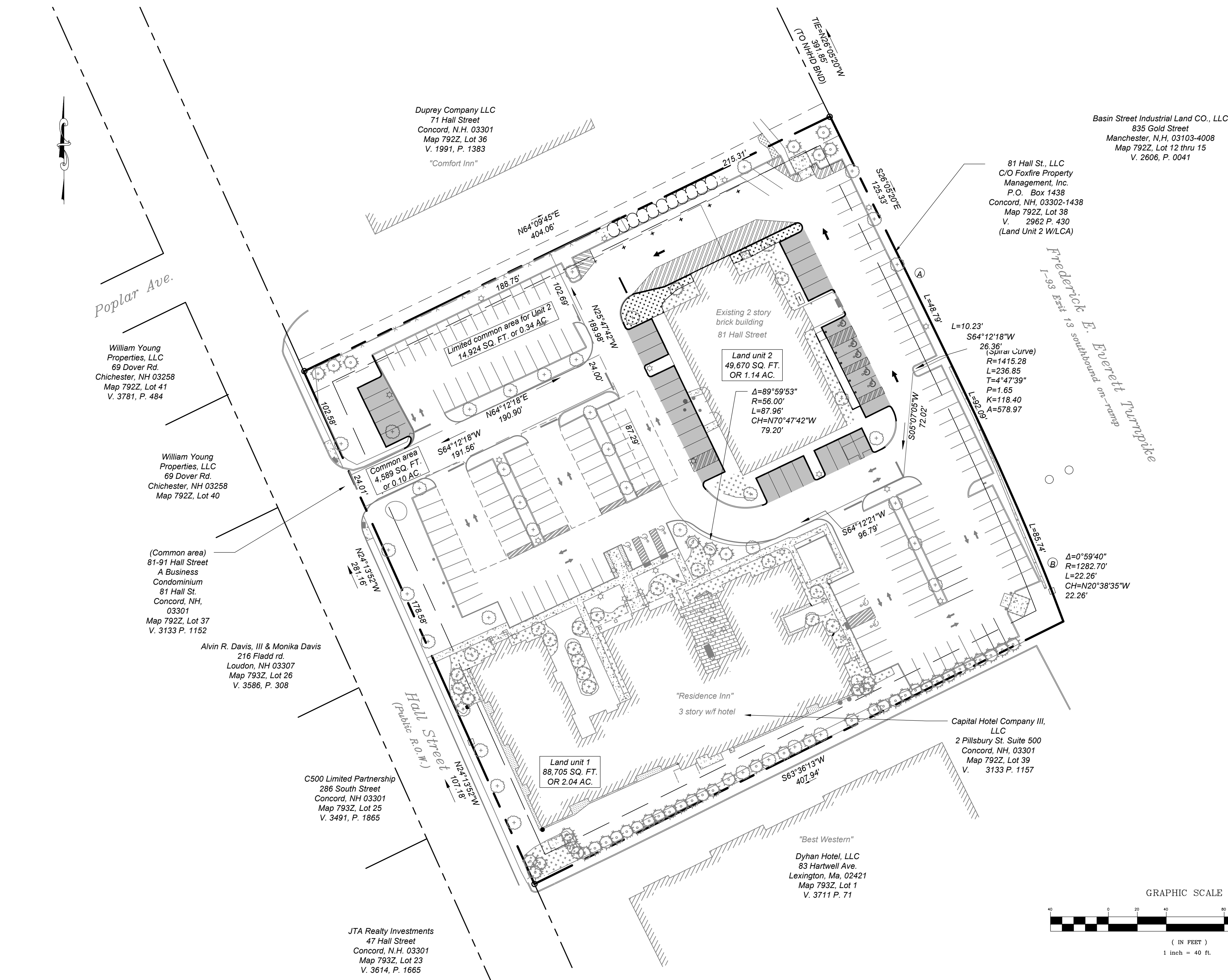


NHT 2022, LLC

81 HALL STREET, CONCORD, NH



PROJECT DESCRIPTION:

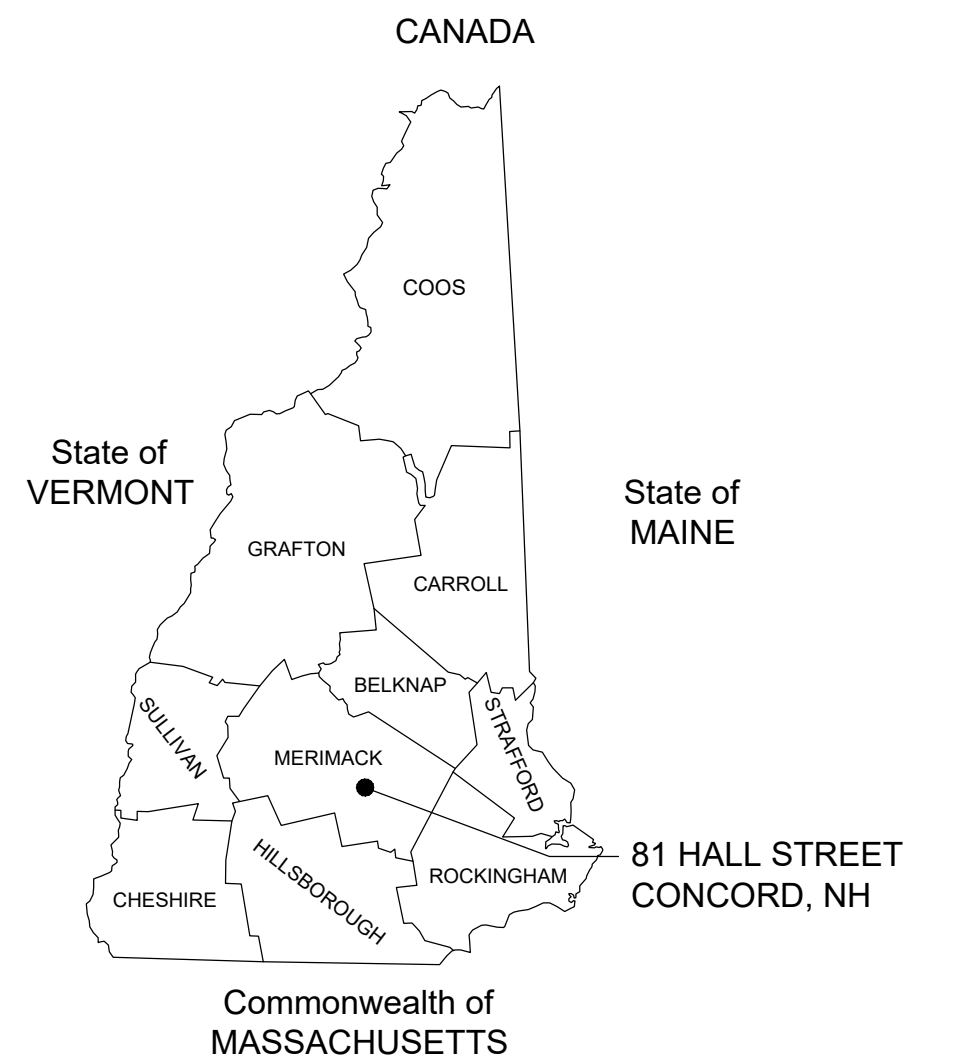
THE PROJECT INCLUDES A CHANGE OF USE OF AN EXISTING BUILDING, AND MODIFICATIONS TO PARKING, LOADING / DELIVERY AND DRIVEWAY AS IT RELATES TO THE NEW USE. THE PROPERTY IS IN THE OPPORTUNITY CORRIDOR PERFORMANCE (OCP) ZONING DISTRICT AND THE FLOOD HAZARD OVERLAY DISTRICT (FH).

