



SHELDON K PENNOYER, AIA LEED AP
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January 30, 2017

Remi's Block LLC
136 North Main Street
Concord, NH 03301

The attached submission, for review by the Concord Architectural Design Review Committee, is for the balcony details. I would like to address the constructed balconies, and how they are not meeting the originally submitted and approved design. Six balconies on North Main Street and six balconies on Loudon Street have been installed to date. The locations and dimensions of these balconies adhere to the approvals given by the Planning Board on April 20, 2016. A request to relocate three approved balconies from the East Elevation to the North Elevation was granted on August 3, 2016.

The Attached drawings suggest a way to address the concerns expressed with the constructed balconies. The first of two issues being addressed, is the vertical balustrade system versus what was approved as a horizontal cable system. By adding the horizontal 3/8" X 2" steel section, it will break up the vertical "shark cage" appearance. A mahogany wood cap is planned for the top rail, which has not yet been installed.

The second issue concerns the approved color, as shown in the original submission, which was an undefined grey color. The constructed balconies are a hot dipped galvanized finish that will turn slightly darker over time, but was chosen to avoid future painting on an annual basis. Once the construction wall is removed, the color of the storefront system installed between the reconditioned granite and cast iron structural system, will make the color chosen for the balconies seem reasonable.

Other complaints about the constructed balconies were filed with the planning department. I have reviewed these with Heather Shank and demonstrated that they are incorrect in their claims.

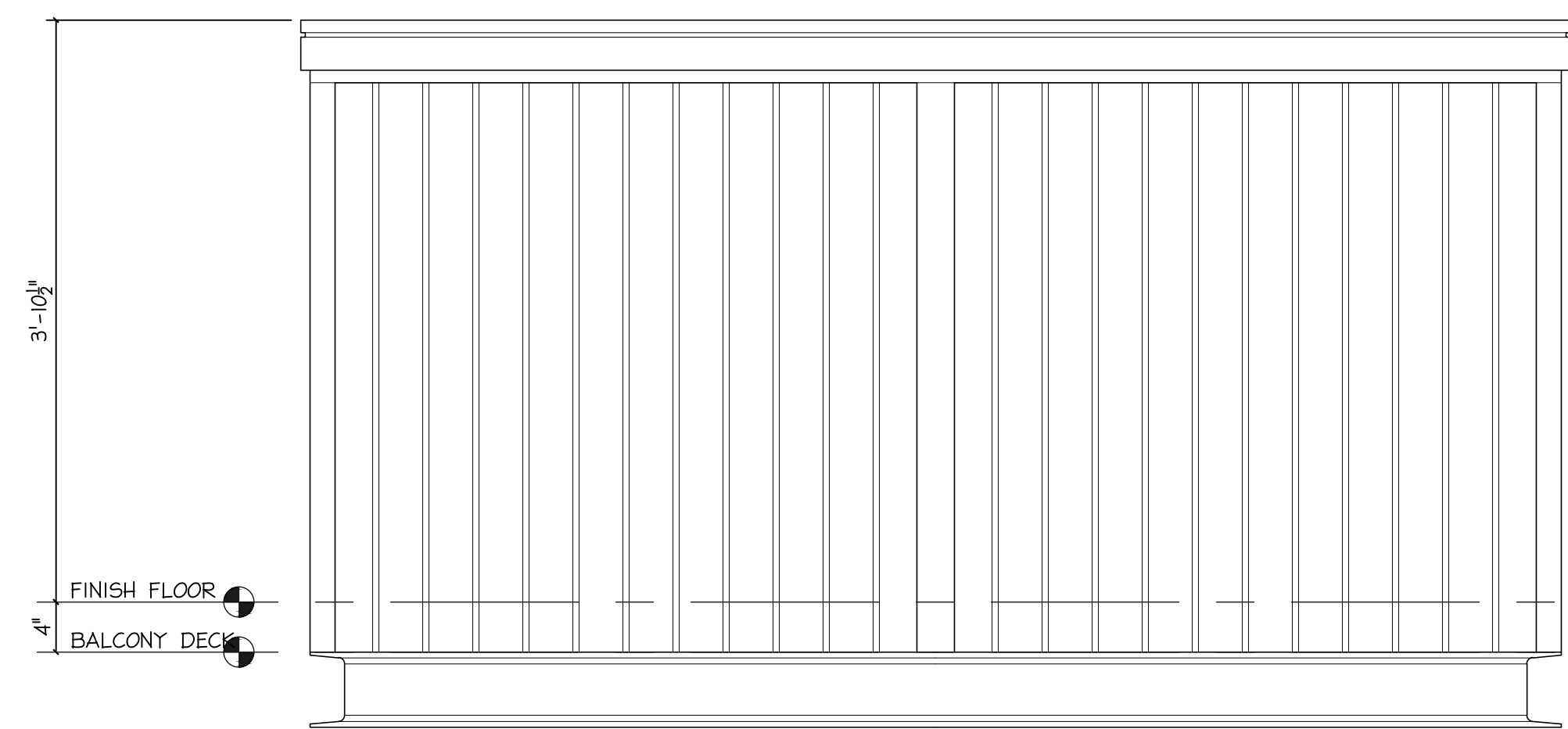
64 NORTH MAIN STREET
SUITE ONE
CONCORD, NH 03301
P: 603-856-8994
F: 603-856-8995

This project has been a challenge throughout the process because the General Contractor did not provide accurate budget figures for many line items. The balconies were just another example where the General Contractor insisted that the horizontal expression did not fit within the budget anticipated, even though these items were shown on the construction documents.

