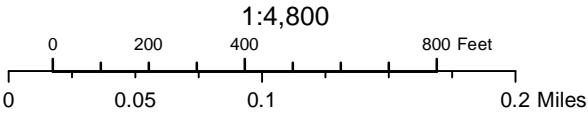
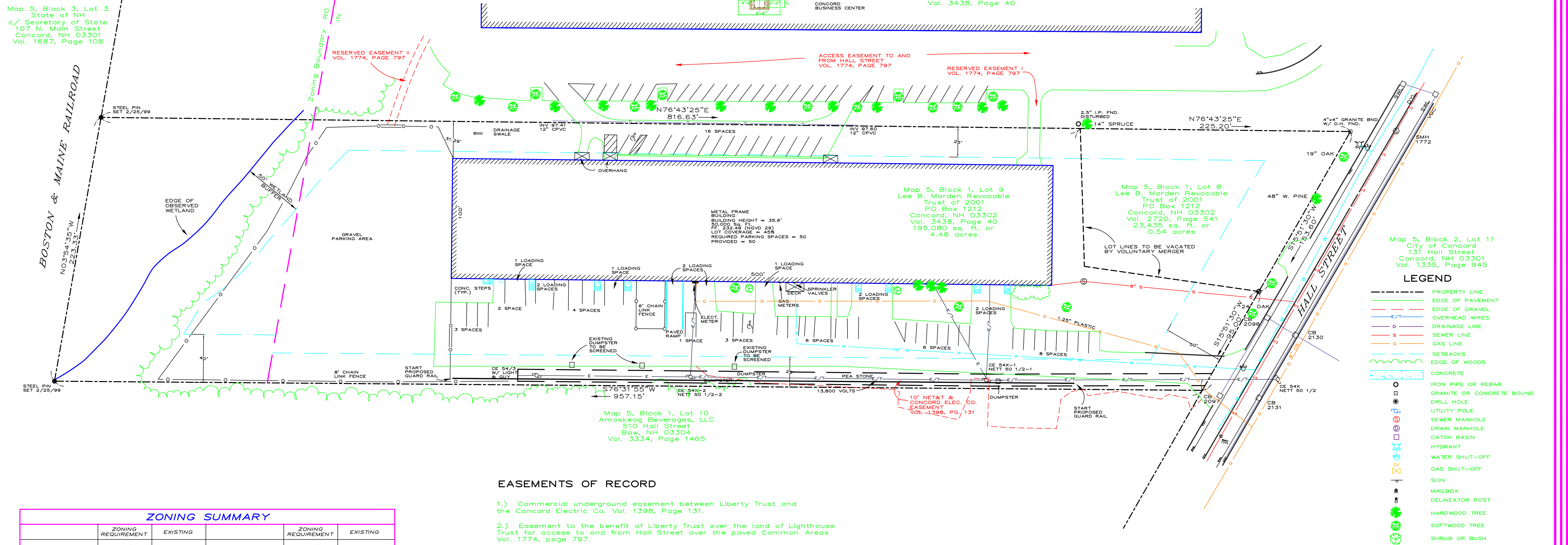
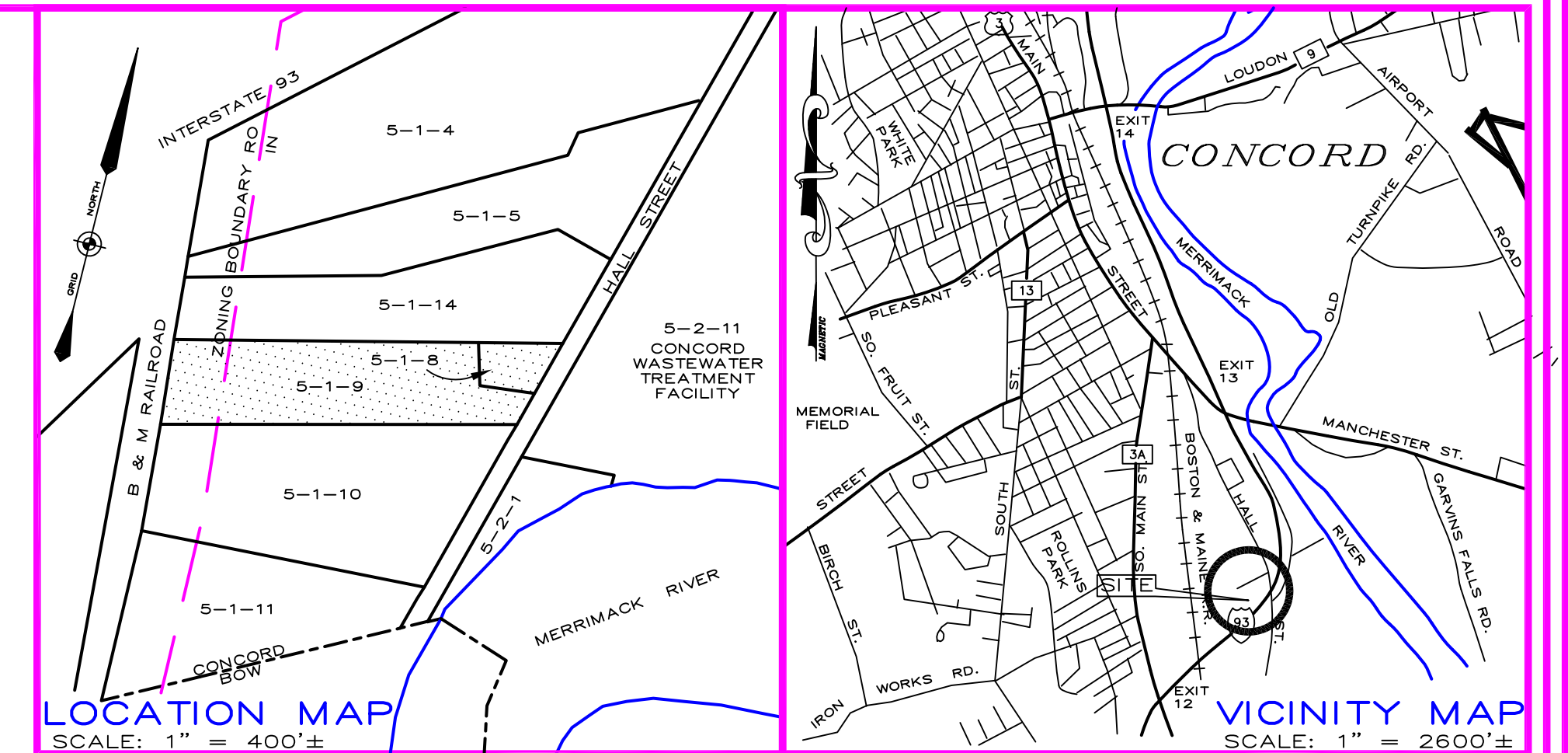
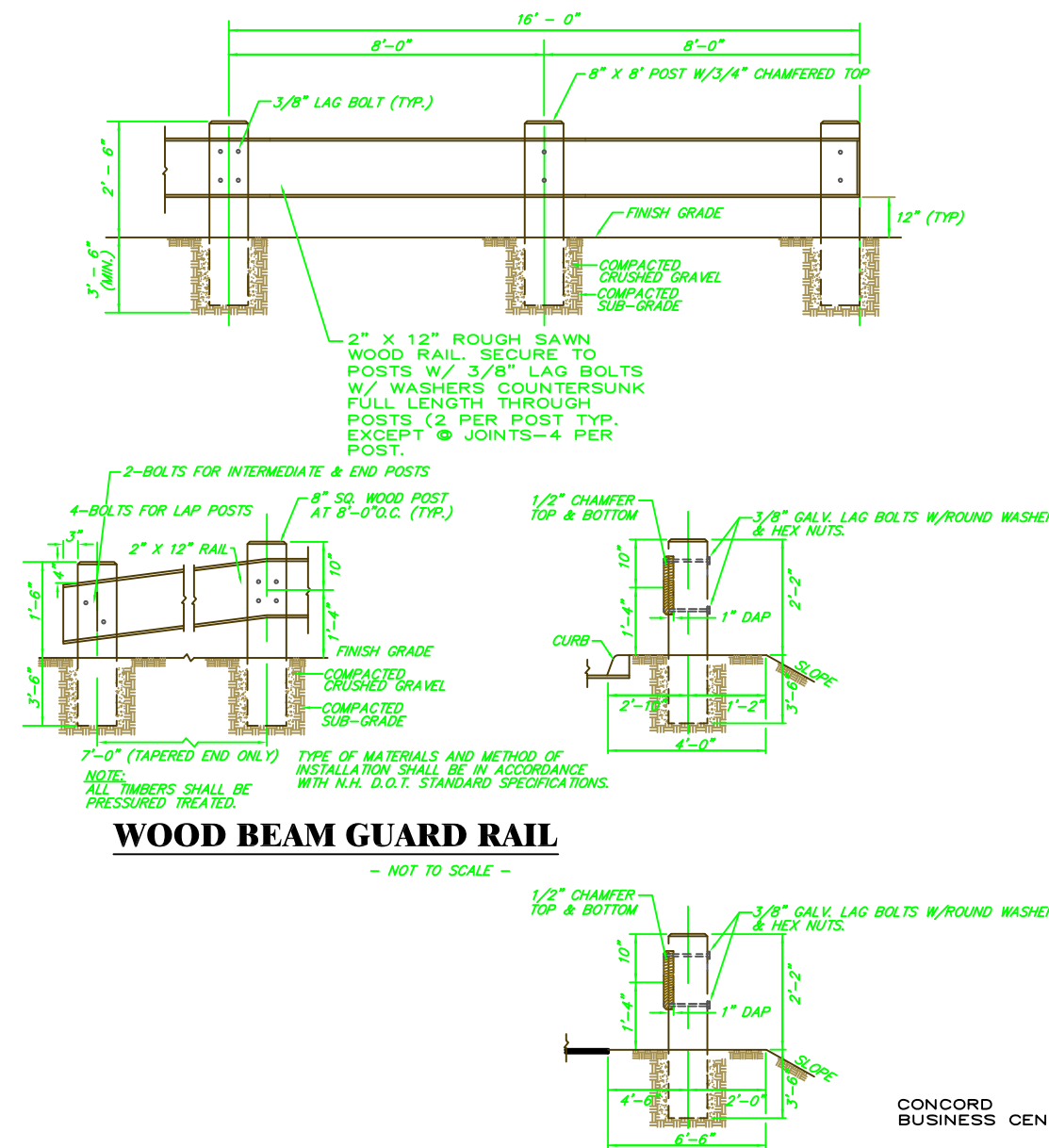




