/31 CLASSIFICATION OF WETLANDS AND DEEP WATER HABITATS OF THE UNITED STATES (COWARDIN ET AL, 1979).

PERIMETER MAP

1"=200'

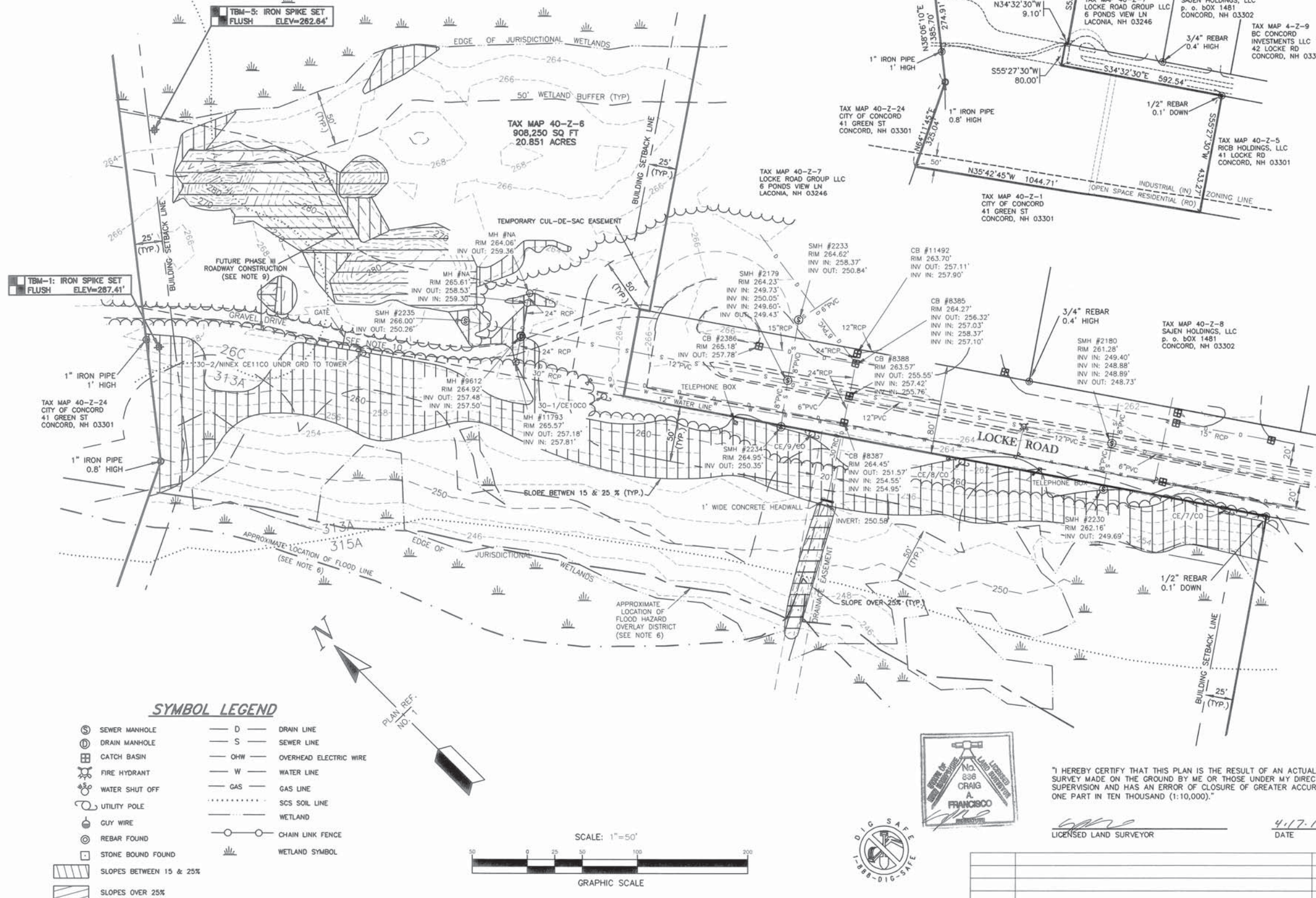


NOTES

- OWNER:
JAY W. STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NH 03049
BOOK 3118 PAGE 650
TAX MAP 121-1 LOT 17
- THE INTENT OF THIS PLAN IS TO DEPICT THE EXISTING CONDITIONS ON TAX MAP 10# 121-1-17.
- THE AREA OF THE PARCEL IS: 908,250 SQ. FT. OR 20.851 ACRES
- THE HORIZONTAL DATUM=NAD83. VERTICAL DATUM=NAVD88.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL FIELD SURVEY BY BEDFORD DESIGN CONSULTANTS DURING AUGUST 2008. THE WETLANDS WERE LOCATED BY FIELD SURVEY IN APRIL 2014.
- SUBJECT ZONED: IN (INDUSTRIAL) AND RO (RESIDENTIAL) LOCATED IN THE FLOOD HAZARD OVERLAY DISTRICT.
- DIMENSIONAL REQUIREMENTS
MIN. LOT SIZE = 40,000 S.F.
MIN. BUILDABLE LAND = 20,000 S.F.
MIN. FRONTAGE = 200'
FRONT SETBACK = 50'
REAR SETBACK = 30'
SIDE SETBACK = 25'
MAX. LOT COVERAGE = 85%
MAX. HEIGHT = 45'
WETLAND BUFFER = 50' (FOR WETLANDS GREATER THAN 3,000 S.F.)
- BUILDABLE AND USABLE LAND:
GROSS LAND AREA = 20.851 ACRES
USABLE LAND AREA = 6.03 ACRES (29%)
SLOPES 15-24.99% = 1.38 ACRES (6%)
SLOPES >25% = 0.51 ACRES (2.5%)
EXISTING IMPERVIOUS = 0.12 ACRES (0.5%)
WETLAND AREA = 14.82 ACRES (71%)
- THE SUBJECT PARCEL IS PARTIALLY LOCATED IN THE FLOOD HAZARD AND IN THE FLOOD ZONE X. DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 33013C0531E, EFFECTIVE DATE APRIL 19, 2010. THE SUBJECT PROPERTY IS ALSO PARTIALLY LOCATED IN THE FH - FLOOD HAZARD OVERLAY DISTRICT AS SHOWN ON MAP ENTITLED "FLOOD PLAN - FLOODWAY, ZONING MAP, CONCORD, NEW HAMPSHIRE", SHEET 23 OF 32.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION. ALWAYS CALL DIGSAFE PRIOR TO ANY EXCAVATION.
- SOIL LINES ARE SHOWN AS DEPICTED FROM A SOIL SURVEY BY THE SOIL CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE.
- FUTURE PHASE III ROADWAY CONSTRUCTION SHOWN PER PLAN REFERENCE 1. TO BE RELEASED FROM PUBLIC SERVITUDE BY A VOTE OF CITY COUNCIL.
- THE PROPERTY IS ENCUMBERED BY AN EASEMENT TO CITY OF CONCORD (SEE DEED BOOK 3153 PAGE 38 AND AN AGREEMENT WITH SPRINT SPECTRUM REALTY COMPANY, L.P. (SEE DEED BOOK 2767 PAGE 727). THE LOCATION OF THESE EASEMENTS ARE NOT DEFINED.

LOCUS MAP

1"=±2000'



TAX MAP 40 BLOCK Z LOT 6

EXISTING CONDITIONS PLAN

PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: 1" = 50' APRIL 19, 2017 SHEET 2 OF 16

DESIGN: C.A.F. DRAWN: M.D.M. CHECKED: C.A.F. FB: 540 PG: 62 1413-01

Bedford Design Consultants, Inc.
ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
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"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

4.17.18
DATE
LICENSED LAND SURVEYOR

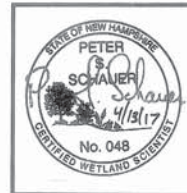
DATE	DESCRIPTION	BY	REV.

LEGEND

- ⑤ PROPOSED SEWER MANHOLE
- ⑤ EXISTING SEWER MANHOLE
- ⑤ DRAIN MANHOLE
- ⑤ PROPOSED CATCH BASIN
- ⑤ EXISTING CATCH BASIN
- ⑤ UTILITY POLE
- ⑤ REBAR FOUND
- ⑤ HANDICAP SIGN

REFERENCE PLANS

1. "KEEWAYDIN LIMITED PARTNERSHIP LACONIA, NEW HAMPSHIRE/ CONCORD BUSINESS AND INDUSTRIAL PARK, MAP NO.121 TRACT 8207 LOT NO.2 CONCORD, NEW HAMPSHIRE, SUBDIVISION PLAN", PREPARED BY RIESLAND ASSOCIATES, INC., DATED SEPTEMBER 22, 1989, RECORDED AT THE M.C.R.D. PLAN NUMBER 11807.
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2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987)
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY SCHAUER ENVIRONMENTAL CONSULTANTS UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004.
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APPROVED

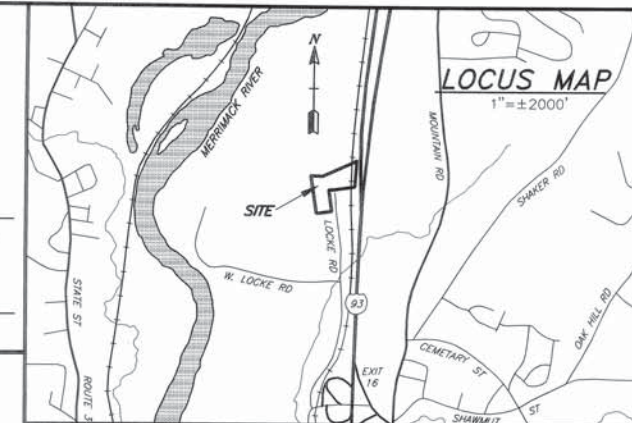
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk

Chair



NOTES:

1. THE PURPOSE OF THIS SITE PLAN IS TO SHOW A ONE STORY 9,000 S.F. WAREHOUSE WITH A TWO STORY 3,816 S.F. OFFICE WITH PARKING, CIRCULATION, AND DRAINAGE IMPROVEMENTS.
 2. OWNER: JAY W. STEWART REALTY HOLDINGS, LLC
95 RUSSELLS BRIDGE RD
HOLLIS, NH 03049
CONCORD TAX MAP 40-2-6
M.C.R.D. BOOK 3118 PAGE 650
APPLICANT: JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NH 03302
 3. FOR BEARINGS & DISTANCES, ZONING BOUNDARIES, AND ADJUTER INFORMATION PLEASE SEE THE OVERVIEW AND LOCATION PLAN ON THE COVER SHEET, FOR DEED REFERENCES, FLOOD HAZARD OVERLAY, AND SLOPE INFORMATION SEE THE EXISTING CONDITIONS PLAN. FOR DETAILED UTILITY INFORMATION SEE THE UTILITY SHEET.
 4. PROPERTY ADDRESS: 52 LOCKE ROAD, CONCORD, NH
 5. THE AREA OF THE PARCEL IS: 908,250 SQ. FT. OR 20.851 ACRES
 6. SUBJECT ZONED: IN (INDUSTRIAL) AND RD (RESIDENTIAL) WITH A PORTION IN THE FLOOD HAZARD OVERLAY DISTRICT (FH).
- | DIMENSIONAL REQUIREMENTS | | REQUIRED | EXISTING/SHOWN |
|--------------------------|--|-------------|----------------|
| MIN. LOT SIZE | | 40,000 S.F. | 908,250 S.F. |
| MIN. BUILDABLE LAND | | 20,000 S.F. | 262,546 S.F. |
| MIN. FRONTAGE | | 200' | >200' |
| YARD REQ. FRONTSTOCK | | 30' | 30' |
| YARD REQ. REAR STOCK | | 30' | 30' |
| YARD REQ. SIDE STOCK | | 25' | 25' |
| MAX. LOT COVERAGE | | 85% | ~45% |
| MAX. HEIGHT | | 45' | <45' |
| WETLAND BUFFER | | 50' | 50' |
- (FOR WETLANDS >3,000 S.F.)
- | USABLE LAND: | | REQUIRED | EXISTING/SHOWN |
|---------------------|--|-------------------|----------------|
| GROSS LAND AREA | | 20.851 ACRES | |
| WETLAND AREA | | 14.82 ACRES (71%) | |
| NET LAND AREA | | 6.03 ACRES (29%) | |
| SLOPES 15-24.99% | | 1.38 ACRES (6%) | |
| SLOPES >25% | | 0.51 ACRES (2.5%) | |
| EXISTING IMPERVIOUS | | 0.12 ACRES (0.5%) | |
| PROPOSED IMPERVIOUS | | 1.14 ACRES (5.5%) | |
| BUILDING | | 0.29 ACRES (1.5%) | |
| WAREHOUSE | | 9,000 S.F. | |
| OFFICE | | 3,816 S.F. | |
| PAVEMENT | | 0.85 ACRES (4%) | |

NOTES CONTINUED:

7. PARKING REGULATIONS: PARKING SPACES ARE REQUIRED TO BE 9'x19' WITH 24' AISLES.
WAREHOUSE: 1 SPACE PER 1,500 S.F.
OFFICE: 1 SPACE PER 250 S.F.
TOTAL SPACES REQUIRED = 15.0 SPACES
TOTAL SPACES PROPOSED = 28.0 SPACES (2 ACCESSIBLE)
8. THIS LOT IS SERVED BY CITY WATER AND SEWER.
9. NO ZONING VARIANCES OR SPECIAL EXCEPTIONS ARE REQUIRED FOR THIS SITE PLAN.
10. THE SUBJECT PARCEL IS LOCATED IN THE FLOOD HAZARD AND IN THE FLOOD ZONE X AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 3301300531E, EFFECTIVE DATE APRIL 19, 2010.
11. FOR THIS SITE PLAN THE FOLLOWING STATE AND LOCAL PERMITS ARE REQUIRED (COPIES TO BE ON FILE WITH THE PLANNING DEPARTMENT):
NHDES SEWER CONNECTION PERMIT
CONCORD PLANNING BOARD SITE PLAN APPROVAL
CITY COUNCIL FUTURE PHASE III REMOVAL
12. THIS PROJECT WILL NOT BE PHASED.
13. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
14. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE AT ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
15. THE CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER THE CITY ORDINANCE 5-1-8 TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.
16. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
17. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS, SURVEYED ON NH STATE PLAN GRID COORDINATES AND N.A.V.D. 88 DATUM AND SUBMIT TO THE ENGINEERING SERVICES DIVISION IN ELECTRONIC FORMAT FOR INCLUSION INTO THE CITY GIS DATABASE.
18. LANDSCAPE TREE PLANTINGS (SITE PLAN 18.17)
PROPOSED PARKING & CIRCULATION = 0.80 ACRES (34,826 S.F.)
34,826 S.F. DIVIDED BY ONE TREE PER 1,000 S.F. = 35 TREES REQUIRED
NEW TREES PROVIDED = 20 TREES
EXISTING TREES TO REMAIN = 15 TREES
19. PARKING LOT PERIMETER LANDSCAPING REQUIRED (ZONING 28-7-10)
28 SPACES REQUIRES A 5' WIDE LANDSCAPE STRIP ALONG THE PERIMETER OF THE PARKING AREA. SEE LANDSCAPE PLAN.
20. THE HOURS OF OPERATION SHALL BE MONDAY TO FRIDAY 7AM TO 6PM.
21. A PRE-CONSTRUCTION MEETING SHALL BE REQUIRED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ON SITE. PRIOR TO THE PRE-CONSTRUCTION MEETING, SEVEN COPIES OF THE FINAL APPROVED SITE PLAN SHALL BE PROVIDED TO THE PLANNING DIVISION FOR ENDORSEMENT BY THE CITY ENGINEER AS 'APPROVED FOR CONSTRUCTION'.
22. SHOULD THE VOLUME OF ACCUMULATED SNOW EXCEED THE CAPACITY OF THE ON-SITE STORAGE AS SHOWN ON THIS PLAN, THE EXCESS SNOW SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.

TAX MAP 40 BLOCK Z LOT 6

SITE PLAN

PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUSSELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: 1" = 30' APRIL 19, 2017 SHEET 3 OF 16

DESIGN: KAW DRAWN: KAW CHECKED: RJB FB: PG: 1413-01

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DATE	DESCRIPTION	BY	REV.

