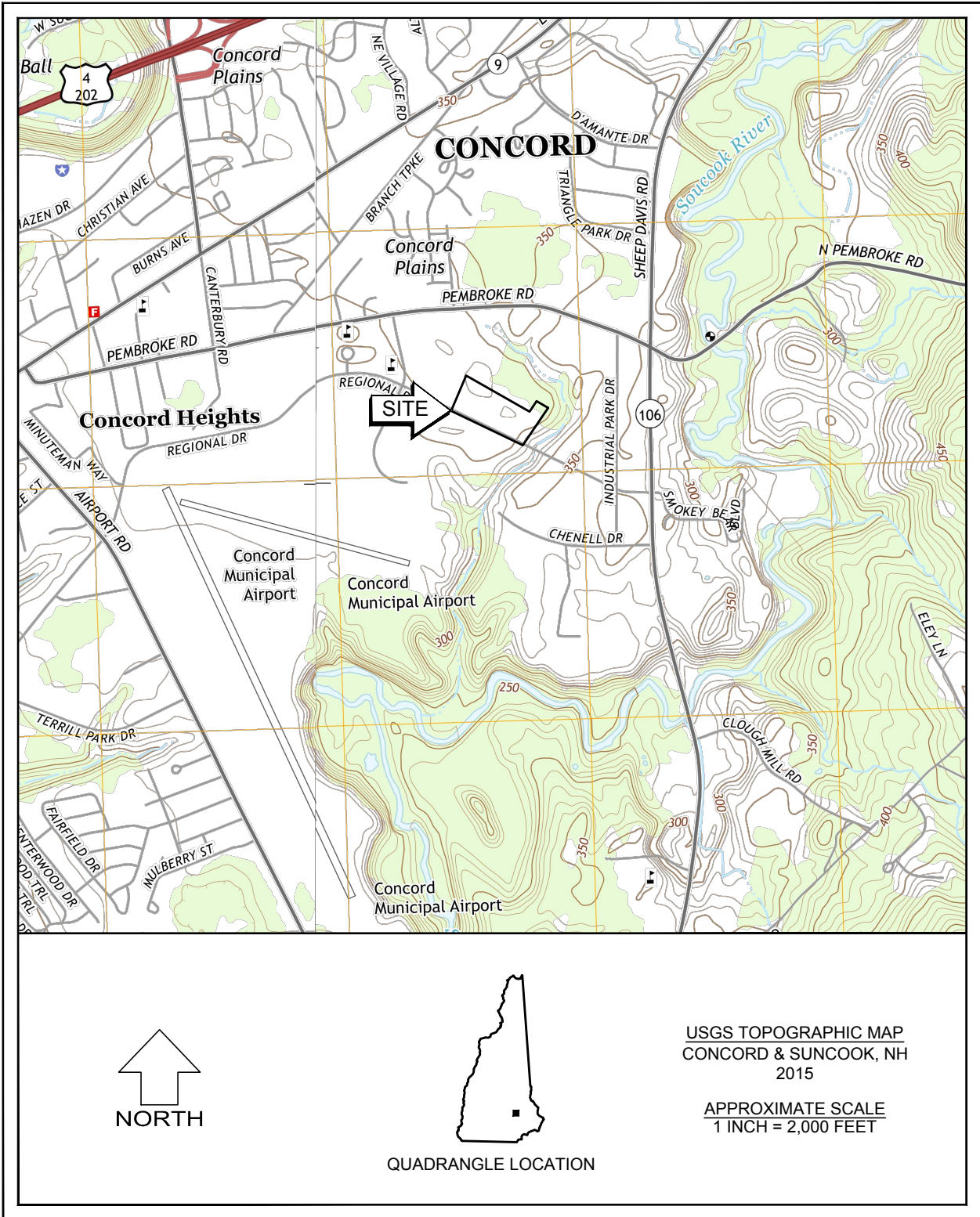


NH DISTRIBUTORS EXPANSION

65 REGIONAL DRIVE CONCORD, NEW HAMPSHIRE

GENERAL NOTES:

- THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT REPORT FOR NEW HAMPSHIRE DISTRIBUTORS, 65 REGIONAL DRIVE, CONCORD, NH" DATED JANUARY 2017, PREPARED BY NOBIS ENGINEERING, INC.
- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAT", DATED DECEMBER 6, 2016, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR NEW HAMPSHIRE DISTRIBUTORS, FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- THE CONTRACTOR SHALL OBTAIN COVERAGE UNDER EPA NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FOR CONSTRUCTION ACTIVITIES PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND IMPLEMENTING AN ENVIRONMENTAL PROTECTION AGENCY (EPA) STORM WATER POLLUTION PREVENTION PLAN PRIOR TO THE START OF CONSTRUCTION AND DURING CONSTRUCTION ON-SITE IN ACCORDANCE WITH THE EPA REGULATIONS UNDER THE CLEAN WATER ACT.
- PROJECT IS PROPOSED TO BE CONSTRUCTED IN 2 PHASES. PHASE I INCLUDES CONSTRUCTION OF THE SOUTHWEST BUILDING ADDITION, NEW PARKING LOT, NEW PERIMETER ROAD WITH NEW ENTRANCE ONTO REGIONAL DRIVE, AND ASSOCIATED DRAINAGE CONTROLS. PHASE II INCLUDES THE EAST BUILDING ADDITION, CONNECTION OF ROOF DRAIN TO UNDERGROUND INFILTRATION GALLERY AND ASSOCIATED PAVEMENT REGRADING AND RESTORATION. FLOOR PLANS AND ELEVATIONS FOR THE EAST ADDITION WILL BE SUBMITTED TO THE PLANNING DEPARTMENT FOR REVIEW AND APPROVAL IN THE FUTURE.



JANUARY 2017

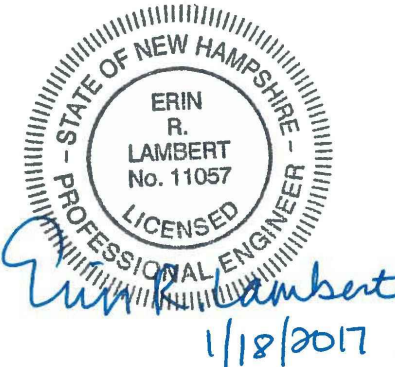
SHEET INDEX

I.D.	NO.	DRAWING NAME
CS		COVER SHEET
G-1	1	GENERAL NOTES AND LEGEND
S-1	2	EXISTING CONDITIONS PLAN
C-1	3	DEMOLITION PLAN
C-2	4	PROPOSED SITE PLAN
C-3	5	GRADING AND DRAINAGE PLAN
C-4	6	CONSTRUCTION DETAILS
C-5	7	CONSTRUCTION DETAILS
C-6	8	CONSTRUCTION DETAILS (STORMTECH)
C-7	9	CONSTRUCTION DETAILS (STORMTECH)
L-1	12	LANDSCAPING PLAN