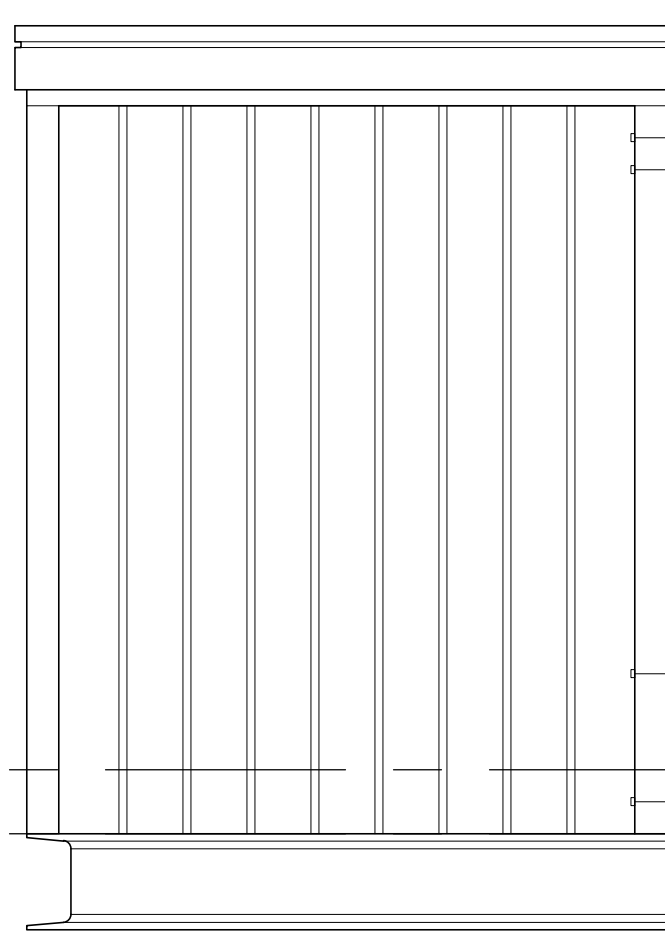
The proposed renovation to the former Vegas Block is a welcome improvement to the North Main Street community. The building is a gateway to Down Town Concord. We trust that the ADR will see the merits of this application, and approve this amendment to the balconies.