APPROVED

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CITY OF CONCORD, NEW HAMPSHIRE

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| MIN. FRONTAGE | = 200' | >200' |
| YARD REQ. FRONTSTBCK | = 50' | 50' |
| YARD REQ. REAR STBCK | = 30' | 30' |
| YARD REQ. SIDE STBCK | = 25' | 25' |
| MAX. LOT COVERAGE | = 85% | ~4% |
| MAX. HEIGHT | = 45' | <45' |
| WETLAND BUFFER | = 50' | 50' |
- USABLE LAND: 20.851 ACRES
GROSS LAND AREA: 20.851 ACRES
NET LAND AREA: 6.03 ACRES (29%)
- | SLOPES | REQUIRED | EXISTING/SHOWN |
|---------------------|---------------------|----------------|
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TAX MAP 40 BLOCK Z LOT 6

GRADING & EROSION CONTROL PLAN

PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:

52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:

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HOLLIS, NEW HAMPSHIRE

SCALE: 1" = 30'

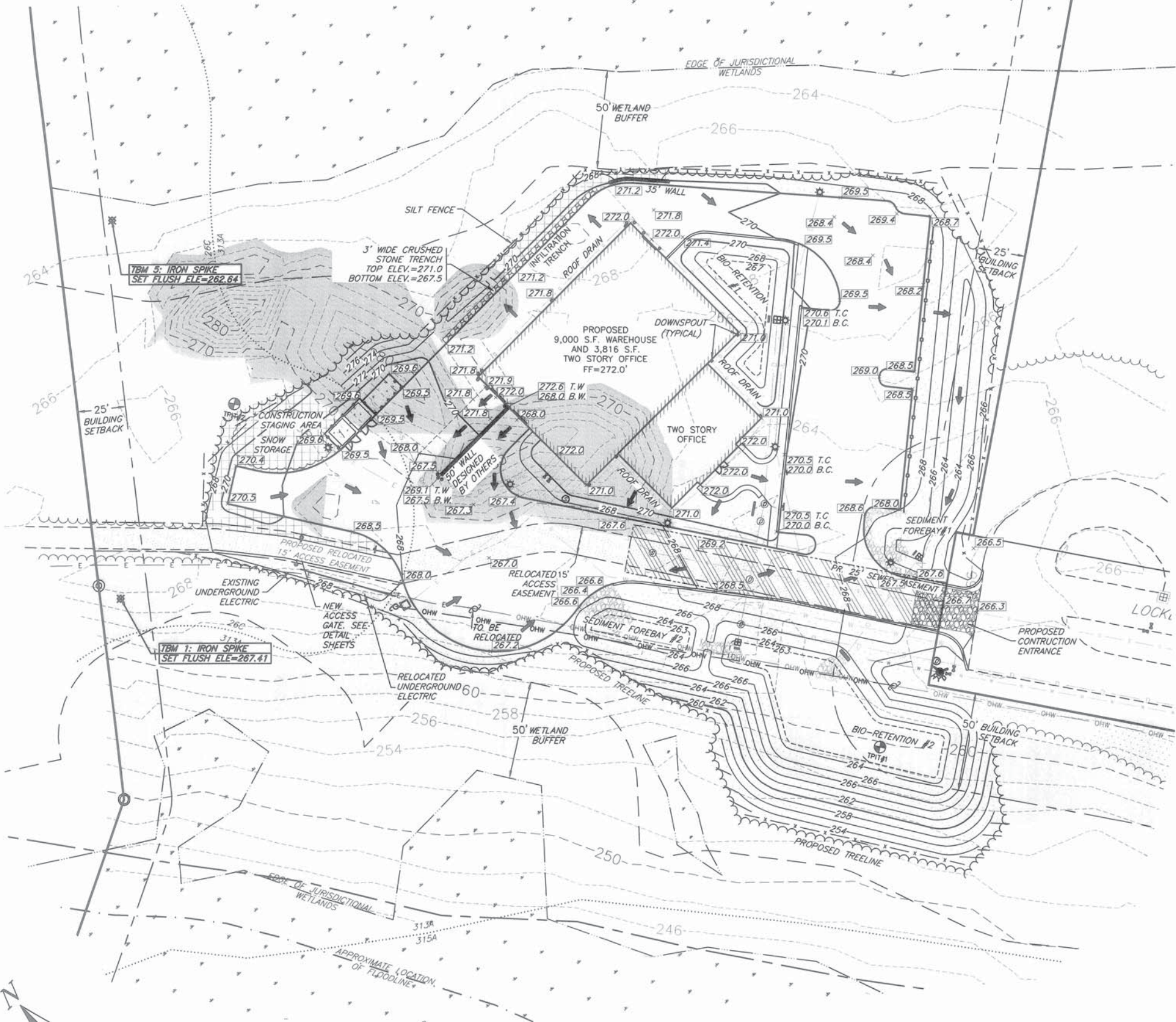
APRIL 19, 2017

SHEET 4 OF 16

DESIGN: KAW DRAWN: MKH CHECKED: RJB FB: PG: 1413-01

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

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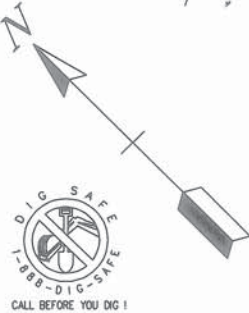


SYMBOL LEGEND

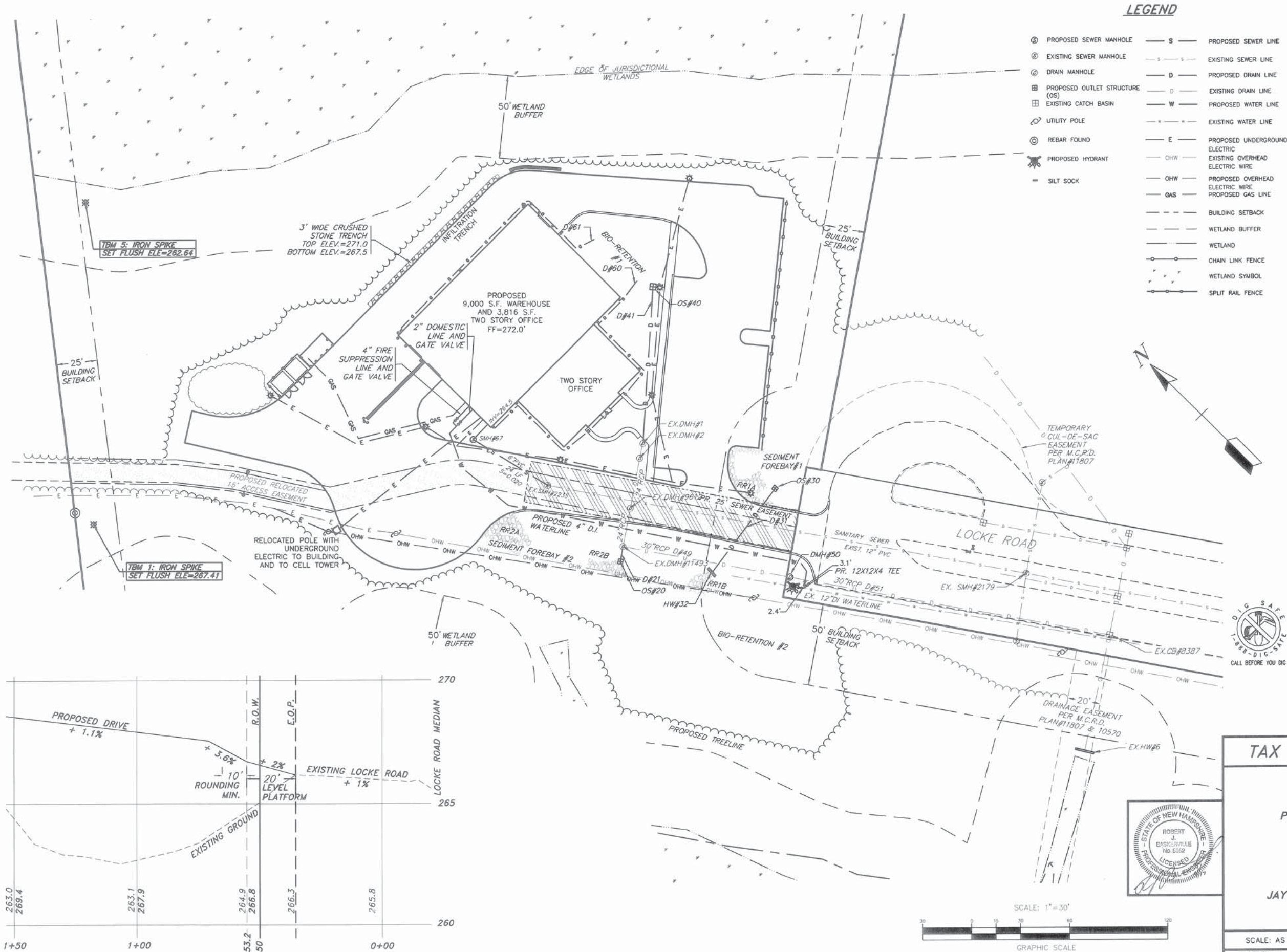
- | | | | | | | | |
|---|------------------------|-------|---------------------|---------|------------------------|---|-------------------|
| ⊙ | PROPOSED SEWER MANHOLE | ⊙ | UTILITY POLE | — | BITUMINOUS CURBING | — | 6" STOCKADE FENCE |
| ⊙ | EXISTING SEWER MANHOLE | ⊙ | REBAR FOUND | --- | BUILDING SETBACK | — | WETLAND SYMBOL |
| ⊙ | DRAIN MANHOLE | ⊙ | EX WATER GATE VALVE | --- | WETLAND BUFFER | — | 15% TO 24% SLOPES |
| ⊙ | PROPOSED CATCH BASIN | — x — | SILT FENCE | — OHW — | OVERHEAD ELECTRIC WIRE | — | >25% SLOPES |
| ⊙ | EXISTING CATCH BASIN | — | SILT SOCK | --- | SCS SOIL LINE | — | SPLIT RAIL FENCE |
| ⊙ | PROPOSED HYDRANT | — | | --- | WETLAND | — | TREELINE |

SCALE: 1" = 30'

GRAPHIC SCALE



DATE	DESCRIPTION	BY	REV.



LEGEND

- PROPOSED SEWER MANHOLE
- EXISTING SEWER MANHOLE
- DRAIN MANHOLE
- PROPOSED OUTLET STRUCTURE (OS)
- EXISTING CATCH BASIN
- UTILITY POLE
- REBAR FOUND
- PROPOSED HYDRANT
- SILT SOCK
- PROPOSED SEWER LINE
- EXISTING SEWER LINE
- PROPOSED DRAIN LINE
- EXISTING DRAIN LINE
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED UNDERGROUND ELECTRIC
- EXISTING OVERHEAD ELECTRIC WIRE
- PROPOSED OVERHEAD ELECTRIC WIRE
- PROPOSED GAS LINE
- BUILDING SETBACK
- WETLAND BUFFER
- WETLAND
- CHAIN LINK FENCE
- WETLAND SYMBOL
- SPLIT RAIL FENCE

DRAINAGE TABLE	
NEW CONSTRUCTION	EXISTING STRUCTURE MODIFICATIONS (REVISIONS IN BOLD)
SEDIMENT FOREBAY #2 SEE SHEET 12, TO BIO-RETENTION #2	EX. DMH#1 RIM=264.06 PR RIM=270.7 INV. IN=261.0 INV. OUT=259.36
SEDIMENT FOREBAY #1 OS#30 RIM=SEE SHEET 12 INV. OUT=264.1	EX. DMH#2 RIM=265.61 PR RIM=270.7 INV. IN=259.30 INV. OUT=259.53
D#31 18" RCP L=60' S=0.007'/'	EX. DMH#9612 RIM=264.92 PR RIM=268.5 INV. IN=257.50 INV. OUT=257.48
HW#32 INV. OUT=263.7	EX. DMH#11493 RIM=265.57 INV. IN=257.81 PR INV. IN=258.3 INV. OUT=257.18
TO BIO-RETENTION #2	
BIO-RETENTION #2 OS#20 PR RIM=265.0 INV. IN=SEE SHEET 12 INV. OUT=258.5	EX. DMH#11493 RIM=265.57 INV. IN=257.81 PR INV. IN=258.3 INV. OUT=257.18
D#21 15" RCP L=5' S=0.024'/'	D#49 30" RCP PR. L=100' S=0.0088'/'
TO EX. DMH #11493	PR. DMH#50** RIM=263.00 INV. IN=256.3* INV. OUT=256.2*
ROOF DRAINS PR. 8" PVC D#60 L=206' S=0.005'/' INV. IN=269.5 INV. OUT=268.5	D#51 30" RCP PR. L=195' S=0.0088'/'
PR. 8" PVC D#61 L=168' S=0.005'/' INV. IN=269.3 INV. OUT=268.5	EX. CB#8387 RIM=264.45 INV. IN=254.55 INV. IN=254.95 INV. OUT=251.57
	EX. HW#6 INV. OUT=250.58

*TO BE VERIFIED IN FIELD.
** PR DMH#50 TO BE INSTALLED WITHIN THE RIGHT-OF-WAY. CUT INTO EXISTING LINE TO INSTALL.

NOTES:

- FOR SEWER INFORMATION SEE THE SEWER PLAN AND PROFILE SHEET.
- FOR OUTLET STRUCTURE INFORMATION PLEASE SEE THE OUTLET STRUCTURE DETAIL AND TABLES ON THE DETAIL SHEETS.

APPROVED

CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE

In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk Chair

TAX MAP 40 BLOCK Z LOT 6

UTILITY PLAN

PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE

LOCATED AT:

52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:

JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: AS NOTED APRIL 19, 2017 SHEET 5 OF 16

DESIGN: KAW DRAWN: MKH CHECKED: RJB FB: PG: 1413-01

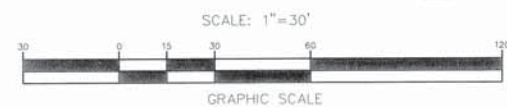
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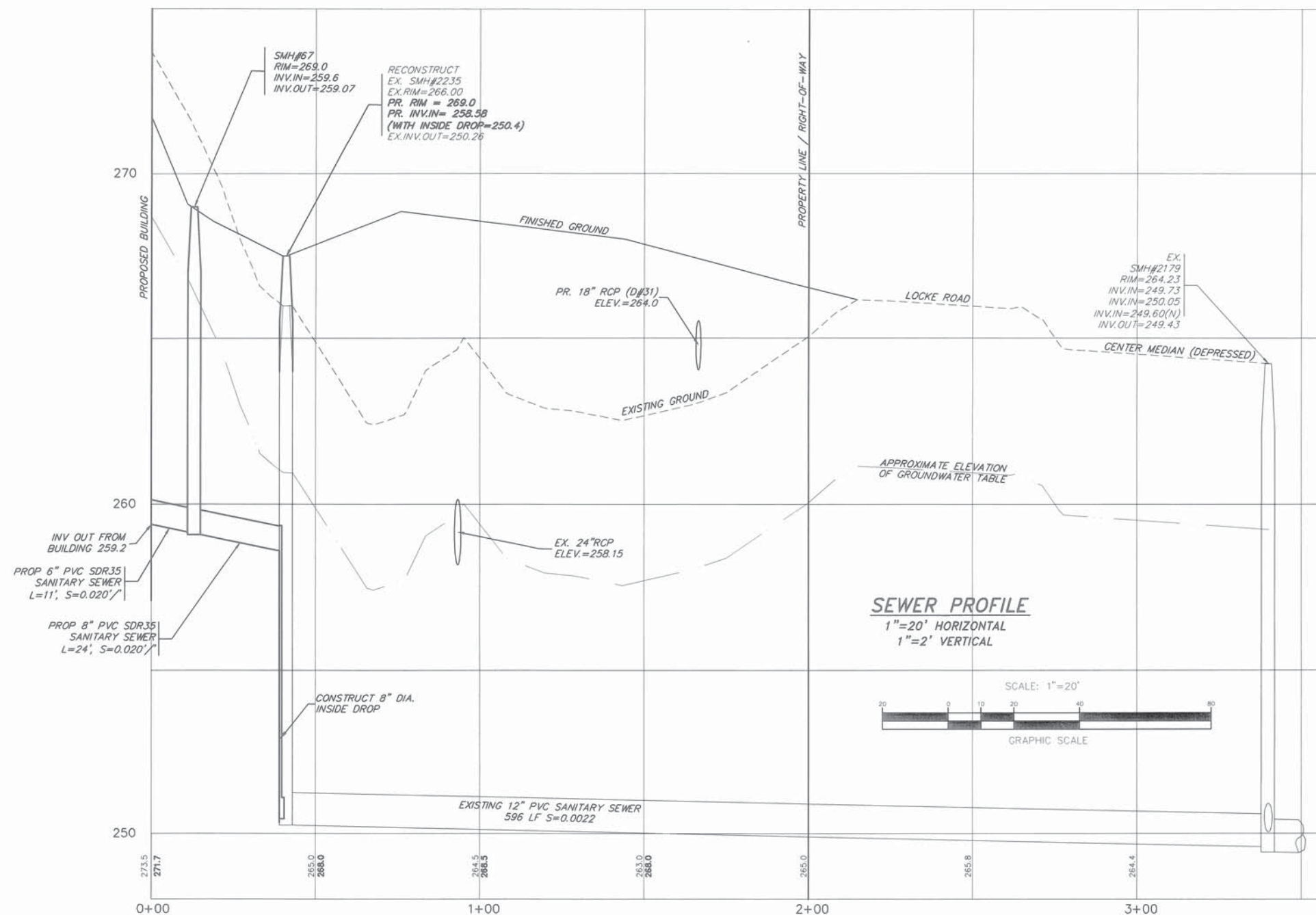
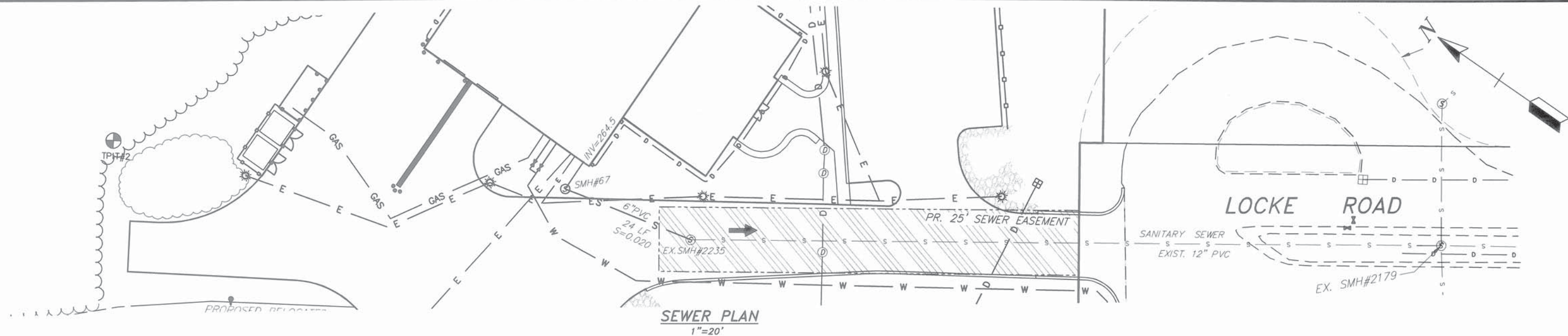
DRIVEWAY PROFILE

1"=20' HORIZONTAL
1"=2' VERTICAL

NOTE: SEE CONCORD DRIVEWAY PROFILE DETAIL SHEETS TO SEE REQUIREMENTS



DATE	DESCRIPTION	BY	REV.