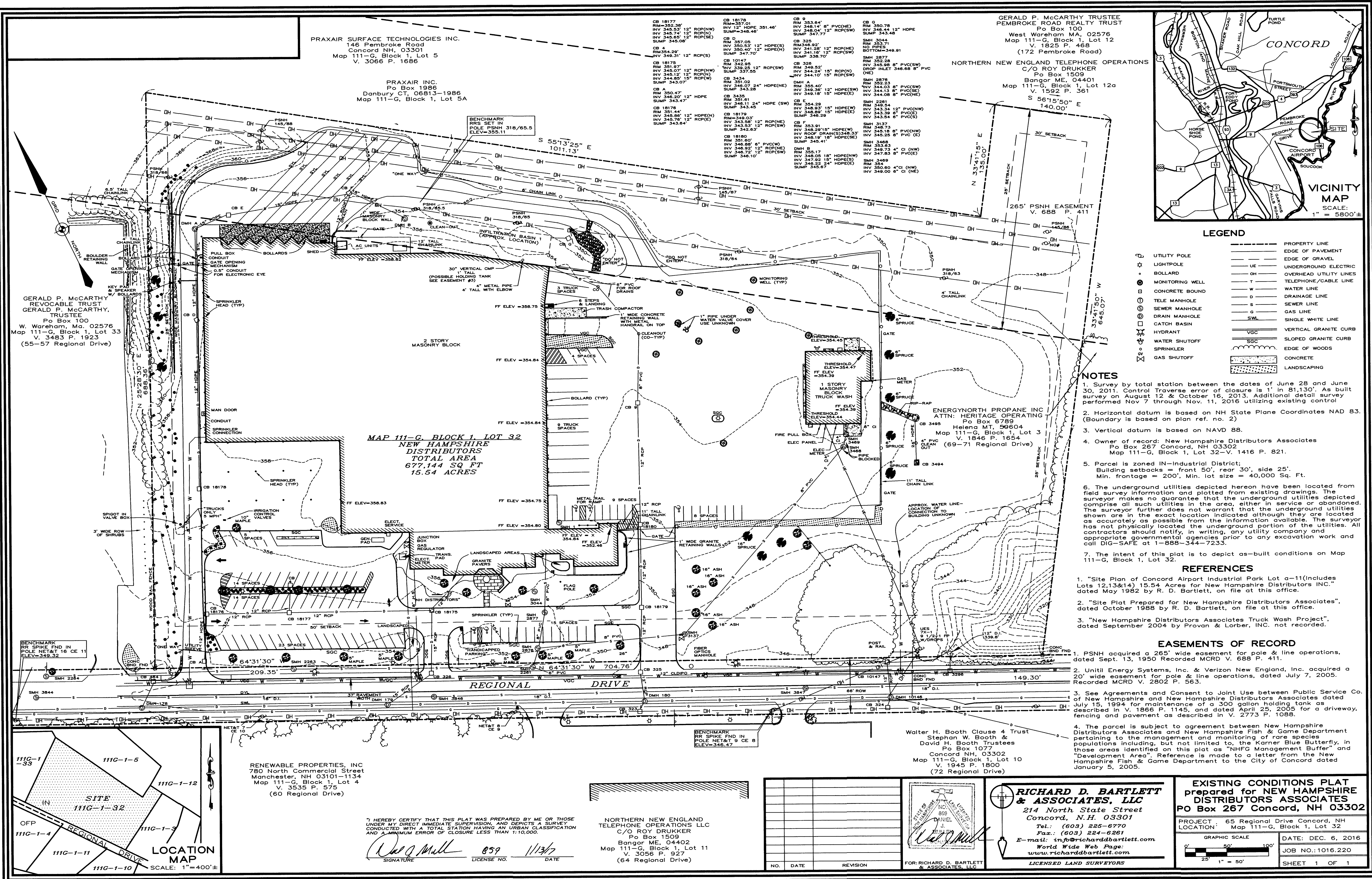
SITE ENGINEER
NOBIS ENGINEERING, INC. - CONCORD, NH
ARCHITECT
TURNER GROUP - CONCORD, NH
LANDSCAPE ARCHITECT
NOBIS ENGINEERING, INC. - CONCORD, NH

NOBIS PROJECT NO. 85130.04

Nobis
Engineering a Sustainable Future
Nobis Engineering, Inc.
18 Chenell Drive
Concord, NH 03301
T(603) 224-4182
www.nobiseng.com
Client - Focused, Employee - Owned



PLANNING BOARD APPROVAL	
APPROVED BY CITY OF CONCORD, NH PLANNING BOARD	
ON _____	DATE _____
CONCORD PLANNING BOARD CLERK _____	DATE _____



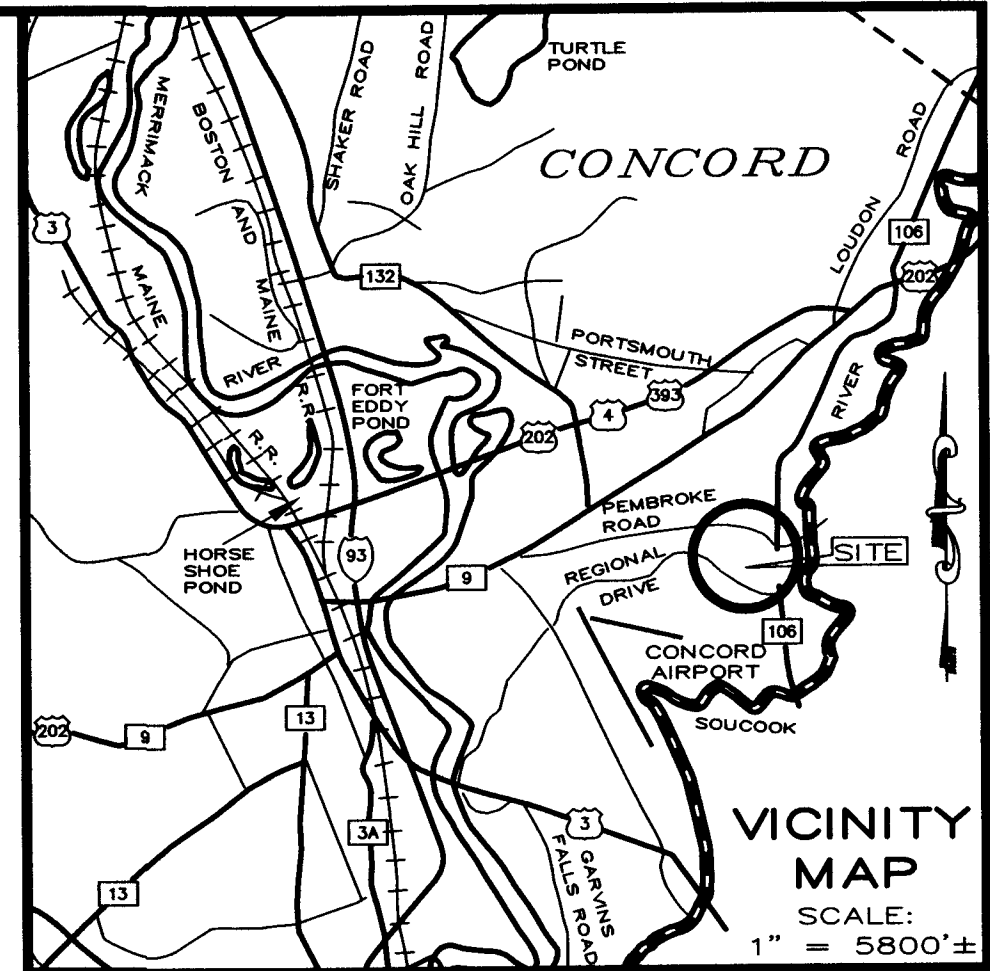
PRAXAIR SURFACE TECHNOLOGIES INC.
146 Pembroke Road
Concord NH, 03301
Map 111-G, Block 1, Lot 5
V. 3066 P. 1686

PRAXAIR INC.
Po Box 1986
Danbury CT, 06813-1986
Map 111-G, Block 1, Lot 5A

GERALD P. MCCARTHY TRUSTEE
PEMBROKE ROAD REALTY TRUST

West Wareham MA, 02576
Map 111-G, Block 1, Lot 12
V. 1825 P. 468
(172 Pembroke Road)

NORTHERN NEW ENGLAND TELEPHONE OPERATIONS
C/O ROY DRUKKER
Po Box 1509
Bangor ME, 04401
Map 111-G, Block 1, Lot 2a
V. 1592 P. 361



