

FOR REGISTRY OF DEEDS USE ONLY

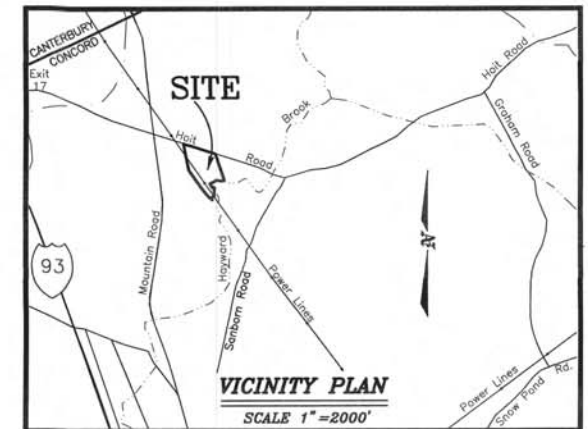
## OPEN SPACE CALCULATIONS

	REQUIRED	PROVIDED
TOTAL OPEN SPACE	(577,806 S.F.) X 50% = 288,903 S.F.	±405,418 S.F.
TOTAL BUILDABLE OPEN SPACE	(288,903 S.F.) X 40% = 115,561 S.F.	126,550 S.F.
TOTAL CONTIGUOUS BUILDABLE OPEN SPACE	(115,561 S.F.) X 50% = 57,780 S.F.	68,800 S.F.
CONTIGUOUS BUILDABLE OPEN SPACE WITH NO DIMENSION <100'		60,140 S.F.
MAXIMUM DENSITY	1 UNIT/AC. OF BUILDABLE LAND X 6 LOTS = 261,360 S.F.	285,217 S.F.

## BUILDABLE AREA

	LOT AREA	SLOPES >15%	WETLANDS	EASEMENTS/ BUFFERS	100 YR. FH	75' SP BUFFER	BUILDABLE AREA
ORIGINAL LOT 12	±577,806 S.F.	±114,300 S.F.	±137,825 S.F.	±167,000 S.F.	±103,000 S.F.	±82,000 S.F.	285,217 S.F.
NEW LOT #1	55,827 S.F.	0	0	35,473 S.F.	0	0	*20,354 S.F.
NEW LOT #2	31,860 S.F.	0	0	7,330 S.F.	0	0	*24,530 S.F.
NEW LOT #3	31,989 S.F.	0	0	5,450 S.F.	0	0	*26,539 S.F.
NEW LOT #4	32,118 S.F.	0	0	5,450 S.F.	0	0	*26,668 S.F.
NEW LOT #5	32,248 S.F.	0	0	5,450 S.F.	0	0	*26,798 S.F.
NEW LOT #6	61,175 S.F.	13,156 S.F.	797 S.F.	21,820 S.F.	0	0	34,140 S.F.
OPEN SPACE	±332,589 S.F. (REMAINDER OF LOT 12) + 50' PERIMETER BUFFERS (72,829 S.F.) =						±405,418 S.F. TOTAL

\*CONTIGUOUS



## NOTES

- THE PURPOSE OF THIS PLAN IS TO SUBDIVIDE LOT 12 AS SHOWN ON THE CITY OF CONCORD ASSESSOR'S MAP 122 BLOCK 3 INTO 6 RESIDENTIAL LOTS USING THE DESIGN STANDARDS OF THE CLUSTER DEVELOPMENT. LOT 12 CONTAINS APPROXIMATELY 13.26 AC.
- THE PARCEL SHOWN HEREON IS LOCATED IN THE "RM" MEDIUM RESIDENTIAL ZONING DISTRICT AS SHOWN ON THE CITY OF CONCORD ZONING MAP AND IS SUBJECT TO THE FOLLOWING DIMENSIONAL RESTRICTIONS FOR A CLUSTER DEVELOPMENT:

MINIMUM TRACT SIZE	10 AC.
MINIMUM TRACT FRONTAGE	200'
MAXIMUM DENSITY	1 UNIT/BUILDABLE AC.
MINIMUM OPEN SPACE	50% OF TRACT
MAXIMUM COVERAGE	20%
MINIMUM LOT SIZE	20,000 S.F. (BUILDABLE)
MINIMUM LOT FRONTAGE	100'
MINIMUM LOT SETBACKS:	
FRONT	25'
REAR	25'
SIDE	15'
BLUFF BUFFER	50'
WETLAND BUFFER	50'
MAXIMUM LOT COVERAGE	30%

PORTIONS OF THE SUBJECT TRACT FALL WITHIN THE SHORELAND OVERLAY DISTRICT ("SP") AND THE FLOOD HAZARD OVERLAY DISTRICT ("FH"), AND ARE SUBJECT TO THE BUFFERS AND REGULATIONS OF THOSE DISTRICTS.  
SHORELAND PROTECTION OVERLAY ZONE:  
75' NATURAL VEGETATIVE BUFFER  
150' WOODLAND BUFFER
- THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER 2016 USING A TOTAL STATION FOR TRAVERSE WHICH HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN NH CODE OF ADMINISTRATIVE RULES LAM 500.
- A PORTION OF LOT 12 LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED), AS DEPICTED ON THE FLOOD INSURANCE RATE MAP FOR MERRIMACK COUNTY MAP NO. 33013C0345E, WITH EFFECTIVE DATE OF APRIL 19, 2010. THE LINE SHOWN HEREON IS APPROXIMATE AS INTERPOLATED BASED ON THE FIRM MAP, FIELD TOPOGRAPHY PERFORMED AND CITY AERIAL TOPOGRAPHY. THE LAND BETWEEN HAYWARD BROOK AND THE FLOOD LINE IS WITHIN THE CITY OF CONCORD'S FLOOD HAZARD OVERLAY DISTRICT ("FH").
- THE HORIZONTAL DATUM IS NAD83/11 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN SEPTEMBER 2016 CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD.
- SHEETS 1 AND 2 SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS SHALL BE ON FILE WITH THE CITY OF CONCORD AND CONTAIN NO ADDITIONAL LAND TITLE INFORMATION.
- ALL LOTS IN THE SUBDIVISION WILL BE SERVED BY UNDERGROUND UTILITIES, INDIVIDUAL SEPTIC SYSTEMS AND WELLS.
- NDHES SUBDIVISION APPROVAL NO: 052
- THE WETLANDS SHOWN HEREON WERE DELINEATED BY TIMOTHY F. BERNIER, CWS #052 IN SEPTEMBER 2016 IN ACCORDANCE WITH ENV-WQ 1014.03.

## PLAN SET

SHEET 1: SUBDIVISION PLAN (TO BE RECORDED)  
SHEET 2: SUBDIVISION PLAN (TO BE RECORDED)  
SHEET 3: TOPOGRAPHIC PLAN  
SHEET 4: TOPOGRAPHIC PLAN WITH DETAILS  
SHEET 5: SITE LAYOUT PLAN  
SHEETS LA-1.0, LA-1.1, LA-1.2: LANDSCAPE PLANS & DETAILS

## SUBDIVISION PLAN

PREPARED FOR

**STRATEGIC CONTRACTING COMPANY, LLC**  
ASSESSOR'S MAP 122 BLOCK 3 LOT 12

**HOIT ROAD**  
**CONCORD, NEW HAMPSHIRE**

SCALE: 1"=50' \* DATE: SEPTEMBER, 2016

SHEET 1 OF 8

**T. F. BERNIER, INC.**  
Land Surveyors - Designers - Consultants

39 WARREN STREET - P.O. BOX 3464  
CONCORD, NEW HAMPSHIRE 03302-3464  
Tel:(603)224-4148 - Fax:(603)224-0507

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB	JRC	TFB	184	64	504-04
DRAWING NAME					
Subdivision_01					

MAP 123 BLOCK 1 LOT 18  
SYLVIA J. SPEAR  
540 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1273 PAGE 1102  
PLAN REFERENCE #6

MAP 123 BLOCK 1 LOT 20  
RUSSELL W. & KERRY A. BARTON  
57 HOIT ROAD  
CONCORD, NH 03301  
BOOK 2107 PAGE 816  
PLAN REFERENCE #5