May 5, 2017



- 1.) Survey by total station on February 19 & 20, 1999. Control traverse error of closure 1:161,538. Other surveys conducted on this property on June 24, 1994, February 12, 1999 and September 15, 2016.
- 2.) Horizontal datum based on the NH State Plane Coordinate System NAD 83.
- 3.) Zoned IN—Industrial District Building Setbacks, Front 50', Rear 30' & Side 25'; and RO—Open Space Residential District Building Setbacks: Front 50'; Rear 50'; & Side 40'.
- 4.) Flood Plain El. 232.5 per City of Concord Engineering Dept. NGVD 29.
- 5.) The subject parcel lies within Flood Hazard, Zone A8 as shown on the Flood Insurance Rate Map City of Concord, N.H. Panel 20 of 20, Community panel no. 330110—0020—A.
- 6.) IN Zone restrictions - Minimum lot size = 40,000 sq. ft. Minimum street frontage = 200', Maximum building height = 45', Building setbacks: front=50'; rear=30, side=25', Maximum lot coverage = 85%.
- 7.) Reference plats by H.H. Amsden entitled "Land of Liberty Trust Hall St. Concord, N.H." and "Lighthouse Trust Hall Street Concord, N.H." and plat by Richard D. Bartlett entitled "Boundary & Physical Evidence Survey for Equity Trust 135 Hall St. Concord, N.H."
- 8.) Reference plat entitled "Boundary Line Agreement Plat prepared for: Liberty Trust & Pansy Pebbles", dated February 23, 1999 and prepared by this office.
- 9.) The intent of this plat is to depict improvements to the existing facility.



ZONING SUMMARY						
		ZONING REQUIREMENT	EXISTING		ZONING REQUIREMENT	EXISTING
STREET FRONTAGE		200' MINIMUM	248.60'	BUILDING HEIGHT	45' MAXIMUM	24'
LOT AREA—SQ. FT.		40,800 MINIMUM	218,515	PARKING SPACES	63 MINIMUM	63
OFFSETS TO PROPERTY LINES	FRONT	50' MINIMUM	58'	LOADING SPACES	2 MINIMUM	12
	SIDE	25' MINIMUM	299'			
	REAR	32' MINIMUM	31'			
BUILDING & PARKING COVERAGE		85% MAXIMUM	45%			
BUILDING LAND SQ. FT.		20,000 MINIMUM	200,047			

- 1.) Commercial underground easement between Liberty Trust and the Concord Electric Co. Vol. 1398, Page 131.
- 2.) Easement to the benefit of Liberty Trust over the land of Lighthouse Trust for access to and from Hall Street over the paved Common Areas Vol. 1774, page 797.


"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION.

SIGNATURE _____ LICENSE NO. _____ DATE _____

2	4/11/17	GUARD RAIL, DUMPSTERS
1	12/28/16	PARKING & EDGE OF GRAVEL
NO.	DATE	REVISION

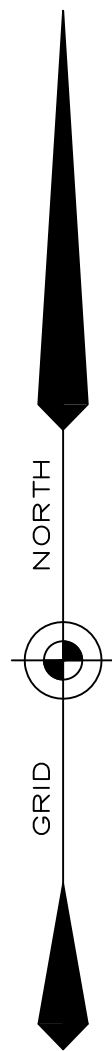
 **RICHARD D. BARTLETT
& ASSOCIATES, LLC.**
214 North State Street
Concord, N.H. 03301

Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richardddbartlett.com
World Wide Web Page:
<http://www.richardddbartlett.com>

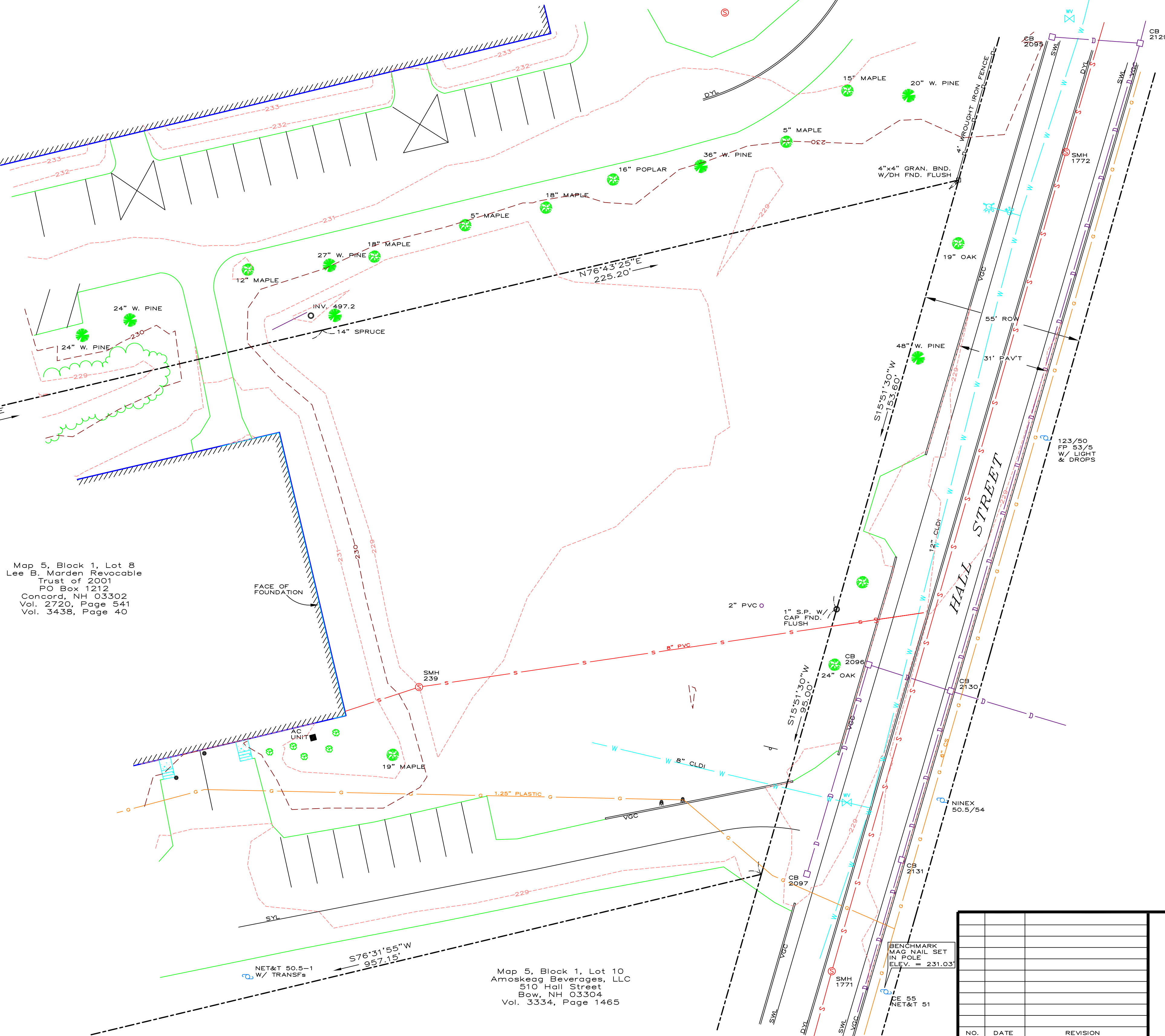
 **LICENSED LAND SURVEYORS**

SITE PLAN
of the land of
LEE B. MARDEN REV.
TRUST 2001

PROJECT: 134 HALL STREET CONCORD, NH.	
LOCATION: MAP 5, BLOCK 1, LOTS 8 & 9	
<p>GRAPHIC SCALE</p> <p>SCALE: 1" = 40'</p>	<p>DATE: OCTOBER, 2016</p> <p>JOB NO.: 898.186</p> <p>SHEET 1 OF 2</p>



Map 5, Block 1, Lot 14
Lee B. Marden Revocable
Trust of 2001
PO Box 1212
Concord, NH 03302
Vol. 3438, Page 40