LEGEND

- UTILITY POLE
- LIGHTPOLE
- BOLLARD
- MONITORING WELL
- CONCRETE BOUND
- TELE MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- HYDRANT
- WATER SHUTOFF
- SPRINKLER
- GAS SHUTOFF
- PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- UNDERGROUND ELECTRIC
- OVERHEAD UTILITY LINES
- TELEPHONE/CABLE LINE
- WATER LINE
- DRAINAGE LINE
- SEWER LINE
- GAS LINE
- SINGLE WHITE LINE
- VERTICAL GRANITE CURB
- SLOPED GRANITE CURB
- EDGE OF WOODS
- CONCRETE
- LANDSCAPING

NOTES

- Survey by total station between the dates of June 28 and June 30, 2011. Control Traverse error of closure is 1" in 81,130'. As built survey on August 12 & October 16, 2013. Additional detail survey performed Nov 7 through Nov. 11, 2016 utilizing existing control.
- Horizontal datum is based on NH State Plane Coordinates NAD 83. (Boundary is based on plan ref. no. 2)
- Vertical datum is based on NAVD 88.
- Owner of record: New Hampshire Distributors Associates
Po Box 267 Concord, NH 03302
Map 111-G, Block 1, Lot 32-V. 1416 P. 821.
- Parcel is zoned IN-Industrial District;
Building setbacks = front 50', rear 30', side 25'.
Min. frontage = 200', Min. lot size = 40,000 Sq. Ft.
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The intent of this plat is to depict as-built conditions on Map 111-G, Block 1, Lot 32.

REFERENCES

- "Site Plan of Concord Airport Industrial Park Lot a-11(Includes Lots 12, 13 & 14) 15.54 Acres for New Hampshire Distributors INC." dated May 1982 by R. D. Bartlett, on file at this office.
- "Site Plat Prepared for New Hampshire Distributors Associates", dated October 1988 by R. D. Bartlett, on file at this office.
- "New Hampshire Distributors Associates Truck Wash Project", dated September 2004 by Provan & Lorber, INC. not recorded.

EASEMENTS OF RECORD

- PSNH acquired a 265' wide easement for pole & line operations, dated Sept. 13, 1950 Recorded MCRD V. 688 P. 411.
- Until Energy Systems, Inc. & Verizon New England, Inc. acquired a 20' wide easement for pole & line operations, dated July 7, 2005. Recorded MCRD V. 2802 P. 563.
- See Agreements and Consent to Joint Use between Public Service Co. of New Hampshire and New Hampshire Distributors Associates dated July 15, 1994 for maintenance of a 300 gallon holding tank as described in V. 1866 P. 1145, and dated April 25, 2005 for a driveway, fencing and pavement as described in V. 2773 P. 1088.
- The parcel is subject to agreement between New Hampshire Distributors Associates and New Hampshire Fish & Game Department pertaining to the management and monitoring of rare species populations including, but not limited to, the Karner Blue Butterfly, in those areas identified on this plat as "NHFG Management Buffer" and "Development Area". Reference is made to a letter from the New Hampshire Fish & Game Department to the City of Concord dated January 5, 2005.

RENEWABLE PROPERTIES, INC
780 North Commercial Street
Manchester, NH 03101-1134
Map 111-G, Block 1, Lot 4
V. 3535 P. 575
(60 Regional Drive)

NORTHERN NEW ENGLAND
TELEPHONE OPERATIONS LLC
C/O ROY DRUKKER
Po Box 1509
Bangor ME, 04402
Map 111-G, Block 1, Lot 11
V. 3056 P. 927
(64 Regional Drive)

Walter H. Booth Clause 4 Trust
Stephen W. Booth &
David H. Booth Trustees
Po Box 1077
Concord NH, 03302
Map 111-G, Block 1, Lot 10
V. 1945 P. 1800
(72 Regional Drive)

RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richarddbartlett.com
World Wide Web Page:
www.richarddbartlett.com
LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT
prepared for NEW HAMPSHIRE
DISTRIBUTORS ASSOCIATES
PO Box 267 Concord, NH 03302

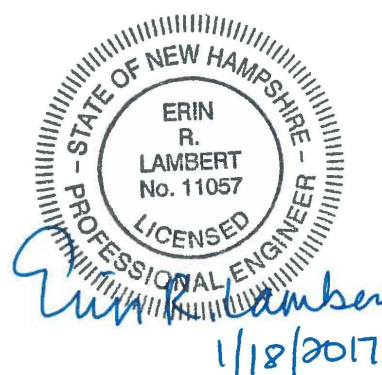
PROJECT: 65 Regional Drive Concord, NH
LOCATION: Map 111-G, Block 1, Lot 32

GRAPHIC SCALE
0' 50' 100'
25' 1" = 50'

DATE: DEC. 6, 2016
JOB NO.: 1016.220
SHEET 1 OF 1

I, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

Richard D. Bartlett 859 11/3/16
SIGNATURE LICENSE NO. DATE



NOT ISSUED
FOR
CONSTRUCTION

NH DISTRIBUTORS EXPANSION

65 REGIONAL DRIVE
CONCORD, NH

NO.	DATE	DESCRIPTION
REVISIONS		

0 40' 80'

GRAPHIC SCALE

DATE: JANUARY 2017

NOBIS PROJECT NO. 85130.04

DRAWN BY: NCP/ILK

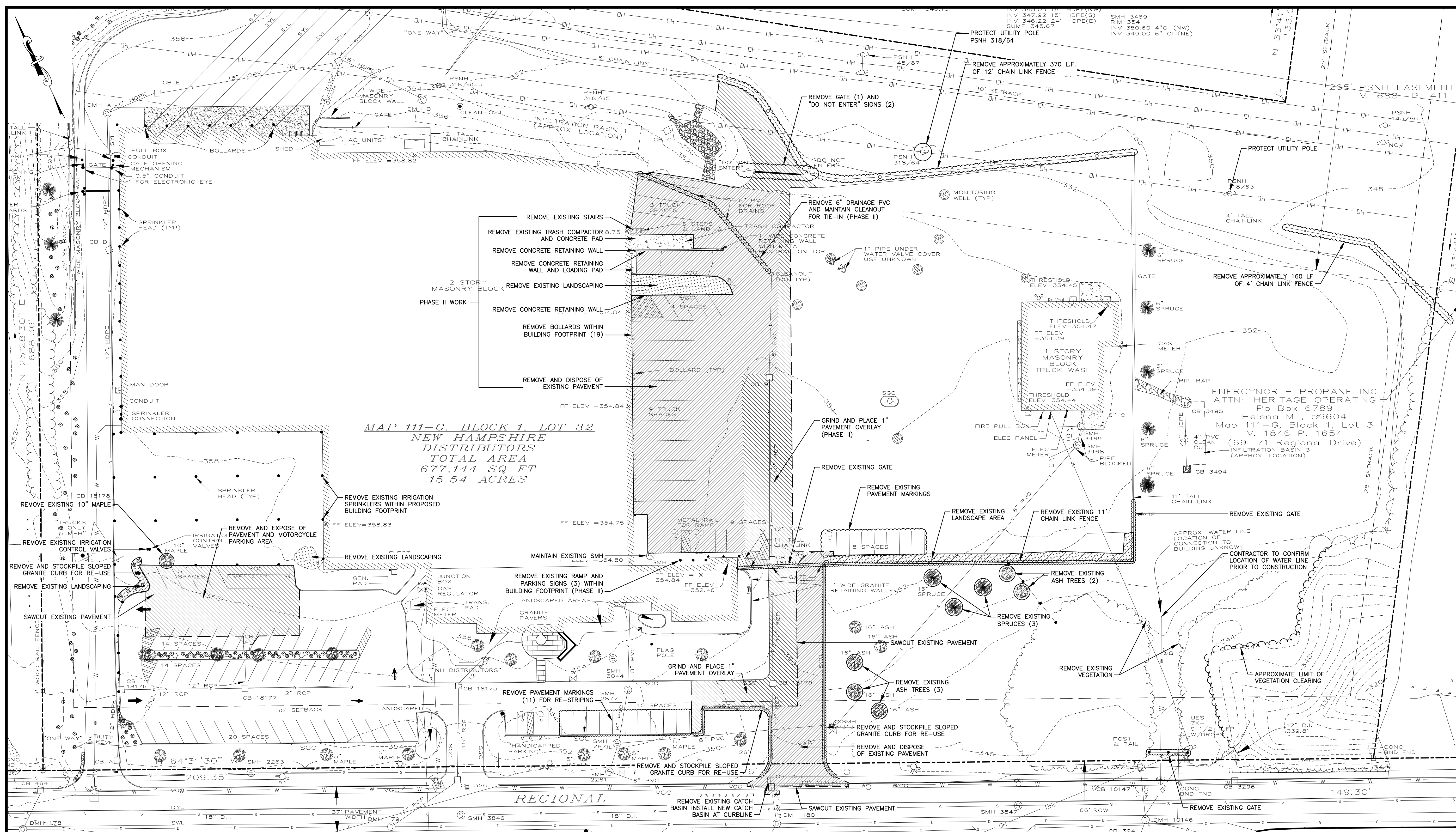
CHECKED BY: ERI

CAD DRAWING FILE:

85130 04-C-100-DEMO.dwg

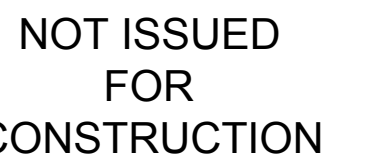
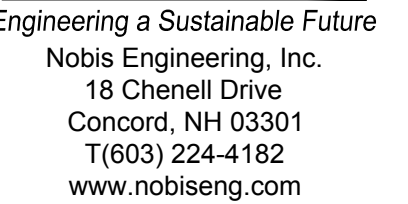
DEMOLITION PLAN

SHEET
C-1



1. REFER TO SHEET C-2 FOR PLAN REFERENCES AND ADDITIONAL NOTES.
2. LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL COORDINATE WORK WITH THE TOWN FIRE AND POLICE DEPARTMENTS.
4. DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE EXISTING MATERIALS TO THE STREET.
5. THE CONTRACTOR IS RESPONSIBLE FOR SITE OR DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
6. CONTRACTOR SHALL COORDINATE REMOVAL/RELOCATION OF OVERHEAD UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
7. ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD PAINT, ASBESTOS, ETC., SHALL BE PERFORMED BY A LICENSED CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. A LEAD AND ASBESTOS SURVEY SHALL BE PERFORMED BY CONTRACTOR PRIOR TO THE START OF DEMOLITION ACTIVITIES TO ENSURE PROPER DEMOLITION AND DISPOSAL PROCEDURES. DEMOLITION REGULATIONS SHALL BE AS DIRECTED BY THE PRIME CONTRACTOR AND THE ARCHITECT.

- | | |
|--|--|
| <p>9. FOR AREAS OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, DEMOLISH ALL EXISTING BUILDINGS AND FOUNDATIONS TO 24" BELOW FINISHED GRADE. CONSULT WITH ENGINEER FOR DEMOLITION REQUIREMENTS FOR AREAS OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT.</p> <p>10. ALL WORK PERFORMED IN THE CITY OF CONCORD, NH SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY'S CONSTRUCTION STANDARDS.</p> <p>11. REFER TO SHEET G-1 FOR CONSTRUCTION SEQUENCING NOTES.</p> <p>12. CONTRACTOR SHALL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.</p> <p>13. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR SHALL BE BORNE BY THE CONTRACTOR.</p> <p>14. CONTRACTOR SHALL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING SITE FEATURES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR SHALL BE BORNE BY THE CONTRACTOR.</p> <p>15. DEMOLITION/REMOVAL OF EXISTING STORMWATER STRUCTURES AND PIPING SHALL BE CONDUCTED DRY CONDITIONS TO THE EXTENT PRACTICAL. INSTALLATION OF NEW STRUCTURES AND PIPE SHALL BE CONDUCTED PRIOR TO DEMOLITION TO THE EXTENT PRACTICAL.</p> <p>16. REFER TO SHEET C-3 FOR EXISTING DRAINAGE INVERT INFORMATION.</p> <p>17. PRIOR TO THE START OF CONSTRUCTION AND ISSUANCE OF ANY PERMITS, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH CITY OF CONCORD ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULE, ETC.</p> | <p>18. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT PER CITY ORDINANCE ARTICLE 5-1.4 FOR WORK WITHIN THE CITY RIGHT OF WAY OR ON CITY-OWNED PROPERTY.</p> <p>19. ALL DEMOLITION WORK SHOWN IS TO BE COMPLETED IN PHASE I UNLESS SPECIFICALLY NOTED AS PHASE II WORK.</p> |
|--|--|



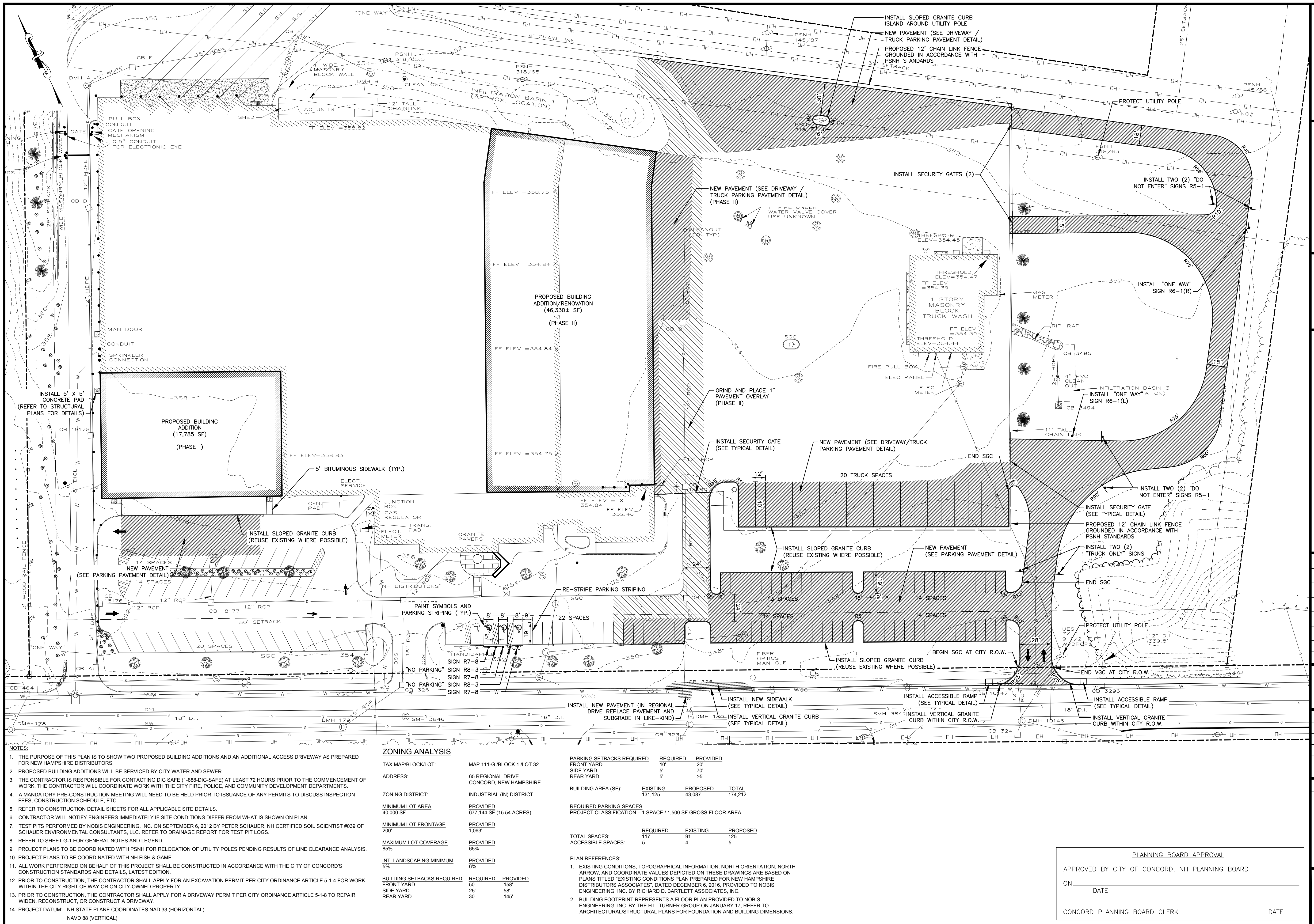
65 REGIONAL DRIVE
CONCORD, NH

40' 80'