DATE	DESCRIPTION	BY	REV.

TAX MAP 40 BLOCK Z LOT 6

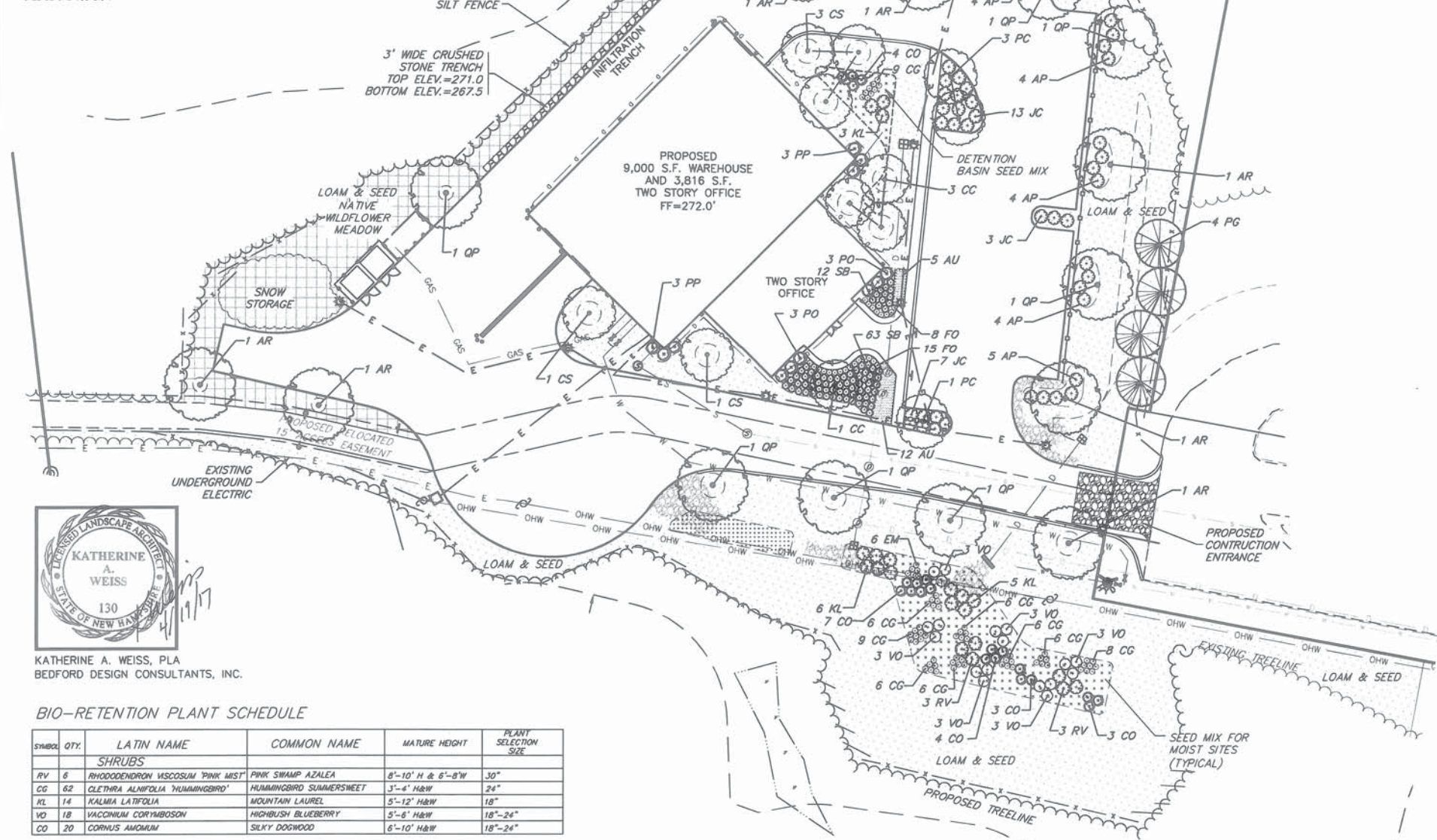
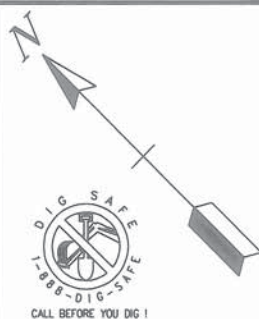
SANITARY SEWER PROFILE
PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: 1" = 20' APRIL 19, 2017 SHEET 6 OF 16

DESIGN: KAW	DRAWN: MKH	CHECKED: RJB	FB: -	PG: -	1413-01
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KATHERINE A. WEISS, PLA
BEDFORD DESIGN CONSULTANTS, INC.

BIO-RETENTION PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
SHRUBS					
RV	6	RHODODENDRON VISCOSUM 'PINK MIST'	PINK SWAMP AZALEA	8'-10' H & 6'-8' W	30"
CG	62	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	3'-4' H&W	24"
KL	14	KALMIA LATIFOLIA	MOUNTAIN LAUREL	5'-12' H&W	18"
VO	18	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	5'-6' H&W	18"-24"
CO	20	CORNUS AMOMUM	SILKY DOGWOOD	6'-10' H&W	18"-24"

PLANT SCHEDULE

SYMBOL	QTY.	LATIN NAME	COMMON NAME	MATURE HEIGHT	PLANT SELECTION SIZE
TREES					
CS	5	CORNUS X 'STELLAR PINK'	STELLAR PINK DOGWOOD	20'-30' H & 15'-20' W	3" CAL. B&B
PG	4	PICEA GLAUCA	WHITE SPRUCE	40'-60' H & 15'-20' W	8"-10" B&B
CC	4	CERCIS CANADENSIS ALBA	WHITE REDBUD	30' H & 30' W	3" CAL. B&B
QP	7	QUERCUS PALUSTRIS	PIN OAK	60' H & 30' W	3" CAL. B&B
AR	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	40'-60' H & 30'-40' W	3" CAL. B&B
PC	3	PYRUS CALLERYANNA 'NEW BRADFORD'	NEW BRADFORD PEAR	20'-30' H & 20'-30' W	3" CAL. B&B
SHRUBS					
AP	29	AZALEA PERICLYMENOIDES (NODIFLORA)	PINK/WHITEBLOOM AZALEA	5'-6' H & 4'-5' W	24"
PP	6	POTENTILLA PARVIFOLIA 'GOLD DROP'	GOLD DROP POTENTILLA	2'-3' H&W	18"
PO	6	PHYSCOCARPUS OPULIFOLUS 'COPPERTINA'	COPPERTINA NINEBARK	6'-8' H & 5'-6' W	30"
SP	75	SPIRAEA BUNALDE 'GOLD FLAME'	GOLD FLAME SPIREA	2'-3' H & 3'-4' W	24"
JC	20	JUNIPERUS COMMUNIS 'GREEN CARPET'	GREEN CARPET JUNIPER	6' H & 2'-3' W	#3 CONTAINER
PERENNIALS, GROUNDCOVERS, & GRASSES					
AU	17	ARCTOPHYLLUS UVA-URS	RED BEARBERRY GROUNDCOVER	0'-6' H & 4'-5' W	#2 CONTAINER
FO	23	FESTUCA OVINA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE GRASS	6"-12" H & 12"-18" W	#1 CONTAINER
HR	29	HEMEROCALLIS 'ROSY RETURNS'	ROSY RETURNS DAYLILY	14" H&W	#1 CONTAINER
HS	60	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	12"-18" H&W	#3 CONTAINER

LANDSCAPE NOTES

- CONTRACTOR TO MARK ALL UNDERGROUND UTILITIES ON THE GROUND PRIOR TO CONSTRUCTION.
- CONTRACTOR IS TO REVIEW TREE LOCATIONS WITH LANDSCAPE ARCHITECT AND OWNERS REPRESENTATIVES PRIOR TO ORDERING AND INSTALLING TREES.
- ALL TREES ARE SHOWN AT THEIR MATURE SIZE.
- LANDSCAPE TREE PLANTINGS (SECTION 18.17)
- PROPOSED PARKING & CIRCULATION = 0.80 ACRES (34,826 S.F.)
34,926 S.F. DIVIDED BY ONE TREE PER 1,000 S.F. = 35 TREES REQUIRED
NEW TREES PROVIDED = 29 TREES
EXISTING TREES TO REMAIN = 6 TREES
TOTAL TREES = 35 TREES PROVIDED
- FOR WILDFLOWER MIX SEE SHEET 1.3.

BIO-RETENTION NOTES:

- SOIL MIXTURE FOR BIO-RETENTION MUST BE OF THE HIGHEST QUALITY. DO NOT USE LEFTOVER SOIL TO FILL IN THE BIO-RETENTION PONDS. THE BIO-RETENTION AREA SHALL CONTAIN A PLANTING SOIL MIXTURE OF 80% SAND, 15% LEAF COMPOST (FULLY COMPOSTED NOT ROTTED LEAVES WITH 15% WOOD CHIPS), AND 20% SANDY LOAM. SANDY LOAM SHALL BE LOAMY SAND, OF UNIFORM COMPOSITION, CONTAINING NO MORE THAN 5% CLAY, FREE OF STONES, STUMPS, ROOTS OR SIMILAR OBJECTS GREATER THAN ONE INCH, BRUSH OR ANY OTHER MATERIAL OR SUBSTANCE WHICH MAY BE HARMFUL TO PLANT GROWTH, OR A HINDRANCE TO PLANT GROWTH AND MAINTENANCE. THE TOP SOIL SHALL BE FREE OF PLANTS OR PLANT PARTS OF BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, MUWORT, NUTSEDGE, POISON IVY OR CANADIAN THISTLE. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH.
- TOPSOIL SHALL MEET THE FOLLOWING CRITERIA:
PH RANGE: 5.0-7.0
ORGANIC MATTER: GREATER THAN 1.5
MAGNESIUM: 100+ UNITS
PHOSPHORUS: 150+ UNITS
POTASSIUM: 120+ UNITS
SOLUBLE SALTS: NOT TO EXCEED 800 PPM/0.9 MMHOSCM (SOIL) 3,000 PPM/2.5 MMHOSCM (ORGANIC MIX)
- DURING CONSTRUCTION DO NOT RUN HEAVY MACHINERY OVER BIO-RETENTION OR INFILTRATION SITES. COMPACTION WILL CAUSE THEM TO BECOME INEFFECTIVE. ONCE THE BOTTOM LEVEL OF BASIN IS EXCAVATED, TILL THE SOIL WITH A ROTARY TILLER TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS BY LEVELING DRAG.
- BASINS ARE DESIGNED TO HOLD A ONE INCH RAIN STORM AND OUTLET ANY LARGER STORMS.
- BIO-RETENTION BASINS SHALL BE CONSTRUCTED AFTER ALL SITE WORK IS COMPLETE. THEY SHALL BE STABILIZED BEFORE DIRECTING RUNOFF TO THEM.
- BIO-RETENTION SLOPES SHALL BE PROTECTED WITH JUTE MATTING.
- GROUNDCOVERS SHALL BE PLACED THEIR MATURE WIDTH APART ON CENTER SEE DETAIL ON DETAIL SHEETS.
- NO PLANT SUBSTITUTIONS MAY BE MADE FOR ANY BIORETENTION PLANTS WITHOUT WRITTEN PERMISSION FROM BEDFORD DESIGN CONSULTANTS, INC.
- BARK MULCH ALL AREAS WITH EXPOSED SOIL UNTIL GROUNDCOVERS ARE ESTABLISHED.
- SEE DETAIL SHEETS 13 FOR THE BIORETENTION DETAIL.

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES

BOTANICAL NAME	COMMON NAME	INDICATOR SPECIE
ELYMUS VIRGINICUS	VIRGINIA WILD RYE	FACW
FESTUCA RUBRA	CREeping RED FESCUE	FACU
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	FACU
CAREX VULPINOIDEA	FOX SEDGE	OBL
ANDROPOGON GERARDII	BIG BLUESTEM	FAC
PANICUM VIRGATUM	SWITCH GRASS	FAC
AGROSTIS SCABRA	ROUGH BENTGRASS/TICKLEGRASS	FAC
ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER	FACW
EUPATORIUM PERFORIATUM	BONESET	FACW
EUTHAMIA GRAMINIFOLIA	GRASS LEAVED GOLDENROD	FAC
VERBENA HASTATA	BLUE VERVAIN	FACW
SCIRPUS ATROVIRENS	GREEN BULRUSH	OBL
JUNCUS EFFUSUS	SOFT RUSH	FACW+
SCIRPUS CYPERINUS	BONESET	FACW

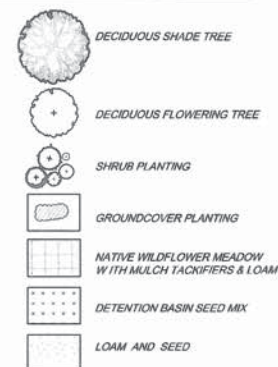
NOTES:

APPLY : 35 LBS/ACRE

THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. IT IS AN EXCELLENT SEED MIX FOR ECOLOGICALLY APPROPRIATE RESTORATIONS ON MOIST SITES THAT REQUIRE STABILIZATION AS WELL AS LONG-TERM ESTABLISHMENT OF NATIVE VEGETATION. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS THAT DO NOT NORMALLY HOLD STANDING WATER. SOME PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. ALWAYS APPLY ON CLEAN BARE SOIL. THE MIX MAY BE APPLIED BY HYDRO-SEEDING, BY MECHANICAL SPREADER, OR ON SMALL SITES IT CAN BE SPREAD BY HAND. LIGHTLY RAKE, OR ROLL TO ENSURE PROPER SEED TO SOIL CONTACT. BEST RESULTS ARE OBTAINED WITH A SPRING OR LATE SUMMER SEEDING. EARLY- AND SUMMER SEEDING WILL BENEFIT WITH A LIGHT MULCHING OF CLEAN WEED-FREE STRAW TO CONSERVE MOISTURE. IF CONDITIONS ARE DRIER THAN USUAL, WATERING WILL BE REQUIRED. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT RECOMMENDED. PREPARATION OF A CLEAN WEED FREE SEED BED IS NECESSARY FOR OPTIMAL RESULTS.

FOR USE IN BIO RETENTION BASINS ON SLOPES & BOTTOM, BOTTOM OF BASINS ARE TO THEN BE MULCHED WITH HARDWOOD CHIPS.