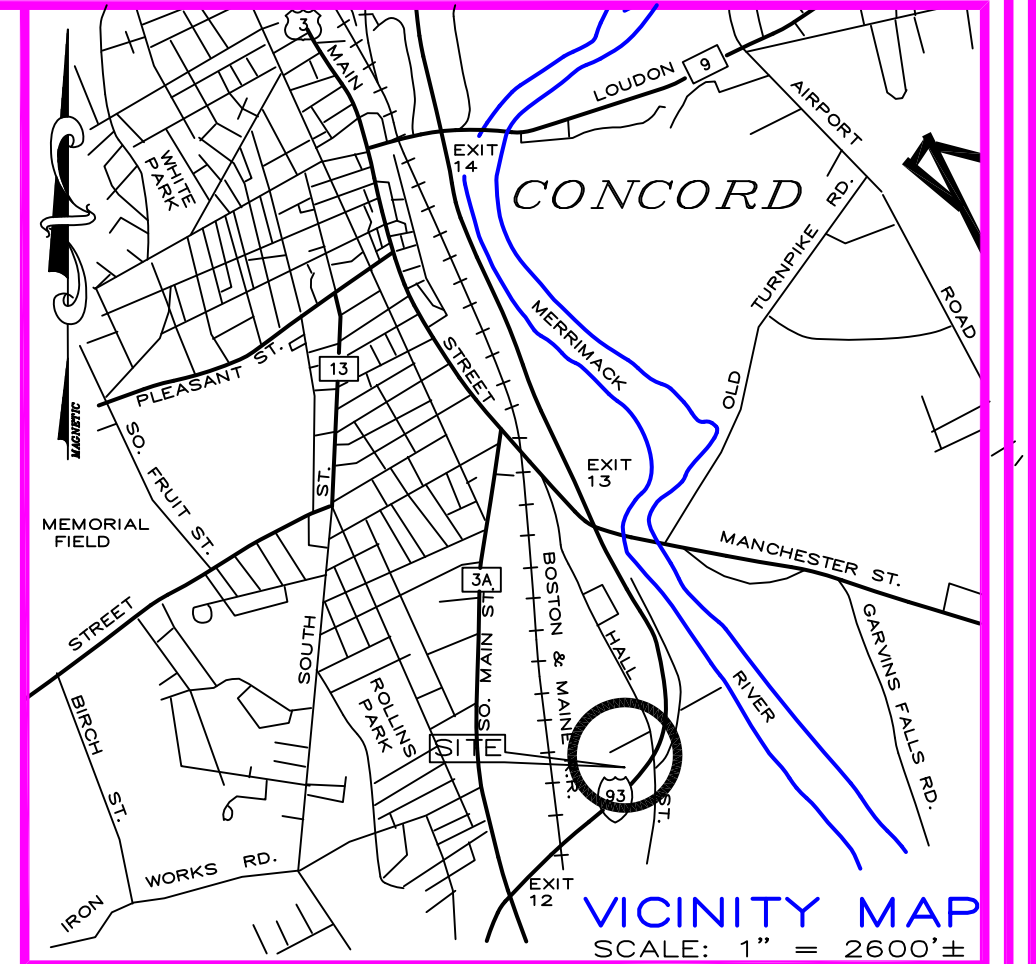


Map 5, Block 1, Lot 8
Lee B. Marden Revocable
Trust of 2001
PO Box 1212
Concord, NH 03302
Vol. 2720, Page 541
Vol. 3438, Page 40

Map 5, Block 1, Lot 10
Amoskeag Beverages, LLC
510 Hall Street
Bow, NH 03304
Vol. 3334, Page 1465

Map 5, Block 2, Lot 11
City of Concord
131 Hall Street
Concord, NH 03301
Vol. 1335, Page 945

SMH 239
RIM 229.01
INV. 225.47 6" CI (W)
INV. 225.47 6" CI (E)
CATCH BASIN 2095
RIM 229.32
INV. 222.67
SUMP FILLED W/ MUCK
CONC. STRUCTURE
CATCH BASIN 2096
RIM 228.56
INV. 223.41 6" CMP (NW)
INV. 223.19 6" CMP (SW)
INV. 223.56 15" RCP (S)
INV. 223.54 15" RCP (E)
SUMP FILLED W/ MUCK
CONC. STRUCTURE
CATCH BASIN 2097
RIM 228.55
INV. 223.99 6" CMP (SE)
INV. 223.75 12" RCP (N)
SUMP FILLED W/ MUCK
CATCH BASIN 2129
RIM 229.28
INV. 222.40 15" RCP (W)
INV. 218.64 24" RCP (S)
INV. 218.60 24" RCP (N)
SUMP 218.28
CONC. STRUCTURE
CATCH BASIN 2130
RIM 228.65
INV. 225.18 6" CMP (NE)
INV. 222.08 6" CMP (SE)
INV. 222.53 15" RCP (S)
INV. 222.43 15" RCP (W)
INV. 217.53 36" RCP (E)
SUMP 216.96
CATCH BASIN 2131
RIM 228.70
INV. 223.07 6" CMP (SE)
INV. 222.93 15" RCP (N)
INV. 222.90 15" RCP (S)
SUMP FILLED W/ MUCK



LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- E/T
- OVERHEAD WIRES
- DRAINAGE LINE
- SEWER LINE
- GAS LINE
- SETBACKS
- EDGE OF WOODS
- CONCRETE
- IRON PIPE OR REBAR
- GRANITE OR CONCRETE BOUND
- DRILL HOLE
- UTILITY POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- HYDRANT
- WATER SHUT-OFF
- GAS SHUT-OFF
- SIGN
- MAILBOX
- DELINEATOR POST
- HARDWOOD TREE
- SOFTWOOD TREE
- SHRUB OR BUSH

NOTES

- Survey by total station on September 15, 2016. Control Traverse error of closure less than 1:15,000.
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83.
- Vertical datum is based on NAVD 88.
- Owner of record: Lee B. Marden Revocable Trust of 2001 PO Box 1212 Concord, NH 03302 Vol. 2720, Page 541 and Vol. 3438, Page 40, Total Area 218,515 sq. ft. or 5.02 acres (after voluntary merger).
- The portion of the subject premises depicted is within the Industrial (IN) zoning district, Minimum lot size = 40,000 sq. ft., Minimum buildable area = 20,000 sq. ft., Minimum frontage = 200', Building setbacks: front=50'; side=25'; rear=30', Maximum building height = 45', Minimum lot coverage = 85%.
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The intent of this plat is to depict the existing conditions of the easterly portion of 132 and 134 Hall Street.

NO.	DATE	REVISION

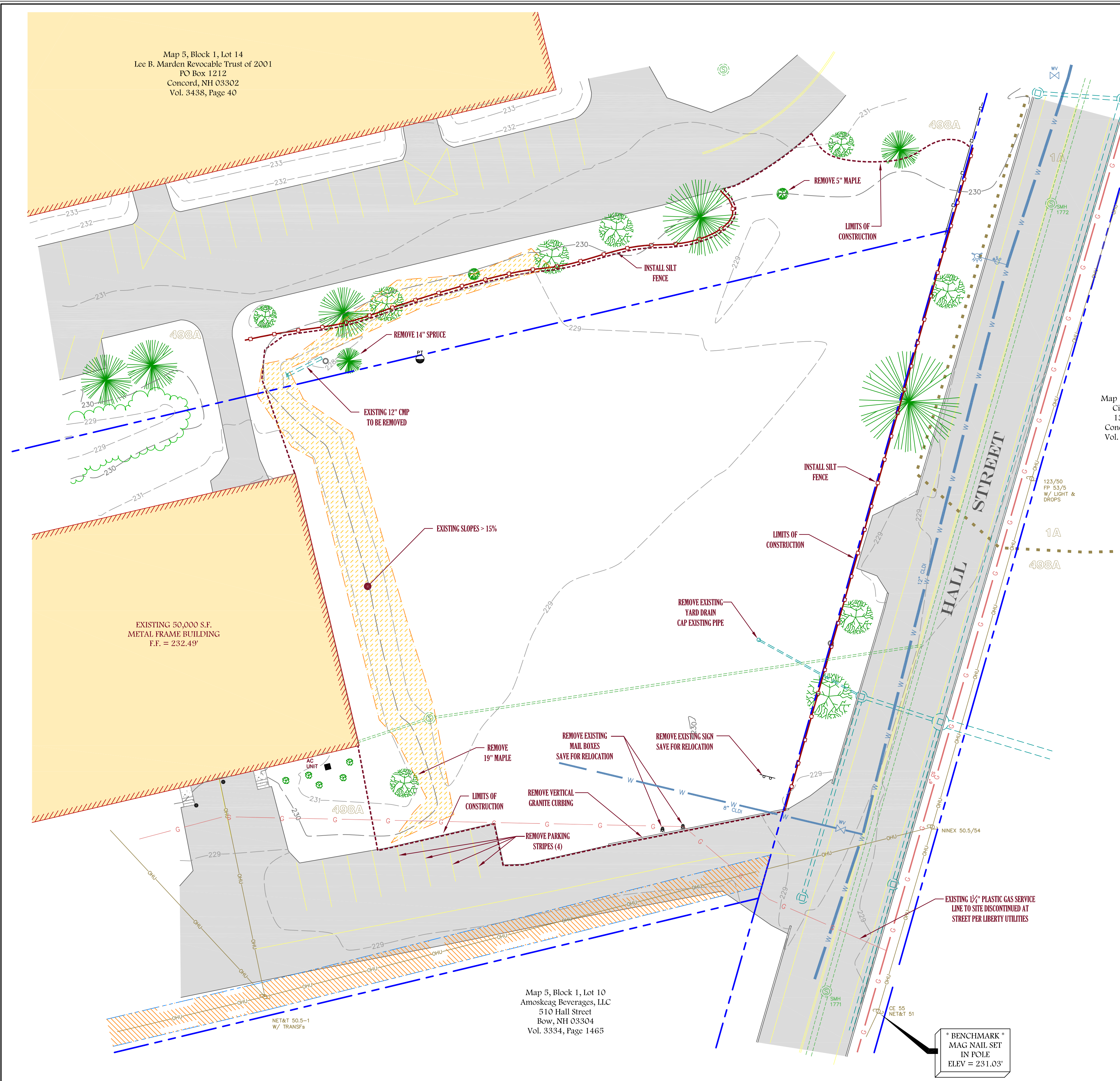
RICHARD D. BARTLETT & ASSOCIATES, INC.
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richarddbartlett.com
World Wide Web Page: <http://www.richarddbartlett.com>
LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT
of the land of the
LEE B. MARDEN REV. TRUST, 2001

PROJECT: 132 HALL STREET CONCORD, NH.
LOCATION: MAP 5, BLOCK 1, LOTS 8 & 9

GRAPHIC SCALE
0 20' 40'
1" = 20'

DATE: OCTOBER, 2016
JOB NO.: 616.169
SHEET 2 OF 2



Map 5, Block 2, Lot 11
City of Concord
131 Hall Street
Concord, NH 03301
Vol. 1333, Page 945

GENERAL NOTES

1. SEE EXISTING CONDITIONS PLAN FOR ADDITIONAL INFORMATION.
2. SEE DETAIL SHEET FOR EROSION CONTROL DETAILS.
3. SURVEY OF EXISTING CONDITIONS PROVIDED BY RICHARD D. BARTLETT & ASSOCIATES, INC.
4. OWNER OF RECORD: LEE B. MARDEN REVOCABLE TRUST OF 2001, P.O. BOX 1212, CONCORD, N.H. 03302.
5. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CONCORD CONSTRUCTION SPECIFICATIONS.
6. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
7. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
8. ALL AREAS OF DISTURBANCE MUST HAVE PERMANENT STABILIZATION WITHIN 48 HOURS OF REACHING FINAL GRADE.