GRAPHIC SCALE

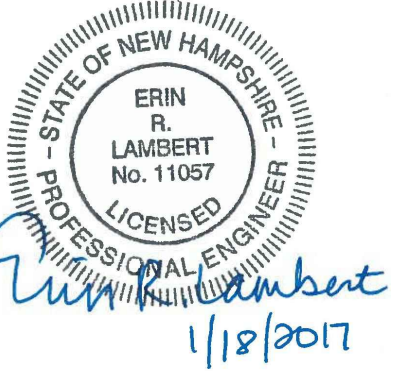
SITE PLAN

SHEET
C-2





Engineering a Sustainable Future
Nobis Engineering, Inc.
18 Chenell Drive
Concord, NH 03301
T(603) 224-4162
www.nobiseng.com
Client - Focused, Employee - Owned

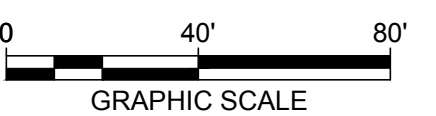


NOT ISSUED
FOR
CONSTRUCTION

NH DISTRIBUTORS EXPANSION

65 REGIONAL DRIVE
CONCORD, NH

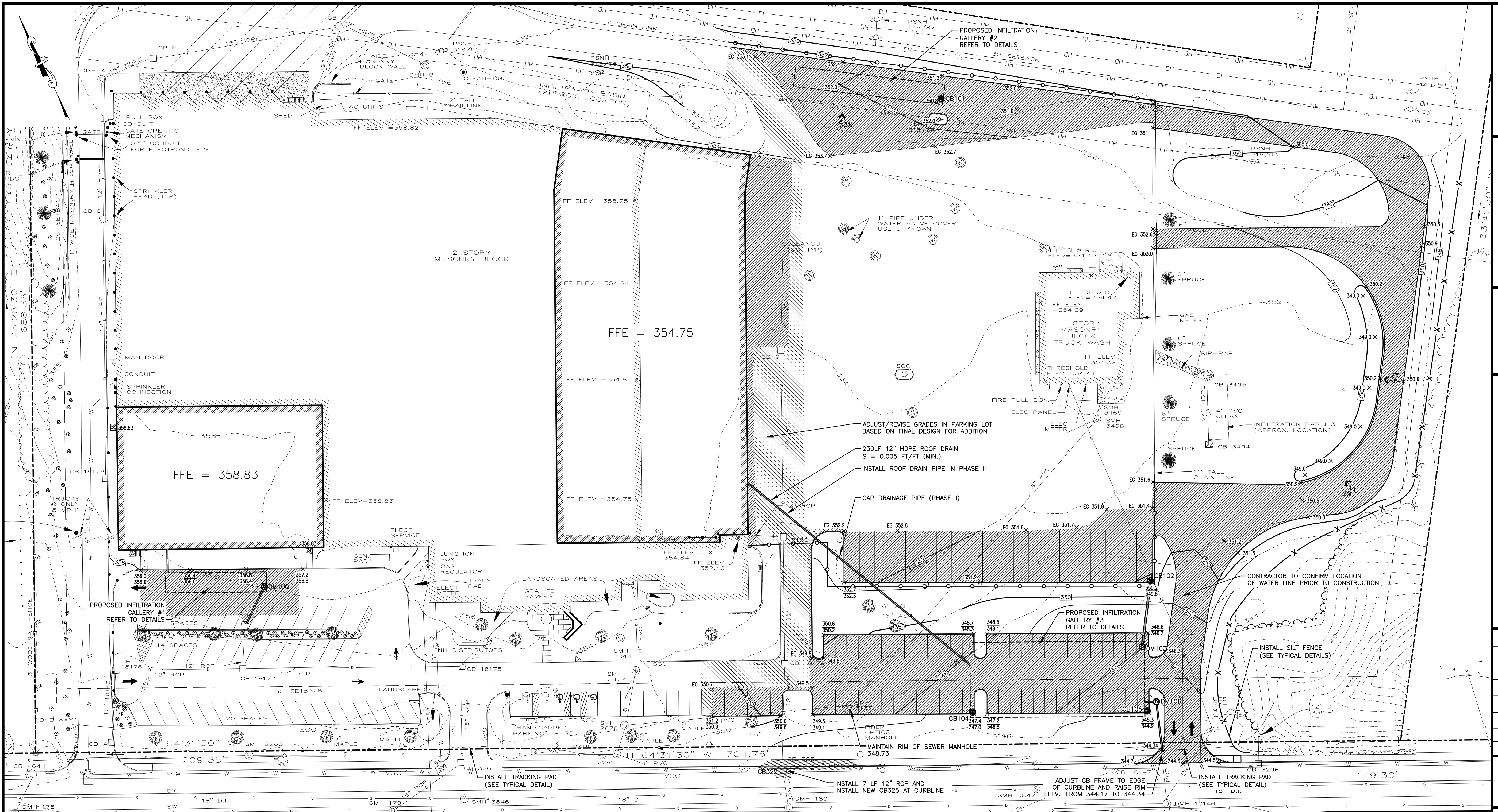
NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	JANUARY 2017
NOBIS PROJECT NO.	85130.04
DRAWN BY:	NCP/JLK
CHECKED BY:	ERL
CAD DRAWING FILE:	85130.04-C-300-G&D.dwg
SHEET TITLE	

GRADING AND DRAINAGE PLAN

SHEET
C-3



NOTES:

- REFER TO EXISTING CONDITIONS PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK.
- LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
- ALL WORK ON SITE, ALL UTILITY WORK AND ALL WORK WITH CITY R.O.W. SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
- ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
- REFER TO COVER SHEET FOR GENERAL NOTES AND LEGEND.
- PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL), NAVD 88 (VERTICAL).

EXISTING DRAINAGE SCHEDULE

CB 18177 RIM = 352.38 INV 345.53 12" RCP(NW) INV 345.74 12" RCP(N) INV 345.65 12" RCP(SE) SUMP 345.08	CB 18178 RIM = 357.01 INV 346.88 6" PVC(W) INV 346.92 12" RCP(NE) INV 346.72 12" RCP(SW) SUMP 346.46	CB 18180 RIM = 351.60 INV 346.88 6" PVC(W) INV 346.92 12" RCP(NE) INV 346.72 12" RCP(SW) SUMP 346.10	CB E RIM = 354.29 INV 348.93 15" HDPE(W) INV 348.89 15" HDPE(E) SUMP 346.29
CB 4 RIM = 354.29 NEW INV IN 349.4 12" HDPE(E) INV 349.31 12" RCP(S)	CB 10147 RIM = 357.05 NEW INV IN 339.4 12" HDPE(N) INV 339.25 12" RCP(SW) SUMP 337.55	CB 9 RIM = 353.64 INV 348.29 6" PVC(NE) INV 348.19 18" HDPE(SE) SUMP 347.77	CB F RIM = 353.91 INV 348.29 15" HDPE(W) INV 348.05 18" HDPE(NW) INV 347.92 15" HDPE(S) INV 346.22 24" HDPE(E) SUMP 345.41
CB 18175 RIM = 351.97 INV 345.07 12" RCP(NW) INV 345.12 12" RCP(N) INV 344.85 15" RCP(W) SUMP 343.07	CB 3434 RIM = 351.02 INV 346.07 24" HDPE(NE) SUMP 343.28	CB 325 (TO BE REMOVED) RIM = 346.92 INV 341.28 12" RCP(NE) INV 341.18 12" RCP(SW) SUMP 338.70	DMH B RIM = 355.17 INV 348.05 18" HDPE(NW) INV 347.92 15" HDPE(S) INV 346.22 24" HDPE(E) SUMP 345.67
CB A RIM = 350.47 INV 346.20 12" HDPE SUMP 343.47	CB 3435 RIM = 351.81 INV 346.11 24" HDPE (SW) SUMP 343.45	CB 326 RIM = 349.52 INV 344.24 15" RCP(N) INV 344.10 15" RCP(SW) SUMP 343.46	CB G RIM = 350.78 INV 348.44 12" HDPE SUMP 343.48
CB 18176 RIM = 351.44 INV 345.96 12" HDPE(N) INV 345.76 12" RCP(E) SUMP 343.64	CB 18179 RIM = 349.03 INV 343.58 12" RCP(NE) INV 343.53 12" RCP(SW) SUMP 342.63	DMH A RIM = 355.40 INV 349.35 12" HDPE(SW) INV 349.18 15" HDPE(E)	