LANDSCAPE LEGEND



SCALE: 1"=30'



TAX MAP 40 BLOCK Z LOT 6

LANDSCAPE PLAN

PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:

52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:

JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
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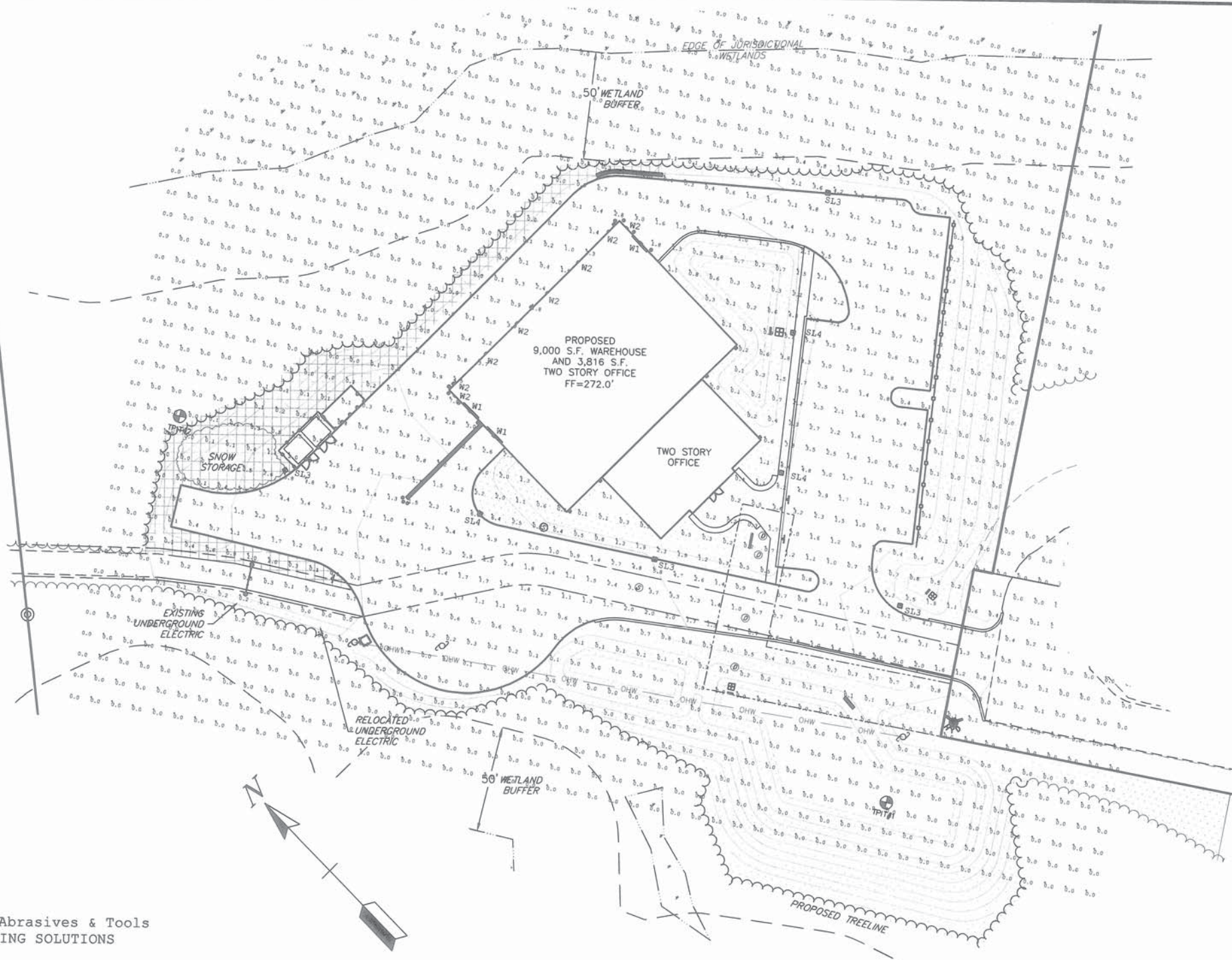
SCALE: AS NOTED APRIL 19, 2017 SHEET 7 OF 16

DESIGN: KAW DRAWN: MKH CHECKED: RJB FB: - PG: - 1413-01

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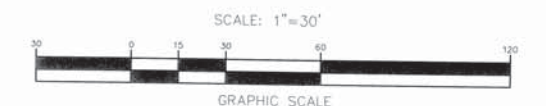
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Telephone: (603) 622-5533 Fax: (603) 622-4740
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DATE	DESCRIPTION	BY	REV.



GENERAL DISCLAIMER: CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND GOOD PRACTICE SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES AND FIELD CONDITIONS SUCH AS VOLTAGE AND TEMPERATURE VARIATIONS. INPUT DATA USED TO GENERATE THE ATTACHED CALCULATIONS SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE AND ARCHITECTURAL ELEMENTS SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT CONDITIONS DO NOT MATCH THE INPUT DATA, DIFFERENCES WILL OCCUR BETWEEN MEASURED VALUES AND CALCULATED VALUES. * LLF DETERMINED USING CURRENT PUBLISHED LAMP DATA

NOTE TO REVIEWER: TOTAL LIGHT LOSS FACTOR (LLF) APPLIED AT TIME OF DESIGN IS DETERMINED BY APPLYING THE LAMP LUMEN DEPRECIATION (LLD) FROM CURRENT LAMP MANUFACTURER'S CATALOG, A LUMINAIRE DIRT DEPRECIATION (LDD) BASED ON IES RECOMMENDED VALUES AND A BALLAST FACTOR (BF) FROM CURRENT BALLAST SPECIFICATION SHEETS. APPLICATION OF AN INCORRECT LIGHT LOSS FACTOR (LLF) WILL RESULT IN FORECASTS OF PERFORMANCE THAT WILL NOT ACCURATELY DEPICT ACTUAL RESULTS. FOR PROPER COMPARISON OF PHOTOMETRIC LAYOUTS, IT IS ESSENTIAL THAT YOU INSIST ALL DESIGNERS USE CORRECT LIGHT LOSS FACTORS.



JOB NAME: Abrasives & Tools
APEX LIGHTING SOLUTIONS
APPS: TJ
SALES: LC

Luminaire Schedule							
Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	BUG Rating	Description
4	SL3	SINGLE	10969	105	0.850	B2-U0-G2	Gardco - ECF-S-32L-1A-NW-G2-3-volt-xx-BK / mounted at 15ft 6in
3	SL4	SINGLE	11476	105	0.850	B2-U0-G2	Gardco - ECF-S-32L-1A-NW-G2-4-volt-xx-BK / mounted at 15ft 6in
3	W1	SINGLE	3372	36.3	0.850	B1-U0-G1	Stonco - LPW16-7DGY / mounted at 15ft 6in
8	W2	SINGLE	1154	14	0.850	B1-U0-G0	Stonco - LPW7-8DGY / mounted at 9ft

Calculation Summary						
Label	Grid Height (ft)	Avg	Max	Min	Avg/Min	Max/Min
Site_Ground	0	0.14	7.0	0.0	N.A.	N.A.



DATE	DESCRIPTION	BY	REV.

TAX MAP 40 BLOCK Z LOT 6

LIGHTING PLAN
PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: AS NOTED	APRIL 19, 2017	SHEET 8 OF 16
DESIGN: KAW	DRAWN: MKH	CHECKED: RJB
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GENERAL CONSTRUCTION NOTES:

1. EITHER THE CONTRACTOR OR OWNER NEEDS TO SUBMIT A SEPARATE "NOTICE OF INTENT" TO BE COVERED BY THE N.H.D.E.S. GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (LATEST EDITION) AND LOCAL REGULATIONS.
3. ANY SUBSTITUTIONS OF MATERIALS SHALL BE APPROVED BY THE ENGINEER IN WRITING.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LOCAL AND STATE CONSTRUCTION PERMITS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL FIELD CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
6. SHOULD GROUND WATER OR UNSUITABLE MATERIALS BE ENCOUNTERED DURING CONSTRUCTION, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR DETERMINATION OF POSSIBLE CONSTRUCTION DESIGN CHANGES SUCH AS (BUT NOT LIMITED TO) UNDERDRAINS OR ALIGNMENT AND GRADE CHANGES.
7. CLEARING THE SITE SHALL INCLUDE THE REMOVAL AND DISPOSAL OF DOWN TIMBER, RUBBISH AND DEBRIS FOUND EXISTING WITHIN THE AREAS TO BE CLEARED. CLEARING SHALL NOT TAKE PLACE UNTIL THE CONTRACTOR HAS DETERMINED FROM THE OWNER WHICH TREES ARE TO BE SAVED WITHIN THE CLEARING LIMITS.
8. PAVEMENT OF THE ROADWAY SHALL CONSIST OF A HOT BITUMINOUS LAYER, A CRUSHED GRAVEL LAYER AND A GRAVEL SUBBASE LAYER.
 - A. BITUMINOUS TYPE F WEARING AND TYPE B BASE COURSES SHALL BE CONSTRUCTED PER N.H.D.O.T. SPECIFICATION 401 CONSTRUCTION REQUIREMENTS.
 - B. GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.2.
 - C. THE CRUSHED GRAVEL SHALL MEET THE REQUIREMENTS OF N.H.D.O.T. 304.3.
 - D. REFER TO THE TYPICAL ROAD CROSS SECTION DETAIL FOR DIMENSIONS.
9. COMPACTION OF BACKFILL:
 - A. GRASSED AREAS: EMBANKMENT FILL AREAS SHALL CONSIST OF COMMON FILL PLACED IN 12 INCH LIFTS AND COMPACTED TO 90% ROADWAY.
 - B. THE COMPACTION REQUIREMENTS FOR MATERIALS PLACED AS BACKFILL, SUBGRADE, BASE COURSE AND PAVEMENT SHALL BE AS SPECIFIED FOR EACH SEPARATE ITEM IN THE N.H.D.O.T. "STANDARD SPECIFICATIONS" FOR ROAD AND BRIDGE CONSTRUCTION.
10. CATCH BASINS AND MANHOLES SHALL BE PRE-CAST REINFORCED CONCRETE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE AND ABLE TO WITHSTAND LOADINGS OF 8 TONS (H-20 LOADING).
11. TRENCH CONSTRUCTION WILL CONFORM WITH SECTION 603.3.1. OF THE N.H.D.O.T. STANDARD SPECIFICATIONS (LATEST EDITION).
12. WOOD SHEETING OR A SUITABLE TRENCH BOX SHALL BE USED TO SUPPORT THE TRENCH AS NECESSARY. IF WOOD SHEETING IS USED, IT SHALL BE DRIVEN AT A DISTANCE OF ONE FOOT FROM THE OUTSIDE DIAMETER OF THE PIPE TO A DEPTH SIX INCHES BELOW THE INVERT OF THE PIPE. WOOD SHEETING SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN ONE FOOT ABOVE THE TOP OF THE PIPE, BUT NOT GREATER THAN THREE FEET BELOW THE FINISHED GRADE.
13. TRENCH BEDDING SHALL CONFORM WITH SECTION 603.3.2. OF THE STANDARD SPECIFICATIONS (LATEST EDITION). FIRST CLASS BEDDING WILL BE REQUIRED FOR ALL PIPES 48" OR MORE IN DIAMETER OR SPAN.
14. BACKFILL MATERIAL FOR TRENCHES WILL CONFORM WITH SECTION 603.3.5. OF THE STANDARD SPECIFICATIONS (LATEST EDITION) AND IN ADDITION, SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTE, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. BACKFILL SHALL NOT BE PLACED ON FROZEN MATERIAL.
15. COMPACTION OF TRENCH BACKFILL AND PIPE BEDDING SHALL BE SIX INCH LIFTS FOR BEDDING AND BACKFILL TO A PLANE ONE FOOT ABOVE THE PIPE AND IN 12 INCH LIFTS THEREAFTER BY AN APPROVED MECHANICAL COMPACTOR.
16. SHOULD FROZEN MATERIAL BE ENCOUNTERED, IT SHALL NOT BE PLACED IN THE BACKFILL NOR SHALL BACKFILL BE PLACED UPON FROZEN MATERIAL.
17. THE DISTURBED AREA SHALL BE KEPT TO A MINIMUM, AND THE DURATION OF EXPOSURE SHALL BE LESS THAN A MAXIMUM OF SIX WEEKS.
18. ALL GRADED AREAS SHALL BE SEEDED WITH A NATIVE WILDFLOWER MIX, SEE DETAIL SHEET III FOR COMPOSITION.
19. ALL SEEDED AREAS SHALL BE FERTILIZED, FERTILIZATION SHALL BE AT THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-10-10 FERTILIZER.
20. ALL SEEDED AREAS SHALL BE MULCHED WITHIN 24 HOURS AFTER SEEDING. A GOOD QUALITY OF MULCH HAY SHOULD BE USED AND APPLIED AT THE RATE OF 2 TONS PER ACRE.
21. ALL DITCHES, SWALES, BIO-RETENTION AND PONDS SHALL BE STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO THEM.
22. ALL SLOPES GREATER THAN 3:1 MUST BE MATTED WITH NORTH AMERICAN GREEN S1508N EROSION CONTROL BLANKETING.
23. ALL BIO-RETENTION AREAS SHALL BE SODDED.
24. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS.
25. PONDS AND SWALES SHALL BE INSTALLED EARLY ON IN THE CONSTRUCTION SEQUENCE BEFORE ROUGH GRADING THE SITE.
26. ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
27. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
28. AFTER INSTALLATION OF THE LANDSCAPE PLAN FOR BIO-RETENTION POND AREAS, A LANDSCAPE ARCHITECT OR WETLAND SCIENTIST SHALL INSPECT THE VEGETATION FOR INVASIVE SPECIES AS DEFINED BY AGR 3800, TWICE A YEAR (LATE SPRING AND EARLY FALL) FOR TWO GROWING SEASONS. IF INVASIVE SPECIES ARE FOUND, THEY SHALL BE REMOVED IN ACCORDANCE WITH AGR-3800.
29. DUST SHALL BE KEPT TO A MINIMUM BY USING WATER TRUCKS AND MULCHES AS NEEDED AND SHALL BE IN ACCORDANCE WITH ENV-A 1000. TEMPORARY SEEDING SHALL ALSO BE USED TO CONTROL DUST.

CONSTRUCTION SEQUENCE:

1. CLEAR AREA OF CONSTRUCTION ENTRANCES AND INSTALL STABILIZED CONSTRUCTION ENTRANCES AS SHOWN ON THESE PLANS.
2. CUT AND CLEAR TREES IN CONSTRUCTION AREAS ONLY.
3. INSTALL SILT FENCE
4. REMOVE STUMPS FROM AREAS FOR ROAD GRADING (CUT AND/OR FILL) TO SUBGRADE. STABILIZE AREAS WITH BASE GRAVEL WITHIN SIX WEEKS OF REMOVING STUMPS.
5. THE MAXIMUM UNSTABILIZED AREA SHALL BE LIMITED TO 5 ACRES AT ANY GIVEN TIME. NO AREA SHALL BE LEFT UNSTABILIZED MORE THAN 6 WEEKS. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS HAPPENED:
 - A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
 - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
4. CONSTRUCT TEMPORARY AND PERMANENT SEDIMENT, EROSION AND DETENTION CONTROL FACILITIES AS PER THE NOTES ON THIS DRAWING. EROSION, SEDIMENT, AND DETENTION MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATION.
 - A. SILT FENCE
 - B. RIP RAP LINED SWALES
 - C. RIP RAP APRONS AT CULVERT OUTLETS
 - D. LEVEL SPREADERS
 - E. TREATMENT SWALES
 - F. DETENTION PONDS
5. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE OWNER SHALL BE REQUIRED TO INSTALL THE NECESSARY EROSION AND SEDIMENT CONTROL MEASURES.
6. ALL DITCHES, SWALES AND PONDS SHALL BE STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO THEM.

CONSTRUCTION SEQUENCE CONT..

7. FINISH CLEARING AND GRUBBING.
8. CONSTRUCT TEMPORARY CULVERTS AND DIVERSION CHANNELS, AS NECESSARY.
9. CONSTRUCT DRIVEWAYS FOR ACCESS TO DESIRED CONSTRUCTION AREAS. ALL DRIVEWAYS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
10. BEGIN CONSTRUCTION AND DRAIN LINE INSTALLATION.
11. INSTALL RELATED EROSION CONTROL MEASURES.
12. BEGIN PERMANENT AND TEMPORARY INSTALLATION OF SEED AND MULCH. ALL CUT AND FILL SLOPES SHALL BE STABILIZED.
13. DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAIN DITCHES, SILT FENCES, SEDIMENT TRAPS, ETC., MULCH AND SEED AS NECESSARY.
14. PAVE ALL ROADWAYS AND PARKING AREAS AS SPECIFIED ON THE PLAN.
15. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. ALL EROSION AND SEDIMENT CONTROLS NEED TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.
16. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
17. ALL DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
18. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDED AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETED.
19. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT COMMENCE UNTIL AFTER THE ROADWAY AND ASSOCIATED DRAINAGE HAVE BEEN COMPLETED AND STABILIZED.