MAP 123 BLOCK 1 LOT 2  
DAVID F. & MARY E. MAGGIONCALDA  
61 HOIT ROAD  
CONCORD, NH 03301  
BOOK 1343 PAGE 298  
PLAN REFERENCE #5

MAP 123 BLOCK 1 LOT 21  
PIERRE GIRARD & PATRICIA LABEL  
65 HOIT ROAD  
CONCORD, NH 03301  
BOOK 3208 PAGE 1990  
PLAN REFERENCE #5

HOIT ROAD R.O.W. 66', SEE  
M.C.R.D. BOOK 1278 PAGE 470  
AND PLAN REFERENCE #7

MAP 123 BLOCK 1 LOT 3  
JAY M. DANIELS & PATRICIA LANGFORD  
668 LOUDON RIDGE ROAD  
LOUDBON, NH 03307  
BOOK 3523 PAGE 2957  
PLAN REFERENCE #5

MAP 122 BLOCK 3 LOT 19  
BRIAN F. & JEANNE M. CHASE  
74 HOIT ROAD  
CONCORD, NH 03301  
BOOK 3457 PAGE 1791  
BOOK 1490 PAGE 591  
PLAN REFERENCE #1

MAP 122 BLOCK 3 LOT 8  
ROY H. & ROXANNE L. FARWELL  
516 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 3442 PAGE 1065  
SEE VOLUNTARY MERGER  
BOOK 2875 PAGE 1037

MAP 122 BLOCK 3 LOT 6  
RONALD L. & ROSANNE MARIE  
KUBERA MORREAU  
514 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 3524 PAGE 206

MAP 122 BLOCK 3 LOT 16  
HIRAM C. & MARYBETH H. MORRILL  
498 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1224 PAGE 16

## APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

**CITY PLANNING BOARD**

CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

## LEGEND

- ANGLE POINT
- GRANITE BOUND TO BE SET
- IRON ROD TO BE SET
- GRANITE / STONE BOUND
- IRON ROD FOUND
- IRON PIPE FOUND
- MAILBOX
- SIGN
- OLD BARBED WIRE FENCE FOUND
- UTILITY POLE W/ANCHOR
- MAPPED WETLAND
- EDGE OF PAVEMENT
- TREE LINE
- IRF IRON ROD FOUND
- IPF IRON PIPE FOUND

GRAPHIC SCALE

50 25 0 25 50 100



## PLAN REFERENCES

1. TAX MAP 122 BLOCK 3 LOT 19, BOUNDARY PLAN BY COURT DECREE PREPARED FOR BRIAN & JEANNE M. CHASE, LOCATED AT 74 HOIT ROAD, CONCORD, NH, SCALE: 1"=40', DATED OCTOBER 10, 2014 AND BEING PREPARED BY S & H LAND SERVICES, LLC AND RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN #201400016988.
2. SUBDIVISION PLAN, LAND OF BREEZY HILL LUMBER CO. INC. AND PAUL ROGERS, ASSESSOR'S MAP 122 BLOCK 3 LOTS 18 & 10, SANBORN ROAD, CONCORD, NH, OCTOBER 1998, SCALE: 1" = 60', LAST REVISED NOVEMBER 10, 1998, PREPARED BY THIS OFFICE AND RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN # 14675.
3. BOUNDARY PLAN PREPARED FOR F. DUENE COWAN AND GLENN F. & BARBARA A. MITERA LOCATED ON MOUNTAIN ROAD, ROUTE 132, CONCORD, NH, SCALE: 1"=50', DATED JULY 26, 1996 PREPARED BY RICHARD D. BARTLETT & ASSOCIATES AND RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 14334.
4. SUBDIVISION, SURVEYED FOR EDWARD F. & FLORA CHASE, CONCORD, NH DATED MARCH 26, 1979 SCALE 1" = 50', PREPARED BY E.F. CHASE OF CONCORD, NH AND RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 7828.
5. SUBDIVISION, SURVEYED FOR DONALD M. BRALEY, CONCORD, NH DATED AUGUST 1973, SCALE: 1" = 50', PREPARED BY E.F. CHASE OF CONCORD, NH AND RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 3469.
6. SURVEYED FOR FRED I. SPEAR CONCORD, MAP 123 LOT 8301-8301-B, SCALE: 1"=100' DATE: 20 SEPTEMBER 1984 & 30 MARCH 1987, PREPARED BY ERNEST VEINOTTE OF CONCORD, NEW HAMPSHIRE AND RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS AS PLAN NUMBER 9639.
7. CITY OF CONCORD ENGINEERING DEPARTMENT HOIT ROAD T.R.A. PROJECT "B" DATED JUNE 1972 SCALE: 1"=50', ON FILE AT THE CITY OF CONCORD ENGINEERING DEPARTMENT OR DEPARTMENT OF PUBLIC WORKS.

## APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36  
CITY PLANNING BOARD  
CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

## SUBDIVISION PLAN

PREPARED FOR

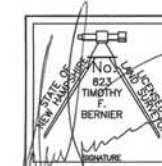
**STRATEGIC CONTRACTING  
COMPANY, LLC**

ASSESSOR'S MAP 122 BLOCK 3 LOT 12

**HOIT ROAD  
CONCORD, NEW HAMPSHIRE**

SCALE: 1"=50' \* DATE: SEPTEMBER, 2016

SHEET 2 OF 8



**OWNER OF RECORD**  
MAP 122 BLOCK 3 LOT 12  
STRATEGIC CONTRACTING COMPANY, LLC  
PO BOX 4766  
MANCHESTER, NH 03108  
BOOK 3528 PAGE 2025



2	OPEN SPACE AREA	2/13/17
1	REVISIONS PER PLANNING, RESUBMIT TO CITY 5 SHEETS & 3 LANDSCAPING	11/22/16
	ORIGINAL SUBMISSION TO CITY, 4 SHEETS	10/19/16
NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB	JRC	TFB	184	64	504-04
	DRAWING NAME				
	Subdivision_02				

## LEGEND

- ANGLE POINT
- GRANITE BOUND TO BE SET
- IRON ROD TO BE SET
- GRANITE / STONE BOUND
- IRON ROD FOUND
- ⊙ IRON PIPE FOUND
- ⊞ MAILBOX
- ⊞ SIGN
- ⊞ UTILITY POLE W/ANCHOR
- MAPPED WETLAND
- EDGE OF PAVEMENT
- TREE LINE

GRAPHIC SCALE

50 25 0 25 50 100

MAP 122 BLOCK 3 LOT 16  
HIRAM C. & MARYBETH H. MORRILL  
498 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1224 PAGE 16

UTILITY EASEMENT TO  
PUBLIC SERVICE COMPANY OF  
NEW HAMPSHIRE (EVERSOURCE),  
DATED OCTOBER 11, 1950,  
M.C.R.D. BOOK 688 PAGE 211

MAP 122 BLOCK 3 LOT 15  
ALVIN R. & YOLANDA JONES  
498 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1850 PAGE 968

MAP 122 BLOCK 3 LOT 14  
LEE G. LAJOIE  
494 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1833 PAGE 680

MAP 122 BLOCK 3 LOT 17  
DUENE F. & MARIANNE K. COWAN  
488 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 2030 PAGE 908  
PLAN REFERENCE #3

MAP 122 BLOCK 3 LOT 24  
FREDRICK D. & SUSAN L. KENISON  
81 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 2230 PAGE 1006  
PLAN REFERENCE #2

MAP 122 BLOCK 3 LOT 25  
PETER & CHRISTINE BARTLETT  
77 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 2184 PAGE 1506  
PLAN REFERENCE #2