PROPOSED DRAINAGE SCHEDULE

DM100 RIM = 356.1 INV. IN = 350.05 (12" MANIFOLD) INV. OUT = 349.6 L = 311F 12"HDPE (TO EXISTING CB4) S = 0.0065 FT/FT	CB101 RIM = 350.8 INV. OUT = 346.65 (12" MANIFOLD) INV. OUT = 344.62 (24" ISOLATOR ROW) REFER TO INFILTRATION GALLERY #2 DETAILS SUMP = 341.6	CB102 RIM = 349.8 INV. OUT = 344.3 L = 481F 18" HDPE (TO DM103) S = 0.0792 FT/FT SUMP = 341.3	DM103 RIM = 346.0 INV. IN = 340.5 INV. OUT = 340.75 (12" MANIFOLD) INV. OUT = 338.72 (24" ISOLATOR ROW) REFER TO INFILTRATION GALLERY #3 DETAILS SUMP = 335.7
DM106 RIM = 345.6 INV. IN = 340.75 (12" MANIFOLD) INV. IN = 340.6 L = 341F 12"HDPE (TO EXISTING CB10147) S = 0.0353 FT/FT	CB104 RIM = 347.0 INV. OUT = 340.75 (12" MANIFOLD) INV. OUT = 338.72 (24" ISOLATOR ROW) REFER TO INFILTRATION GALLERY #3 DETAILS SUMP = 335.7	CB105 RIM = 344.9 INV. OUT = 338.72 (24" ISOLATOR ROW) REFER TO INFILTRATION GALLERY #3 DETAILS SUMP = 335.7	

EXISTING SEWER SCHEDULE

SMH 3044 RIM = 353.71 NO PIPES BOTTOM=349.91	SMH 3137 RIM 348.73 INV 345.18 8" PVC(NW) INV 345.25 8" PVC (E)	SMH 2877 RIM 352.28 INV 345.98 8" PVC(SW) DROP INLET 346.68 8" PVC (NE)	SMH 3469 RIM 353.63 INV 349.73 4" CI (NW) INV 347.83 8" PVC(E)
SMH 2876 RIM 352.23 INV 344.03 8" PVC(SW) INV 344.13 8" PVC(SE) INV 344.08 8" PVC(NE)	SMH 3469 RIM 354 INV 350.60 4"CI (NW) INV 349.00 6" CI (NE)	SMH 2261 RIM 349.54 INV 343.34 12" PVC(NW) INV 343.39 6" PVC(E) INV 343.54 6" PVC(S)	

NOTES:

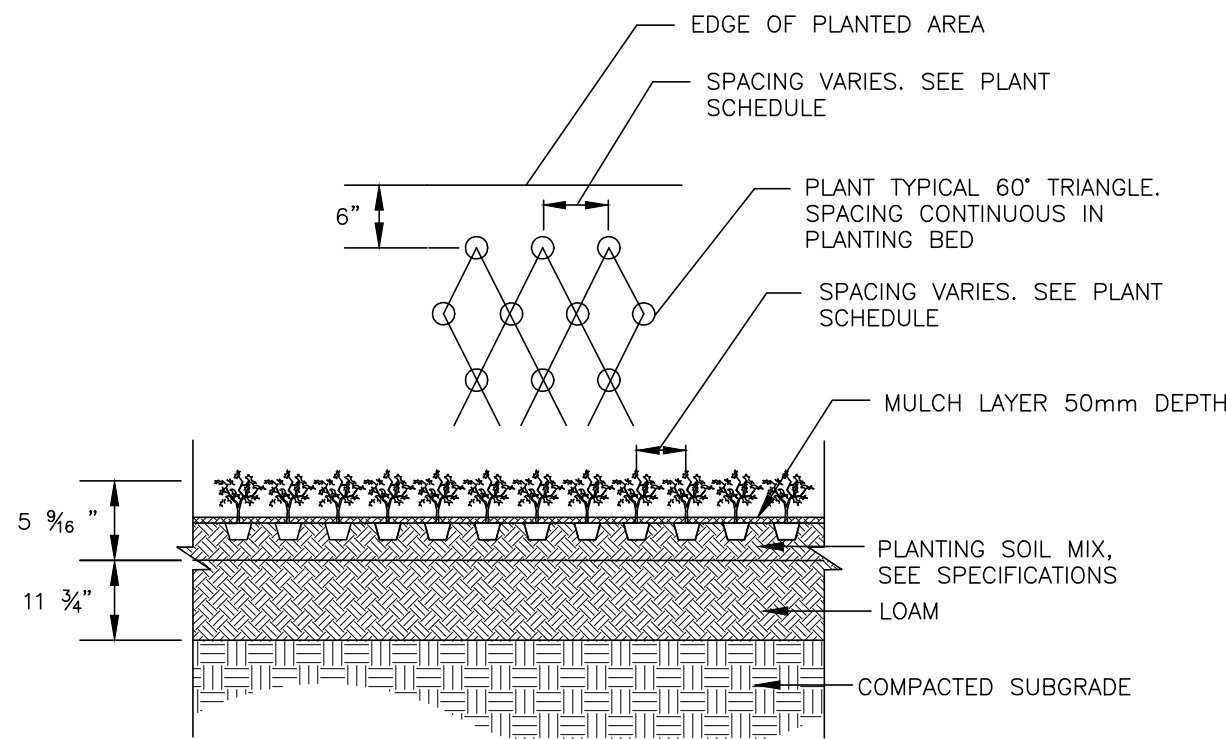
- PLANTING SOIL MIX SHALL CONSIST OF MANUFACTURED SOIL CONSISTING OF MANUFACTURERS BASIC TOPSOIL BLENDED IN A MANUFACTURING FACILITY WITH SAND, STABILIZED ORGANIC SOIL AMENDMENTS, AND OTHER MATERIALS TO PRODUCE VIABLE PLANTING SOIL.
- STABILIZE ALL DISTURBED AREAS WITH 4" LOAM AND SEED.
- LOAM SHALL BE A NATURAL, FERTILE, FRIABLE AGRICULTURAL SOIL TYPICAL OF THE LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM A WELL DRAINED SITE FREE OF FLOODING, NOT IN A FROZEN OR MUDDY CONDITION. THE SOIL SHALL BE FREE FROM SUBSOIL, SLAG, STONES AND OBJECTS LARGER THAN 2 INCHES IN DIAMETER, LIVE PLANTS, ROOTS, STICKS, CRABGRASS, COUGHGRASS, NOXIOUS WEEDS AND ANY FOREIGN MATTER. TOPSOIL SHALL BE MODIFIED IF NECESSARY TO SUPPLY 6 PERCENT ORGANIC MATTER AND A PH VALUE OF 5.9 TO 7.5.
- REFER TO GENERAL NOTES & LEGEND SHEET G-1 FOR SEED SPECIFICATIONS.