EROSION CONTROL DURING WINTER OPERATIONS

1. WINTER CONSTRUCTION PERIOD: OCTOBER 15 THROUGH MAY 1.
2. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED SUCH THAT NO MORE THAN ONE ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY GIVEN TIME.
3. EXPOSED AREA SHALL BE LIMITED TO THOSE AREAS TO BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. AT THE END OF EACH WORK WEEK NO AREAS WILL BE LEFT UNSTABILIZED OVER THE WEEKEND.
4. ALL TOPSOIL STOCKPILED SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. STANDARD PROTECTION OF STOCKPILES AS DESCRIBED IN OTHER SECTIONS APPLIES.
5. NON GRAVEL SOILS SHALL BE MULCHED PRIOR TO ANY SNOW EVENT. IN THE EVENT OF SNOW COVER OVER SPREAD TOPSOIL THE SNOW SHALL BE REMOVED AND THE SOILS MULCHED.
6. NO SEEDING OR MULCHING SHALL TAKE PLACE OVER SNOW.
7. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREA SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
8. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ANCHORED SUCH THAT SOIL SURFACE IS NOT VISIBLE THROUGH THE MULCH. NOTE AN AREA IS ALSO CONSIDERED STABLE IF SODDED, COVERED WITH GRAVEL OR STRUCTURAL SAND.
9. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKET APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
10. AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE CONSTRUCTION HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3
11. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING. ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
12. BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINE GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT EXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER. UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW, DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT, EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF HAY, SILT FENCE, OR STONE. CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS SHOWN ON THE DESIGN DRAWINGS. NOTE: DORMANT SEEDING SHOULD NOT BE ATTEMPTED UNLESS SOIL TEMPERATURE REMAINS BELOW 50 DEGREES AND DAY TIME TEMPERATURES REMAIN IN THE 30'S.
13. AFTER OCTOBER 15, MULCH NETTING SHALL BE USED TO ANCHORED MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3:1 FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8:1. VEGETATED DRAINAGE SWALES SHALL BE LINED WITH EXCELSIOR OR CURLEX.
14. IN THE EVENT OF SNOWFALL (FRESH OR CUMULATIVE) GREATER THAN 1 INCH DURING WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

1. GRADING AND TEMPORARY STRUCTURE
ALL ESSENTIAL GRADING AND TEMPORARY STRUCTURES, SUCH AS DIVERSIONS, DAMS, DITCHES, AND DRAINS NEEDED TO PREVENT GULLYING AND REDUCE SILTATION, SHOULD BE COMPLETED PRIOR TO SEEDING.
2. SEEDED PREPARATION
REMOVE THE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING OF THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT FOUR (4) INCHES TO PREPARE A SEEDED AND MIX FERTILIZER INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN A FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. FERTILIZERS
FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING INCORPORATED INTO THE SOIL. A MINIMUM OF 300 POUNDS PER ACRE (7 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 FERTILIZER, OR ITS EQUIVALENT, SHOULD BE APPLIED.
4. SEED AND SEEDING
SEED AND SEEDING RATES MAY BE SELECTED FROM THE TABLE BELOW. THE SELECTION WILL BE BASED ON THE TIME OF YEAR THE SEEDING IS TO BE MADE AND THE LENGTH OF TIME THE VEGETATION IS TO AFFORD THE PROTECTION. THE SEED SHOULD BE SPREAD UNIFORMLY OVER THE AREA. AFTER SEEDING, THE SOIL SHOULD BE FIRMED BY ROLLING OR PACKING. WHERE ROLLING OR PACKING IS NOT FEASIBLE, DRAGGING THE SEED SHOULD BE COVERED LIGHTLY BY RAKING, DISKING, OR
5. MULCHING
WHERE IT IS IMPRACTICABLE TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEEDED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION.
6. PLANT SELECTION AND SEEDING RATES

SPECIES	PER ACRE	PER 1000 SQ. FT.	REMARKS
WINTER RYE	2 BU. OR 112 LBS.	2 LBS.	BEST FOR FALL SEEDING. SEED FROM AUGUST 15 TO SEPT. 5 FOR BEST COVER. SEED TO A DEPTH OF 1 IN.
OATS	2.5 BU.	2 LBS.	BEST FOR SPRING SEEDING. SEED NO LATER THAN MAY 15 FOR SUMMER PROTECTION. SEED TO A DEPTH OF 1 IN.
ANNUAL RYEGRASS	40 LBS.	1 LB.	GROWS QUICKLY, BUT IS OF SHORT DURATION. USE WHERE APPEARANCES ARE IMPORTANT. SEED EARLY SPRING AND/OR BETWEEN AUGUST 15 AND SEPT. 15. COVER THE SEED WITH NO MORE THAN 0.25 INCH OF SOIL.

SEEDING FOR TEMPORARY PROTECTION OF DISTURBED AREAS CONT..

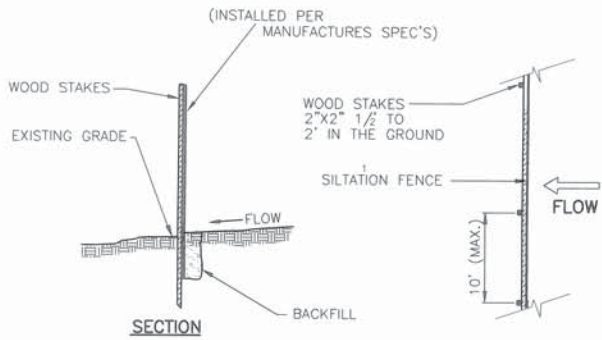
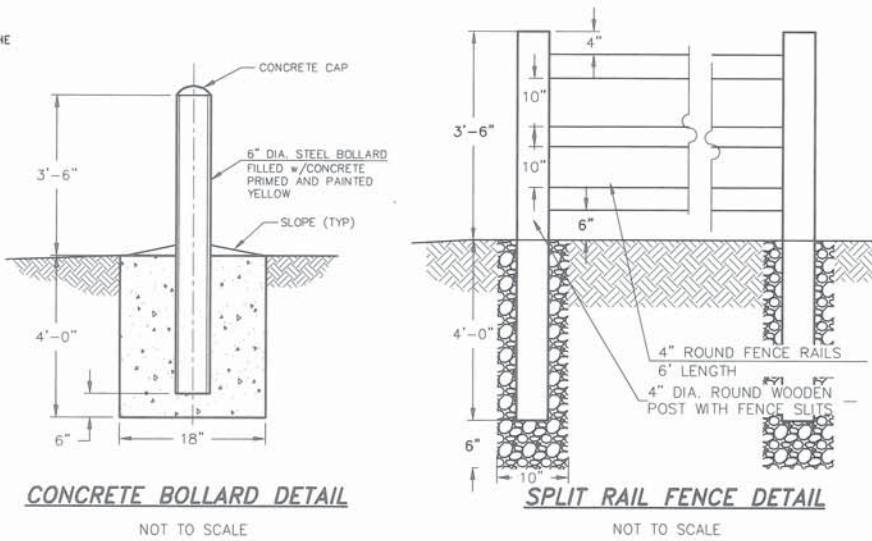
PERENNIAL RYEGRASS	30 LBS.	0.7 LBS.	GOOD COVER WHICH IS LONGER LASTING THAN ANNUAL RYEGRASS. SEED BETWEEN APRIL 1 AND JUNE 1 AND/OR BETWEEN AUGUST 15 AND SEPT. 15. MULCHING WILL ALLOW SEEDING THROUGHOUT THE GROWING SEASON. SEED TO A DEPTH OF APPROXIMATELY 0.5 INCH.
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ESTABLISHING A STAND

- A. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- B. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

PLANTING NOTES

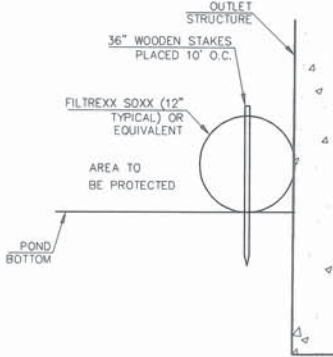
1. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICT TO THE LANDSCAPE ARCHITECT.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION LATEST EDITION.
3. THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL THE PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING, THE BASE OF THE FLARE OF THE TREE TRUNK SHALL BE EXPOSED, IF NECESSARY, AND PLACED 2" ABOVE FINISH GRADE.
4. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY THE LANDSCAPE ARCHITECT.
5. EXISTING LOAM: STOCKPILING OF EXISTING LOAM IS SPECIFIED ELSEWHERE. REMOVE CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
6. ADDITIONAL LOAM: IF STOCKPILED LOAM QUANTITY IS INSUFFICIENT, PROVIDE LOAM, WHICH IS A "FINE SANDY LOAM", OR A "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE "U.S.D.A. CLASSIFICATION SYSTEM." IT SHALL BE OF UNIFORM COMPOSITION, WITHOUT ADMIXTURE OF SUBSOIL. LOAM SHALL HAVE AN ACIDITY RANGE OF PH 5.5 TO PH 7.0 AND SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 10% ORGANIC MATTER AS DETERMINED BY THE LOSS OF IGNITION OF OVERDRIED SAMPLES. PROVIDE NATURALLY OCCURRING LOAM WHICH IS FERTILE, FRIABLE, AND FREE FROM SUBSOIL, CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
7. MULCHES: PROVIDE PARTIALLY DECOMPOSED (MINIMUM SIX- MONTH AGED), FINELY SHREDDED PINE BARK MULCH. MULCH SHALL BE A DARK BROWN COLOR AND FREE OF WEEDS, EXCESSIVELY FINE PARTICLES, STRINGY MATERIAL, AND CHUNKS OF WOOD THICKER THAN 1/4". PROVIDE BARK MULCH APPROVED BY LANDSCAPE ARCHITECT. APPLY TACKIFIED MULCH TO ALL SEEDED AREAS.
8. ALL PLANTS SHALL BE PLUM VERTICALLY AFTER SETTLING.
9. ALL PLANT MATERIAL SHALL BE MULCHED WITH A 3-INCH THICK LAYER OF MULCH AFTER PLANTING.
10. BACKFILLING: UNLESS OTHERWISE INDICATED, DICTATED BY CONDITIONS AT THE SITE, AND DIRECTED BY LANDSCAPE ARCHITECT, BACKFILL SHALL CONSIST OF UNAMENDED SOIL EXCAVATED FROM THE PLANTING PIT. BACKFILL IN 3-4" LAYERS AND CONSOLIDATE EACH LAYER WITH WATER TO ELIMINATE VOIDS AND AIR POCKET BEFORE PLACING ON SUBSEQUENT LAYERS. CONTINUE UNTIL BACKFILL HAS REACHED FINISHED GRADE. WATER THOROUGHLY WHEN EXCAVATION IS BACK FILLED AND CONTINUE WATERING UNTIL SATURATED. IF EXISTING UNAMENDED SOIL IS NOT ACCEPTED, PROVIDE PLANTING SOIL MIXTURE CONSISTING OF 7 PARTS LOAM AND 1 PART HUMUS. MIX QUANTITY OF FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS AND APPROVED BY THE LANDSCAPE ARCHITECT.
11. WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
12. LOAMING: LOOSEN SUBGRADE AND EXISTING LOAM AREAS BY DISCING OR ROTOTILLING TO MINIMUM DEPTH OF 6". REMOVE STONES GREATER THAN 2" AND ALL RUBBISH AND DEBRIS. PLACE LOAM IN TWO EQUAL LIFTS MIXING FIRST APPLICATION INTO LOOSENED SUBGRADE THEN PLACE SECOND LIFT TO BRING LOAM AFTER SETTLING AND COMPACTING TO THE LINES AND GRADES SHOWN IN THE CONTRACT DOCUMENTS, TO A MINIMUM DEPTH OF 6". DO NOT HANDLE LOAM OR SUBSOIL IF IT IS WET OR FROZEN.
13. AFTER LOAM HAS BEEN SPREAD, IT SHALL BE CAREFULLY PREPARED BY SCARIFYING AND HAND RAKING. ALL LARGE STIFF CLODS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER AND OTHER FOREIGN MATTER, AND STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM. LOAM SHALL ALSO BE FREE OF SMALLER STONES IN EXCESSIVE QUANTITIES AS DETERMINED BY THE LANDSCAPE ARCHITECT.
14. FINE GRADING: SET SUFFICIENT GRADE STAKES FOR CHECKING THE FINISHED GRADES. STAKES MUST BE SET AT THE BOTTOM AND TOP OF SLOPES. GRADES SHALL BE ESTABLISHED WHICH ARE ACCURATE TO 1/10TH OF A FOOT EITHER WAY. CONNECT CONTOURS AND SPOT ELEVATIONS WITH AN EVEN SLOPE. ALL GRADING WILL INSURE DRAINAGE AWAY FROM STRUCTURES.
15. FINE GRADE SEEDED AREAS TO SMOOTH, FREE DRAINING, EVEN SURFACES WITH FINE TEXTURE. ROLL, RAKE AND DRAW SEEDED AREAS TO FLATTEN RIDGES AND FILL DEPRESSIONS. EXCEPT AT ANY SELECT AREAS SHOWN ON THE DRAWINGS, CONTROL MOISTURE CONTENT TO MAINTAIN OPTIMUM CONDITIONS, BUT DO NOT CREATE A MUDDY CONDITION.
16. ROLLING - TYPICAL: ROLL THE ENTIRE AREA WITH A HAND ROLLER WEIGHING NOT MORE THAN 100 POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE OR TO THE SHAPES AND CONFIGURATIONS AS SHOWN ON THE DETAILS.
17. LIMIT OF WORK LINE SHALL BE LIMIT OF SEEDING AND SODDING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE SEEDED OR SODDED AS INDICATED ON THE DRAWINGS.
18. IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED.



SILT FENCE DETAIL NOT TO SCALE

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

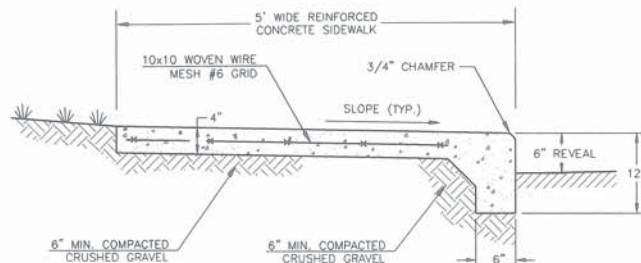
1. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
2. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
3. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN DISMANTLED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED USING THE APPROPRIATE VEGETATIVE BMP.



SILT SOCK FOR OUTLET STRUCTURES NOT TO SCALE

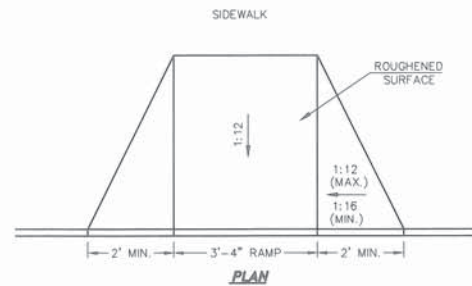
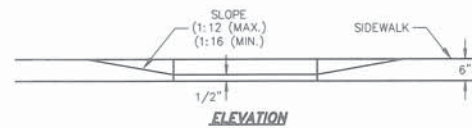


DATE	DESCRIPTION	BY	REV.
TAX MAP 40 BLOCK Z LOT 6			
DETAIL SHEET I			
PREPARED FOR/APPLICANT:			
JDH REALTY HOLDINGS, LLC			
PO BOX 1853 SHEEP DAVIS ROAD			
ROUTE 106			
CONCORD, NEW HAMPSHIRE			
LOCATED AT:			
52 LOCKE ROAD			
CONCORD, NEW HAMPSHIRE			
OWNER:			
JAY W STEWART REALTY HOLDINGS, LLC			
95 RUNNELLS BRIDGE RD			
HOLLIS, NEW HAMPSHIRE			
SCALE: AS NOTED	APRIL 19, 2017	SHEET 9 OF 16	
DESIGN: KAW	DRAWN: MKH	CHECKED: RJB	FB: PG: 1413-01
Bedford Design Consultants Inc.			
ENGINEERS AND SURVEYORS			
177 East Industrial Park Drive, Manchester, NH 03109			
Telephone: (603) 622-5533 Fax: (603) 622-4740			
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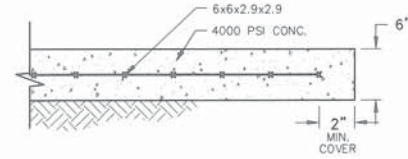


NOTES:
- CROSS SLOPE OF SIDEWALK TO BE AS SPECIFIED ON THE PLAN.
- CONTROL JOINTS AT 5' ON CENTER.
- CONSTRUCTION JOINTS AT 20' ON CENTER.