SEDIMENT & EROSION CONTROL NOTES:

EXISTING ACCESS TO THE SITE CAN BE UTILIZED AS A CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

INSTALL SILT FENCE AT LIMITS OF EXCAVATION AND IN EXISTING SWALES. INSPECT AND MAINTAIN ON A DAILY BASIS. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, DAMAGE TO VEGETATION AND DAMAGE TO PROPERTIES OUTSIDE THE WORK AREA.

EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE. STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION. TOPSOIL STOCKPILES AND DISTURBED AREAS WHERE CONSTRUCTION ACTIVITY WILL TEMPORARILY CEASE FOR AT LEAST 21 DAYS SHALL BE STABILIZED WITH TEMPORARY SEED AND MULCH.

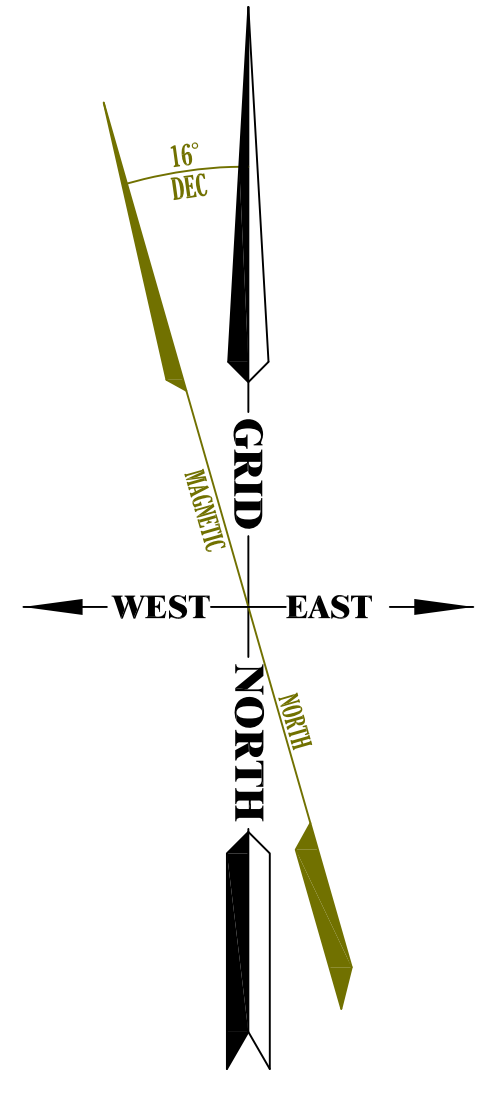
ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM WITH NOT LESS THEN 2 TONS/ACRE OF AGRICULTURAL LIMESTONE, 500 LBS/ACRE OF 10-20-20 FERTILIZER AND 1.1 LBS OF SEED MIX PER 1000 SF. SEED MIXTURE SHALL BE:

PERMANENT	
TALL FESCUE	- .45 LBS
CREEPING RED FESCUE	- .45 LBS
BIRDSFOOT TREFOIL	- .20 LBS
TEMPORARY	
ANNUAL RYE	- 1.1 LBS

ALL DISTURBED AREAS SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 21 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE MUST BE STABILIZED AT THE END OF EACH WORK DAY EXCEPT AS FOLLOWS:

- STABILIZATION IS NOT REQUIRED IF EARTHWORK IS TO CONTINUE IN THE AREA WITHIN THE NEXT 24 HOURS AND THERE IS NO PRECIPITATION FORECAST FOR THE NEXT 24 HOURS.
- STABILIZATION IS NOT REQUIRED IF THE WORK IS OCCURRING IN A SELF CONTAINED EXCAVATION WITH NO OUTLET AND A DEPTH OF TWO FEET OR GREATER.

EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS ARE STABILIZED AND HAVE A HEALTHY VEGETATIVE COVER. ALL DISTURBED AREAS SHALL HAVE PERMANENT STABILIZATION WITHIN 48 HOURS OF REACHING FINAL GRADE. WHEN CONSTRUCTION OPERATIONS ARE COMPLETE, CLEAN ALL DRAINAGE STRUCTURE SUMPS OF SEDIMENT AND DEBRIS. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY ADEQUATE USE OF WATER.



LEGEND	
	PROPERTY LINE
	EASEMENT
	EDGE OF PAVEMENT
	GRANITE VERTICAL CURB
	1' CONTOUR
	10' CONTOUR
	GAS LINE
	WATER LINE
	DRAIN PIPE
	OVERHEAD UTILITIES
	SEWER PIPE
	SILT FENCE
	LIMITS OF CONSTRUCTION
	CATCH BASIN
	UTILITY POLE
	SEWER MANHOLE
	FIRE HYDRANT
	WATER SHUTOFF
	WATER VALVE
	CONIFEROUS TREE
	DECIDUOUS TREE



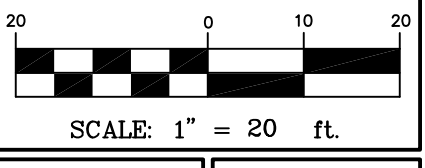
A.C.Engineering & Consulting
Civil Engineering & Land Planning

Phone: (603) 325-5114
aengineer@gsnet.net
43 Bear Hill Road
East Washington, N.H. 03280

NO.	DATE	DESCRIPTION	A.T.C.

OWNER & APPLICANT:
Lee B. Marden Revocable Trust of 2001
P.O. Box 1212
Concord, NH 03302
Book: 2720 / Page 541

DEMOLITION PLAN
134 Hall Street
Tax Map 5 / Block 1 / Lot 9
134 Hall Street ~ Concord, N.H.



DATE:
11/14/16

C-1

Map 5, Block 1, Lot 14
Lee B. Marden Revocable Trust of 2001
PO Box 1212
Concord, NH 03302
Vol. 3438, Page 40

[illegible]

PROPOSED 14,650 S.F.
METAL FRAME BUILDING
F.F. = 232.49'

102.6'

120'

24'

NEW MAILBOX LOCATIONS

* BENCHMARK *
MAG NAIL SET
IN POLE
ELEV = 231.03'

EXISTING		PROPOSED
	PROPERTY LINE	
	EASEMENT	
	BUILDING SETBACK	
	EDGE OF PAVEMENT	
	GRANITE VERTICAL CURB	
	2" CONTOUR LINE	
	10" CONTOUR LINE	
	GAS LINE	
	WATER LINE	
	DRAIN PIPE	
	OVERHEAD UTILITIES	
	SEWER PIPE	
	SOIL BOUNDARY	
	SILT FENCE	
	CONSTRUCTION CL.	
	CATCH BASIN	
	UTILITY POLE	
	SEWER MANHOLE	
	FIRE HYDRANT	
	WATER SHUTOFF	
	WATER VALVE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	

Concord
NH 03301

1. THE PURPOSE OF THIS PLAN IS TO SHOW A PROPOSED 14,650 S.F. COMMERCIAL ADDITION TO TAX MAP 5 / BLOCK 1 / LOT 38.
2. OWNER OF RECORD: LEE B. MARDEN REVOCABLE TRUST OF 2001, P.O. BOX 1212, CONCORD, N.H. 03302. BOOK 2720 / PAGE 541.
3. THERE ARE NO WETLANDS ON SITE IN THE AREA OF PROPOSED CONSTRUCTION ACTIVITIES.
4. THE PROJECT IS LOCATED WITHIN FLOOD HAZARD ZONE AS PER FLOOD INSURANCE RATE MAP CITY OF CONCORD N.H. PANEL 20 OF 20, COMMUNITY PANEL NO. 3301 10-0020-A.
5. FLOOD PLAIN ELEVATION IS 232.0' PER CITY OF CONCORD ENGINEERING DEPARTMENT.
6. THE PROPOSED BUILDINGS WILL BE EQUIPPED WITH FULL SPRINKLER FIRE PROTECTION.
7. THE PROPERTY WILL BE SERVICED BY CITY SEWER AND WATER.
8. IN ACCORDANCE WITH POLLUTANT ELIMINATION SYSTEM (NPDES) GENERAL DISCHARGES FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, THIS PROJECT WILL REQUIRE SUBMISSION OF A NOTICE OF INTENT (NOI) TO THE US EPA. THE NOI MUST BE SUBMITTED A MINIMUM OF TWO WEEKS PRIOR TO THE PRE-CONSTRUCTION MEETING WITH THE CITY. PER EPA RULES, CONSTRUCTION CANNOT BEGIN UNTIL 7 DAYS AFTER EPA HAS RECEIVED THE APPLICATION AND POSTED THE NOI ON THEIR WEBSITE.
9. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
10. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.