SHEET INDEX

SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	06/15/2022	08/08/2022
2	C0.2	NOTES & LEGEND	06/15/2022	08/08/2022
3	S1.1	EXISTING CONDITIONS PLAN	06/15/2022	08/08/2022
4	C1.1	DEMOLITION PLAN	06/15/2022	08/08/2022
5	C1.2	SITE PLAN	06/15/2022	08/08/2022
6	C1.3	GRADING & DRAINAGE PLAN	06/15/2022	08/08/2022
7	C5.1	CONSTRUCTION DETAILS	06/15/2022	08/08/2022
8	C5.2	CONSTRUCTION DETAILS	06/15/2022	08/08/2022
9	C5.3	EROSION CONTROL DETAILS	06/15/2022	08/08/2022
10	L1.1	LANDSCAPE PLAN	06/15/2022	08/08/2022

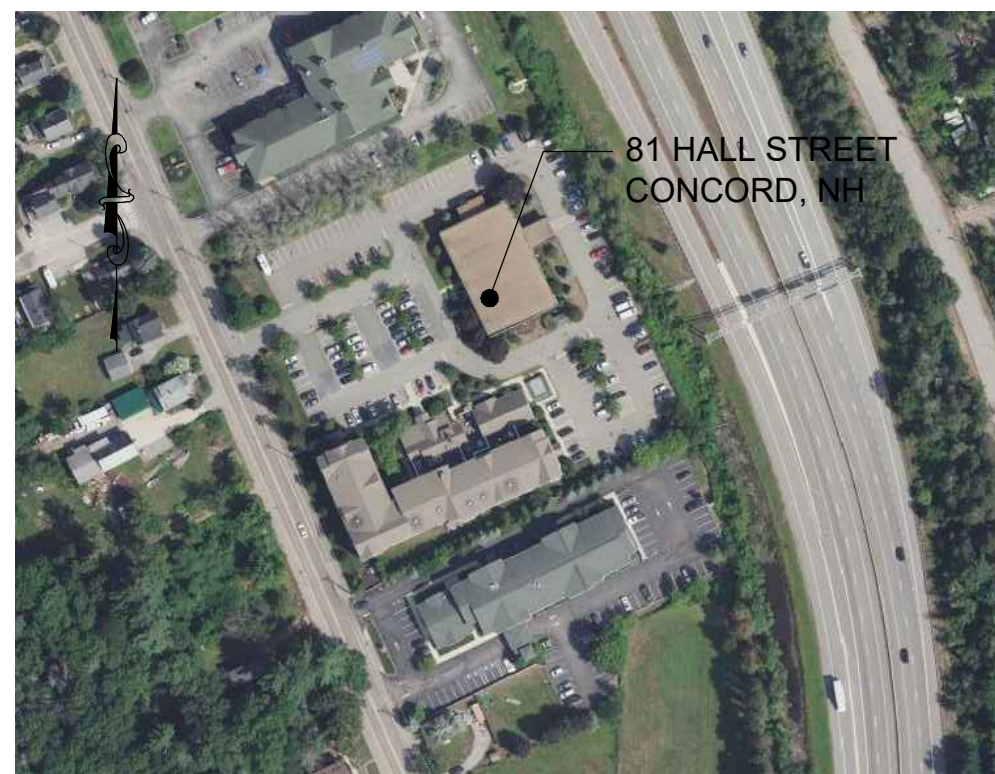
ABUTTERS LIST

01 MAP 792Z LOT 39, V. 3133 P. 1157: CAPITAL HOTEL COMPANY III, LLC 2 PILLSBURY ST. SUITE 500 CONCORD, NH, 03301
02 MAP 793Z LOT 1, V. 3711 P. 71: DYHAN HOTEL, LLC 83 HARTWELL AVE. LEXINGTON, MA, 02421
03 MAP 793Z LOT 23, V. 3614 P. 1665: JTA REALTY INVESTMENTS 47 HALL STREET CONCORD, N.H. 03301
04 MAP 793Z LOT 25, V. 3491 P. 1865: C500 LIMITED PARTNERSHIP 286 SOUTH STREET CONCORD, NH 03301
05 MAP 793Z LOT 26, V. 3586 P. 308: ALVIN R. DAVIS, III & MONIKA DAVIS 216 FLADD RD. LOUDON, NH 03307
06 MAP 792Z LOT 40: WILLIAM YOUNG PROPERTIES, LLC 69 DOVER RD. CHICHESTER, NH 03258
07 MAP 792Z LOT 41, V. 3781 P. 484: WILLIAM YOUNG PROPERTIES, LLC 69 DOVER RD. CHICHESTER, NH 03258
08 MAP 792Z LOT 36, V. 1991 P. 1383: DUPREY COMPANY LLC 71 HALL STREET CONCORD, N.H. 03301
09 MAP 792Z LOT 37, V. 3133 P. 1152: 81-91 HALL STREET A BUSINESS CONDOMINIUM, 81 HALL ST., CONCORD, NH, 03301



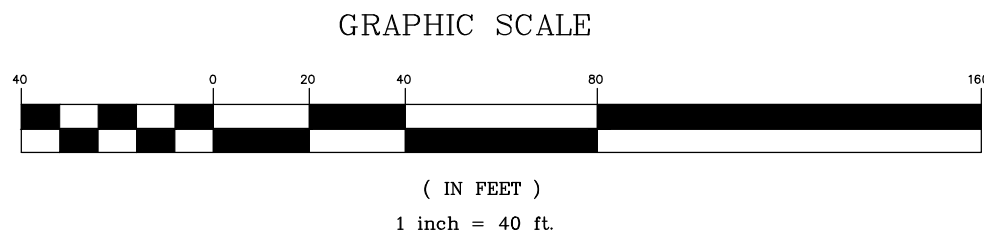
LOCATION MAP

NOT TO SCALE



PLOT PLAN

NOT TO SCALE



APPROVED
UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:

Approval of this plan is limited to the date as shown

Chair Clerk

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

LAND SURVEYOR
RICHARD D. BARTLETT & ASSOCIATES, LLC
214 NORTH STATE STREET
CONCORD, NH 03301

LANDSCAPE ARCHITECT
TERRAIN PLANNING & DESIGN, LLC
311 KAST HILL ROAD
HOPKINTON, NH 03229

REVISION HISTORY
1. LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAD)
2. REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

PERMITTING

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

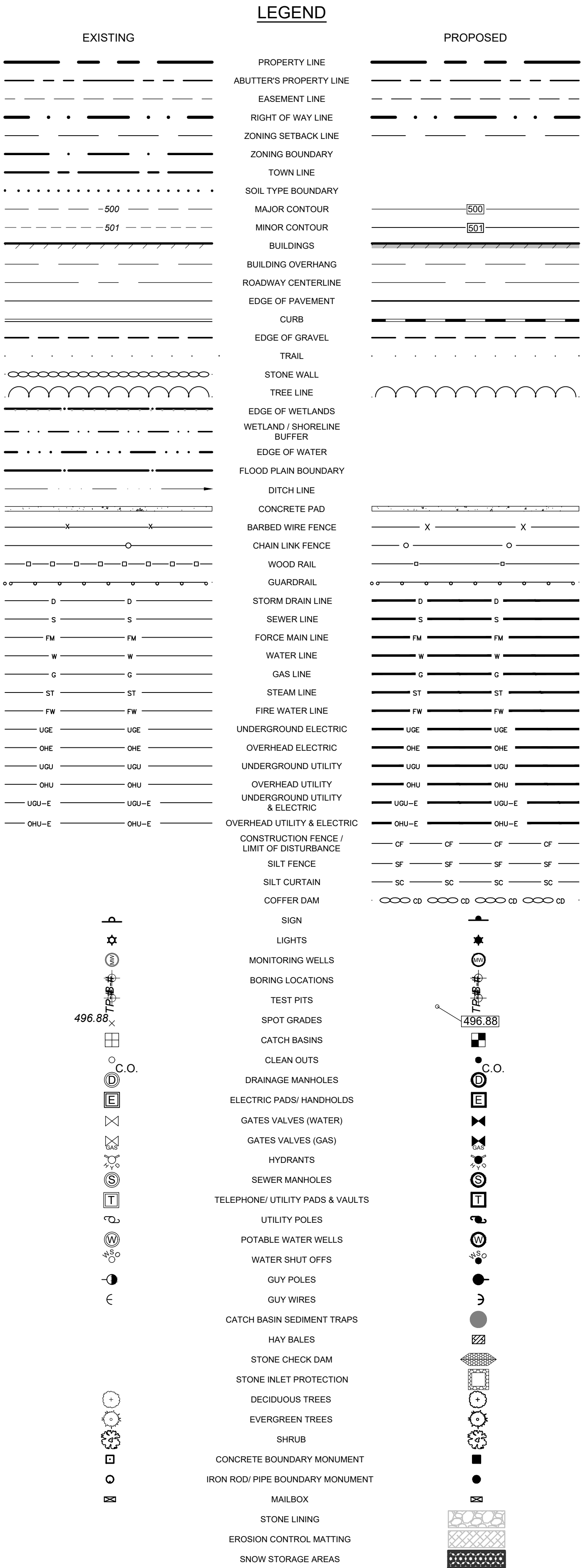
OWNER
NHT 2022, LLC
PO BOX 10571
BEDFORD, NH 03110

SITE
81 HALL STREET
CONCORD, NH
MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