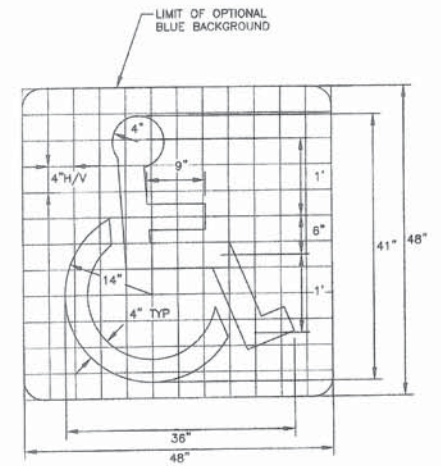
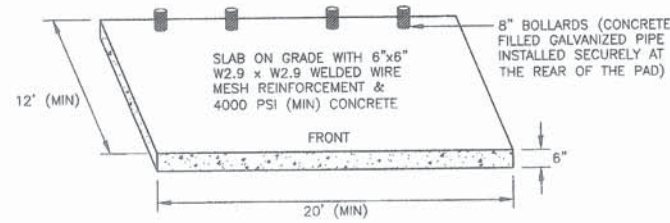
REINFORCED CONCRETE SIDEWALK DETAIL
NOT TO SCALE



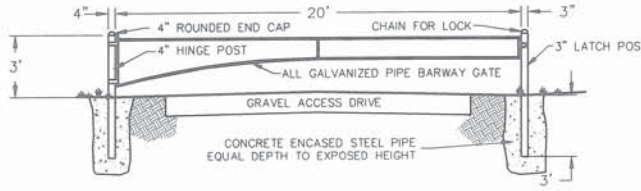
HANDICAP RAMP
NOT TO SCALE



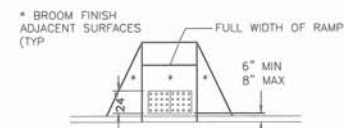
TYPICAL WASTE DISPOSAL CONCRETE PAD DETAIL
NOT TO SCALE



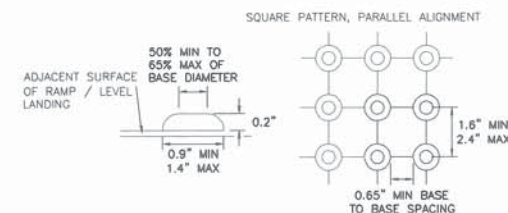
ACCESSIBLE PARKING SPACE PAVEMENT MARKING
NOT TO SCALE



TYPICAL GALVANIZED PIPE BARWAY GATE
NOT TO SCALE



DETECTABLE WARNING PLACEMENT



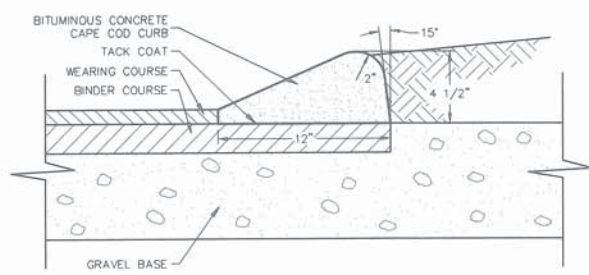
DETECTABLE WARNING DETAILS

NOTES:

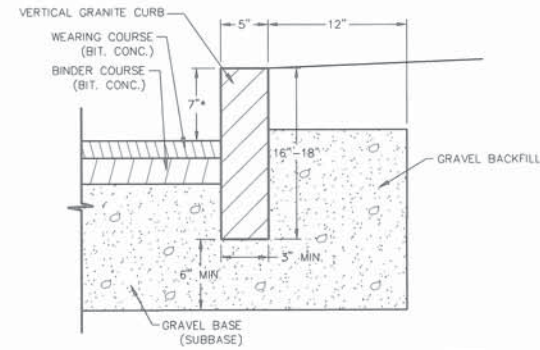
1. DETECTABLE WARNING SURFACES SHALL BE CAST IRON WITHIN THE CITY R.O.W.
2. CONCRETE ADJACENT TO ALL DETECTABLE WARNINGS SHALL HAVE A BROOM FINISH.
3. THE COLOR OF THE DETECTABLE WARNING SHALL PROVIDE A VISUAL CONTRAST TO THE SURROUNDING SURFACE AND SHALL BE AS SPECIFIED ON THE PLANS.
4. WHERE A RAMP OR LEVEL LANDING MEETS A CURB RADIUS, ALIGN THE EDGE OF THE DETECTABLE WARNING AREA PARALLEL TO THE CURB TO THE MAXIMUM EXTENT FEASIBLE.

DETECTABLE WARNING

NOT TO SCALE



BITUMINOUS CAPE COD CURB
NOT TO SCALE



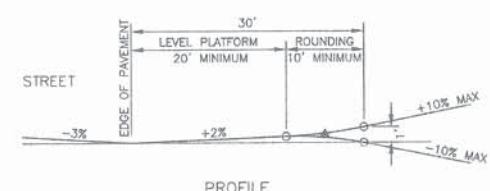
NOTES:
MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
MINIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVE = SEE CHART
ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH
* 2\"/>

RADIUS	MAXIMUM LENGTH
< 21'	USE CURVED CURB
21'	3'
22' - 28'	4'
29' - 35'	5'
36' - 42'	6'
43' - 49'	7'
50' - 56'	8'
57' - 60'	9'
OVER 60'	10'

VERTICAL GRANITE CURB DETAIL

NOT TO SCALE

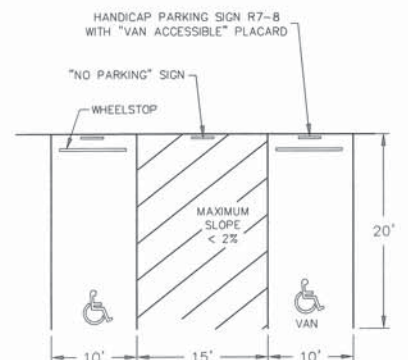
MULTIPLE DUMPSTER PAD
NOT TO SCALE



SEE PROFILE ON UTILITY PLAN

DRIVEWAY PROFILE

NOT TO SCALE



ACCESSIBLE PARKING SPACES

NOT TO SCALE

TAX MAP 40 BLOCK Z LOT 6

DETAIL SHEET II

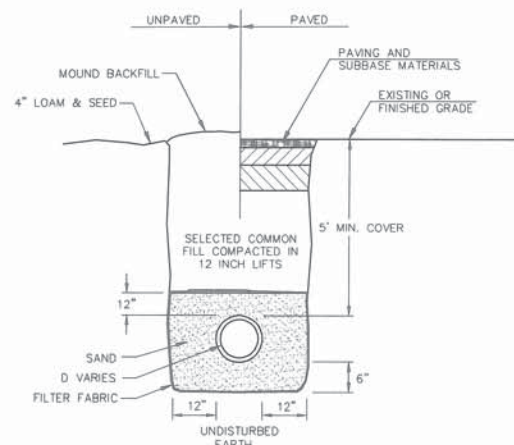
PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE



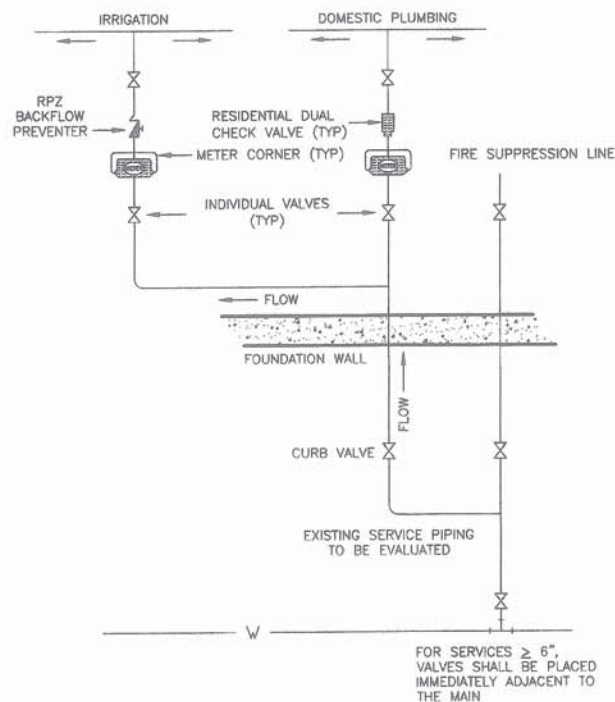
SCALE: AS NOTED APRIL 19, 2017 SHEET 10 OF 16

DESIGN:	DRAWN:	CHECKED:	FB:	PG:
KAW	KAW	RJB	-	-

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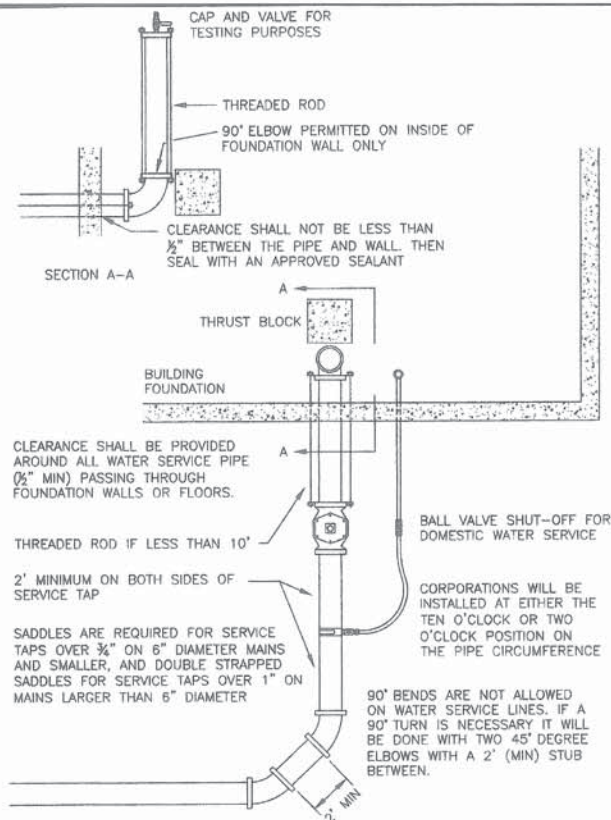
WATER MAIN TRENCH DETAIL
NOT TO SCALE



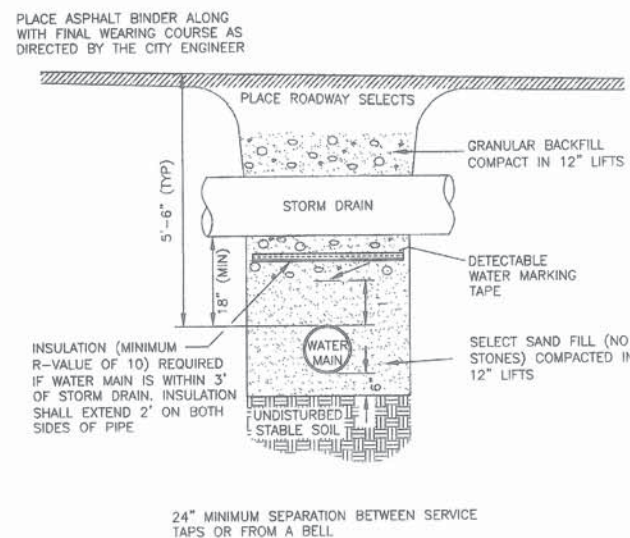
NOTE: ALL METERS SUPPLIED BY CITY OF CONCORD GENERAL SERVICES DEPARTMENT

NOTE: THERE WILL BE NO IRRIGATION ON SITE. HOWEVER A SECOND LINE WITH A VALVE WITH BE CONNECTED TO THE BUILDING IN CASE OF FUTURE EXPANSION AND/OR NEED.

METER INSTALLATION WITH IRRIGATION AND FIRE SUPPRESSION
NOT TO SCALE

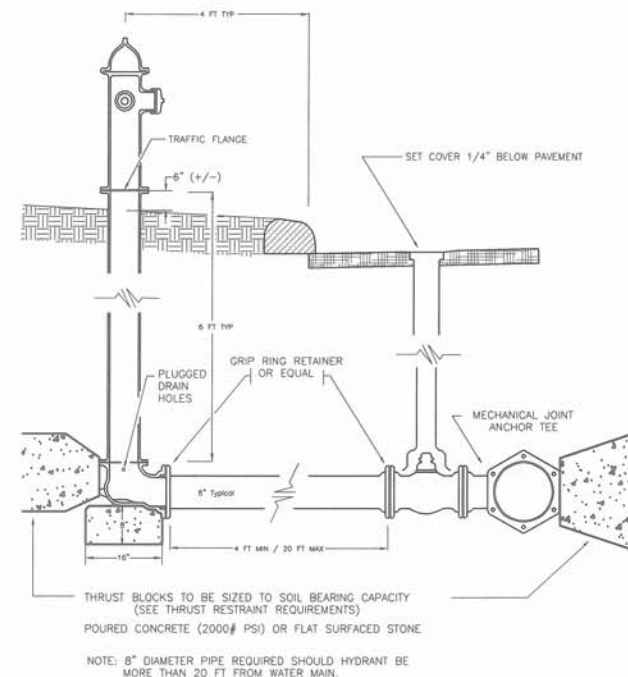


WATER SERVICE THROUGH FOUNDATION
NOT TO SCALE

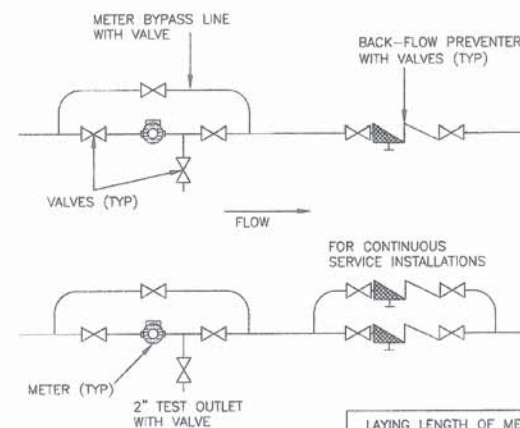


NOTE: ALL SERVICES SHALL HAVE DETECTABLE TAPE PLACED 12\"/>

WATER SERVICE AND MAIN INSTALLATION
NOT TO SCALE



FIRE HYDRANT DETAIL
NOT TO SCALE



LAYING LENGTH OF METERS:	
3/4" x 3/4"	= 7 1/2"
1" x 1"	= 10 3/4"
1 1/2" x 1 1/2"	= 13"
2" x 2"	= 17"
3" TURBO x 3"	= 16"
TURBO x 3"	= 14"

ON ALL WATER SERVICES WITH A METER SIZE OF 1 1/2" OR LARGER, A BYPASS LINE WITH A 2" TEST OUTLET IS REQUIRED.

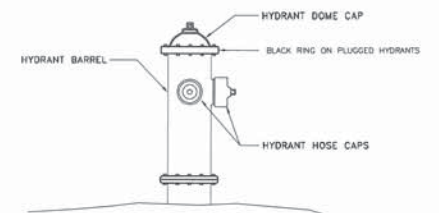
AN IDLER OR METER SPACER WITH GASKETS AND BOLTS CAN BE OBTAINED FROM THE CITY UTILITY BILLING OFFICE TO ASSIST WITH METER PLUMBING.

NO OBSTRUCTIONS ARE ALLOWED:

BEFORE THE METER	5 x D
BEFORE A METER WITH STRAINER	3 x D
AFTER THE METER	2 x D

WHERE D = PIPE DIAMETER

INSTALLATION OF WATER METERS
NOT TO SCALE



The marking and proper maintenance of both public and private fire hydrants is an important requirement of both the Utilities Division and the Fire Department.

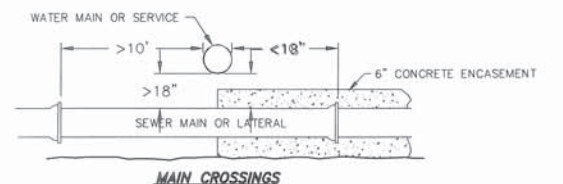
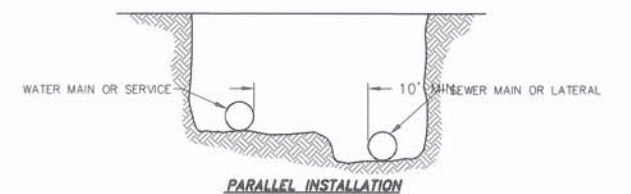
High visibility of the hydrant and an indication of the pressure system to which the hydrant is connected are of concern to the responding fire units.

In the interest of gaining uniformity as well as improving fire response effectiveness, both departments decided that all hydrants would be painted according to the following coding system:

SERVICE PRESSURE	HYDRANT BARREL	HYDRANT DOME CAP	HYDRANT HOSE CAPS
Low Pressure: (Obsolete)			
Public	Osha Orange	Osha Orange	Osha Orange
Private	Gloss Yellow	Gloss Yellow	Gloss Yellow
High Pressure:			
Public	Osha Orange	Chrome Aluminum	Osha Orange
Private	Gloss Yellow	Chrome Aluminum	Gloss Yellow
Extra High Pressure:			
Public	Osha Orange	Chrome Aluminum	Chrome Aluminum
Private	Gloss Yellow	Chrome Aluminum	Gloss Yellow
NON POTABLE water supplies:			
Public	Osha Orange	Gloss Green	Osha Orange
Private	Gloss Yellow	Gloss Green	Gloss Yellow

The Contractor/Developer shall be responsible for the painting and maintenance of the hydrants. However, in the interest of efficiency, the Utilities Division will contract for the proper maintenance and painting of the hydrants. Contractors are instructed to contact the General Services Department to arrange for assistance and services.

FIRE HYDRANT PAINTING DETAIL
NOT TO SCALE



WATER MAIN AND SEWER MAIN SEPARATION DETAIL
NOT TO SCALE

TAX MAP 40 BLOCK Z LOT 6

DETAIL SHEET III

PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

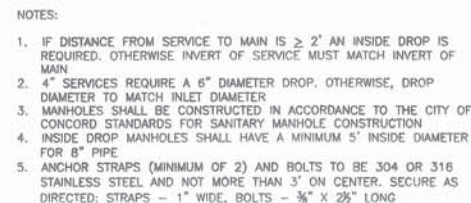
SCALE: AS NOTED APRIL 19, 2017 SHEET 11 OF 16

DESIGN: KAW DRAWN: KAW CHECKED: RJB FB: PG: 1413-01

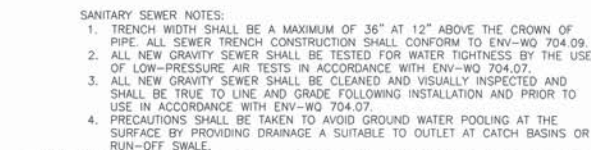
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177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com



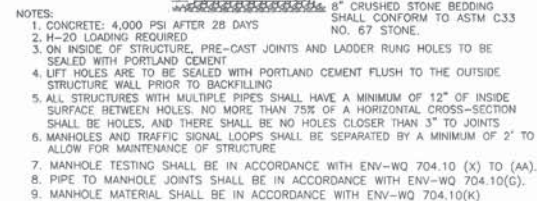
DATE	DESCRIPTION	BY	REV.