LEGEND

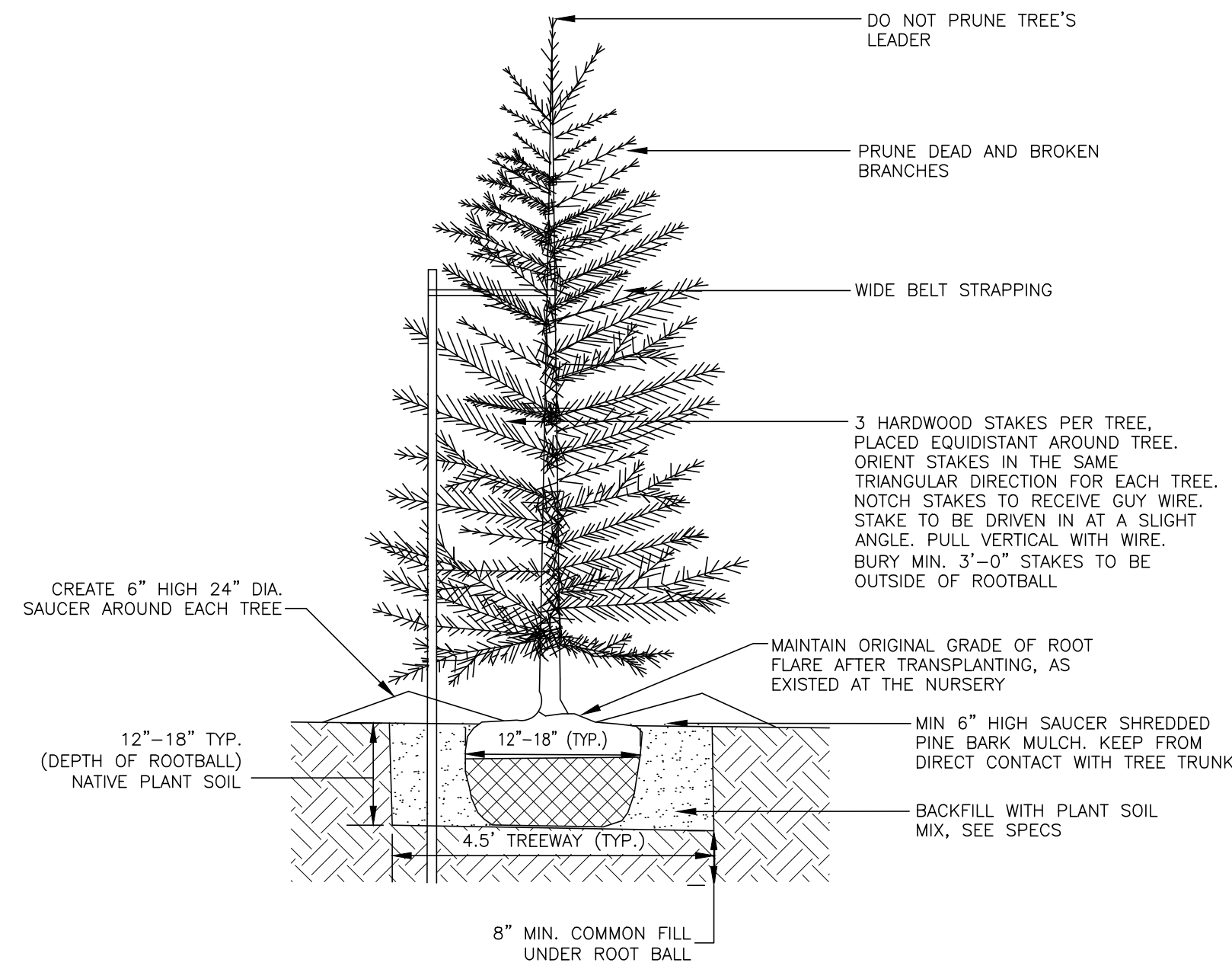
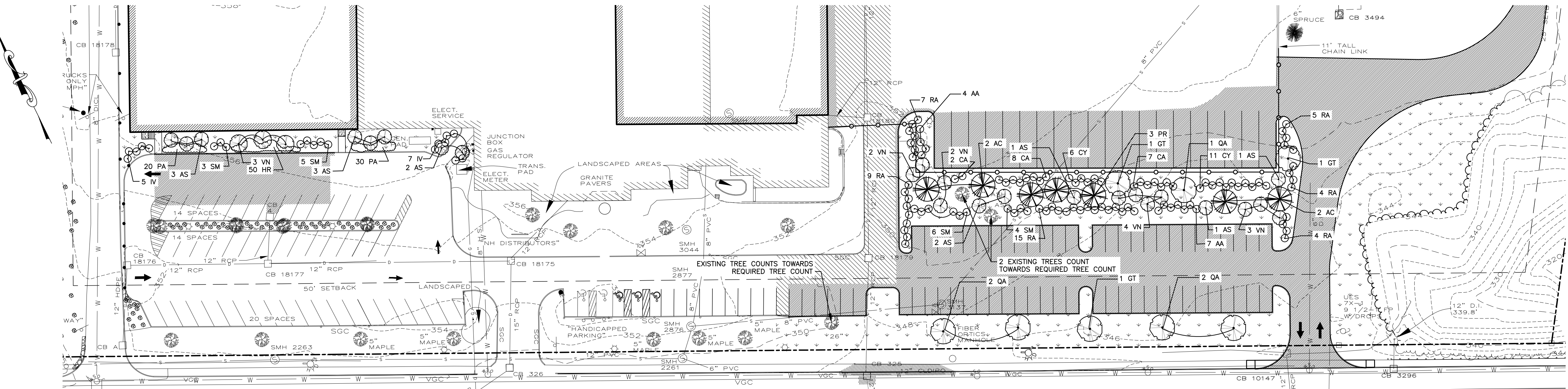
AREA TO BE LOAM AND SEEDED