COVER SHEET

SCALE: N.T.S. DATE: 06/15/2022
DRAFTED BY: CDM CHECKED BY: ERL PROJECT MGR: ERL PROJECT NO.: DUPR0020

SHEET NO.
C0.1
01 OF 10



STANDARD ABBREVIATIONS

BCC - BITUMINOUS CONCRETE CURB
VGC - VERTICAL GRANITE CURB
SGC - SLOPED GRANITE CURB
CCC - CAST-IN-PLACE CONCRETE CURB
PCC - PRECAST CONCRETE CURB
ICC - INTEGRAL CONCRETE CURB
RCC - REINFORCED CONCRETE CURB
BCP - BITUMINOUS CONCRETE PAVEMENT
GRV - GRAVEL DRIVE SURFACE
PCS - PORTLAND CEMENT CONCRETE SIDEWALK
BCS - BITUMINOUS CONCRETE SIDEWALK
CB - CATCH BASIN
DMH - DRAINAGE MANHOLE
SMH - SEWER MANHOLE

GENERAL NOTES

1. GENERAL:
- 1.1 EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAT OF LAND OF 81 HALL STREET LLC" PREPARED FOR FOXFIRE PROPERTY MANAGEMENT, DATED MAY 18, 2022, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- 1.2 THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR NHT 2022, LLC FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- 1.3 THE PURPOSE OF THESE DRAWINGS IS FOR THE SITE PLAN REVIEW APPLICATION FOR A CHANGE OF USE OF AN EXISTING BUILDING, AND ASSOCIATED MODIFICATIONS TO PARKING, LOADING / DELIVERY AND DRIVEWAY. THE SUBJECT PROPERTY IS IN THE OPPORTUNITY CORRIDOR PERFORMANCE (CCP) ZONING DISTRICT AND THE FLOOD HAZARD OVERLAY DISTRICT (FH).
- 1.4 PROPOSED SITE WILL BE SERVICED BY CITY WATER AND SEWER.
- 1.5 A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
- 1.6 REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
- 1.7 CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- 1.8 ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- 1.9 PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)
- 1.10 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
- 1.11 ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
- 1.12 CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.
- 1.13 THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER, THUS PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR.
- 1.14 GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
- 1.15 UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
- 1.16 THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
- 1.17 THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
- 1.18 A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) SHALL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO TH CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHALL BE SUBMITTED TO THE ESD FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE THE LANE CLOSURE(S).

2. MATERIAL SPECIFICATIONS:

- 2.1 MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 2.2 GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
- 2.3 BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3/4 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-4 PERCENT PASSING A NO. 200 SIEVE.
- 2.4 CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A 1 1/2 INCH SIEVE 30-60 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BE PERFORMED IN SUMMER 2022. CONSTRUCTION IS ANTICIPATED TO BE COMPLETED BY FALL 2022.

- ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION:
- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
 - NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
 - PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
 - WITHIN 14 DAYS OF COMPLETION OF CONSTRUCTION AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
 - WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
 - AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
 - REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE

- THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:
- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
 - BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
 - INSTALL PERMANENT STORM DRAIN SYSTEM.
 - INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
 - REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
 - PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION:

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDING AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORNE DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISPATIES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DEWATERING:

SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

STORMWATER POLLUTION PREVENTION PLAN:

THE PROJECT IS SUBJECT TO THE REQUIREMENTS OF THE USEPA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION PERMIT, WHICH INCLUDES A WRITTEN STORM WATER POLLUTION PREVENTION (SWPPP) PLAN FOR CONSTRUCTION. THE SWPPP PLAN SHALL OUTLINE DETAILED SPECIFICATIONS FOR IMPLEMENTATION, INSPECTION, AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR COMPLIANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN, SHALL BE RESPONSIBLE FOR AMENDING THE SWPPP ACCORDINGLY, AND SHALL BE RESPONSIBLE FOR ANY PENALTIES RESULTING FROM LACK OF COMPLIANCE.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	
PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

CONSTRUCTION SEQUENCE

- CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
- DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDING WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDING AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
- PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
- PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING, LOADING, SIDEWALK, AND GRAVEL ACCESS DRIVE AREAS.
- PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
- PLACE PAVEMENT COURSES, SIDEWALKS, AND CURBING.
- ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDING, AND MULCHED.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
- SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

LANDSCAPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
- ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNERS REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
- CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
- ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS.
- ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED.
- AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4-FOOT RADIUS AROUND EVERGREEN TREES; B) 3-FOOT RADIUS AROUND DECIDUOUS TREES; AND C) 2-FOOT RADIUS AROUND LARGE SHRUBS.
- FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNERS REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNER'S REPRESENTATIVE 24-HOURS PRIOR TO PLACEMENT FOR APPROVAL.
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDING, AND MULCHED.



- REVISION HISTORY
- LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAG)
 - REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