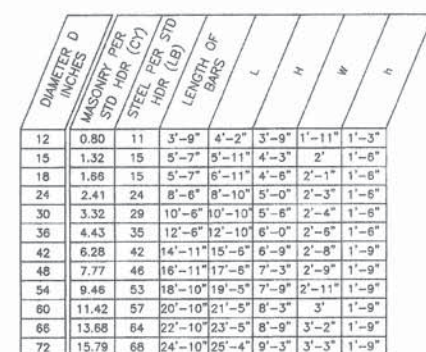
NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



RIP-RAP APRON I.D.	APRON LENGTH	TOP WIDTH	BOTTOM WIDTH	RIP-RAP DEPTH	STONE SIZE
APRON #	L	Wt	Wb	D	D50
RR2A	14'	10'	19'	9"	4"
RR2B	14'	5'	18'	9"	4"
RR3A	20'	15'	20'	9"	4"
RR3B	13'	5'	18'	9"	4"

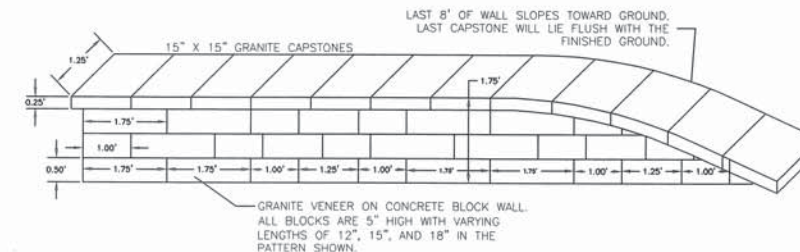
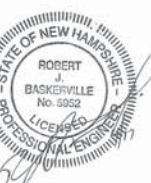
DESIGN SIZE	RIP-RAP SIZE	% OF WEIGHT (SMALLER THAN GIVEN SIZE)	SIZE OF STONE	THICKNESS (D)
D ₅₀	4"	100	6" TO 8"	9"
		85	5.2" TO 7.2"	
		50	4" TO 6"	
		15	1.2" TO 2"	

MAINTENANCE NOTES:

ROCK RIP-RAP SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. THE IMMEDIATE AREA DOWNSTREAM FROM THE RIP-RAP SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. IF THE RIP-RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY BEFORE FURTHER DAMAGE CAN TAKE PLACE. THE RIP-RAP SHOULD BE CHECKED FOR WEEDS. THE RIP-RAP SHOULD BE CHECKED ANNUALLY BECAUSE TREE ROOTS WILL EVENTUALLY DISLodge THE ROCK RIP-RAP. IF THE RIP-RAP IS ON A CHANNEL BANK, THE STREAM SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT BARS THAT MAY CAUSE A LOW FLOW POOL TO FORM. IF SUCH OBSTRUCTIONS ARE FOUND, THEY MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE RIP-RAP.

CONSTRUCTION SPECIFICATIONS:

1. THE SUBGRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC OR RIP-RAP SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, VEGETATION, AND DEBRIS AND PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK AND/OR GRAVEL USED FOR FILTER AND RIP-RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING PLACEMENT OF THE ROCK RIP-RAP BY PLACING A CUSHION OF SAND AND GRAVEL OVER THE FABRIC. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 IN.
4. STONE FOR THE RIP-RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT DISPLACEMENT OF THE UNDERLYING MATERIALS. HAND PLACEMENT MAY BE REQUIRED TO PREVENT DAMAGE TO ANY PERMANENT STRUCTURES.
5. STONES FOR RIP-RAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT. FLAT ROCKS SHALL NOT BE USED FOR RIP-RAP.
6. VOIDS IN THE ROCK RIP-RAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.



NTS

MATERIALS AND DESIGN ARE SUBJECT TO CHANGE. WALL SHALL BE DESIGNED BY OTHERS.

DATE	DESCRIPTION	BY	RE

PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE

LOCATED AT:

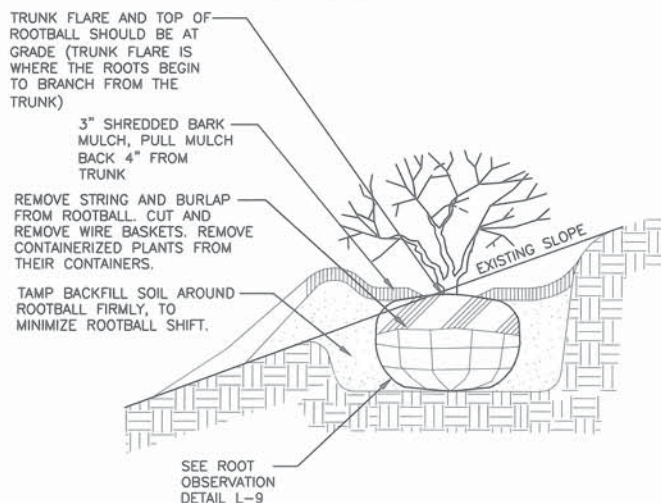
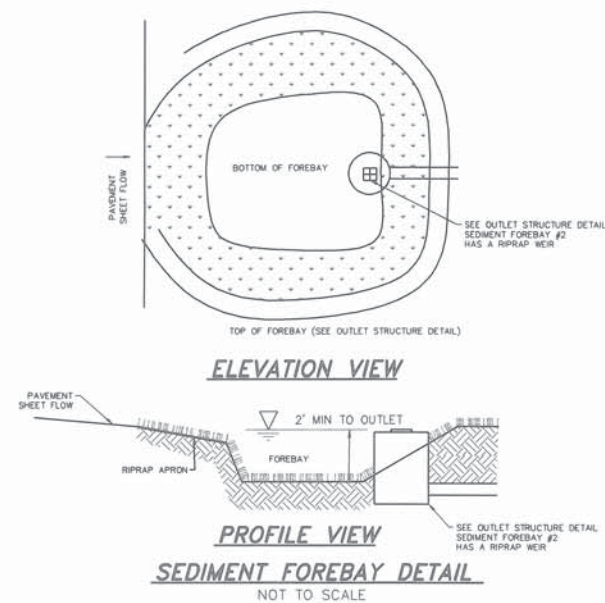
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:

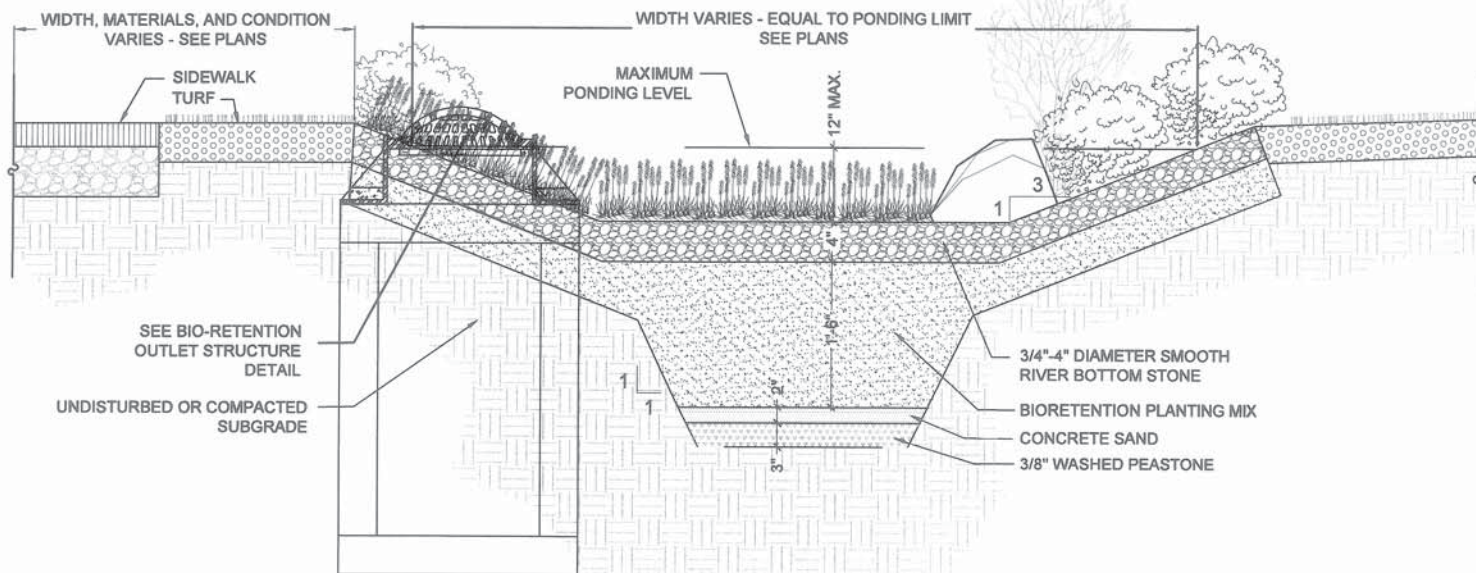
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: AS NOTED		APRIL 19, 2017		SHEET 12 OF 16	
DESIGN:	DRAWN:	CHECKED:	FB:	PG:	1413-0
KAW	KAW	R.D.			

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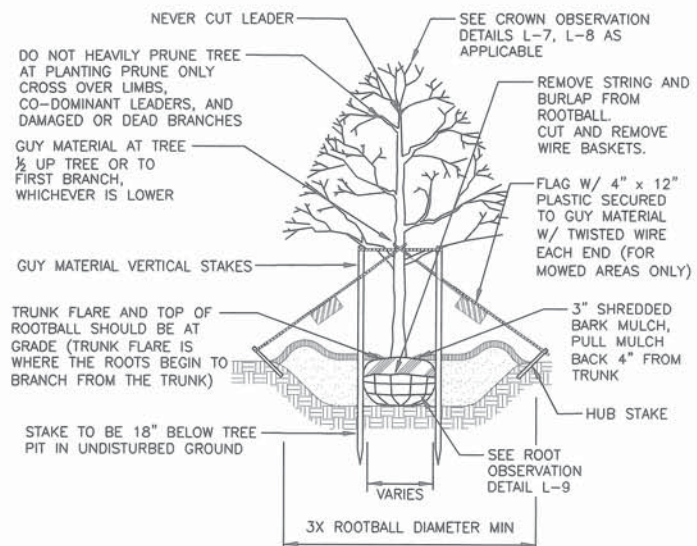


- NOTES:
1. DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
 2. BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
 3. SHRUBS & GROUND COVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENCRoACH INTO THE CITY'S SIDEWALK.
 4. TREE TO BE SET PLUMB, AFTER SETTLEMENT.
 5. ALL NURSERY TAGS, TAPE, AND SIMILAR MATERIALS SHALL BE REMOVED.



BIORETENTION AREA TYPICAL SECTION

NOT TO SCALE



- NOTES:
1. GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
 2. TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
 3. ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
 4. TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
 5. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 6. CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 10 FEET FROM THE EDGE OF THE CITY SIDEWALK.
 7. ALL NURSERY TAGS, TAPE, AND SIMILAR MATERIALS SHALL BE REMOVED.

DECIDUOUS TREE PLANTING

NOT TO SCALE

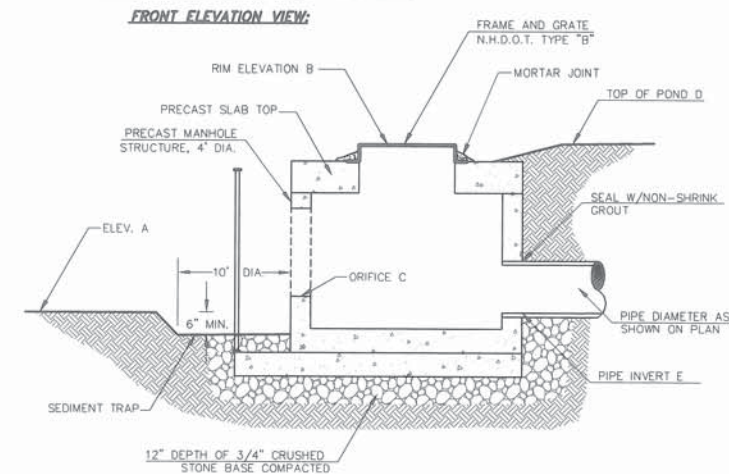
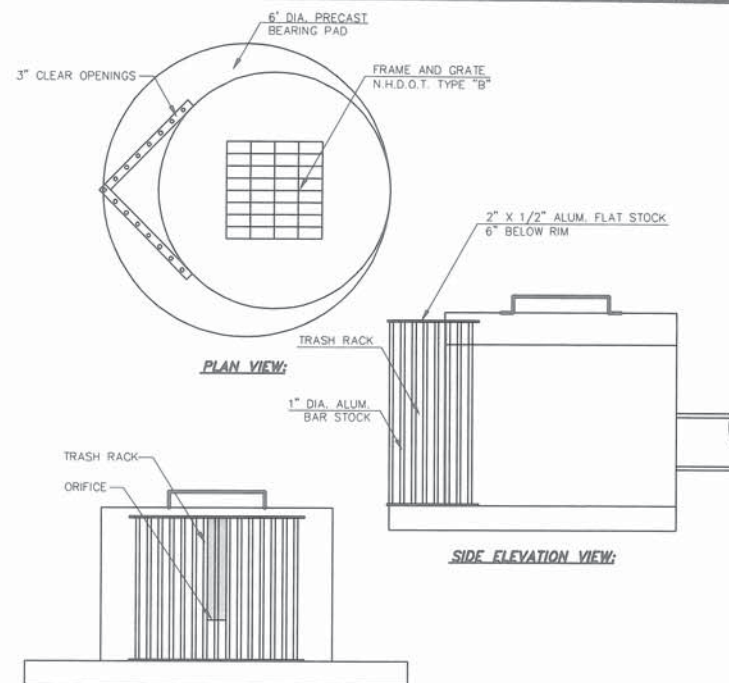
ELEVATION	A	B	D	E	C	ORIFACE BOTTOM WIDTH	ORIFACE TOP ELEV	ORIFACE TOP WIDTH
PLAN I.D.								
BIO-RETENTION #1	267	269.5	270	262.0	267.6	0.25'	2695	0.25'
BIO-RETENTION #2	263	265	266	258.5	263.95	0.75'	265.0	0.75'

BIO-RETENTION OUTLET STRUCTURE TABLE

ELEVATION	A	B	C	D	E
PLAN I.D.					
SED. FOREBAY #1	264	265.5	N/A	267	264.1
SED. FOREBAY #2	263	264.5	N/A	266	N/A

SED. FOREBAY #2 HAS A RIPRAP WEIR OUTLET

SEDIMENT FOREBAY OUTLET STRUCTURE TABLE



- NOTES:
- SEE SEDIMENT FOREBAY AND BIO-RETENTION OUTLET TABLES (AT LEFT) FOR PROPOSED ELEVATIONS
 - ALL JOINTS TO BE GROUTED OR SEALED
 - CORE RISER WITH SPECIFIED DIAMETER ORIFICE(S) AND ELEVATION(S) AS SHOWN IN TABLE.

OUTLET STRUCTURE DETAIL

NOT TO SCALE

Scientific Name	Common Name	Application Rate (lbs/acre)
<i>Schizanthus scoparium</i>	Little Bluestem	2.0
<i>Festuca rubra</i>	Creeping Red Fescue	2.0
<i>Scoropastura nutans</i>	Indian Grass	2.0
<i>Elymus canadensis</i>	Canada Wild Rye	2.0
<i>Elymus virginicus</i>	Virginia Wild Rye	2.0
<i>Centaurea cyanus</i>	Coriander	2.0
<i>Chrysanthemum leucanthemum</i>	Os-eye Daisy	2.0
<i>Coreopsis lanceolata</i>	Lanceleaf Coreopsis	4.0
<i>Coreopsis tinctoria</i>	Plains Coreopsis	2.0
<i>Cosmos bipinnatus</i>	Cosmos	2.0
<i>Echinacea purpurea</i>	Purple Coneflower	6.0
<i>Eschscholzia californica</i>	California Poppy	2.0
<i>Gaillardia aristata</i>	Blanket Flower	4.0
<i>Gaillardia pumila</i>	Indian Blanket	4.0
<i>Oenothera lachrymans</i>	Baby's Breath	2.0
<i>Hesperis matronalis</i>	Dame's Rocket	2.0
<i>Linum catharticum</i>	Scarflet Flax	4.0
<i>Lupinus perennis</i>	Wild Blue Lupine	4.0
<i>Papaver rhoeas</i>	Corn Poppy	2.0
<i>Rudbeckia hirta</i>	Black-eyed Susan	2.0
<i>Papaver rhoeas</i>	Red Poppy	2.0

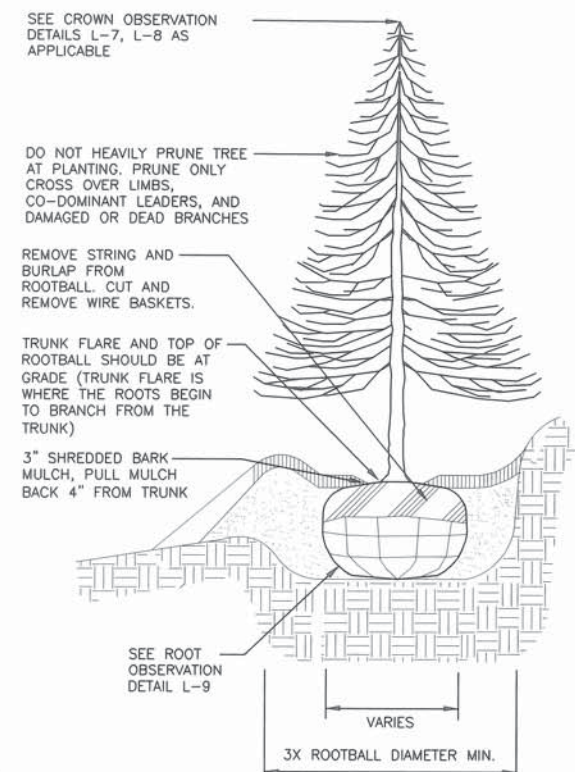
Total Application Rate: Apply at 48 lbs/acre. Average Germination shall be a minimum of 79%.