TREE CALCULATION

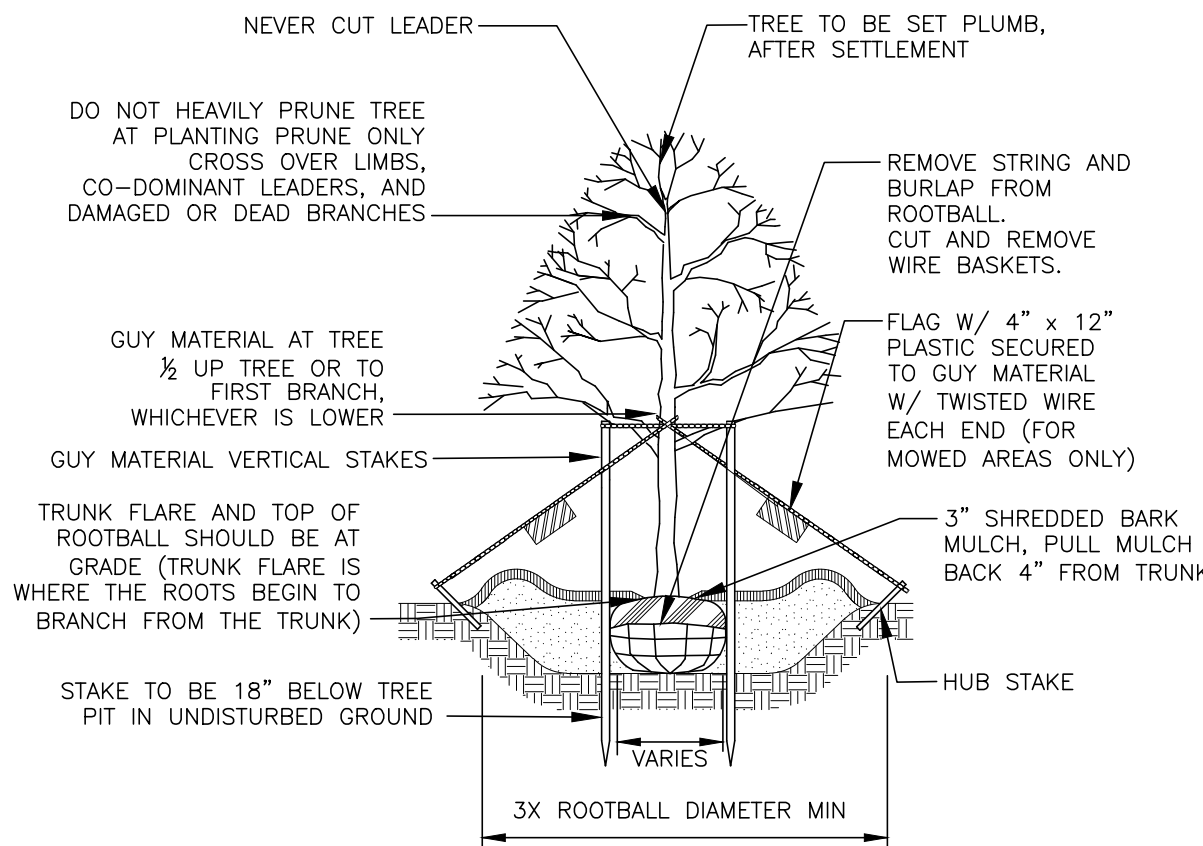
REQUIRED: 1 TREE / 1,000 SF OF PARKING AREA
NEW PARKING CIRCULATION AREA = 18,800 SF
NUMBER OF TREES REQUIRED = 19 TREES
NUMBER OF TREES PROVIDED = 19 TREES
3 EXISTING TREES PLUS 16 PROPOSED TREES



GROUND COVER
NOT TO SCALE

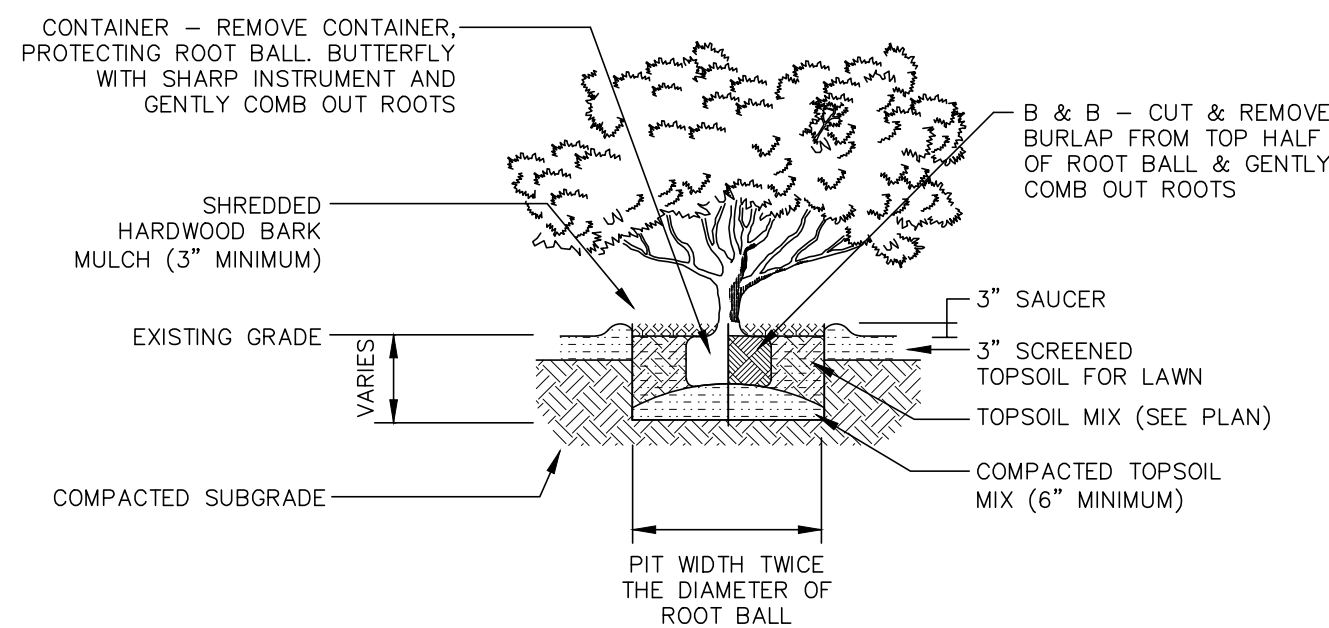


EVERGREEN TREE PLANTING
NOT TO SCALE



- NOTES:
- GUYS AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYS AND STAKING.
 - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
 - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
 - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
 - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 - CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 5 FEET FROM THE EDGE OF THE CITY SIDEWALK.

DECIDUOUS TREE PLANTING
NOT TO SCALE



- NOTES:
- THIN BRANCHES & FOLIAGE BY 1/3 (NOT ALL END TIPS) RETAINING NATURAL SHAPE. NEVER CUT CENTRAL LEADER.
 - PLANT IN INDIVIDUAL PITS ONLY. FOR CENTER TO CENTER SPACING SEE SCHEDULE AND PLAN.

SHRUB PLANTING
NOT TO SCALE

PLANTING SCHEDULE				
Code	Common Name	Botanical Name	Size	Quantity
Trees				
AC	White Fir	Abies concolor	8-10' ht.	4
GT	Shademaster Honeylocust	Gleditsia triacanthos inermis Shademaster	2.5-3' c.i.	3
MS	Harvest Gold Crabapple	Malus Harvest Gold	2.5-3' c.i.	2
PN	Oregon Green Austrian Pine	Pinus nigra Oregon Green	8-10' ht.	3
QA	White Oak	Quercus alba	2.5-3' c.i.	4
Shrubs				
AA	Brilliantissima Chokeberry	Aronia arbutifolia Brilliantissima	2 1/2-3' ht.	11
AS	Regent Serviceberry	Amelanchier alnifolia Regent	3-4'	11
CA	Ivory Halo Dogwood	Cornus alba Ivory Halo	2-2 1/2'	15
CY	Bud's Yellow Dogwood	Cornus alba Bud's Yellow	2-2 1/2'	17
IV	Henry's Garnet Elm	Ulmus virginicus Henry's Garnet	2-2 1/2'	12
RA	Grow-low Sumac	Rhus glabra	18"-24"	44
SM	Dwarf Korean Lilac	Syringa meyeri Palibin	2 1/2-3' ht.	18
VN	Brandywine Viburnum	Viburnum nudum Brandywine	3-4'	14
Groundcovers and Perennials				
HR	Daisy Lily Happy Returns	Hemerocallis Happy Returns	2g.i.	50
PA	Dwarf Fountain Grass	Pennisetum alopecuroides Helminum	2g.i.	50



Engineering a Sustainable Future
Nobis Engineering, Inc.
18 Chenell Drive
Concord, NH 03301
T(603) 224-4182
www.nobiseng.com
Client - Focused, Employee - Owned

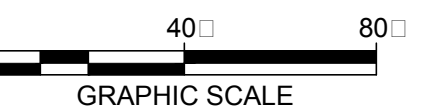


NOT ISSUED
FOR
CONSTRUCTION

NH DISTRIBUTORS
EXPANSION

65 REGIONAL DRIVE
CONCORD, NH

NO.	DATE	DESCRIPTION
REVISIONS		



DATE:	JANUARY 2017
NOBIS PROJECT NO.	85130.04
DRAWN BY:	NCP/JLK
CHECKED BY:	ERL
CAD DRAWING FILE:	85130.04-C-500-LSCAPE.dwg
SHEET TITLE	

LANDSCAPE
PLAN

SHEET
L-1