ISSUED FOR

PERMITTING

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OWNER

NHT 2022, LLC
PO BOX 10571
BEDFORD, NH 03110

SITE

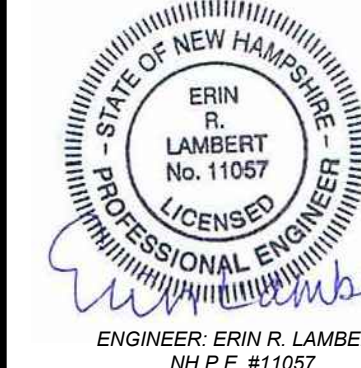
81 HALL STREET
CONCORD, NH

MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

DRAWING TITLE

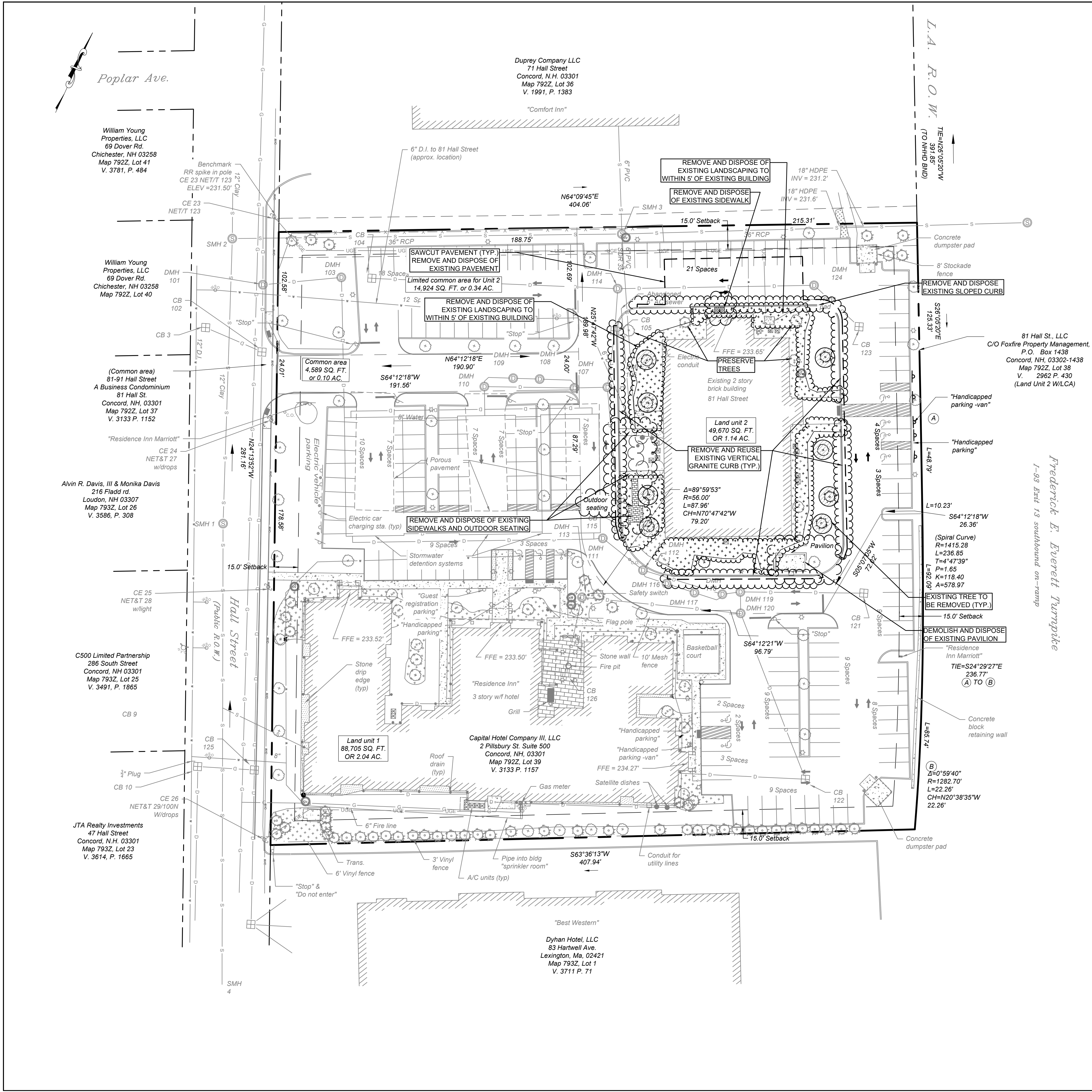
NOTES & LEGEND

SCALE		DATE	
N.T.S.		06/15/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
CDM	ERL	ERL	DUPR0020
SHEET NO.			



C0.2

02 OF 10

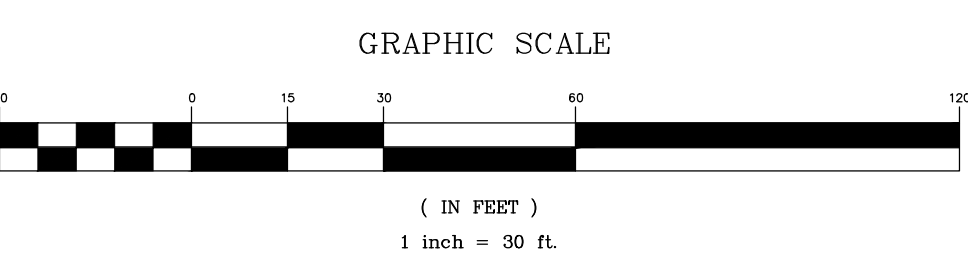


UTILITY STRUCTURE SCHEDULE

DMH 101 RIM=230.29' INV. 18" RCP(N)=222.55' INV. 12" PVC(E)=222.65' INV. 18" RCP(S)=222.28'	CB 104 RIM=230.88' INV. 12" HDPE(SE)=226.09' SUMP=222.98'
DMH 103 RIM=231.49' INV. 12" HDPE(W)=222.97' INV. 12" PVC(S)=222.99'	CB 105 RIM=232.19' INV. 15" HDPE(NW)=224.93' INV. 15" HDPE(SE)=224.68' SUMP=224.19
DMH 106 RIM=232.63' INV. 15" HDPE(NW)=224.73' INV. 12" HDPE(SE)=223.68' INV. 15" HDPE(SW)=224.52'	CB 115 RIM=231.66' INV. 12" HDPE(NW)=225.04' SUMP=222.40
DMH 107 RIM=233.02' INV. 15" HDPE(NW)=224.77' INV. 15" HDPE(NE)=224.59' INV. 15" HDPE(SW)=224.82'	CB 121 RIM=231.77' INV. 12" HDPE(NW)=227.26' SUMP=224.23'
DMH 110 RIM=233.98' INV. 15" HDPE(NW)=224.58' INV. 15" HDPE(NE)=224.53' INV. 15" HDPE(SE)=224.36'	CB 122 RIM=231.28' INV. 8" PVC(W)=226.14' INV. 15" HDPE(N)=225.69' SUMP=223.04'
DMH 111 RIM=231.86' INV. 15" HDPE(W)=224.50' INV. 15" HDPE(SE)=224.54' SUMP=223.93'	CB 123 RIM=231.44' INV. 12" HDPE(NW)=227.12' SUMP=224.07'
DMH 112 RIM=232.31' INV. 15" HDPE(NW)=224.61' INV. 12" PVC(E)=224.64' INV. 15" HDPE(S)=224.76'	CB 126 RIM=233.15' BOLTED SHUT
DMH 113 RIM=232.98' INV. 15" HDPE(E)=225.08' SUMP=220.82'	CATCH BASIN 3 RIM 229.91 INV 222.59 15" RCP SUMP 218.70
DMH 114 RIM=232.61' INV. 12" HDPE(NE)=225.05' INV. 12" HDPE(SE)=225.08' INV. 12" HDPE(SW)=225.07'	CATCH BASIN 9 RIM 229.04 INV 223.19 15" RCP (N) INV 223.49 4" PVC (NE) INV 223.01 15" HDPE (E) INV 223.22 4" PVC (SE) SUMP 220.56
DMH 118 RIM=232.39 INV. 15" HDPE(E)=224.55' INV. 15" HDPE(S)=224.56' INV. 15" HDPE(NW)=225.84' SUMP=224.84'	CATCH BASIN 10 RIM 230.17 INV 223.02 15" RCP (E) INV 223.36 15" RCP (S) SUMP 221.72
DMH 119 RIM=232.27 INV. 12" HDPE(NE)=224.74' INV. 15" HDPE(SE)=224.60' INV. 15" HDPE(SW)=224.60'	SMH 1 RIM 230.14 INV 219.02 12" CLAY (N) INV 220.01 12" CLAY (S)
DMH 120 RIM=232.26' INV. 15" HDPE(S)=224.84' INV. 12" HDPE(W)=224.89' INV. 15" HDPE(N)=224.74'	SMH 2 RIM 230.69 INV 216.32 36" RCP (N) INV 216.11 36" RCP (E) INV 217.64 12" CLAY (S)
DMH 124 RIM=231.68' INV. 12" HDPE(W)=225.97' INV. 12" HDPE(SE)=226.05' SUMP=225.63'	SMH 3 RIM 231.39 INV 225.37 6" PVC (N) INV 215.59 36" RCP (E) INV 224.69 6" PVC (S) INV 216.24 36" RCP (W)
DMH 108 RIM=233.66' DMH 109 RIM=231.86' DMH 116 RIM=232.34' DMH 117 RIM=232.30'	SMH 4 RIM 229.43 INV 220.55 12" PVC (N) INV 220.58 12" PVC (S)

PLAN NOTES:

- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED 'EXISTING CONDITIONS PLAT OF LAND OF 81 HALL STREET, LLC' PREPARED FOR FOXFIRE PROPERTY MANAGEMENT, DATED MAY 18, 2022, PROVIDED TO WILCOX & BARTON, INC. BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES



2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

- REVISION HISTORY
- LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAG)
 - REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

PERMITTING

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NHT 2022, LLC
PO BOX 10571
BEDFORD, NH 03110

81 HALL STREET
CONCORD, NH

MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

DEMOLITION PLAN

SCALE	1" = 30'	DATE	06/15/2022
DRAFTED BY	CDM	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	DUPR0020
SHEET NO.			

ENGINEER ERIN R. LAMBERT
NH P.E. #11057

C1.1

04 OF 10

ZONING NOTES:

MAP / BLOCK / LOT(S): MAP 792Z / LOT 38
PROPERTY ADDRESS: 81 HALL STREET
CONCORD, NH 03301

OWNER: 81 HALL STREET, LLC

DEED REGISTRATION: 2962 BK / 430 PG.