Submitted by: Sheldon Pennoyer AIA LEED AP

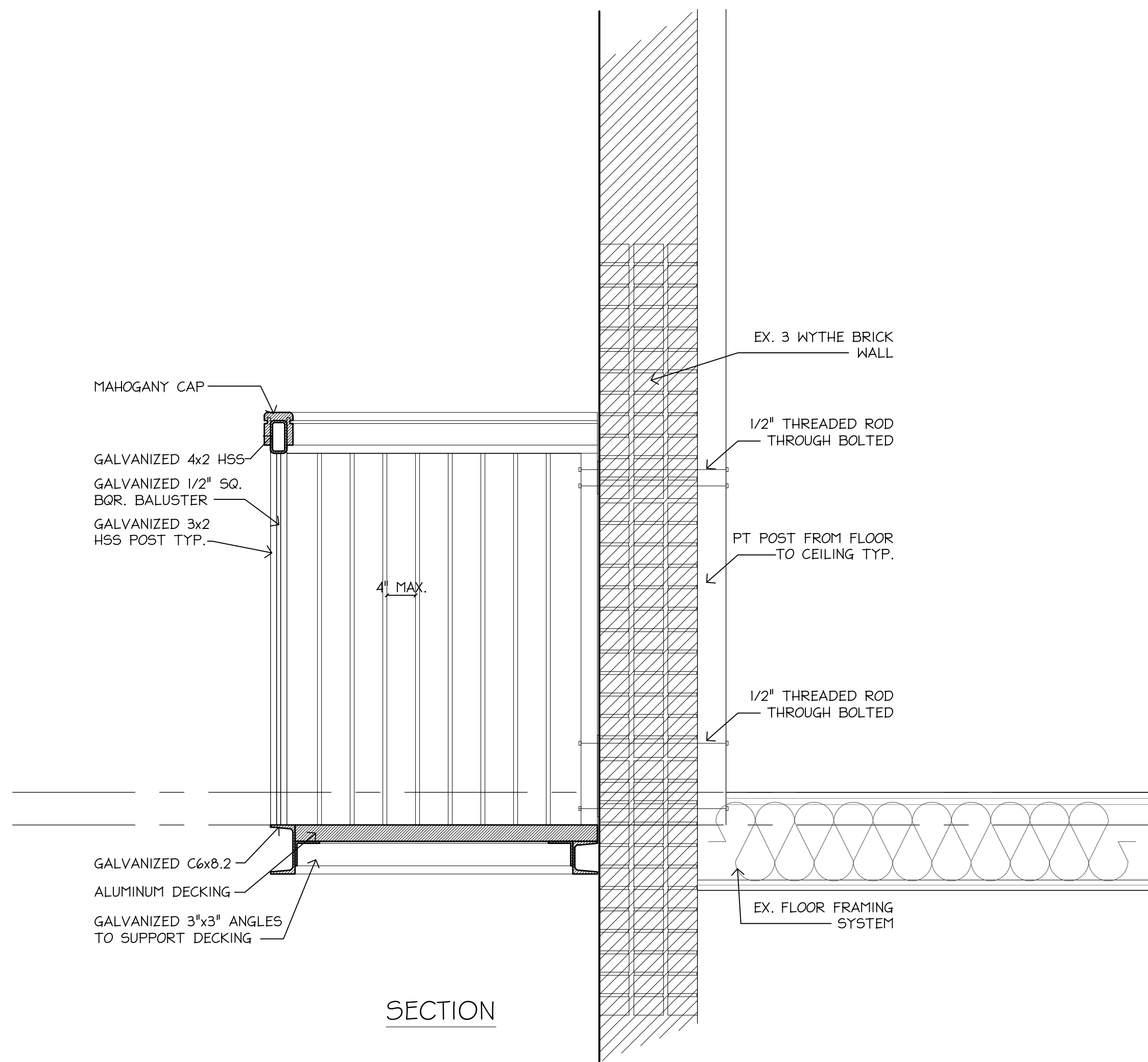
CHANGES PER ADR RECOMMENDATIONS



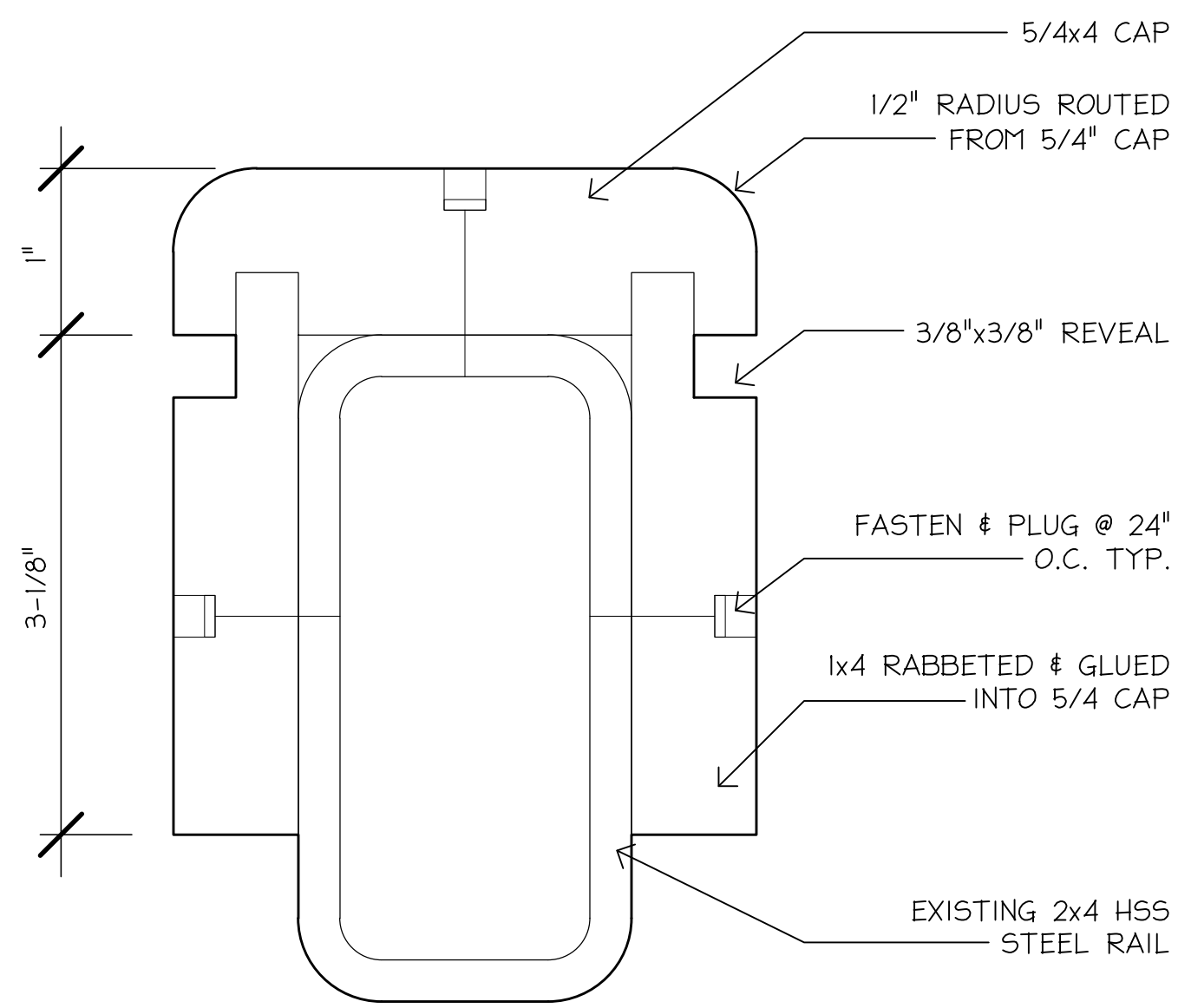
FRONT ELEVATION



SIDE ELEVATION



SECTION



CAP DETAIL



CONCEPTUAL RENDERING

BALCONY DESIGN AS RECOMMENDED BY ADRC

SHELDON PENNOYER
ARCHITECTS
64 NORTH MAIN STREET
SUITE ONE