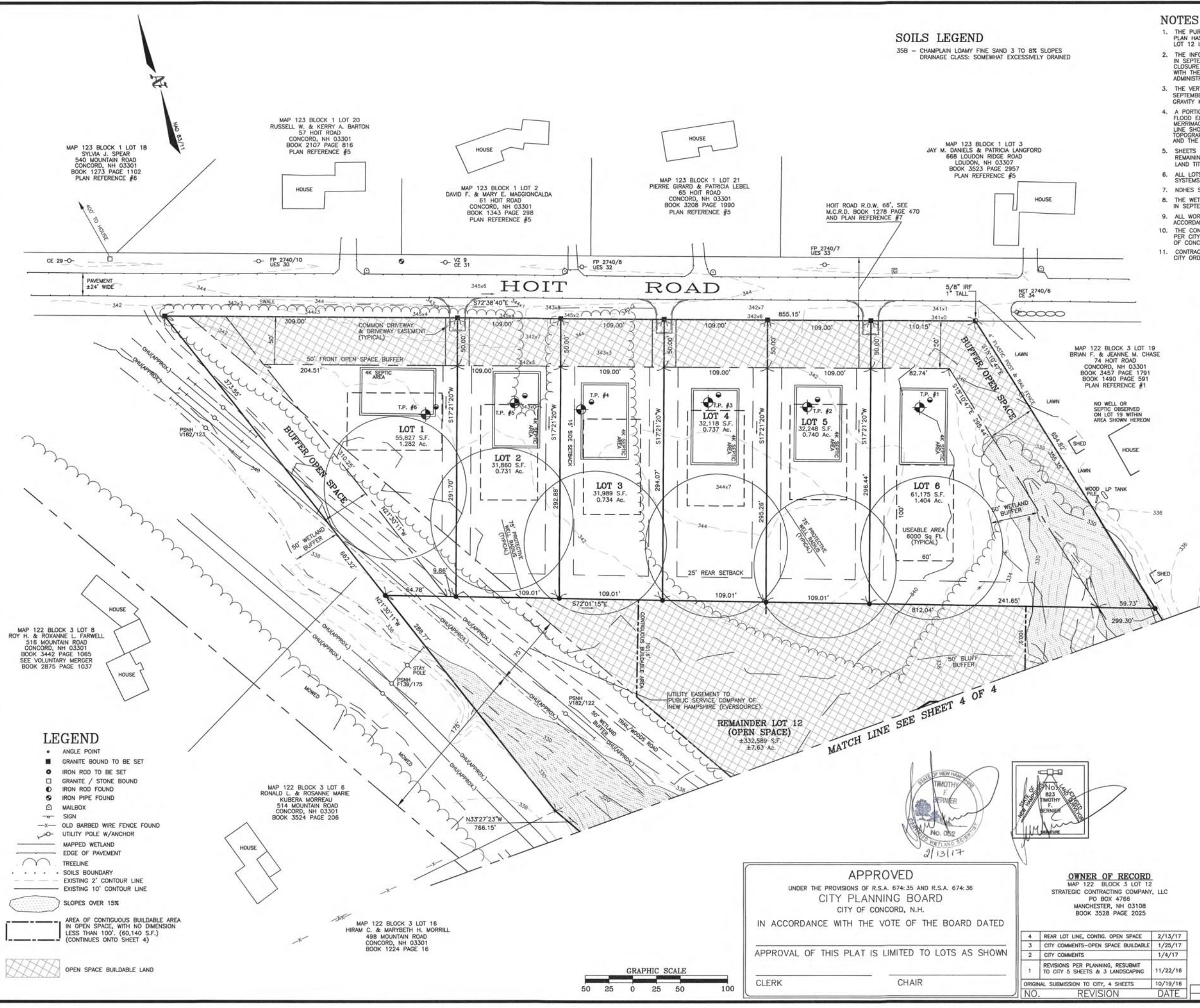
MAP 122 BLOCK 3 LOT 10  
JAMES C. & CHERIE L. SARATTE  
73 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 3361 PAGE 1391  
PLAN REFERENCE #2

MAP 122 BLOCK 3 LOT 19  
BRIAN F. & JEANNE M. CHASE  
74 HOIT ROAD  
CONCORD, NH 03301  
BOOK 3457 PAGE 1791  
BOOK 1490 PAGE 591  
PLAN REFERENCE #1

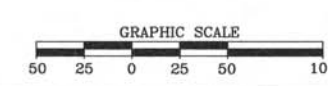
REMAINDER LOT 12  
(OPEN SPACE)  
±332,589 S.F.  
±7.63 Ac.

APPROXIMATE  
100 YEAR FLOOD  
LINE. SEE NOTE 4.

PROPERTY LINE ±1008'  
ALONG CENTERLINE  
OF HAYWARD BROOK  
TIE: S37°24'39"W 487.01'



- LEGEND**
- ANGLE POINT
  - GRANITE BOUND TO BE SET
  - IRON ROD TO BE SET
  - GRANITE / STONE BOUND
  - IRON ROD FOUND
  - IRON PIPE FOUND
  - MAILBOX
  - SIGN
  - OLD BARBED WIRE FENCE FOUND
  - UTILITY POLE W/ANCHOR
  - MAPPED WETLAND
  - EDGE OF PAVEMENT
  - TREELINE
  - SOILS BOUNDARY
  - EXISTING 2' CONTOUR LINE
  - EXISTING 10' CONTOUR LINE
  - SLOPES OVER 15%
  - AREA OF CONTIGUOUS BUILDABLE AREA IN OPEN SPACE, WITH NO DIMENSION LESS THAN 100'. (60,140 S.F.) (CONTINUES ONTO SHEET 4)
  - OPEN SPACE BUILDABLE LAND



**SOILS LEGEND**  
35B - CHAMPLAIN LOAMY FINE SAND 3 TO 8% SLOPES  
DRAINAGE CLASS: SOMEWHAT EXCESSIVELY DRAINED

- NOTES**
- THE PURPOSE OF THIS PLAN IS TO SHOW TOPOGRAPHY AND PHYSICAL FEATURES ON LOT 12. THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH SHEET 1 AND 2 TO SHOW THE SUBDIVISION OF LOT 12 INTO 6 SINGLE-FAMILY RESIDENTIAL LOTS IN A CLUSTER/OPEN SPACE SUBDIVISION.
  - THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER 2016 USING A TOTAL STATION FOR TRAVERSE WHICH HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN NH CODE OF ADMINISTRATIVE RULES LAR 506.
  - THE VERTICAL DATUM IS NAVD83 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN SEPTEMBER 2016, CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD, W/ GEOID 12A GRAVITY MODEL.
  - A PORTION OF LOT 12 LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED), AS DEPICTED ON THE FLOOD INSURANCE RATE MAP FOR MERRIMACK COUNTY MAP NO. 33013C0345E, WITH EFFECTIVE DATE OF APRIL 19, 2010. THE LINE SHOWN HEREON IS APPROXIMATELY AS INTERPOLATED BASED ON THE FIRM MAP, FIELD TOPOGRAPHY PERFORMED AND CITY AERIAL TOPOGRAPHY. THE LAND BETWEEN HAYWARD BROOK AND THE FLOOD LINE IS WITHIN THE CITY OF CONCORD'S FLOOD HAZARD OVERLAY DISTRICT ("FH").
  - SHEETS 1 AND 2 SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS SHALL BE ON FILE WITH THE CITY OF CONCORD AND CONTAIN NO ADDITIONAL LAND TITLE INFORMATION.
  - ALL LOTS IN THE SUBDIVISION WILL BE SERVED BY UNDERGROUND UTILITIES, INDIVIDUAL SEPTIC SYSTEMS AND WELLS.
  - NDHES SUBDIVISION APPROVAL NO.:
  - THE WETLANDS SHOWN HEREON WERE DELINEATED BY TIMOTHY F. BERNIER, CWS #052 IN SEPTEMBER 2016 IN ACCORDANCE WITH Env-Wq 1014.03.
  - ALL WORK COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
  - THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE IN THE ENGINEERING DEPT.) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
  - CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-8 TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.