ZONE DISTRICT: OC - OPPORTUNITY CORRIDOR
PERFORMANCE DISTRICT
FH - FLOOD HAZARD OVERLAY DISTRICT
(MIN. REQUIRED FF ELEV. 233.60'
EXISTING FF ELEV TO REMAIN: 233.65')

LOT AREA	LAND UNITS 1 AND 2		
	REQUIRED (MIN.) NA	EXISTING 157,888 SF(3.62 AC)	PROPOSED 157,888 SF(3.62 AC)

FRONTAGE:			
MIN.	150 LF	388.34 LF	388.34 LF
BUILDING SETBACKS LOT:			
FRONT	15 LF	53 LF	53 LF
SIDE	15 LF	49 LF	49 LF
REAR	15 LF	75 LF	75 LF
BUILDING HEIGHT:			
MAX.	45 FT	EXISTING TO REMAIN	

IMPERVIOUS COVERAGE CALCULATIONS:

	REQUIRED MAX. (85% MAX.)	EXISTING (APPROVED UNDER CUP 78%)	PROPOSED 110,778 SF (70.2%)
IMPERVIOUS AREAS:			
PAVEMENT AREA		62,380 SF	69,435 SF
BUILDING AREA		32,516 SF	32,516 SF
OTHER IMPERVIOUS		8,635 SF	8,827 SF
TOTAL		103,531 SF	110,778 SF

PARKING CALCULATIONS:

HOTEL: 1.1 SPACES PER UNIT
X 92 UNITS = 101 SPACES REQUIRED

CLINIC AND OUTPATIENT CARE: 1/SPACE / 225 SF
16,901 SF/ 225 = 75 SPACES

TOTAL SPACES REQUIRED: 176
TOTAL SPACES PROVIDED: 189
5 SPACES ARE DEFERRED, BY CUP APPROVAL.

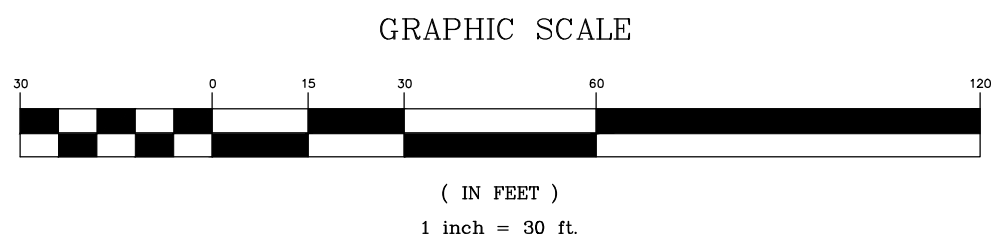
ACCESSIBLE SPACES REQUIRED: 16
ACCESSIBLE SPACES PROVIDED: 10

TREE COUNT CALCULATION

REQUIRED TREES: 1 TREE / 2,000 SF OF PARKING AREA
PARKING AREA LAND UNIT 2: 27,862 SF (14 TREES REQUIRED)
EXISTING TREES: 24
TREES TO REMAIN: 16

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- SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES



APPROVED

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36

CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:

Approval of this plan is limited to the date as shown

Chair

Clerk

PERMITTING

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ISSUED FOR

NHT 2022, LLC
PO BOX 10571
BEDFORD, NH 03110

SITE


81 HALL STREET
CONCORD, NH

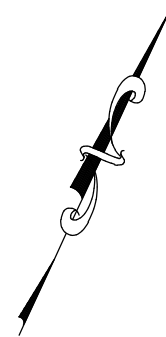
MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

DRAWING TITLE

SITE PLAN

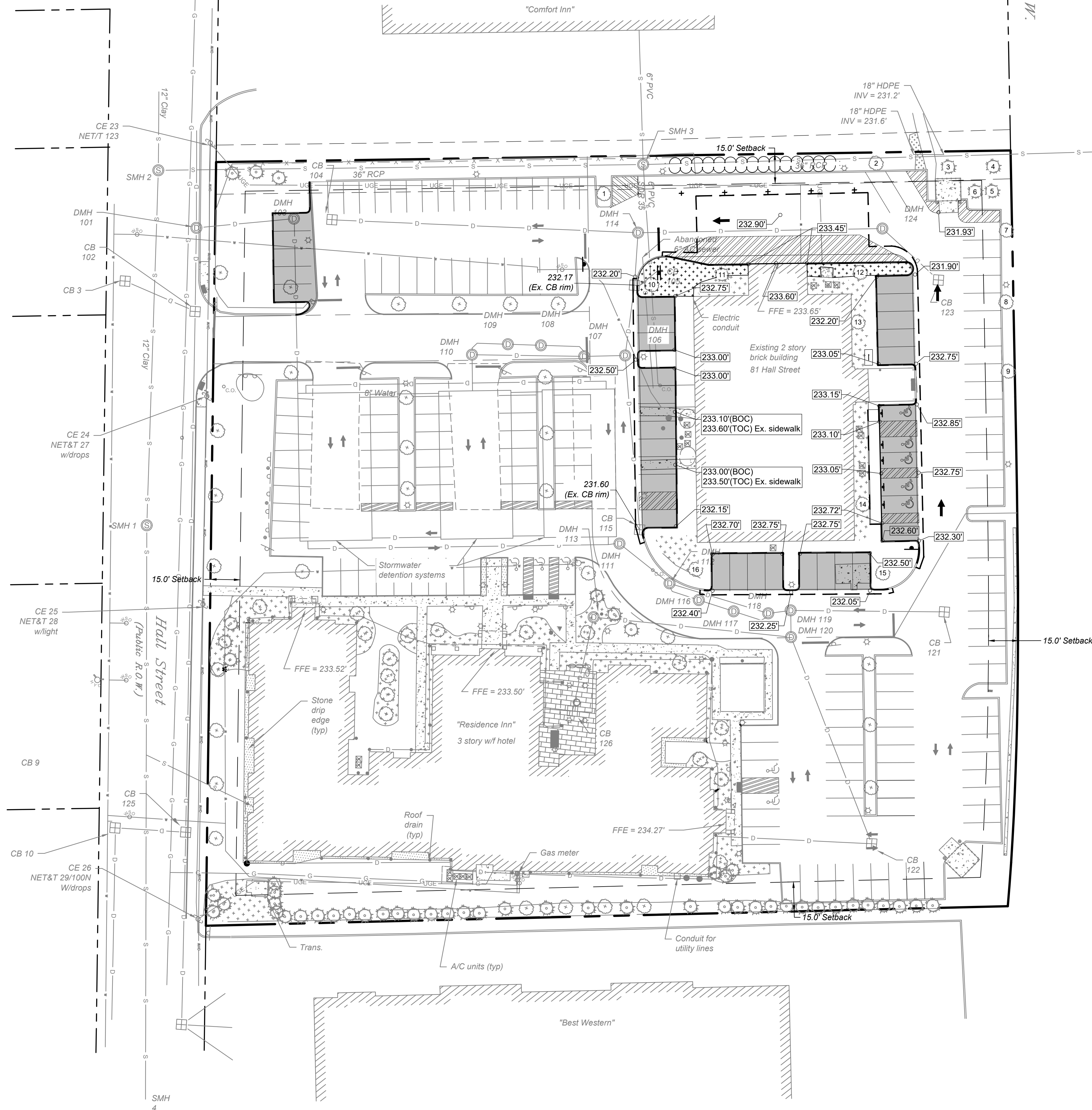
SCALE	1" = 30'	DATE	06/15/2022
DRAFTED BY	CDM	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	DUPR0020

 ENGINEER: ERIN R. LAMBERT NH P.E. #11057	SHEET NO.
	C1.2
	05 OF 10



Poplar Ave.

L.A. R.O.W.