CONCORD, NH 03301

REMI'S BLOCK
North Main St
Concord, NH
REMI HINXHIA, OWNER

JOB NO.
DATE: 1.30.17
SCALE: 1-1/2"-1'
DRAWN BY: E.J.N.
REVISIONS: 2.8.17

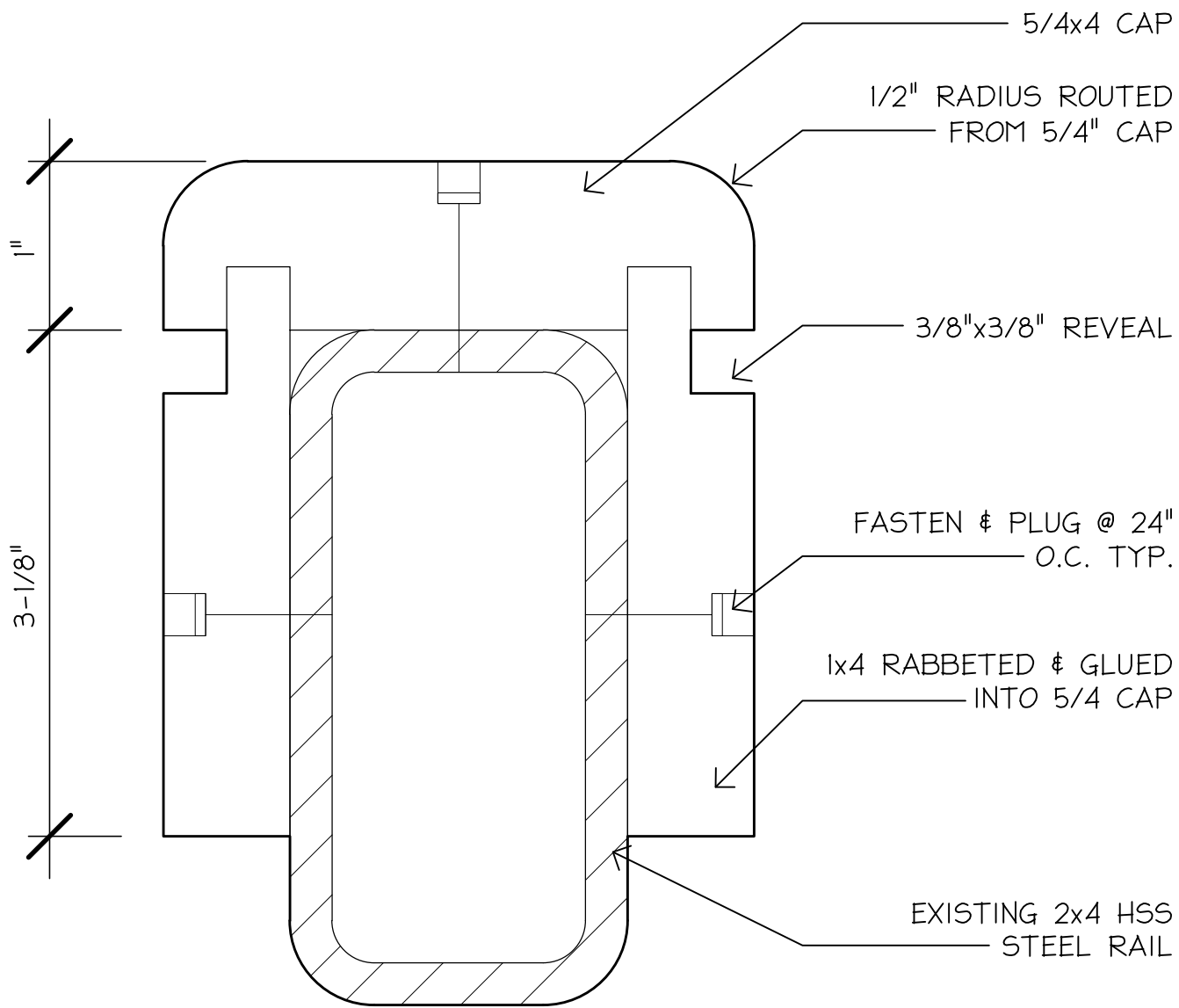
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BALCONY DETAILS
ADRC RECOMMENDATION
PB PRESENTATION

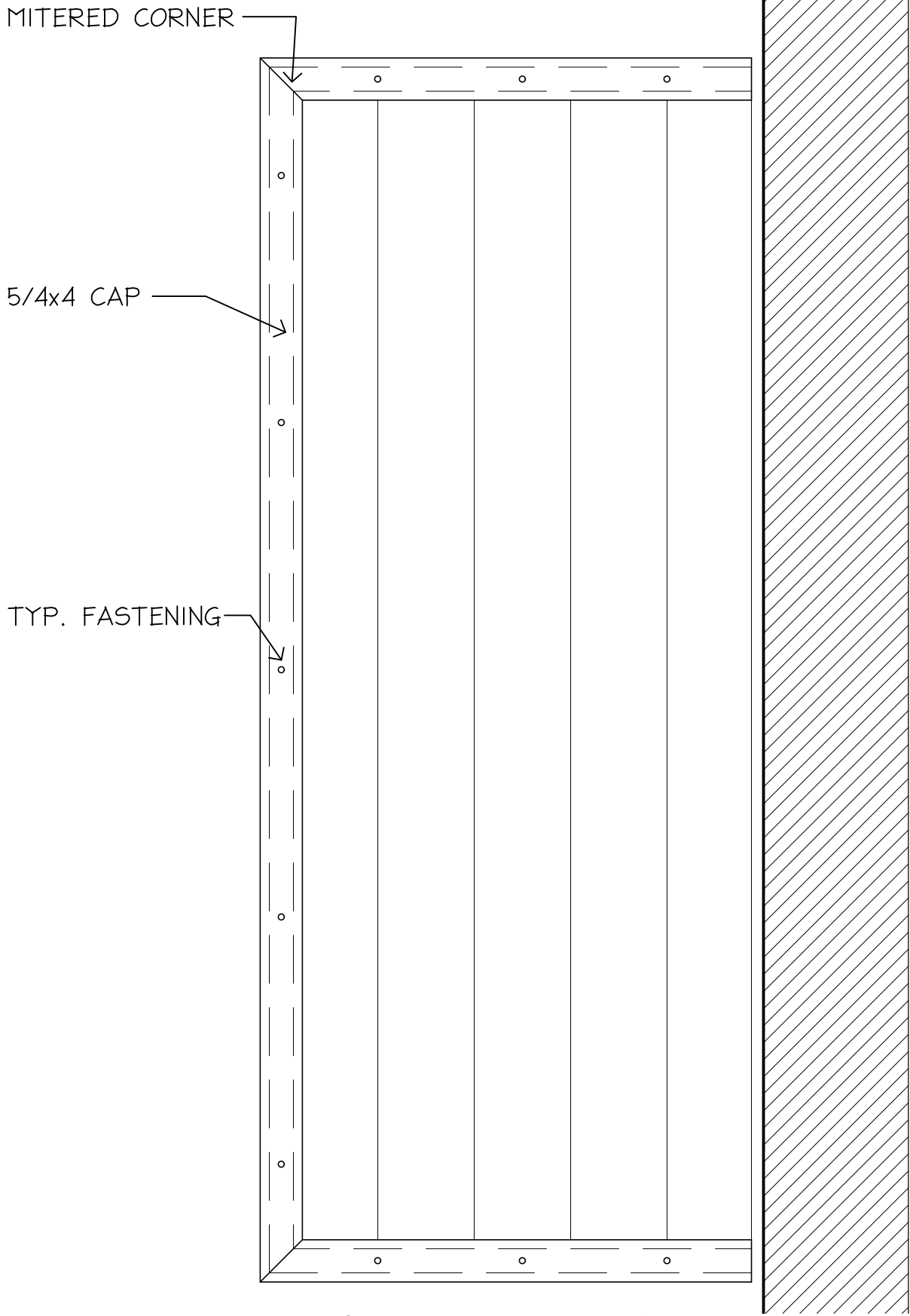
DRAWING NO.