1. TOTAL LOT AREA: 218,515 S.F. ≈ 5.02 ACES
2. BUILDING & STRUCTURE COVERAGE: 64,650 S.F. (29.6%)
3. PARKING COVERAGE: 47,585 S.F. (21.8%)
4. OTHER IMPERVIOUS: 36,420 S.F. (16.7%)
5. TOTAL IMPERVIOUS AREA: 148,655 S.F. (68.0%)
6. NON-RESIDENTIAL BUILDING AREA: 64,650 S.F.
7. PARKING SPACE REQUIREMENTS:
 - MANUFACTURING/FABRICATION @ 1 SPACE/800 S.F.
 - 14,350 S.F. => 18 SPACES
 - CARETAKER SPACES => 2 SPACES
 - TOTAL SPACES REQUIRED = 20 SPACES
 - PROVIDED: 24 INCLUDING 2 VAN ACCESSIBLE

ZONING:	INDUSTRIAL (IN) & OPEN SPACE RESIDENTIAL (RO)		
USE:	INDUSTRIAL BUSINESS		
	REQ'D (IN)	REQ'D (RO)	PROPOSED
MINIMUM LOT SIZE	40,000 S.F.		218,515 S.F.
MINIMUM FRONTAGE	200'		248.60'
BUILDING SETBACKS			
• FRONT	50'	50'	50'
• REAR	30'	50'	50'
• SIDE	25'	40'	25'
PARKING SPACES	20		24
PARKING SETBACKS			
• FRONT	10'		10'
• REAR	5'		5'
• SIDE	5'		5'
LOT COVERAGE	85%		68%
BUILDING HEIGHT	55'		30'±

PERMIT	APPROVAL #	EXPIRATION
NPDES NOTICE OF INTENT	PENDING	

**A.C.Engineering
& Consulting**
Civil Engineering & Land Planning

43 Bear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
acengineer@gsinet.net

[illegible]

Lee B. Marden Revocable

Trust of 2001
P.O. Box 1212

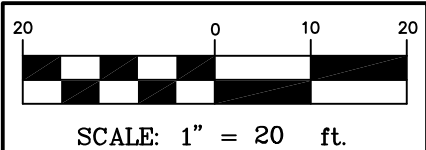
Concord, NH 03302

Book 2720 / Page 54

SITE PLAN

134 Hall Street

Tax Map 5 / Block 1 / Lot 9
134 Hall Street ~ Concord, N.H.



C-2

[illegible]

EXISTING		PROPOSED
	PROPERTY LINE	
	EASEMENT	
	BUILDING SETBACK	
	EDGE OF PAVEMENT	
	GRANITE VERTICAL CURB	
	2" CONTOUR LINE	
	10' CONTOUR LINE	
	GAS LINE	
	WATER LINE	
	DRAIN PIPE	
	OVERHEAD UTILITIES	
	SEWER PIPE	
	SOIL BOUNDARY	
	SILT FENCE	
	CONSTRUCTION CL.	
	CATCH BASIN	
	UTILITY POLE	
	SEWER MANHOLE	
	FIRE HYDRANT	
	WATER SHUTOFF	
	WATER VALVE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	

0"	VERY DARK GRAY (10YR 3/1) FINE SANDY LOAM GRANULAR, FRIABLE MANY FINE ROOTS
14"	OLIVE BROWN (2.5 Y 4/3) FINE SANDY LOAM, GRANULAR FRIABLE, MANY FINE ROOTS
58"	LIGHT OLIVE BROWN (2.5 Y 5/3) SILT, MASSIVE, PLIABLE
68"	

DATE: 2/21/17
 ESHWT: 36"
 OBSERVED WATER: 68"
 DEPTH OF ROOTS: 44"
 SURFACE VEGETATION: GRASS

DATE: 11/10/16
DEPTH: 24"
RATE: 3"/ HOUR

1. SEE EXISTING CONDITIONS PLAN FOR ADDITIONAL INFORMATION.
2. SEE DETAIL SHEET FOR EROSION CONTROL DETAILS.
3. SURVEY OF EXISTING CONDITIONS PROVIDED BY RICHARD D. BARTLETT & ASSOCIATES, INC.
4. OWNER OF RECORD: LEE B. MARDEN REVOCABLE TRUST OF 2001, P.O. BOX 1212, CONCORD, N.H. 03302.
5. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF CONCORD CONSTRUCTION SPECIFICATIONS.
6. THE CONTRACTOR SHALL REQUEST A PRECONSTRUCTION MEETING WITH ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, SCHEDULES, SPECIAL CONDITIONS, ETC.
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EXISTING ACCESS TO THE SITE CAN BE UTILIZED AS A CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

INSTALL SILT FENCE AT LIMITS OF EXCAVATION AND IN EXISTING SWALES. INSPECT AND MAINTAIN ON A DAILY BASIS. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, DAMAGE TO VEGETATION AND DAMAGE TO PROPERTIES OUTSIDE THE WORK AREA.

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ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM WITH NOT LESS THEN 2 TONS/ACRE OF AGRICULTURAL LIMESTONE, 500 LBS/ACRE OF 10-20-20 FERTILIZER AND 1.1 LBS OF SEED MIX PER 1000 SF. SEED MIXTURE SHALL BE:

PERMANENT	
TAIL FESCUE	~ .45 LBS
CREeping RED FESCUE	~ .45 LBS
BIRDsFOOT TREFOIL	~ .20 LBS
TEMPORARY	
ANNUAL RYE	~ 1.1 LBS

ALL DISTURBED AREAS SHALL HAVE TEMPORARY OR PERMANENT STABILIZATION WITHIN 21 DAYS OF INITIAL DISTURBANCE. AFTER THIS TIME, ANY DISTURBANCE MUST BE STABILIZED AT THE END OF EACH WORK DAY EXCEPT AS FOLLOWS:

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Map 5, Block 1, Lot 10
Amoskeag Beverages, LLC
510 Hall Street
Bow, NH 03304
Vol. 3334, Page 1465

1A OCCUR VERY FINE SANDY LOAM ~ 0-2% SLOPES
498A URBAN LAND - FOOTATUCK COMPLEX ~ 0-3% SLOPES
SOILS DERIVED FROM NRCS WEB SOIL SURVEY

BENCHMARK *
MAG NAIL SET
IN POLE
LEV = 231.03'



— STATE OF NEW HAMPSHIRE —
ANTHONY
T.
COSTELLO
No. 10020
LICENCED
PROFESSIONAL ENGINEER

**A.C.Engineering
& Consulting**
Civil Engineering & Land Planning

43 Bear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
acengineer@gsinet.net

[illegible]

OWNER & APPLICANT:

Lee B. Marden Revocable

Trust of 2001
P.O. Box 1212

Concord, NH 03302

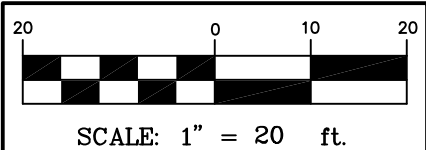
Book 2720 / Page 541

GRADING & UTILITY PLAN

34 Hall Street

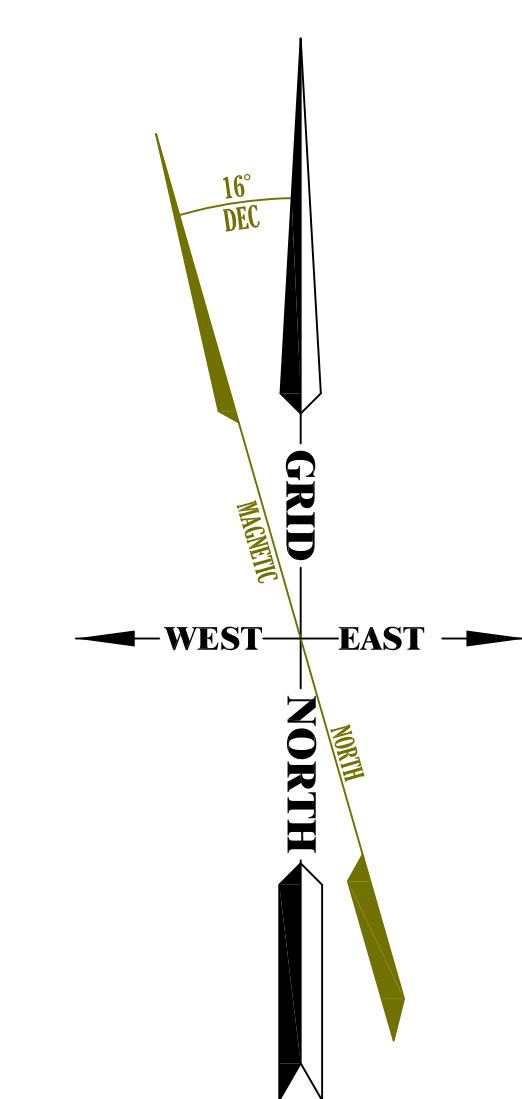
Tax Map 5 / Block 1 / Lot 9

134 Hall Street ~ Concord, N.H.




DATE:
11/14/16

C-3



NOTE:
ALL LIGHTING POLES AND FIXTURES SHALL HAVE A DARK BRONZE FINISH.

LUMINAIRE SCHEDULE								
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens	LLF	Watts
	WP	8	ALXW LED 1 25A400/51K SR4	LED WALLPACK WITH TYPE 4 DISTRIBUTION	N/A	Absolute	1.00	112.4

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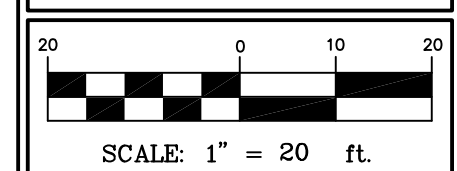
OWNER & APPLICANT:
Lee B. Marden Revocable
Trust of 2001
P.O. Box 1212
Concord, NH 03302
Book 2720 / Page 541

**LIGHTING &
LANDSCAPE PLAN**

134 Hall Street

Tax Map 5 / Block 1 / Lot 9

134 Hall Street ~ Concord, N.H.



DATE: 11/14/16 C-4



A.C.Engineering & Consulting

Civil Engineering & Land Planning

43 Bear Hill Road
East Washington, N.H. 03280
Phone: (603) 325-5114
acengineer@gsinet.net

70 New Road
Salisbury, NH 03268
tel/fax: 603.648.6434
web: www.g2plus1.com

Project Name:

134 Hall Street
Tax Map 5 Block 1 Lot 8
Concord, New Hampshire 03801

Applicant/Owner of Record:

Lee B. Marden Revocable
Trust of 2001

P.O. Box 1212
Concord, NH 03302
Book 2720 / Page 541

Project Engineer:

**A. C. Engineering
& Consulting**
Civil Engineering & Land Planning

43 Bear Hill Road Phone: (603) 325-5114
East Washington, NH 03280 acengineer@gsinet.net

For City Approval

registration:



revisions:

no.	date	issued
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8		

project number: 1291.0

scale: 1"=20'