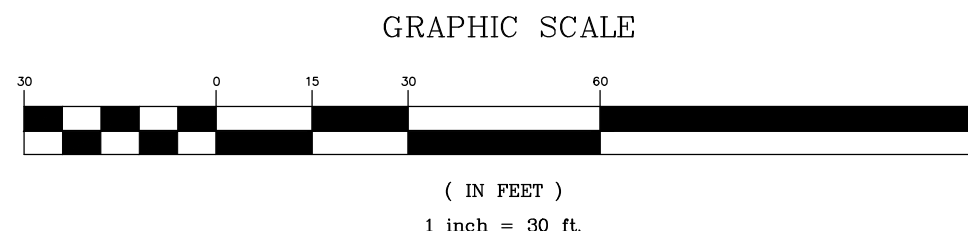
Frederick E. Everett Turnpike
I-93 Exit 13 southbound on-ramp

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PLAN NOTES:

1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
5. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
6. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.



2 CAPITAL PLAZA, SUITE 305
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REVISION HISTORY
1. LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAG)
2. REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

ISSUED FOR

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OWNER

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PO BOX 10571
BEDFORD, NH 03110

SITE

81 HALL STREET
CONCORD, NH

MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

DRAWING TITLE

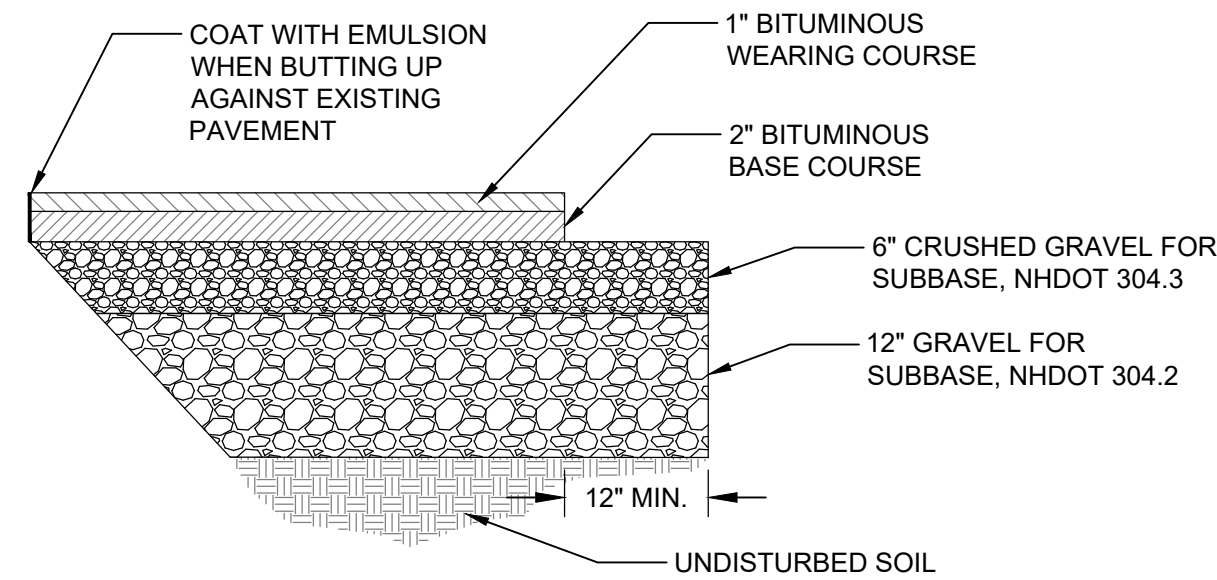
GRADING & DRAINAGE PLAN

SCALE 1" = 30'		DATE 06/15/2022	
DRAFTED BY CDM	CHECKED BY ERL	PROJECT MGR ERL	PROJECT NO. DUPR0020

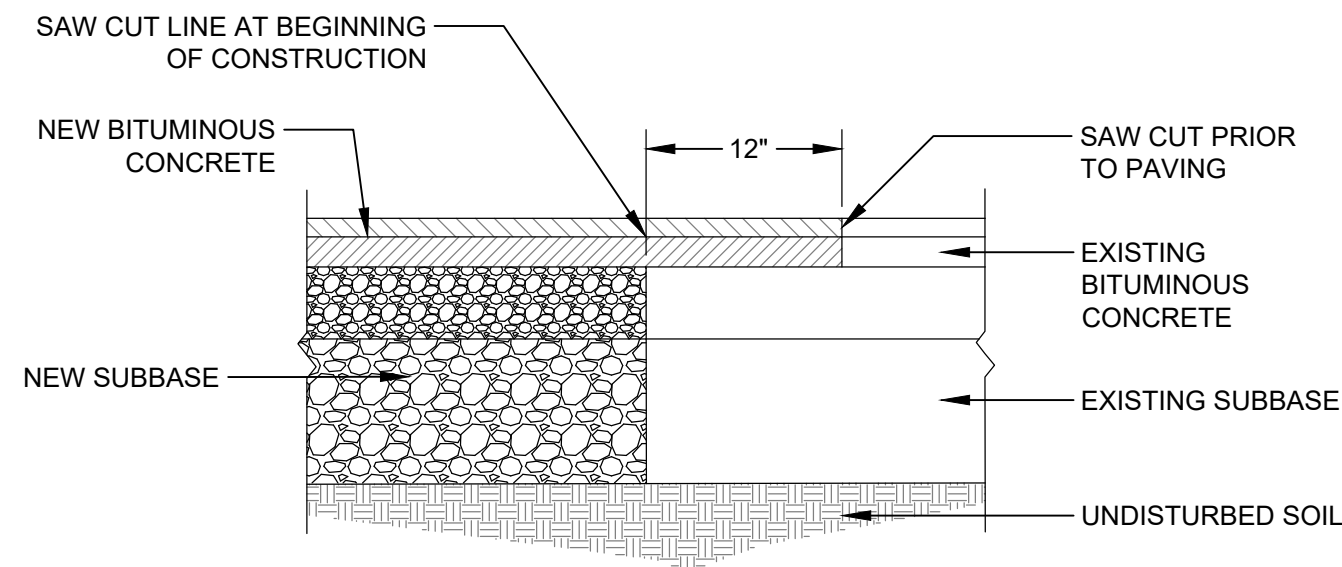