SHEET OF

CHANGES PER ADR RECOMMENDATIONS



CAP SECTION DETAIL
SCALE: 1 : 1



CAP PLAN DETAIL
SCALE: 1" = 1'-0"

DWG NAME:	SK-17: BALCONY	DWG #:	DATE: 2.7.17	SHELDON PENNOYER ARCHITECTS 64 NORTH MAIN ST. SUITE ONE CONCORD, NH 03301
	WOOD CAP DETAIL	A6.1	SCALE: VARIES	
JOB NAME:	REMI'S BLOCK		DWN BY: EJN	
			JOB #:	

ORIGINAL ADR SUBMISSION



PREVIOUSLY APPROVED CONCEPTUAL
BALCONY RENDERING



CONCEPTUAL BALCONY RENDERING
AS-BUILT

SHELDON PENNOYER
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64 NORTH MAIN STREET
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REMI'S BLOCK
North Main St
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REMI HINXHIA, OWNER

JOB NO.
DATE: 1.30.17
SCALE: 1-1/2"=1'
DRAWN BY: E.J.N.
REVISIONS:

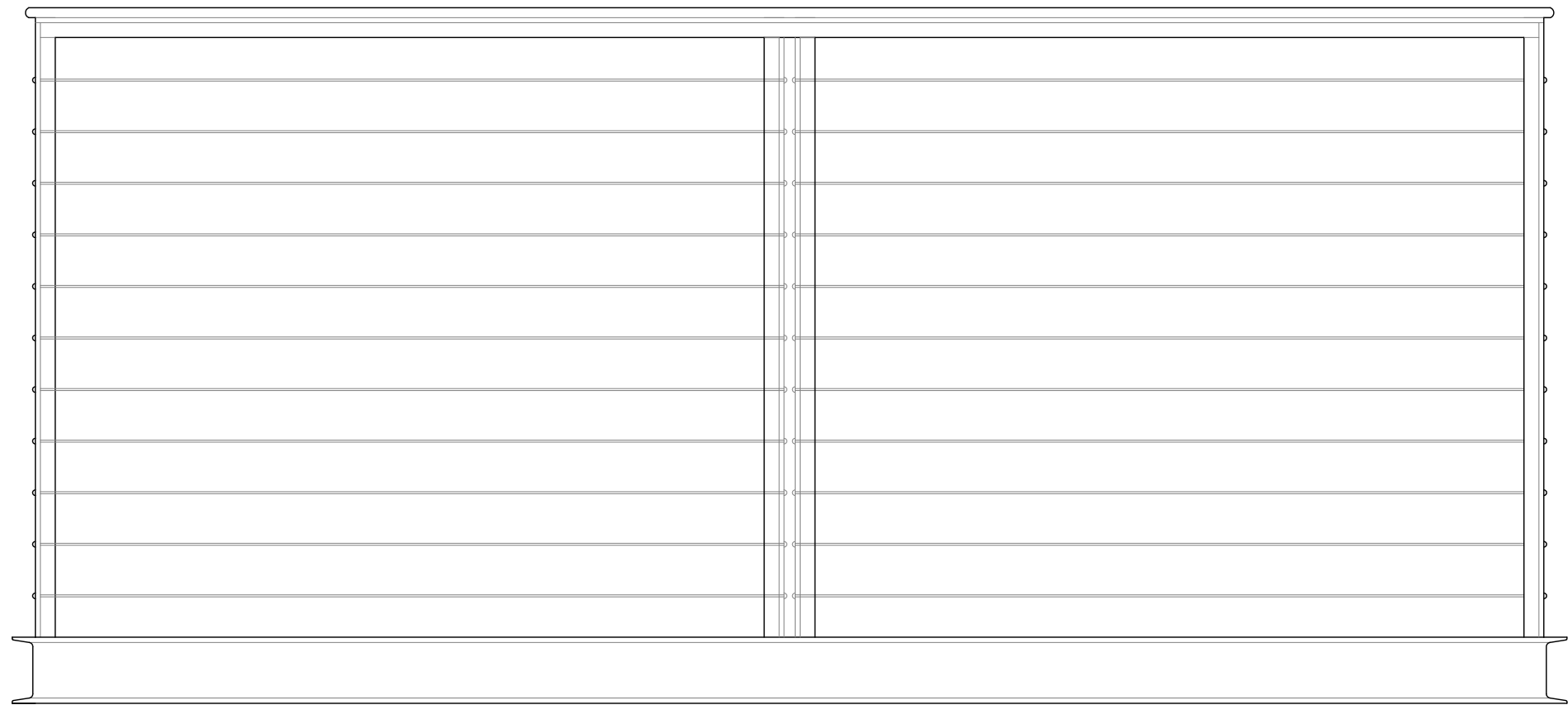
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BALCONY DETAILS
ADR PRESENTATION

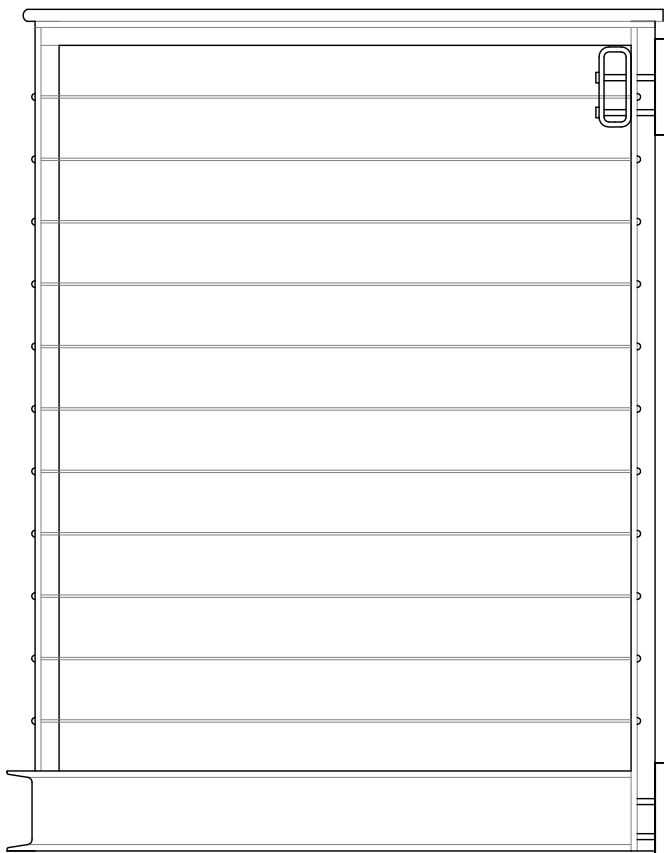
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SHEET OF