**TEST PITS**  
OCTOBER 7, 2016

T.P. #1	0-10" 10YR 3/2 VERY DARK GRAYISH BROWN SANDY LOAM, LOOSE, GRANULAR	T.P. #4	0-10" 10YR 3/2 VERY DARK GRAYISH BROWN SANDY LOAM, LOOSE, GRANULAR
10-20"	10YR 6/8 BROWNISH YELLOW FINE SAND, LOOSE, GRANULAR	10-84"	2.5Y 6/4 LIGHT YELLOWISH BROWN COARSE SAND, LOOSE, GRANULAR
20-53"	10YR 5/8 YELLOWISH BROWN MEDIUM SAND, FRABLE, BLOCKY	ESHWIT > 84"	ROOTS > 60"
53-72"	6/3 BROWN SILTY LOAM, FRABLE, BLOCKY	NO WATER FOUND	NO LEDGE FOUND
ESHWIT = 53"	GRASS ROOTS ONLY	TERMINATED AT 84"	PERC RATE 2 MIN/INCH AT 40"
NO WATER FOUND			
NO LEDGE FOUND			
TERMINATED AT 72"			
PERC RATE 10 MIN/INCH AT 40"			
T.P. #2	0-10" 10YR 3/2 VERY DARK GRAYISH BROWN SANDY LOAM, LOOSE, GRANULAR	T.P. #5	0-9" 10YR 3/2 VERY DARK GRAYISH BROWN SANDY LOAM, LOOSE, GRANULAR
10-21"	10YR 6/8 BROWNISH YELLOW FINE SANDY LOAM, LOOSE, GRANULAR	9-84"	10YR 7/4 VERY PALE BROWN COARSE SAND, LOOSE, GRANULAR
21-82"	10YR 7/4 VERY PALE BROWN COARSE SAND, LOOSE, GRANULAR	ESHWIT > 84"	ROOTS > 48"
ESHWIT > 82"	GRASS ROOTS ONLY	NO WATER FOUND	NO LEDGE FOUND
NO WATER FOUND		TERMINATED AT 84"	PERC RATE 2 MIN/INCH AT 40"
NO LEDGE FOUND			
TERMINATED AT 82"			
PERC RATE 2 MIN/INCH AT 40"			
T.P. #3	0-8" 10YR 3/2 VERY DARK GRAYISH BROWN SANDY LOAM, LOOSE, GRANULAR	T.P. #6	0-8" 10YR 3/2 VERY DARK GRAYISH BROWN MEDIUM SANDY LOAM, LOOSE, GRANULAR
8-84"	10YR 7/4 VERY PALE BROWN COARSE SAND, LOOSE, GRANULAR	8-19"	10YR 7/6 YELLOW FINE SAND, FRABLE, BLOCKY
ESHWIT > 84"	GRASS ROOTS ONLY	19-38"	10YR 7/4 VERY PALE BROWN COARSE SAND, LOOSE, GRANULAR
NO WATER FOUND		38-72"	10YR 6/1 GRAY FINE LOAMY SAND, FRABLE, BLOCKY
NO LEDGE FOUND		ESHWIT = 38"	ROOTS TO 40"
TERMINATED AT 84"		NO WATER FOUND	NO LEDGE FOUND
PERC RATE 2 MIN/INCH AT 40"		TERMINATED AT 72"	PERC RATE 8 MIN/INCH AT 28"

**APPROVED**  
UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36  
**CITY PLANNING BOARD**  
CITY OF CONCORD, N.H.  
IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED  
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN  
CLERK \_\_\_\_\_ CHAIR \_\_\_\_\_

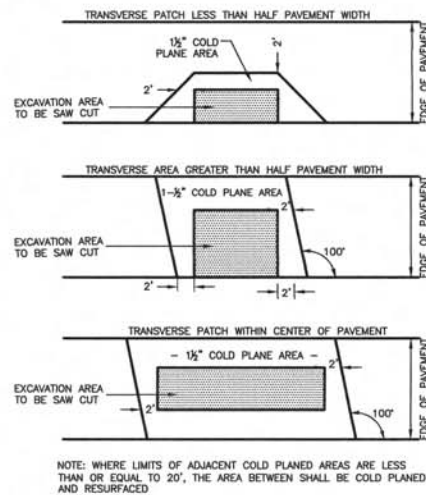
**OWNER OF RECORD**  
MAP 122 BLOCK 3 LOT 12  
STRATEGIC CONTRACTING COMPANY, LLC  
PO BOX 4766  
MANCHESTER, NH 03108  
BOOK 3528 PAGE 2025

4	REAR LOT LINE, CONTIG. OPEN SPACE	2/13/17
3	CITY COMMENTS-OPEN SPACE BUILDABLE	1/25/17
2	CITY COMMENTS	1/4/17
1	REVISIONS PER PLANNING, RESUBMIT TO CITY 5 SHEETS & 3 LANDSCAPING	11/22/16
ORIGINAL SUBMISSION TO CITY, 4 SHEETS		10/19/16
NO.	REVISION	DATE

**TOPOGRAPHIC PLAN**  
PREPARED FOR  
**STRATEGIC CONTRACTING COMPANY, LLC**  
ASSESSOR'S MAP 122 BLOCK 3 LOT 12  
**HOIT ROAD**  
**CONCORD, NEW HAMPSHIRE**  
SCALE: 1"=50' \* DATE: SEPTEMBER, 2016  
SHEET 3 OF 8

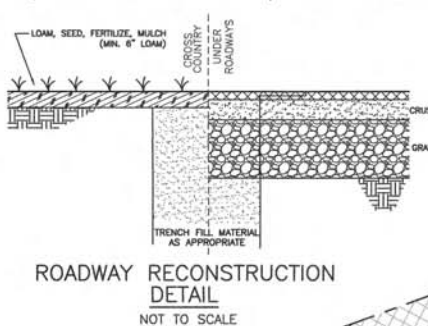
**T. F. BERNIER, INC.**  
Land Surveyors - Designers - Consultants  
39 WARREN STREET - P.O. BOX 3464  
CONCORD, NEW HAMPSHIRE 03302-3464  
Tel:(603)224-4148 - Fax:(603)224-0507

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB	JRC	TFB	184	64	504-04
DRAWING NAME					
Topographic_03					



PAVEMENT SAWCUT  
NOT TO SCALE

1. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS.
2. FOR RECONSTRUCTION OF EXISTING PAVED AREAS, PAVEMENT AND SUB-BASE DEPTHS SHALL MATCH THE EXISTING CONDITIONS.
3. MINIMUM PAVEMENT DEPTHS FOR NEW OR RECONSTRUCTED ROADWAYS SHALL BE AS FOLLOWS:



MAP 122 BLOCK 3 LOT 16  
HIRAM C. & MARYBETH H. MORRILL  
498 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1224 PAGE 16

UTILITY EASEMENT TO  
PUBLIC SERVICE COMPANY OF  
NEW HAMPSHIRE (EVERSOURCE),  
DATED OCTOBER 11, 1950,  
M.C.R.D. BOOK 688 PAGE 211

MAP 122 BLOCK 3 LOT 15  
ALVIN R. & YOLANDA JONES  
496 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1850 PAGE 968

MAP 122 BLOCK 3 LOT 14  
LEE G. LAJOIE  
494 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 1833 PAGE 680

MAP 122 BLOCK 3 LOT 17  
DUENE F. & MARIANNE K. COWAN  
488 MOUNTAIN ROAD  
CONCORD, NH 03301  
BOOK 2030 PAGE 908  
PLAN REFERENCE #3

MAP 122 BLOCK 3 LOT 24  
FREDRICK D. & SUSAN L. KENISON  
81 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 2230 PAGE 1006  
PLAN REFERENCE #2

MAP 122 BLOCK 3 LOT 25  
PETER & CHRISTINE BARTLETT  
77 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 2164 PAGE 1508  
PLAN REFERENCE #2

MAP 122 BLOCK 3 LOT 10  
JAMES C. & CHERIE L. SARATTE  
823 SANBORN ROAD  
CONCORD, NH 03301  
BOOK 3361 PAGE 1391  
PLAN REFERENCE #2