C1.3

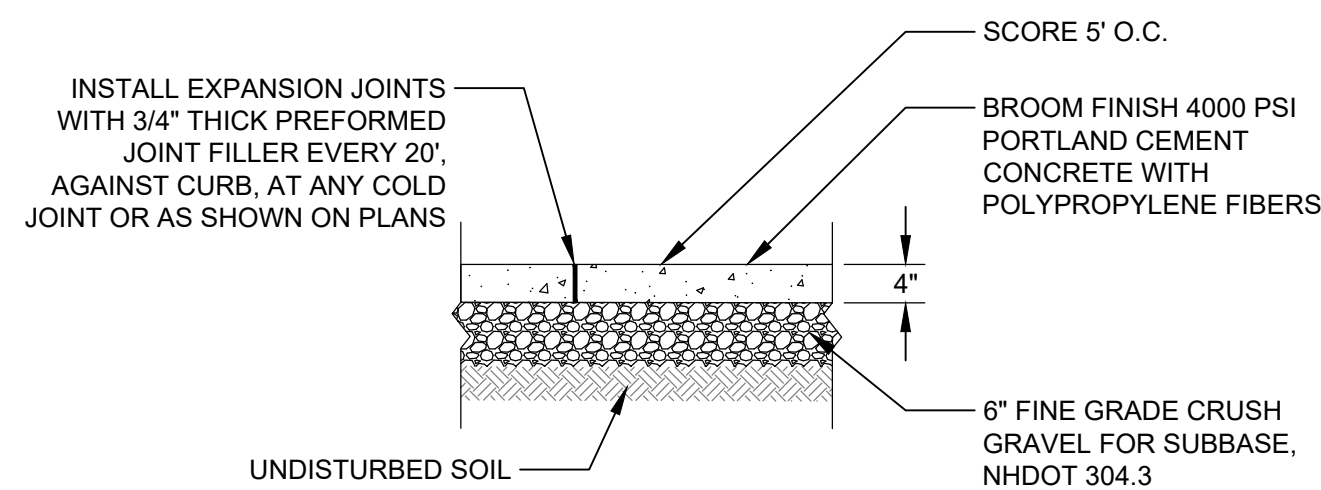
06 OF 10



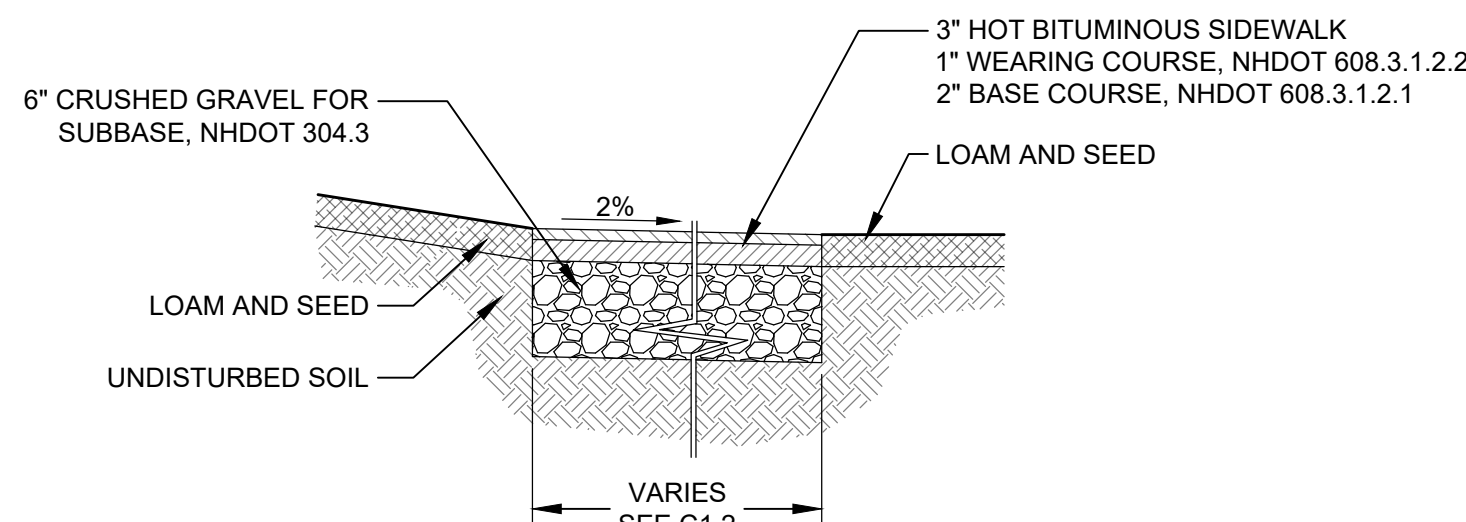
3" PARKING LOT AND DRIVEWAY
PAVEMENT SECTION
NOT TO SCALE



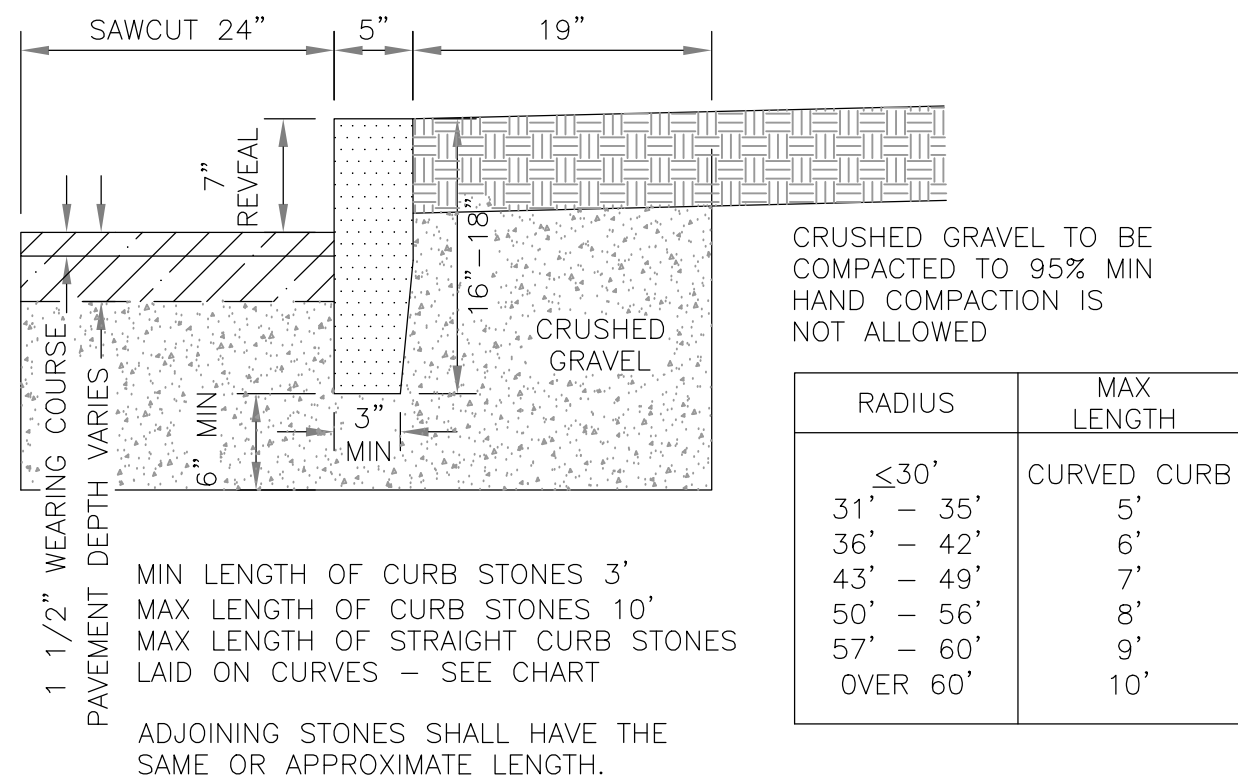
PAVEMENT JOINT SECTION
NOT TO SCALE



CONCRETE SIDEWALK SECTION
NOT TO SCALE



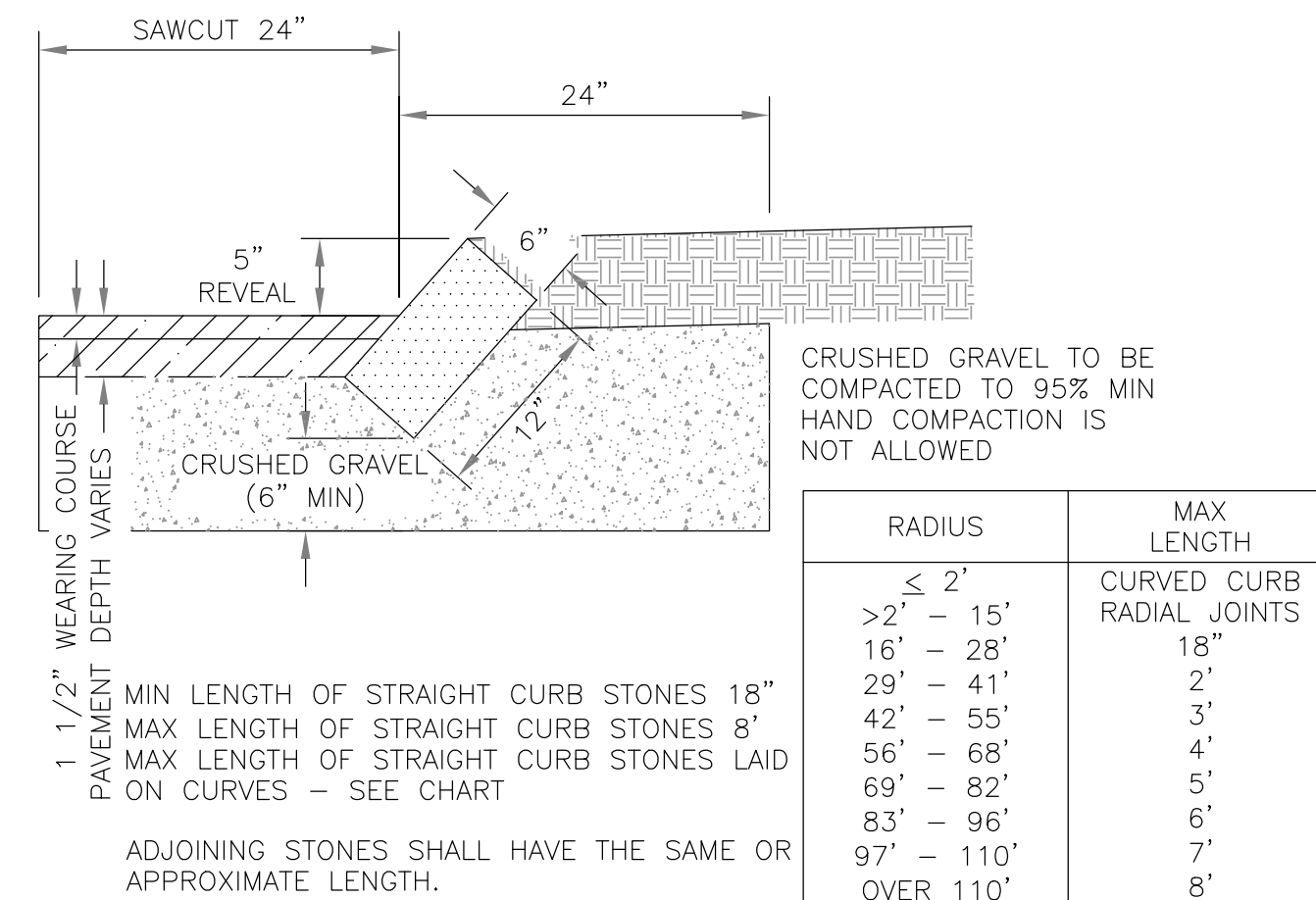
3" BITUMINOUS SIDEWALK SECTION
NOT TO SCALE



FINISH SURFACE AND TOLERANCES FOR VERTICAL GRANITE CURB			
AREA	FINISH SURFACE	TOLERANCE	
TOP	5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE.	+ $\frac{1}{8}$ " TO + $\frac{1}{2}$ "	
FRONT FACE	FRONT AND BACK ARRIS LINES PITCHED STRAIGHT AND PARALLEL.	+ $\frac{1}{8}$ " TO + $\frac{1}{2}$ "	
BACK FACE	RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10"	+1" TO - $\frac{1}{2}$ "	
EXPOSED	PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO $\frac{1}{2}$ " BELOW EXPOSED SURFACE. NO LARGER THAN $\frac{1}{4}$ " SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES.	+1" TO -1"	
CONCEALED	BELOW $\frac{1}{2}$ " FROM EXPOSED SURFACE.	+ $\frac{1}{2}$ " TO - $\frac{1}{2}$ "	