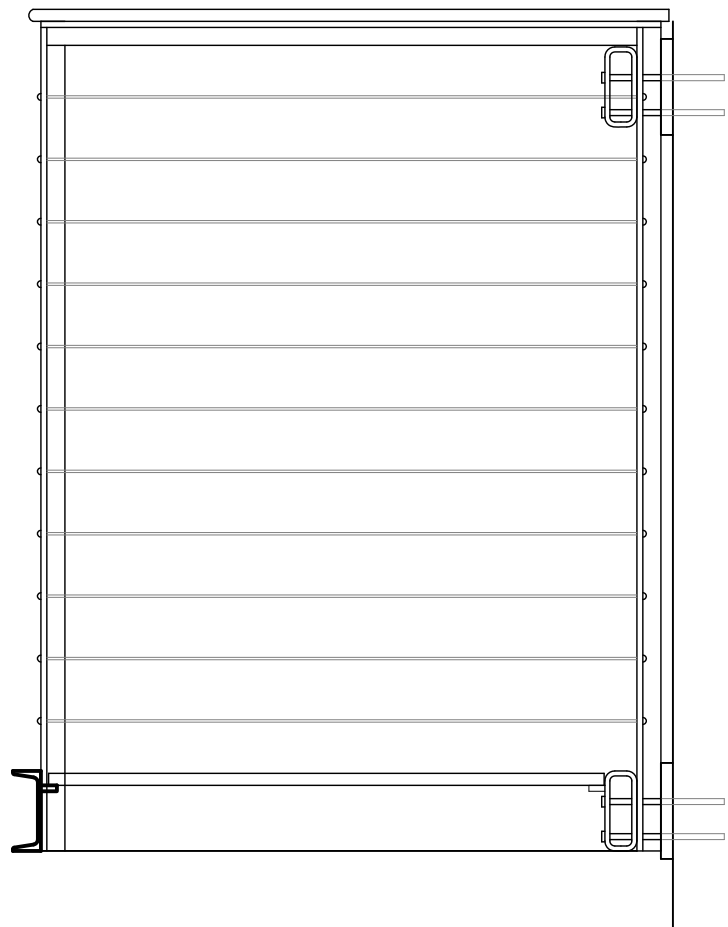
ORIGINAL ADR SUBMISSION



FRONT ELEVATION

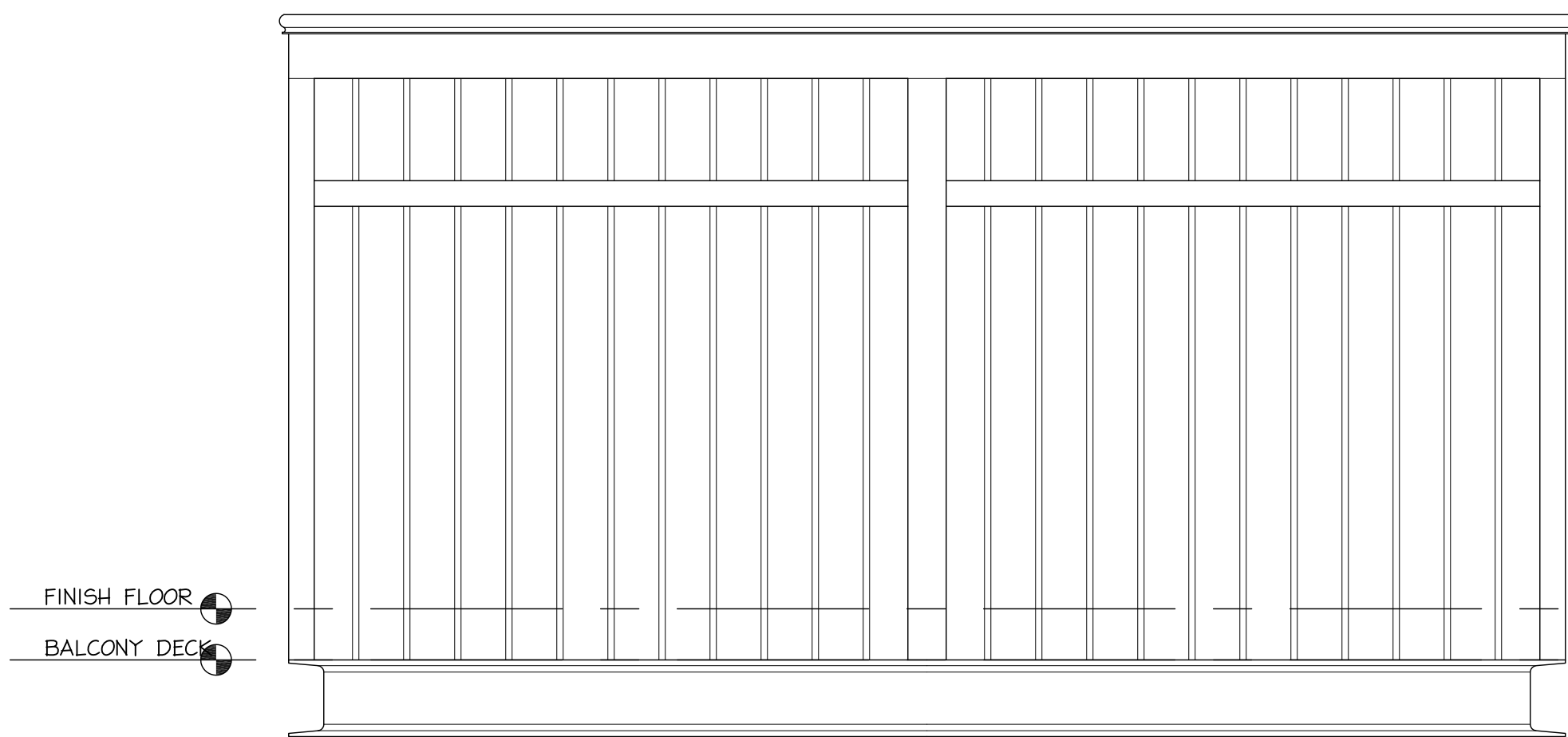


SIDE ELEVATION

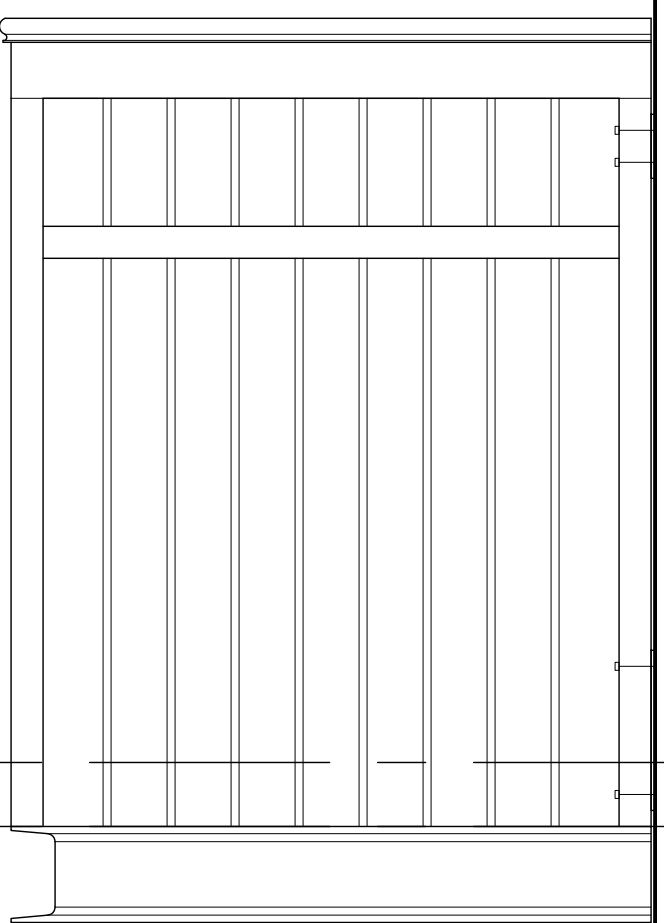


SECTION

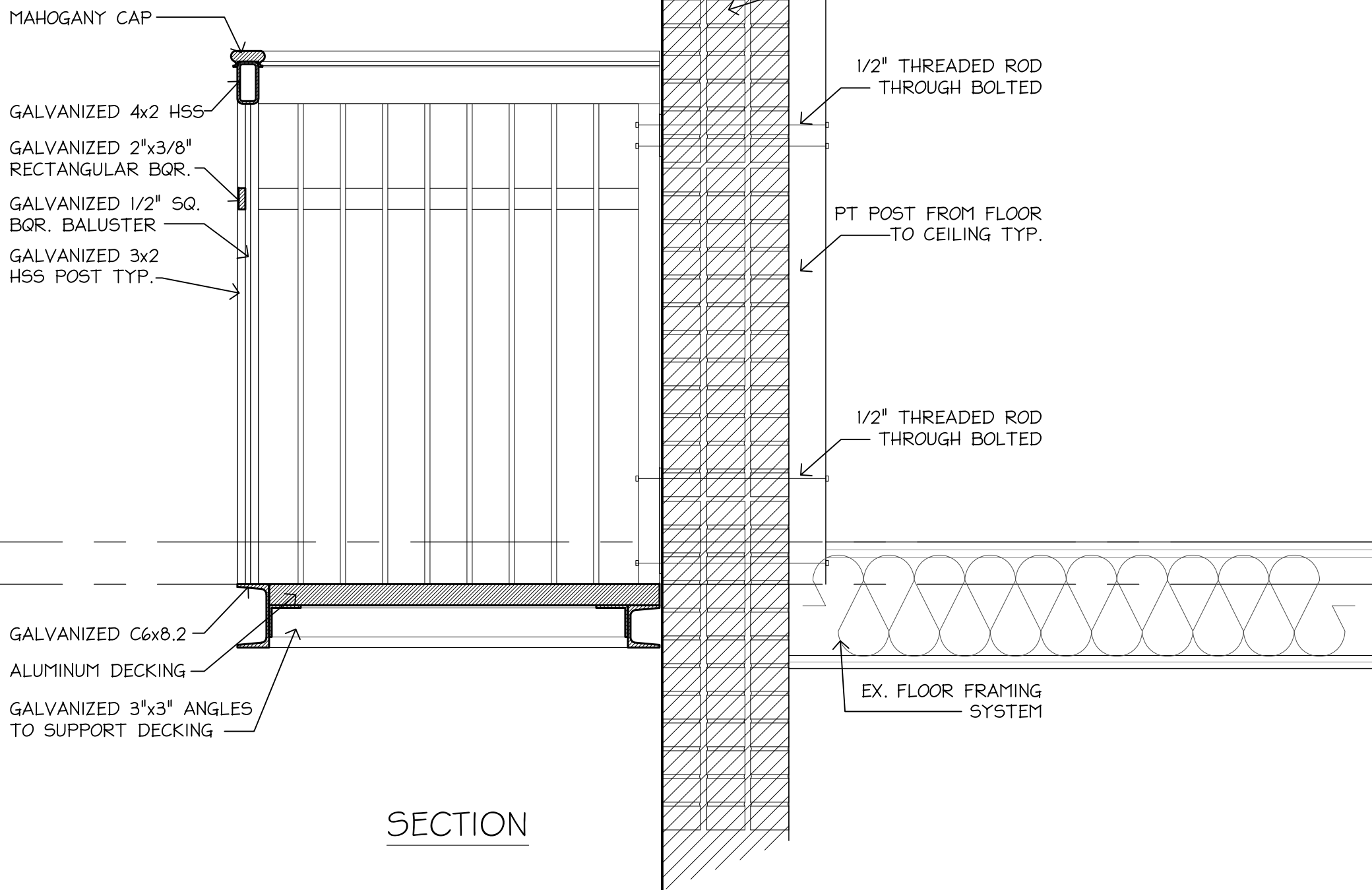
PREVIOUSLY APPROVED BALCONY DESIGN



FRONT ELEVATION



SIDE ELEVATION



SECTION

BALCONY DESIGN AS-BUILT

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64 NORTH MAIN STREET
SUITE ONE
CONCORD, NH 03301