## LEGEND

- ANGLE POINT
- GRANITE BOUND TO BE SET
- IRON ROD TO BE SET
- GRANITE / STONE BOUND
- IRON ROD FOUND
- ⊙ IRON PIPE FOUND
- ⊞ MAILBOX
- SIGN
- UTILITY POLE W/ANCHOR
- MAPPED WETLAND
- EDGE OF PAVEMENT
- TREELINE
- SOILS BOUNDARY
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- SLOPES OVER 15%
- AREA OF CONTIGUOUS BUILDABLE AREA IN OPEN SPACE, WITH NO DIMENSION LESS THAN 100'. (60,140 S.F.)
- OPEN SPACE BUILDABLE LAND

## APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36  
CITY PLANNING BOARD  
CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED  
APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

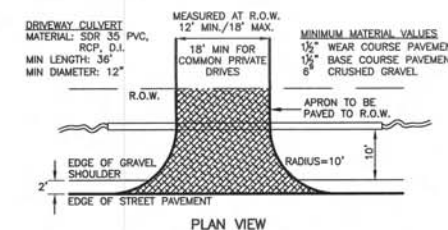
CHAIR

## SOILS LEGEND

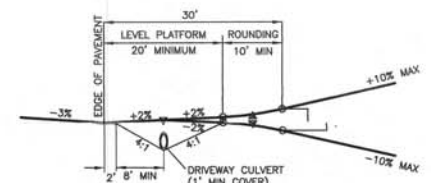
35B - CHAMPLAIN LOAMY FINE SAND 3 TO 8% SLOPES  
DRAINAGE CLASS: SOMEWHAT EXCESSIVELY DRAINED

## NOTES

1. PURPOSE OF THIS PLAN IS TO SHOW TOPOGRAPHY AND PHYSICAL FEATURES ON LOT 12. THIS PLAN HAS BEEN PREPARED IN CONJUNCTION WITH SHEET 1 AND 2 TO SHOW THE SUBDIVISION OF LOT 12 INTO 6 SINGLE-FAMILY RESIDENTIAL LOTS IN A CLUSTER/OPEN SPACE SUBDIVISION.
2. THE INFORMATION SHOWN HEREON IS FROM A FIELD SURVEY PERFORMED BY THIS OFFICE IN SEPTEMBER 2016 USING A TOTAL STATION FOR TRAVERSE WHICH HAS AN ERROR OF CLOSURE OF 1 PART IN 15,000 OR BETTER. THIS SURVEY WAS COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF A STANDARD PROPERTY SURVEY AS DEFINED IN NH CODE OF ADMINISTRATIVE RULES Lot 500.
3. THE VERTICAL DATUM IS NGVD88 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN SEPTEMBER 2016, CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD, W/ GEDID 12A GRAVITY MODEL.
4. A PORTION OF LOT 12 LIES WITHIN THE 100 YEAR FLOOD HAZARD ZONE "A" (NO BASE FLOOD ELEVATION DETERMINED), AS DEPICTED ON THE FLOOD INSURANCE RATE MAP FOR MERRIMACK COUNTY MAP NO 33013CD345E, WITH EFFECTIVE DATE OF APRIL 19, 2010. THE LINE SHOWN HEREON IS APPROXIMATE AS INTERPOLATED BASED ON THE FIRM MAP, FIELD TOPOGRAPHY PERFORMED AND CITY AERIAL TOPOGRAPHY. THE LAND BETWEEN HAYWARD BROOK AND THE FLOOD LINE IS WITHIN THE CITY OF CONCORD'S FLOOD HAZARD OVERLAY DISTRICT ("FH").
5. SHEETS 1 AND 2 SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS SHALL BE ON FILE WITH THE CITY OF CONCORD AND CONTAIN NO ADDITIONAL LAND TITLE INFORMATION.
6. THE WETLANDS SHOWN HEREON WERE DELINEATED BY TIMOTHY F. BERNIER, CWS #052 IN SEPTEMBER 2016 IN ACCORDANCE WITH Env-Wq 1014.03.



SECTION VIEW



RURAL RESIDENTIAL DRIVE  
DETAIL  
NOT TO SCALE

## NOTES:

1. BOUND TO BE VERTICAL AND SOIL COMPACTED WHEN SET.
  2. RIGHT-OF-WAY BOUNDS SHALL BE REINFORCED CONCRETE OR GRANITE, 4"x4"x3' MINIMUM IN SIZE.
  3. RIGHT-OF-WAY BOUNDS SHALL BE INSPECTED BY THE CITY OF CONCORD ENGINEERING SERVICES DIVISION.
- \*RIGHT-OF-WAY BOUNDS SHALL BE SET 1/4" TO 1" ABOVE GROUND IN RESIDENTIAL AREAS, 4" TO 6" ABOVE GROUND IN WOODED AREAS AND SLIGHTLY BELOW GRADE WHEN SET IN PAVEMENT.

R.O.W. BOUND DETAIL  
NOT TO SCALE

## TOPOGRAPHIC PLAN

PREPARED FOR

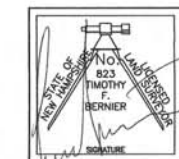
STRATEGIC CONTRACTING  
COMPANY, LLC

ASSESSOR'S MAP 122 BLOCK 3 LOT 12

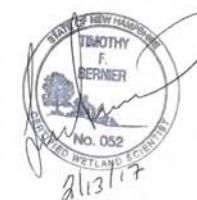
HOIT ROAD  
CONCORD, NEW HAMPSHIRE

SCALE: 1"=50' \* DATE: SEPTEMBER, 2016

SHEET 4 OF 8



OWNER OF RECORD  
MAP 122 BLOCK 3 LOT 12  
STRATEGIC CONTRACTING COMPANY, LLC  
PO BOX 4766  
MANCHESTER, NH 03108  
BOOK 3528 PAGE 2025



4	CONTIG. OPEN SPACE	2/13/17
3	CITY COMMENTS-OPEN SPACE BUILDABLE	1/25/17
2	CITY COMMENTS	1/4/17
1	REVISIONS PER PLANNING, RESUBMIT TO CITY 5 SHEETS & 3 LANDSCAPING	11/22/16
	ORIGINAL SUBMISSION TO CITY, 4 SHEETS	10/19/16
NO.	REVISION	DATE

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB	JRC	TFB	184	64	504-04
	DRAWING NAME				
	topographic_04				

## SOILS LEGEND

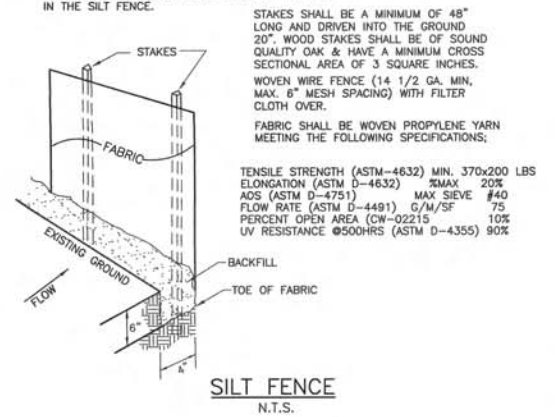
358 - CHAMPLAIN LOAMY FINE SAND 3 TO 8% SLOPES  
DRAINAGE CLASS: SOMEWHAT EXCESSIVELY DRAINED