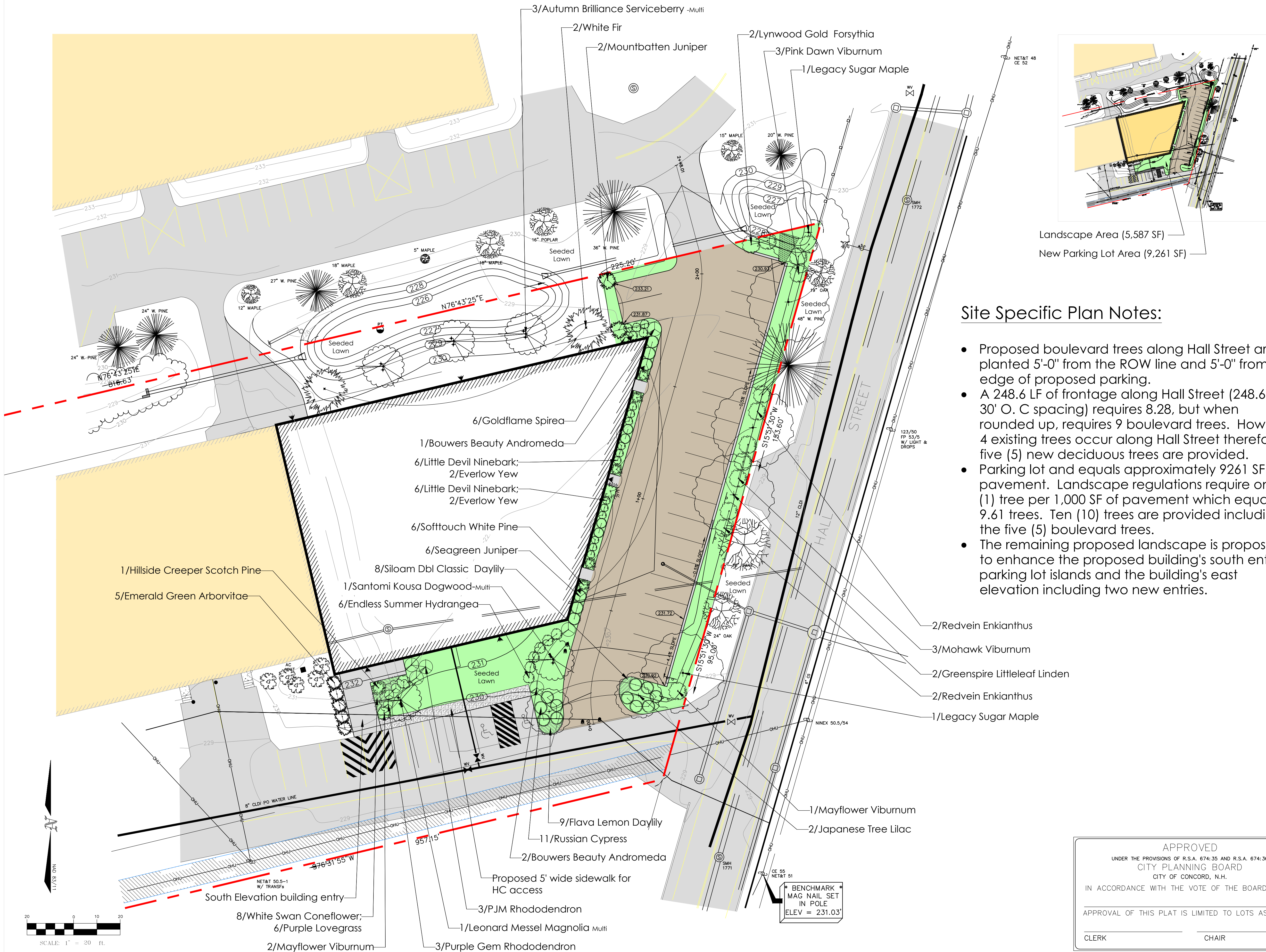
drawn by: dhg

date: 1/24/2017

sheet title/number:

Overall
Landscape Plan

LA-1.0



Site Specific Plan Notes:

- Proposed boulevard trees along Hall Street are planted 5'-0" from the ROW line and 5'-0" from edge of proposed parking.
- A 248.6 LF of frontage along Hall Street (248.6 LF / 30' O. C spacing) requires 8.28, but when rounded up, requires 9 boulevard trees. However 4 existing trees occur along Hall Street therefore five (5) new deciduous trees are provided.
- Parking lot and equals approximately 9261 SF of pavement. Landscape regulations require one (1) tree per 1,000 SF of pavement which equals 9.61 trees. Ten (10) trees are provided including the five (5) boulevard trees.
- The remaining proposed landscape is proposed to enhance the proposed building's south entry, parking lot islands and the building's east elevation including two new entries.

APPROVED	
UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36	
CITY PLANNING BOARD	
CITY OF CONCORD, N.H.	
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED	
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN	
CLERK	CHAIR

70 New Road
Salisbury, NH 03268
tel/fax: 603.648.6434
web: www.g2plus1.com

Project Name:

134 Hall Street
Tax Map 5 Block 1 Lot 8
Concord, New Hampshire 03801

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For City Approval

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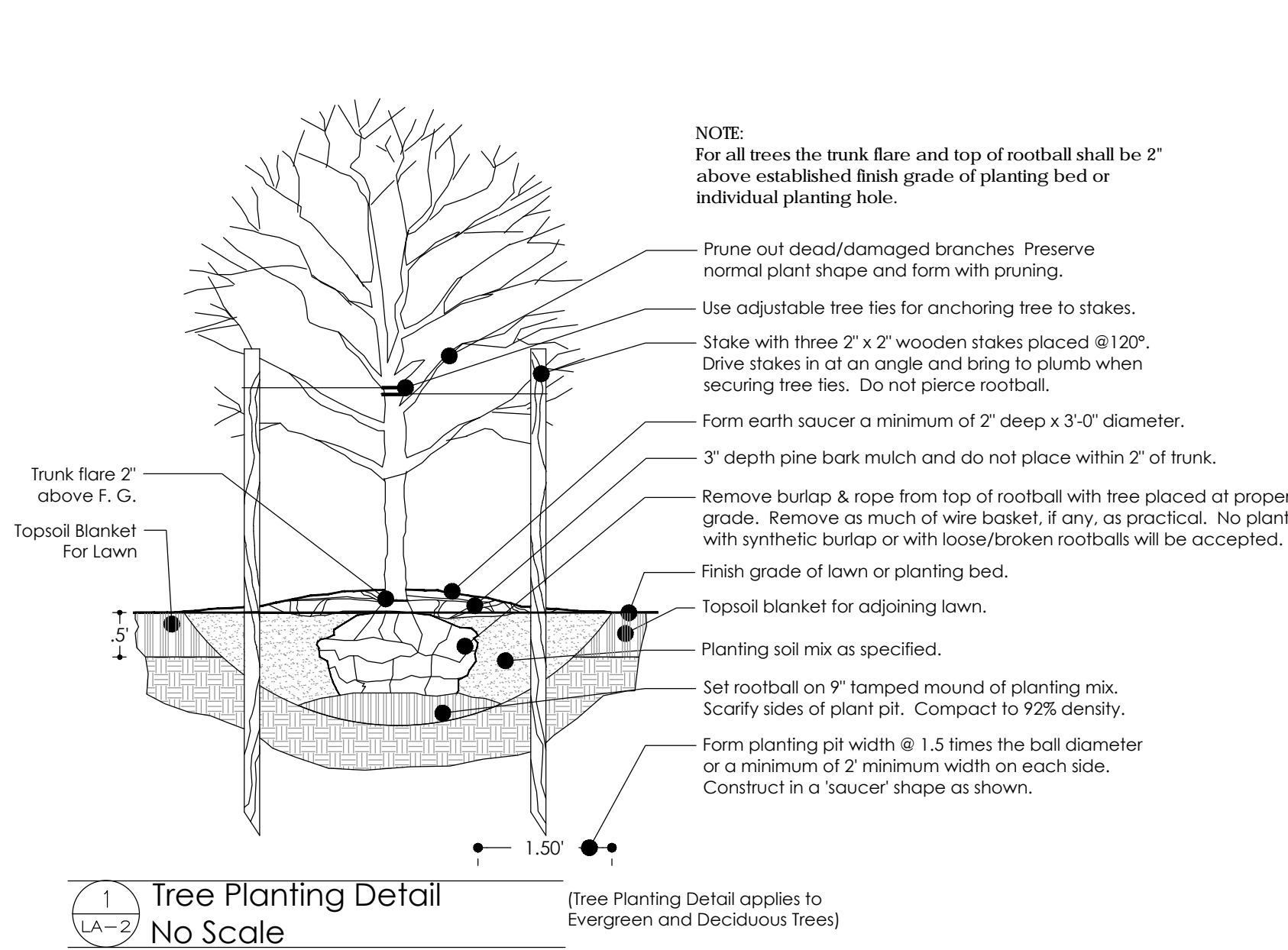
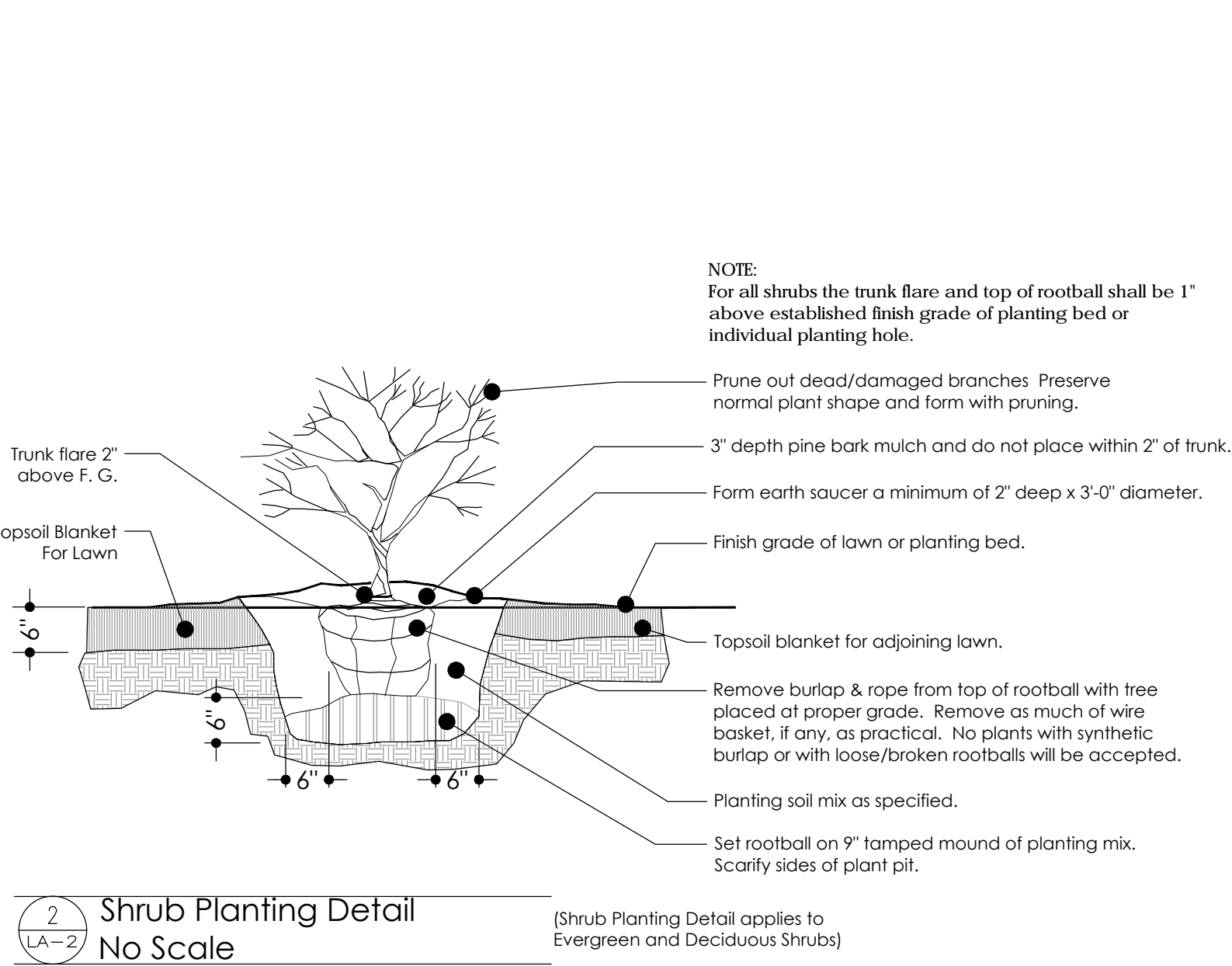
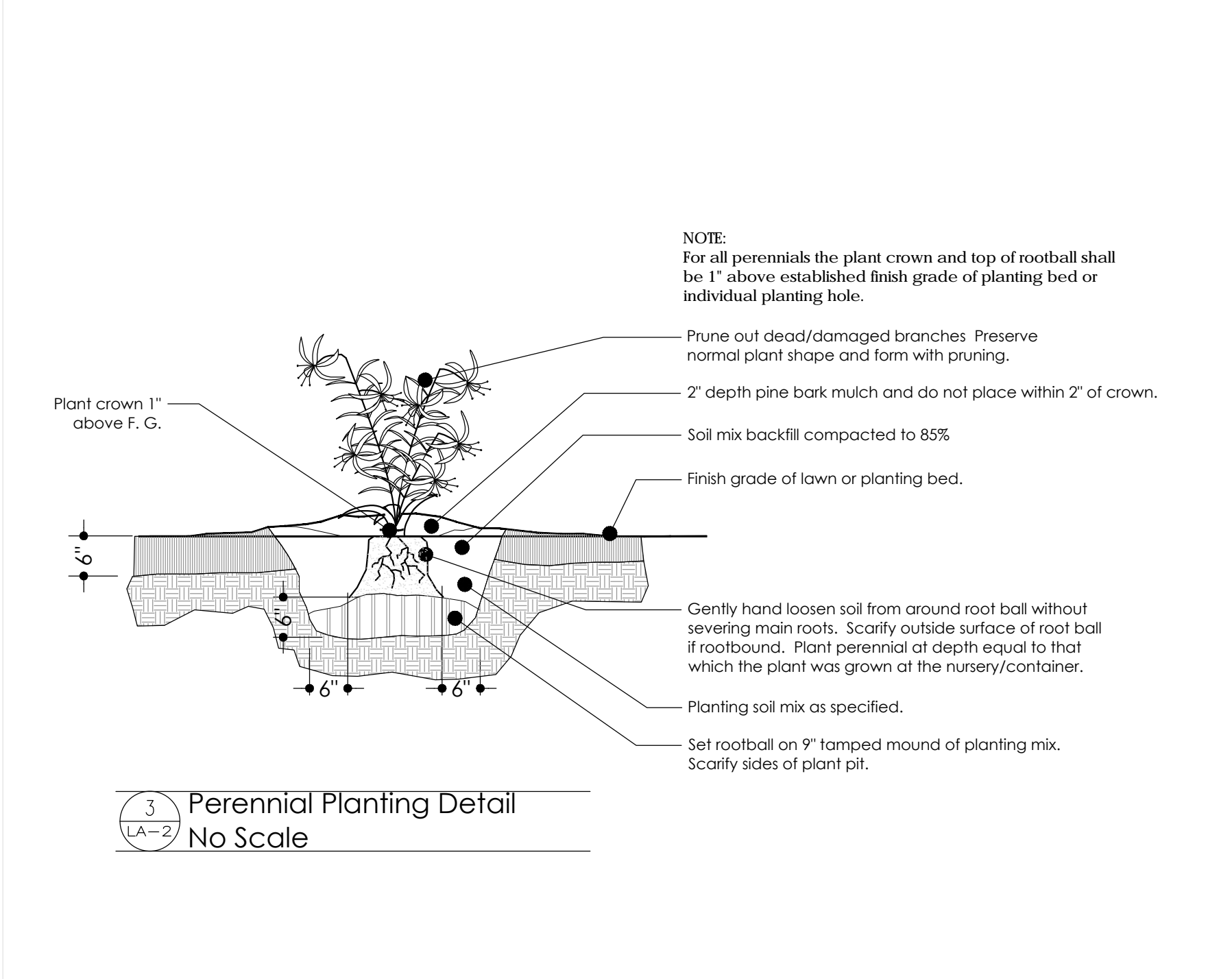
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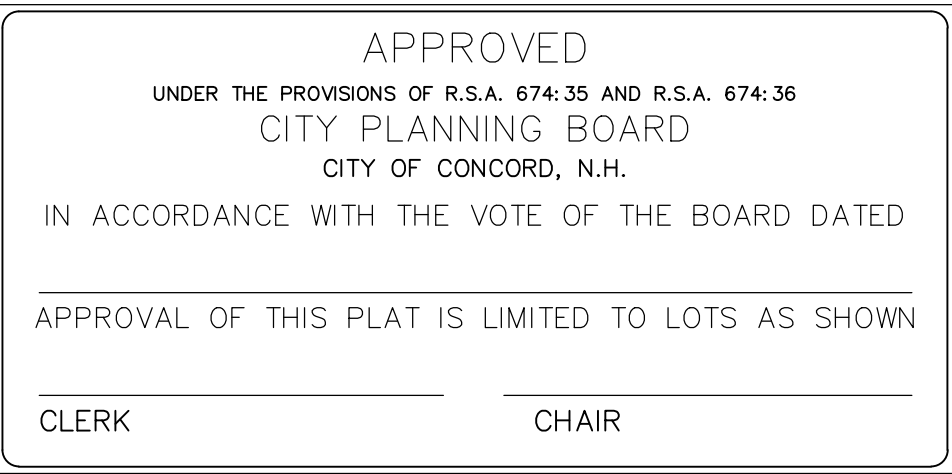
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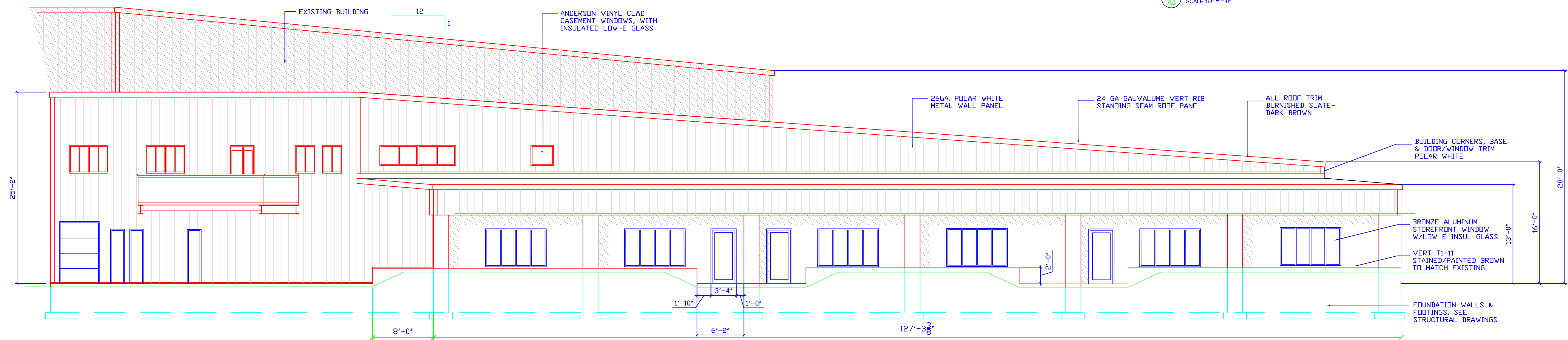
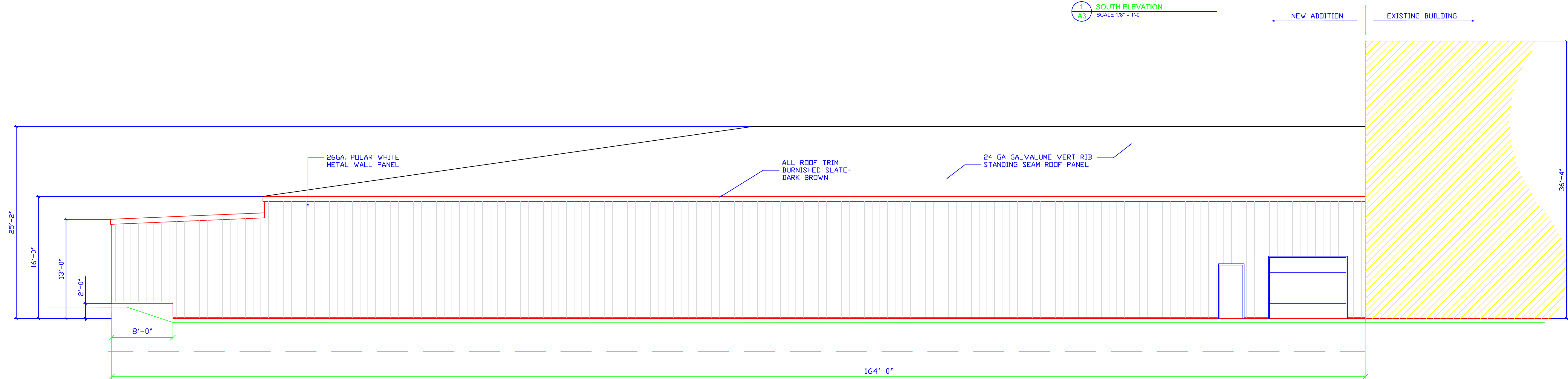
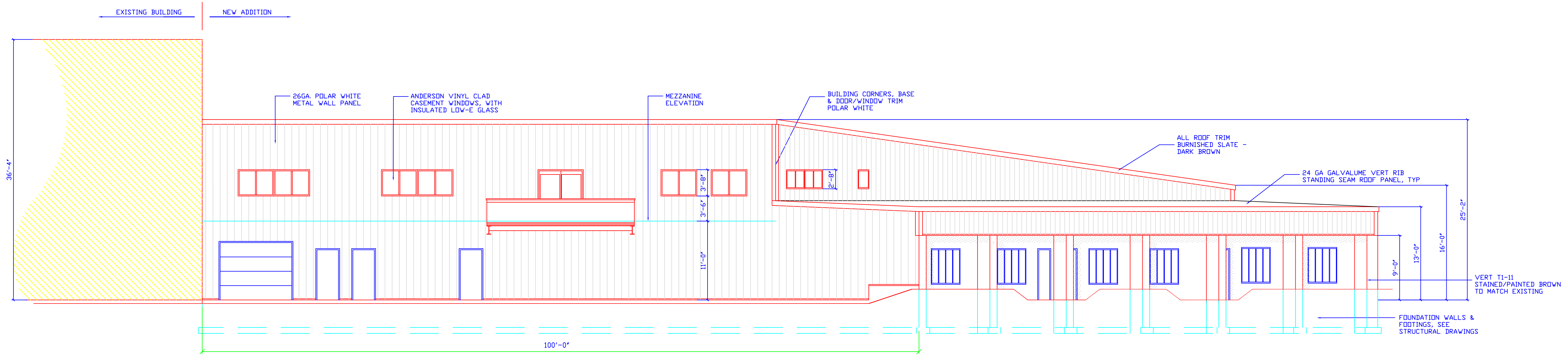
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Construction Details & Plant Schedule LA-1.1