Seeds available at American Meadows: AmericanMeadows.com; Vermont Wildflower Farm, vermontwildflowerfarm.com; and New England Wetland Plants, Ma. www.newep.com.

WILDFLOWER MEADOW MIX

SHRUB PLANTING PROFILE

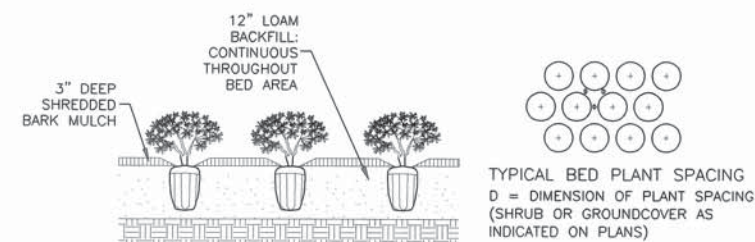
NOT TO SCALE



- NOTES:
1. DO NOT STAKE EVERGREEN TREES.
 2. LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 3. TAMP BACKFILL SOIL AROUND ROOTBALL FIRMLY TO MINIMIZE ROOTBALL SHIFT.
 4. TREE TO BE SET PLUMB, AFTER SETTLEMENT.
 5. ALL NURSERY TAGS, TAPE, AND SIMILAR MATERIALS SHALL BE REMOVED.

EVERGREEN PLANTING

NOT TO SCALE



GROUND COVER BED DETAIL

NOT TO SCALE

TAX MAP 40 BLOCK Z LOT 6

DETAIL SHEET V

PREPARED FOR/APPLICANT:

JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:

52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE

OWNER:

JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: AS NOTED APRIL 19, 2017 SHEET 13 OF 16

DESIGN: KAW DRAWN: KAW CHECKED: RJB FB: - PG: - 1413-01

Bedford Design Consultants inc.

ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109

Telephone: (603) 622-5533 Fax: (603) 622-4740

www.bedforddesign.com



WETLAND NOTES

1. WETLANDS WERE DELINEATED BY SCHAUER ENVIRONMENTAL CONSULTANTS, LLC, DURING APRIL 2014.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987)
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY SCHAUER ENVIRONMENTAL CONSULTANTS UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, APRIL 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY SCHAUER ENVIRONMENTAL CONSULTANTS UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1 PORTER B. REED, JR.)
5. WETLANDS WERE CLASSIFIED BY SCHAUER ENVIRONMENTAL CONSULTANTS, UTILIZING THE CRITERIA OF THE U.S. FISH AND WILDLIFE SERVICE MANUAL FWS/OBS-79/31 CLASSIFICATION OF WETLANDS AND DEEP WATER HABITATS OF THE UNITED STATES (COWARDIN ET AL, 1979).

UTILITY EASEMENT DETAIL

1"=20'

PERIMETER MAP

1"=200'

NOTES

LOCUS MAP

1"=±2000'

1. OWNER:
JAY W. STEWART REALTY HOLDINGS, LLCs
95 RUNNELLS BRIDGE RD
HOLLIS, NH 03049
BOOK 3118 PAGE 650
 2. THE INTENT OF THIS PLAN IS TO DEPICT THE EXISTING EASEMENTS BURDENING THE PROPERTY AND TO SHOW THE PROPOSED EASEMENTS.
 3. THE AREA OF THE PARCEL IS: 908,250 SQ. FT.
20.851 ACRES
 4. THE HORIZONTAL DATUM=NAD83. VERTICAL DATUM=NAVD88.
 5. BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON AN ACTUAL FIELD SURVEY BY BEDFORD DESIGN CONSULTANTS DURING AUGUST 2008. THE WETLANDS WERE LOCATED BY FIELD SURVEY IN APRIL 2014.
 6. SUBJECT ZONED: IN (INDUSTRIAL) AND RO (RESIDENTIAL)
- DIMENSIONAL REQUIREMENTS**
- | | |
|---------------------|--|
| MIN. LOT SIZE | = 40,000 S.F. |
| MIN. BUILDABLE LAND | = 20,000 S.F. |
| USEABLE LAND: | |
| MIN. FRONTAGE | = 200' |
| FRONT SETBACK | = 50' |
| REAR SETBACK | = 30' |
| SIDE SETBACK | = 25' |
| MAX. LOT COVERAGE | = 85% |
| MAX. HEIGHT | = 45' |
| WETLAND BUFFER | = 50' (FOR WETLANDS GREATER THAN 3,000 S.F.) |
7. THE SUBJECT PARCEL IS PARTIALLY LOCATED IN THE FLOOD HAZARD AND IN THE FLOOD ZONE X. DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBERS 33013C0531E, EFFECTIVE DATE APRIL 19, 2010.
 8. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION. ALWAYS CALL DIGSAFE PRIOR TO ANY EXCAVATION.
 9. THE PROPERTY IS ENCUMBERED BY AN EASEMENT TO CITY OF CONCORD (SEE DEED BOOK 3153 PAGE 38 AND AN AGREEMENT WITH SPRINT SPECTRUM REALTY COMPANY, L.P. (SEE DEED BOOK 2767 PAGE 727). THESE EASEMENTS ARE TO BE REDEFINED TO INCLUDE THE PROPOSED ACCESS EASEMENT AS SHOWN HEREON.
 10. TEMPORARY CUL-DE-SAC EASEMENTS AND THE FUTURE PHASE III ROADWAY CONSTRUCTION ARE SHOWN PER REFERENCED PLAN. THESE ENCUMBRANCES ARE TO BE RELEASED FROM PUBLIC SERVITUDE BY A VOTE OF THE CITY COUNCIL.
 11. THE CONCORD ELECTRIC RIGHT-OF-WAY IS SHOWN PER THE REFERENCE PLANS.

TAX MAP 40 BLOCK Z LOT 6

ACCESS EASEMENT PLAN

PREPARED FOR/APPLICANT:
JDH REALTY HOLDINGS, LLC
PO BOX 1853 SHEEP DAVIS ROAD
ROUTE 106
CONCORD, NEW HAMPSHIRE
LOCATED AT:
52 LOCKE ROAD
CONCORD, NEW HAMPSHIRE
OWNER:
JAY W STEWART REALTY HOLDINGS, LLC
95 RUNNELLS BRIDGE RD
HOLLIS, NEW HAMPSHIRE

SCALE: AS NOTED APRIL 19, 2017 SHEET 14 OF 16

DESIGN: C.A.F. DRAWN: M.D.M. CHECKED: C.A.F. FB: 540 PG: 62 1413-01

Bedford Design Consultants Inc.
ENGINEERS AND SURVEYORS

177 East Industrial Park Drive, Manchester, NH 03109
Telephone: (603) 622-5533 Fax: (603) 622-4740
www.bedforddesign.com

SYMBOL LEGEND

- | | | | |
|---|-------------------|---------|------------------------|
| ⊙ | SEWER MANHOLE | — D — | DRAIN LINE |
| ⊙ | DRAIN MANHOLE | — S — | SEWER LINE |
| ⊙ | CATCH BASIN | — OHW — | OVERHEAD ELECTRIC WIRE |
| ⊙ | FIRE HYDRANT | — W — | WATER LINE |
| ⊙ | WATER SHUT OFF | — GAS — | GAS LINE |
| ⊙ | UTILITY POLE | | SCS SOIL LINE |
| ⊙ | GUY WIRE | — — — | WETLAND |
| ⊙ | REBAR FOUND | — ○ — | CHAIN LINK FENCE |
| ⊙ | STONE BOUND FOUND | ⊙ | WETLAND SYMBOL |

REFERENCE PLANS

1. "KEEWAYDIN LIMITED PARTNERSHIP LACONIA, NEW HAMPSHIRE/ CONCORD BUSINESS AND INDUSTRIAL PARK, MAP NO.121 TRACT 8207 LOT NO.2 CONCORD, NEW HAMPSHIRE, SUBDIVISION PLAN", PREPARED BY RIESLAND ASSOCIATES, INC., DATED SEPTEMBER 22, 1989, RECORDED AT THE M.C.R.D. PLAN NUMBER 11807.
2. "SUBDIVISION PLAN, CONCORD BUSINESS AND INDUSTRIAL PARK, PREPARED FOR KEEWAYDIN SHORES, INC." PREPARED BY STORCH & BURD, DATED JUNE 24, 1986, RECORDED AT THE M.C.R.D. PLAN NO. 9120.
3. "FINAL PLAT, CONCORD BUSINESS AND INDUSTRIAL PARK, CONCORD, NH, PREPARED FOR KEEWAYDIN LIMITED PARTNERSHIP", PREPARED BY STORCH ASSOCIATES, DATED MAY 20, 1988, RECORDED AT THE M.C.R.D. PLAN NO. 10570.

"I HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND HAS AN ERROR OF CLOSURE OF GREATER ACCURACY THAN ONE PART IN TEN THOUSAND (1:10,000)."

LICENSED LAND SURVEYOR

4.18.17
DATE

DATE	DESCRIPTION	BY	REV.

ABRASIVES & TOOLS
LOCKE ROAD
CONCORD, NH

PLANNING &
REVIEW
SUBMISSION
NOT FOR
CONSTRUCTION

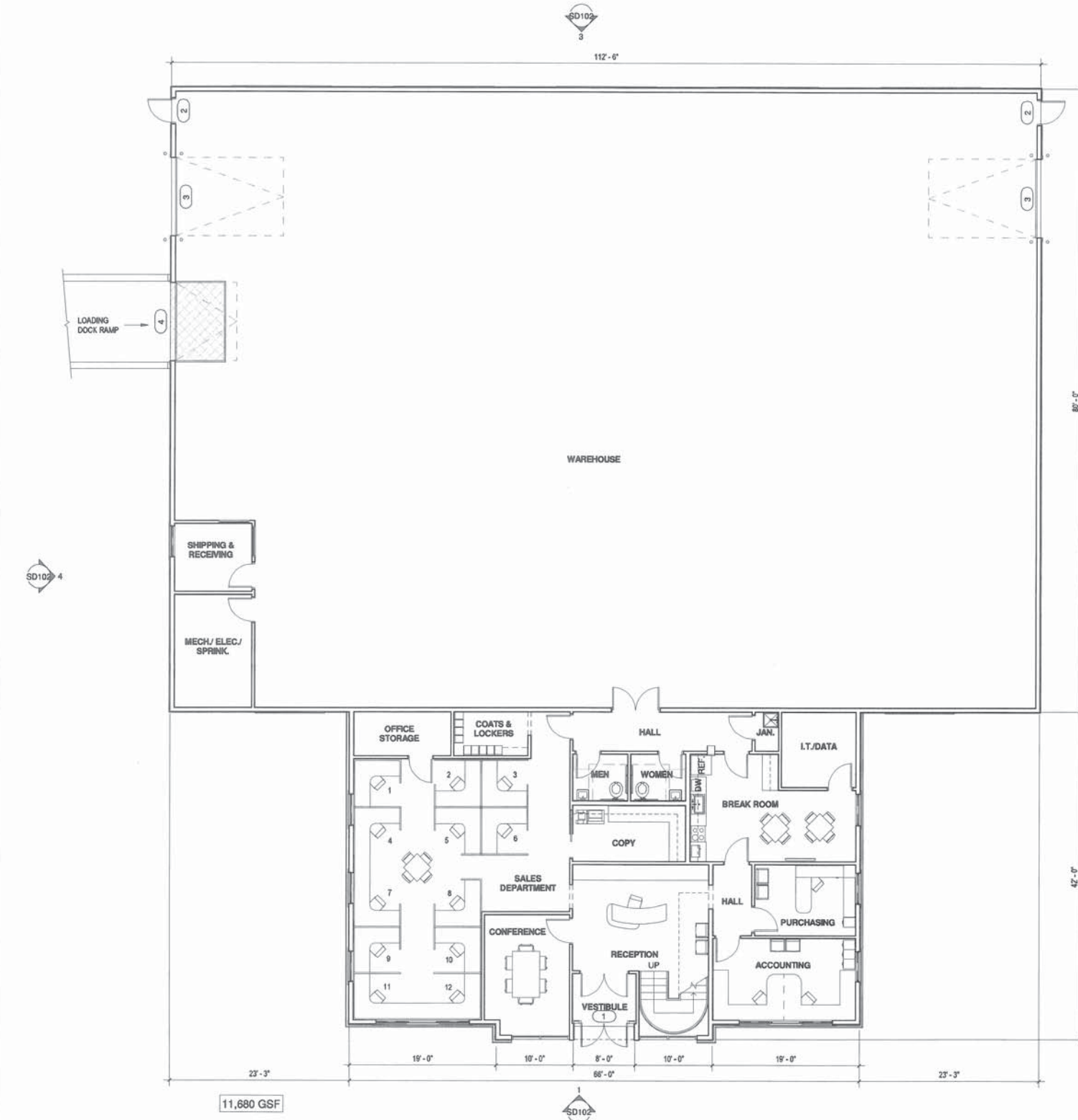
4/19/2017

SCALE: AS NOTED DWN BY: KL
JOB #: 3399 CHK BY: JH

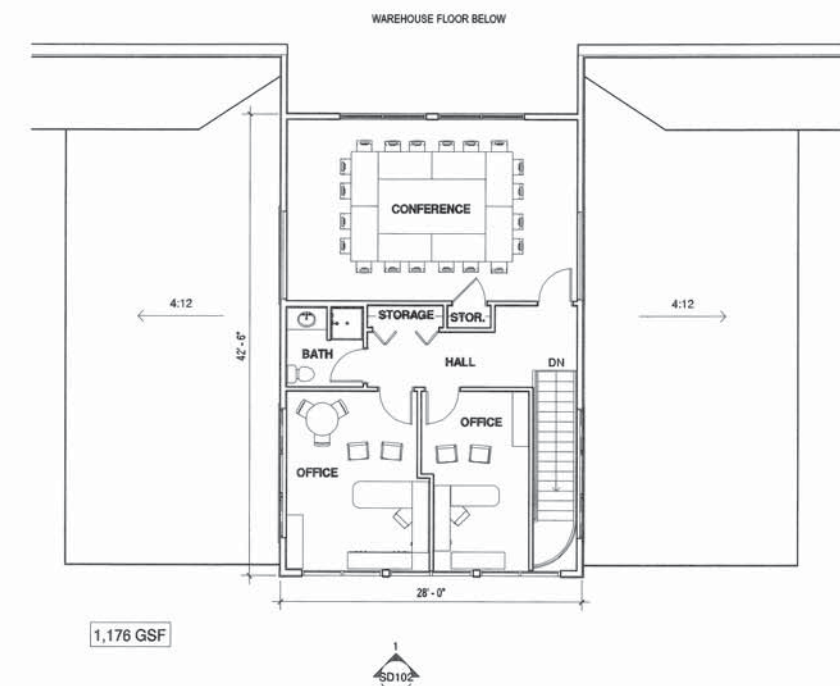


FLOOR PLANS
SD101
SHEET NUMBER: 15 OF 16
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MARK	TYPE
1	8'-0" X 7'-0" ALUM. STOREFRONT ENTRY
2	3'-0" X 7'-0" H.M. W/ VISION PANEL
3	10'-0" X 14'-0" O.H. SECTIONAL
4	10'-0" X 8'-0" O.H. SECTIONAL



1 FIRST FLOOR PLAN
1/8" = 1'-0"



2 MEZZANINE PLAN
1/8" = 1'-0"



LOCKE ROAD
CONCORD, NH

NOT FOR
CONSTRUCTION

04/06/17

SCALE: AS NOTED DWN BY: KL
JOB #: 3399 CHK BY: JH



ELEVATIONS

SD102

SHEET NUMBER: 16 OF 16

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