## NOTES

1. THE PURPOSE OF THIS PLAN IS TO SHOW POSSIBLE HOUSE LAYOUTS AND DEVELOPMENT, WITH TYPICAL GRADING & DRAINAGE PATTERNS AND EROSION CONTROL.
2. THE VERTICAL DATUM IS NGVD83 BASED ON GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN SEPTEMBER 2016, CORRECTED TO THE N.H.D.O.T. BASE STATION IN CONCORD, NH/ GEOID 12A GRAVITY MODEL.
3. SHEETS 1 AND 2 SHALL BE RECORDED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THE REMAINING SHEETS SHALL BE ON FILE WITH THE CITY OF CONCORD AND CONTAIN NO ADDITIONAL LAND TITLE INFORMATION.
4. THE WETLANDS SHOWN HEREON WERE DELINEATED BY TIMOTHY F. BERNIER, CWS #052 IN SEPTEMBER 2016 IN ACCORDANCE WITH ENR-96-1014.03.
5. ALL WORK COMPLETED IN CONJUNCTION WITH THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
6. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE IN THE ENGINEERING DEPT.) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR A PERMIT.
7. CONTRACTOR SHALL APPLY FOR A DRIVEWAY PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-8 TO REPAIR, WIDEN, RECONSTRUCT OR CONSTRUCT A DRIVEWAY.
8. ALL AREAS OF TEMPORARY DISTURBANCE ASSOCIATED WITH CONSTRUCTION SHALL BE LOAMED & SEEDED WITH 6" OF LOAM IN ACCORDANCE WITH THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS AND/OR LANDSCAPED. BEST MANAGEMENT PRACTICES SHALL BE FOLLOWED.
9. PROTECTIVE FENCING SHALL BE PLACED AROUND THE PROPOSED LIMITS OF DISTURBANCE ON THE WOODED LOTS PRIOR TO CONSTRUCTION/LOGGING IN ORDER TO PROTECT VEGETATION TO REMAIN. ALL VEGETATION OUTSIDE OF THE LIMITS OF DISTURBANCE AS SHOWN HEREON IS TO REMAIN.
10. NO CULVERTS ARE PROPOSED IN ROADSIDE SWALE UNDER DRIVEWAYS. CONSTRUCTION DETAILS ON SHEET 4.
11. ALL LOTS IN THE SUBMISSION WILL BE SERVED BY UNDERGROUND UTILITIES, INDIVIDUAL SEPTIC SYSTEMS AND WELLS.
12. THE SHALLOW DEPRESSIONS SHOWN HEREON AND ON DRAINAGE AREA PLANS ARE TO REMAIN AS NATIVE VEGETATION.

## CONSTRUCTION NOTES:

1. FABRIC SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED AND STAPLED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



## LEGEND

- ANGLE POINT
- GRANITE BOUND TO BE SET
- GRANITE/STONE BOUND
- IRON ROD FOUND
- IRON PIPE FOUND
- MAILBOX
- SIGN
- OLD BARBED WIRE FENCE FOUND
- UTILITY POLE W/ANCHOR
- MAPPED WETLAND
- EDGE OF PAVEMENT
- TREELINE
- EXISTING 2' CONTOUR LINE
- EXISTING 10' CONTOUR LINE
- SLOPES OVER 15%
- PROPOSED PAVED DRIVEWAY
- P-UGU— PROPOSED UNDERGROUND ELEC. TEL. CABLE
- W— PROPOSED WATER LINE
- PROPOSED SILT FENCE
- LIMIT OF PROPOSED DISTURBANCE/GRADING/NEW TREELINE. SILT FENCE AND OR PROTECTIVE FENCING IS TO BE PLACED TO PROTECT EXISTING VEGETATION OUTSIDE OF THE LIMITS OF CONSTRUCTION.
- 345x3 EXISTING GRADE
- 344.5 PROPOSED GRADE
- △ SHALLOW DEPRESSION EXISTING OR FORMED BY NEW CONSTRUCTION/GRADING/LANDSCAPING

REMAINDER LOT 12  
(OPEN SPACE)

## APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD  
CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

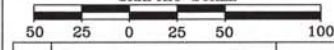
CLERK

CHAIR

## OWNER OF RECORD

MAP 122 BLOCK 3 LOT 12  
STRATEGIC CONTRACTING COMPANY, LLC  
PO BOX 4786  
MANCHESTER, NH 03108  
BOOK 3528 PAGE 2025

## GRAPHIC SCALE



NO.	REVISION	DATE
2	CITY COMMENTS	1/25/17
2	CITY COMMENTS	1/4/17

DESIGNED BY	DRAWN BY	CHECKED BY	F.B.	PG.	JOB #
TFB	TFB/JRC	TFB	184	64	504-04

## SITE DEVELOPMENT PLAN

PREPARED FOR

STRATEGIC CONTRACTING  
COMPANY, LLC

ASSESSOR'S MAP 122 BLOCK 3 LOT 12

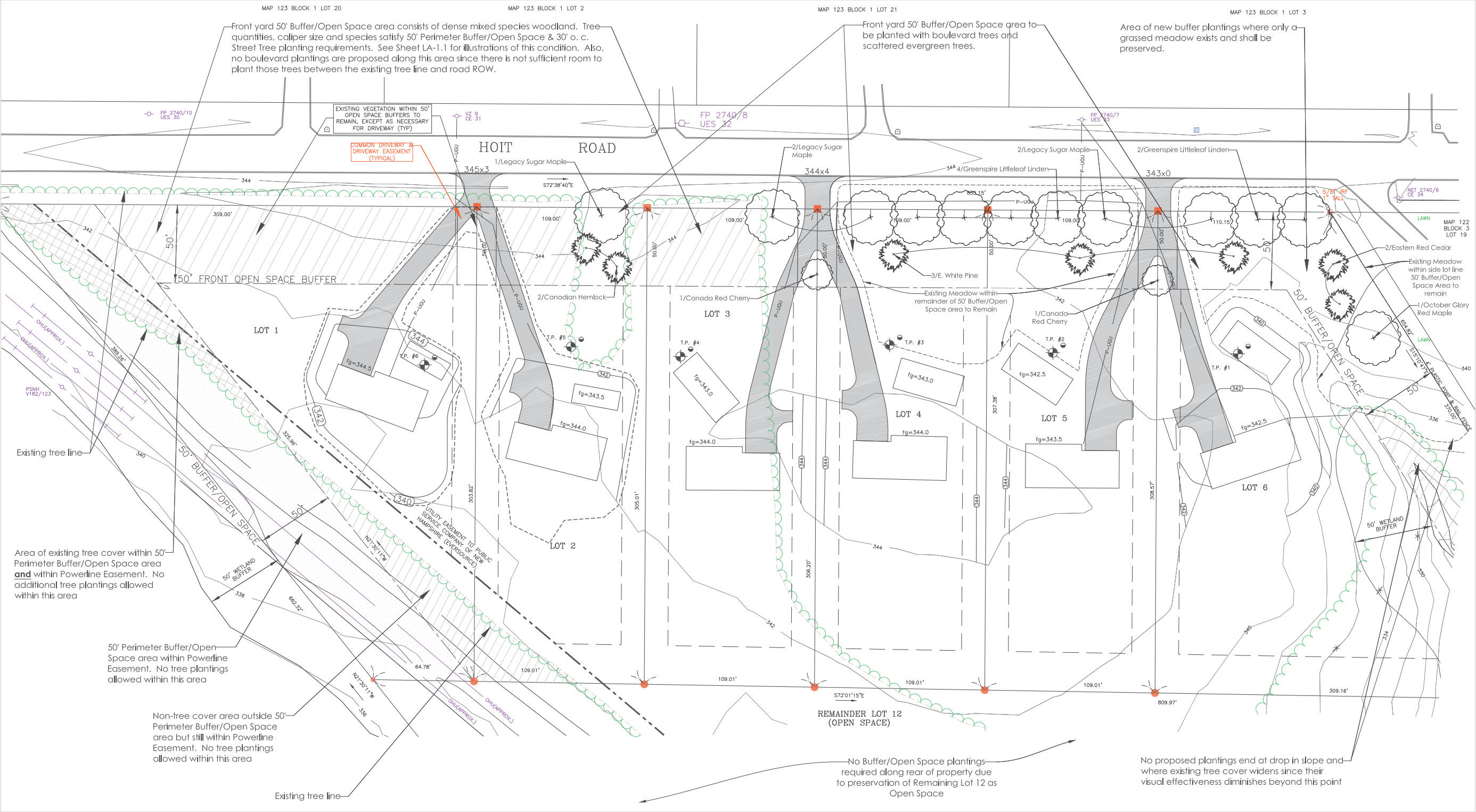
HOIT ROAD  
CONCORD, NEW HAMPSHIRE

SCALE: 1"=50' \* DATE: NOVEMBER 2016

SHEET 5 OF 8

T. F. BERNIER, INC.  
Land Surveyors - Designers - Consultants

39 WARREN STREET - P.O. BOX 3464  
CONCORD, NEW HAMPSHIRE 03302-3464  
Tel: (603) 224-4148 - Fax: (603) 224-0507



Site Specific Plan Notes:

- Proposed boulevard trees along Hoit Road are planted 5'-0" from the ROW line within the property since there is no boulevard landscape panel and the area from the edge of pavement to the ROW line is an existing drainage swale.
- A landscape buffer proposed along the east side of the subject property will consist of two evergreen trees and a deciduous tree within an existing grass meadow that shall be preserved.
- A 310 LF section along Hoit Road (360 LF - 50 LF for two driveway access easements) requires 10.33 boulevard trees at 30' O. C. spacing. Eleven (11) deciduous trees are provided.
- We propose to preserve a portion of the Front Yard Landscape Buffer as existing grass meadow in conjunction with the eleven boulevard trees.