Plant Schedule										1/24/2017
134 Hall Street Development Concord, NH										
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth Height	Spread	Installed Size	Type	Notes	
Large, Deciduous Trees										
LSM	2	Legacy Sugar Maple	Acer saccharinum 'legacy'	3	50-60'	35-40'	2-1/2-3" cal.	B&B	hardy, vigorous	
LLL	2	Greenspire Littleleaf Linden	Tilia cordata 'greenspire'	3	60-70'	30-45'	2-1/2-3" cal.	B&B	Good street tree, tolerates poor soil conditions	
Small, Accent Flowering Trees										
LMM	1	Leonard Messel Magnolia - MULTI	Magnolia loebneri 'leonard messel'	4	15-20'	10-15'	7'-8" ht.	B&B	Vigorous/hardy, star like petals	
JTL	2	Japanese Tree Lilac	Syringa reticulata	3	20-30'	15-25'	2-1/2-3" cal.	B&B	tough, full sun	
ABS	2	Autumn Brilliance Serviceberry	Amelanchier x grandiflora 'autumn brilliance'	4	25'	15-20'	7'-8" ht.	B&B	clump, shade tolerant	
SKD	1	Santomi Kousa Dogwood	Cornus kousa 'satomi'	5	15-20'	10-15'	7'-8" ht.	B&B	Reddish purple fall foliage, exfoliating bark	
Evergreen Trees & Accent Evergreens										
CNCF	2	White Fir	Abies concolor	3	30-50'	15-30'	6'-7" ht.	B&B	Soft blue green foliage	
EGA	5	Emerald Green Arborvitae	Thuja occidentalis 'smaragd'	3	15-20'	5-6'	6'-7" ht.	B&B	columnar, narrow base, shade tolerant	
MTB	2	Mountbatten Juniper	Juniperus chinensis 'mountbatten'	4	15'	6'	6'-7" ht.	B&B	columnar, unique spiral form	
Low, Evergreen Ground Cover										
HSCP	1	Hillside Creeper Scotch Pine	Pinus sylvestris 'hillside creeper'	3	1-2'	6-8'	3' spd.	B&B	Vigorous accent, Orange-brown bark	
STWP	6	Soft Touch White Pine	Pinus strobus 'soft touch'	3	2'	3-4'	3' spd.	CTN	Small Accent	
ELY	4	Ever-Low Yew	Taxus media 'ever-low'	4	1.5'	4-6'	18"-24" spd.	B&B	Hardy, shade tolerant	
SGJ	6	Sea Green Juniper	Juniperus chinensis 'sea green'	4	5'	6'	18"-24" spd.	CTN	Bright green, arching foliage, fountain like habit	
RSCP	11	Russian Cypress	Microbiata decussata	2	1-2'	4-5'	18"-24" spd.	CTN	Sun and Shade tolerant	
Accent/Flowering Evergreen Shrubs										
BBA	3	Brouwer's Beauty Andromeda	Pieris 'brouwer's beauty'	5	4-5'	4'-5'	2'-3' ht.	B&B	Very hardy, dense and compact growth	
PRG	3	Purple Gem Rhododendron	Rhododendron 'Purple gem'	4	2'	4'	3 gal.	CTN	full sun, hardy, low	
PJM	3	PJM Rhododendron	Rhododendron 'PJM'	4	6-8'	6'	3'-3 1/2' ht.	B&B	full sun, hardy	
Deciduous Flowering Shrubs										
GFS	6	Gold Flame Spirea	Spirea x bumalda 'gold flame'	4	2-3'	3-4'	18"-24" spd.	CTN	New foliage mottled with red/copper/orange	
FLH-3	6	Endless Summer Hydrangea	Hydrangea macrophylla 'blushing bride'	4	3-4'	3-4'	5 gal.	CTN	Sun and partial shade, winter hardy	
LDN	12	Little Devil Ninebark	Physocarpus opulifolius 'little devil'	3	3-4'	3-4'	5 gal.	CTN	sun, compact, rounded growth, Shade tolerant	
MFV	3	Mayflower Viburnum	Viburnum carlesii	4	6-8'	6-8'	3'-4' ht.	B&B	shade tolerant, wetland	
LNGF	2	Lynwood Gold Forsythia	Forsythia 'lynwood gold'	4	6-8'	3'-4'	ht.	B&B	sun, hardy	
RVE	4	Redvein Enkianthus	Enkianthus campanulatus	4	8-10'	6-8'	ht.	B&B	partial shade	
PNKV	3	Pink Dawn Viburnum	Viburnum bodnantense 'pink dawn'	3	10'	7'	3'-4' ht.	B&B	upright form	
MOV	3	Mohawk Viburnum	Viburnum burkwoodii 'mohawk'	4	6-8'	6-7'	3'-4' ht.	B&B	Hardy and fragrant	
Perennials/Seasonal Color										
S - Sun; S/Sh - Sun/Shade; S/PSh - Sun and Part Shade; PSh - Part Shade; PSh/Sh - Part Shade/Shade										
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth Height	Spread	Type	Size	Features Ht., Exposure, Bloom Period, Color	
GCA-3	9	Daylily	Hemerocallis flava - 'Lemon Lily'				1 yr. potted	2 qt	36"/S/PSH, June/July, Lemon Yellow	
GCA-9	8	Daylily	Hemerocallis flava 'Silkloom Dbl. Classic'				1 yr. potted	2 qt	18"/S/PSH, June, Double Soft Salmon Pink	
DCGR-4	6	Purple Lovegrass	Eragrostis spectabilis				1 yr. potted	2 gal	18"-24", S, Aug/Oct, bronze-red seed heads	
G.C.C-3	8	White Coneflower	Echinacea purpurea 'White Swan'				1 yr. potted	2 qt	18"-24"/S/PSH, June/Sept, White	
Lawns/Seeding										
O	SF	Seeded Fine Lawn	Fine Grade, fertilize, seed and Hydromulch (Kentucky Bluegrass and Creeping Red Fescue Blend)							
Notes:										
1.) All planting beds shall be mulched with a minimum of 3" of shredded pine bark mulch.										
2.) All sod and/or seeded lawn areas to have minimum 6" topsoil blanket.										
3.) All native grass seeded areas to have minimum 4" topsoil blanket.										
4.) All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-2006.										
5.) All mass planted shrub beds and planters around building shall receive a minimum 18" deep topsoil blanket to compensate for the very sandy/granular sub-grade material expected on this site. Topsoil shall meet requirements as called out in specifications.										





Scale 1/8"=1'

ELEVATIONS

LEE B. MARDEN REVOCABLE TRUST

CONCORD, N.H.

CONSTRUX,
INC.
...making things happen!

PLYMOUTH, N.H. 603-536-3533

A3