REMI'S BLOCK
North Main St
Concord, NH
REMI HINXHIA, OWNER

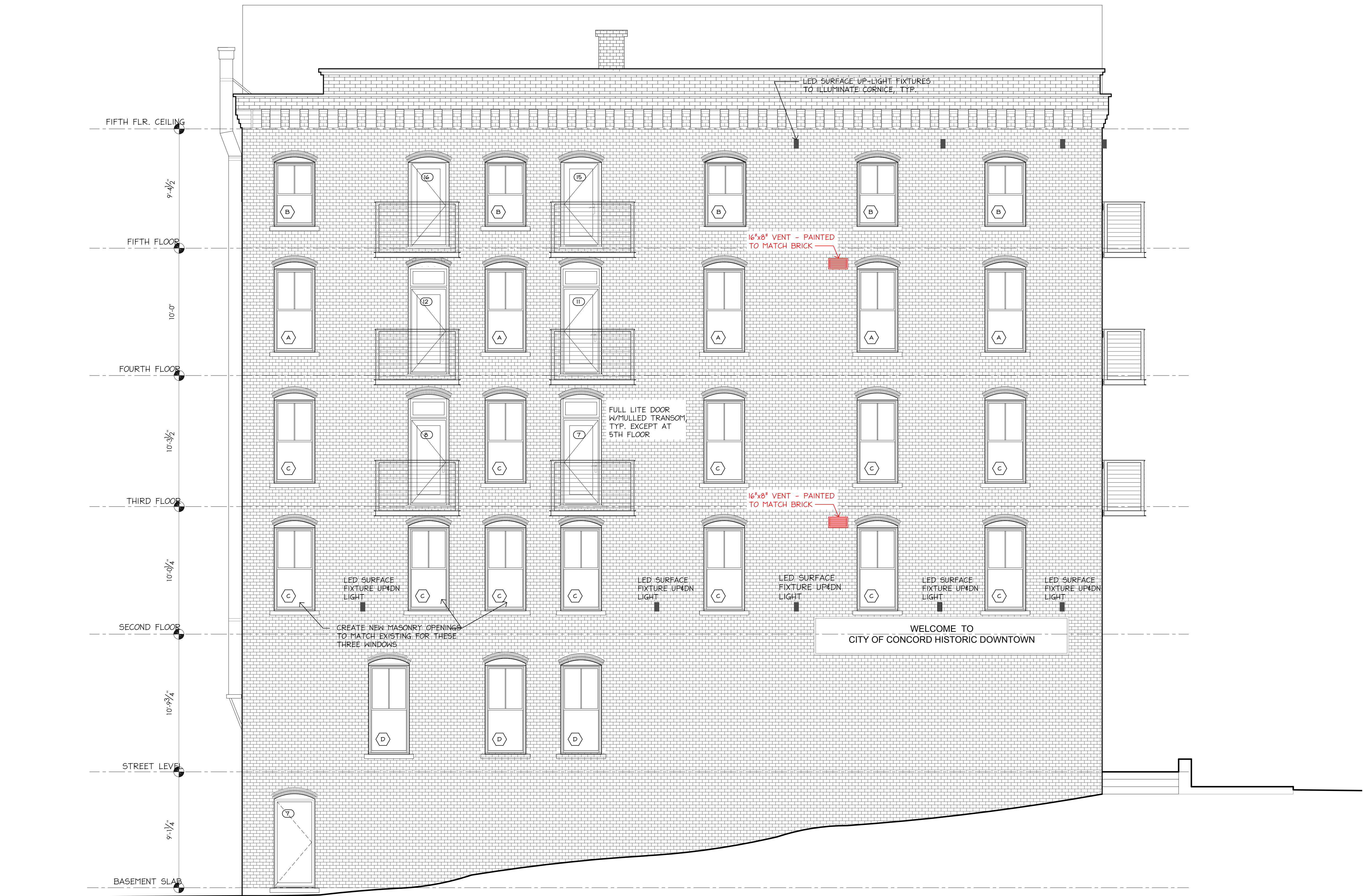
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DATE: 1.30.17
SCALE: 1-1/2"-1'
DRAWN BY: E.J.N.
REVISIONS:

CHECKED BY: SKP

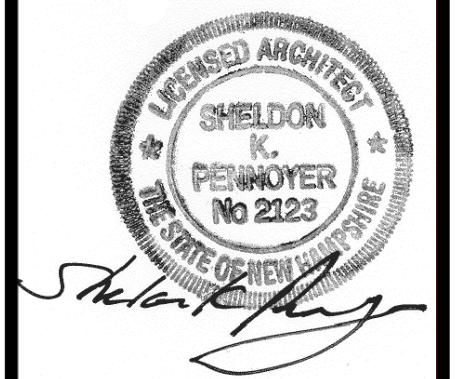
BALCONY DETAILS
ADR PRESENTATION

DRAWING NO.

SHEET OF



SHELDON PENNOYER
ARCHITECTS
64 NORTH MAIN STREET
SUITE ONE
CONCORD, NH 03301



REMI'S BLOCK
North Main St
Concord, NH
REMI HINXHIA, OWNER

JOB NO.
DATE: 4/29/2016
SCALE: 1/4" = 1'-0"
DRAWN BY: RAL/EJN
REVISIONS: 7/22/2016
2/7/2016

CHECKED BY: SKP

NORTH ELEVATION

DRAWING NO.

A2.1

SHEET 14 OF 64

SK-18
NORTH ELEVATION VENTING
2.7.17