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK \_\_\_\_\_ CHAIR \_\_\_\_\_

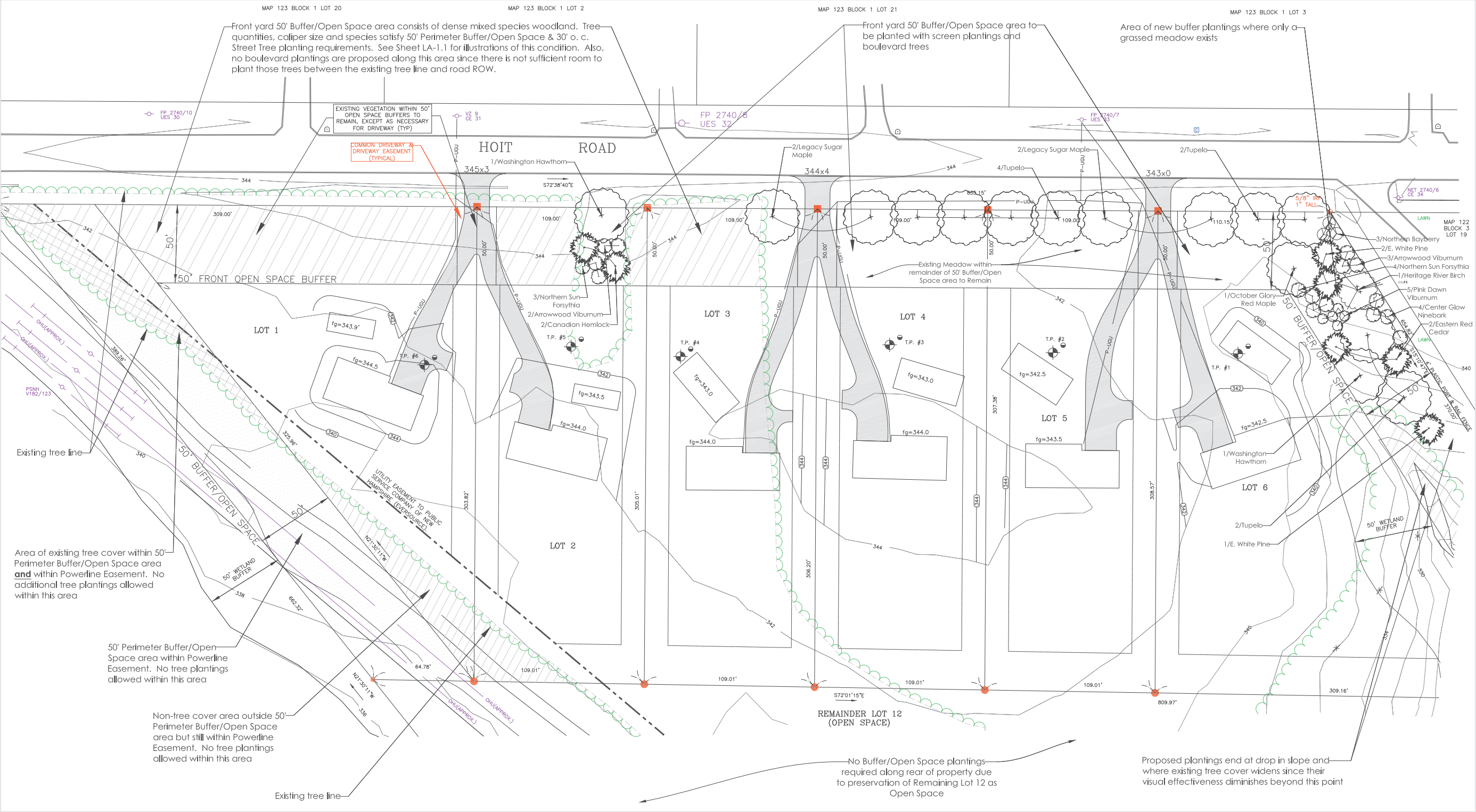
revisions:	
no.	date
1	1/4/17
2	
3	
4	
5	
6	
7	
8	

project number: 1287.0  
scale: 1" = 30'  
drawn by: dhg  
date: 12/5/2016

sheet title/number:

Overall  
Landscape Plan

LA-1.0



Site Specific Plan Notes:

- Proposed boulevard trees along Hoit Road are planted 5'-0" from the ROW line within the property since there is no boulevard landscape panel and the area from the edge of pavement to the ROW line is an existing swale drainage.
- A landscape buffer is proposed along the east side of the subject property and consists of a mixture of native deciduous trees/ shrubs and evergreen trees/shrubs where a grass meadow now exists.
- A 310 LF section along Hoit Road (360 LF - 50 LF for two driveway access easements) requires ten (10) boulevard trees at 30' O. C. spacing. Ten (10) deciduous trees are provided.
- We propose to preserve a portion of the Front Yard Landscape Buffer as existing grass meadow in conjunction with the ten boulevard trees.

November Submission

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

revisions:	
no.	date
1	
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4	
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7	
8	

project number: 1287.0

scale: 1" = 30'

drawn by: dhg

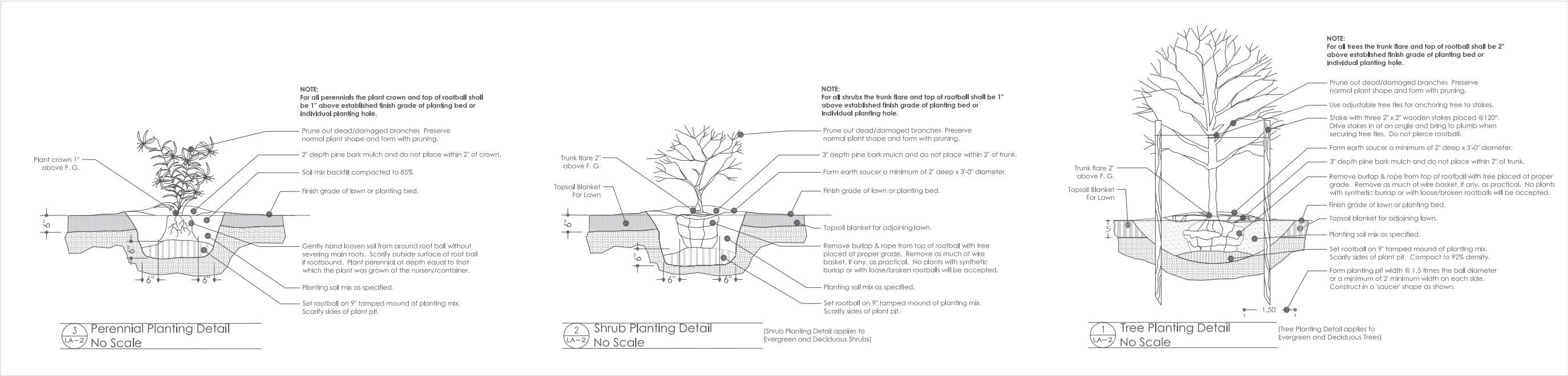
date: 12/5/2016

sheet title/number:

Overall

Landscape Plan

LA-1.0



Plant Schedule										12/5/2016
Hoit Road Cluster Subdivision										REV: 1/4/2017
Concord, New Hampshire										
Sym	Qty	Common Name	Botanical Name	Zone	Habit of Growth		Installed Size	Type	Notes	
					Height	Spread				
Large, Deciduous Trees										
LSM	5	Legacy Sugar Maple	Acer saccharinum 'legacy'	3	50-60'	35-40'	2-1/2"-3" cal.	B&B	hardy, vigorous	
TUP	6	Greenspire Littleleaf Linden	Tilia cordata 'greenspire'	3	60-70'	30-45'	2-1/2" cal.	B&B	Good street tree, tolerates poor soil conditions	
OGM	1	October Glory Red Maple	Acer rubrum 'october glory'	3	50'	35-40'	2-1/2"-3" cal.	B&B	hardy	
Small, Accent Flowering Trees										
CRC	2	Canada Red Cherry	Prunus virginiana 'schubert'	2	20-30'	15-20'	2-1/2" cal.	B&B	Uniform crown, Good accent	
Evergreen Trees & Accent Evergreens										
CNH	2	Canadian Hemlock	Tsuga canadensis	3	40-70'	25-35'	6-7' ht.	B&B	shade tolerant, native	
EWP	3	Eastern White Pine	Pinus strobus	3	60'	30-40'	6-7' ht.	B&B	sun, adaptive, native	
ERC	2	Eastern Red Cedar	Juniperus virginiana	4	30-40'	15-20'	6-7' ht.	B&B	Picturesque with age, native	
Lawns/Seeding										
	0 SF	Seeded Fine Lawn	Fine Grade, fertilize, seed and Hydromulch (Kentucky Bluegrass and Creeping Red Fescue Blend)							
Notes:										
1.) All planting beds shall be mulched with a minimum of 3" of shredded pine bark mulch.										
2.) All sod and/or seeded lawn areas to have minimum 6" topsoil blanket.										
3.) All native grass seeded areas to have minimum 4" topsoil blanket.										
4.) All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-2006.										
5.) All mass planted shrub beds and planters around building shall receive a minimum 18" deep topsoil blanket to compensate for the very sandy/granular sub-grade material expected on this site. Topsoil shall meet requirements as called out in specifications.										

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERK

CHAIR

Planting Notes

1. Design is based on drawings by T. F. Bernier, Inc., dated November 11, 2016 and may require adjustment due to actual field conditions.
2. This project shall comply with the City of Concord NH Construction Standards and Details.
3. The contractor shall follow best management practices during construction and shall take all means necessary to stabilize and protect the site from erosion
4. Erosion Control shall be in place prior to construction.
5. If discrepancies exist between the number of plants drawn on the planting plan and the number of plants in the plant list, the planting plan shall govern.
6. All new plant material shall conform to the minimum guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition all new plant material for the project shall be of specimen quality.
7. All new plants to be balled and burlapped or container - grown, unless otherwise noted on the plant list. All plants shall be legibly tagged with the proper botanical name.
8. The contractor shall supply all new plant material in quantities sufficient to complete the planting shown on the drawings.
9. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower leaf, color, fruit and culture, and only after written approval of the Landscape Architect.
10. Contractor shall locate and verify all existing utility lines prior to planting and shall report any conflicts to the Landscape Architect.
11. Stake the location of all proposed plantings for approval by Landscape Architect prior to the commencement of planting.
12. New shrubs and ground cover shall bear the same relationship to grade as it bore to previous grade. Trees shall be set 2" higher than previous grade. No trees shall be planted before acceptance of rough grading.
13. All plant beds to receive two inches (3") of bark mulch. Bark mulch shall be one year old, well composted, shredded native bark not longer than 4" in length and ½" in width, free of woodchips and sawdust. Mulch for ferns and herbaceous perennial shall be no longer than 1" in length. Trees in lawn areas shall be mulched in a 6' diameter minimum saucer. Color of mulch shall be dark brown. Red, orange/red or black colored mulch is not acceptable.
14. Landscape (weed) fabric is not allowed.
15. All existing trees to remain shall be properly protected during construction. Protection techniques shall be reviewed and approved by the Landscape Architect.
16. Prune trees in accordance to guidelines established for nursery stock published by the American Association of Nurserymen, Inc.
17. All disturbed areas will be dressed with 6" of topsoil and planted as noted on the plans or seeded except plant beds. Plant beds shall be prepared to a depth of 12" with 75% loam and 25% of ¼" minus composted bark mulch compost.
18. All alterations to these drawings made in the field during construction shall be recorded by the contractor on "as-built drawings."
19. There shall be a full one (1) year replacement guarantee for all trees and shrubs after final acceptance of initial planting.
20. Existing grass meadow proposed to be preserved shall be mowed in late fall with brushhog mower or other suitable equipment. Mowing shall not be done in Spring so as to protect and to prevent nesting birds from being injured.

70 New Road  
Salisbury, NH 03268  
tel/fax: 603.648.6434  
web: www.g2plus1.com

Project Name:

Hoit Road Cluster Housing  
Assessor Map 122 Block 3 Lot 12  
Hoit Road  
Concord, New Hampshire 03801

Applicant/Owner of Record:

Strategic Contracting  
Company, LLC

P.O. Box 4766  
Manchester, NH 03108

Project Engineer:



For City Approval

registration:



revisions:

no.	date	issued
1	1/4/17	Proposed plantings revised
2		per discussions with City
3		
4		
5		
6		
7		
8		

project number: 1287.0

scale: NA

drawn by: dhg

date: 12/5/2016

sheet title/number:

Plant Schedule &  
Construction  
Details  
LA-1.2



Illustration of drainage swale along Holt Road and edge of existing trees & understorey along road. No room for boulevard trees along this edge.



Panoramic view of existing trees within 50' Front Landscape Buffer. Tree density, aggregate callper and species mix satisfy buffer requirement. No additional plantings required in this area.



Panoramic view across existing grass meadow on East side of subject property and view of boundary along adjoining residential property. A landscape buffer is proposed along this edge and its 50' Buffer/Open space area. It will consist of a mixture of native deciduous trees/shrubs and evergreen trees/shrubs in a naturalistic pattern.



The 50' B/Open Space area drops down slope in this area and behind a wedge shaped area of existing trees. Planting new trees within the buffer beyond this point offers little additional screening value because of the drop in grade and screening of existing trees.



Existing trees providing screening at northwest, west and southwest corner of subject property along adjoining high voltage power line and related easement. See Overall Landscape plan Sheet LA-1.0 for illustration of overlapping layout of side yard 50' Buffer/Open space area, edge of existing tree cover and power line easement. No new plantings are allowed within the power line easement while a good measure of this side yard is screened with existing tree cover.

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 AND R.S.A. 674:36

CITY PLANNING BOARD

CITY OF CONCORD, N.H.

IN ACCORDANCE WITH THE VOTE OF THE BOARD DATED

APPROVAL OF THIS PLAT IS LIMITED TO LOTS AS SHOWN

CLERKCHAIR

70 New Road  
Salisbury, NH 03268  
tel/fax: 603.648.6434  
web: www.g2plus1.com

Project Name:

Holt Road Cluster Housing  
Assessor Map 122 Block 3 Lot 12  
Holt Road  
Concord, New Hampshire 03801

Applicant/Owner of Record:

Strategic Contracting  
Company, LLC  
P.O. Box 4766  
Manchester, NH 03108

Project Engineer:

T.B.

T. F. BERNIER, INC.  
Landscape Architects - Engineers - Planners  
30 WARREN STREET P.O. BOX 3464  
CONCORD, NEW HAMPSHIRE 03302-3464  
tel:(603)224-4148 Fax:(603)224-0507

For City Approval

registration:



revisions:

no.	date	issued
1	1/4/17	Proposed plantings revised
2		per discussions with City
3		
4		
5		
6		
7		
8		

project number: 1287.0  
scale: NA  
drawn by: dhg  
date: 12/5/2016

sheet title/number:

Site Views Plan

LA-1.1