BOTTOM	APPROXIMATELY PARALLEL TO TOP, MINIMUM WIDTH: 3"	SEE PLANS	
ENDS	SQUARE WITH PLANES OF TOP AND FACE		
EXPOSED PORTION			
JOINTS	OPTIMUM WIDTH: 1"		
EXPOSED			
CONCEALED	TO BREAK BACK NO MORE THAN 4"	+ $\frac{3}{4}$ " TO - $\frac{3}{4}$ "	

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	DRAFTING	12.15	VERTICAL GRANITE CURB	DRAWING NO.	C-1
2	SAWCUT	5.19		DATE:	12/08
-	-	-		PAGE:	1
-	-	-			

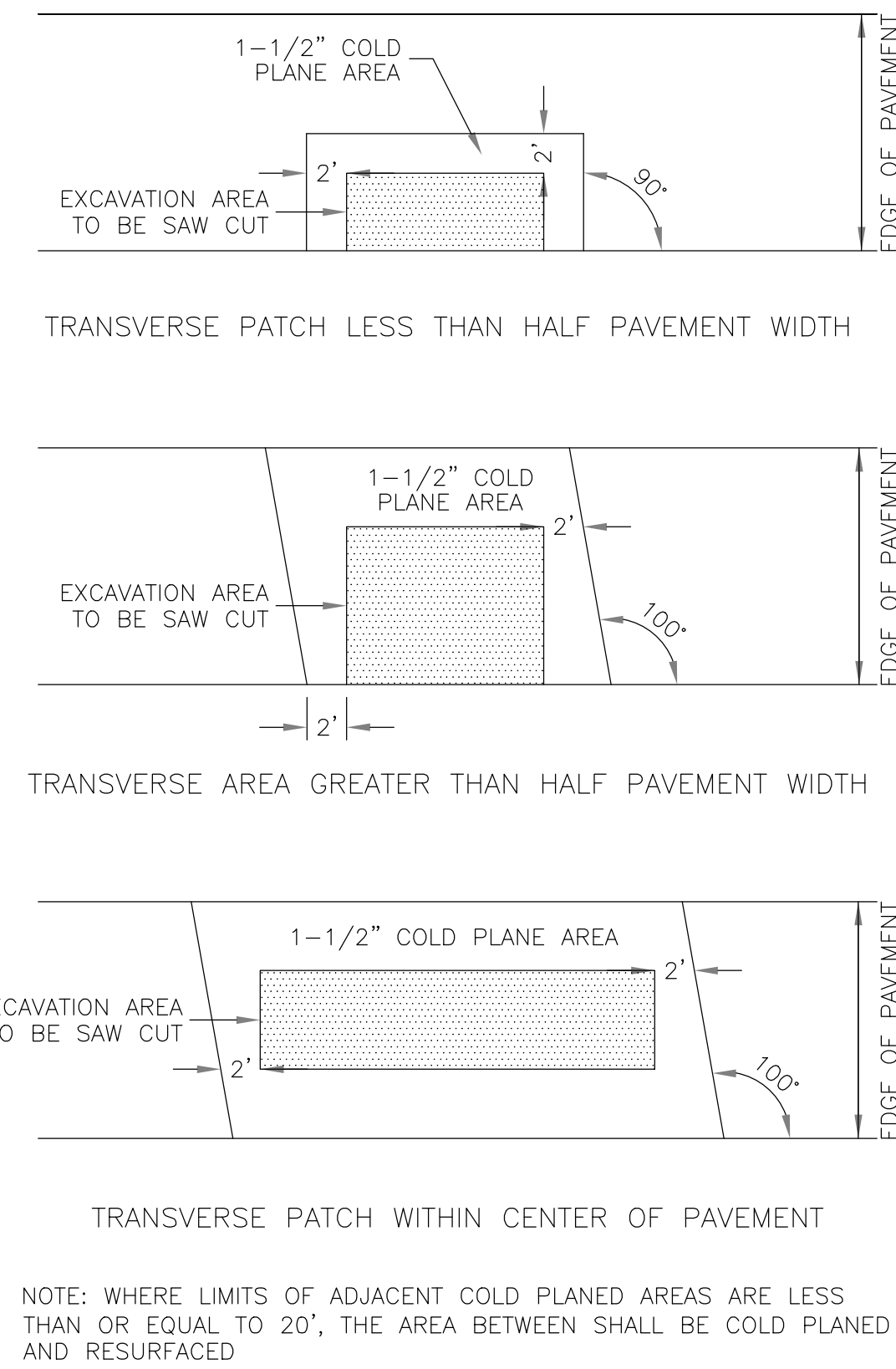
C1-C2_RDWY--Granite Curb_2.dwg



FINISH SURFACE AND TOLERANCES FOR SLOPED GRANITE CURB			
AREA	FINISH SURFACE	TOLERANCE	
ARRIS LINES	STRAIGHT AND TRUE ON TOP, FRONT AND ENDS. DRILL HOLES NOT DEEPER THAN $\frac{1}{4}$ " ALLOWED IN ARRIS LINES.	+ $\frac{1}{4}$ " TO - $\frac{1}{4}$ "	
FACES	PLANES; NO DRILL HOLES IN FACES LONGER THAN 8" OR DEEPER THAN $\frac{1}{4}$ ".	+1" TO -1"	
EXPOSED PART			
CONCEALED PART	DRILL HOLES NOT OBJECTIONABLE.		
ENDS	SQUARE WITH FACE EXCEPT AS INDICATED.		
JOINTS	ON TANGENT, MAXIMUM WIDTH: 1".	+ $\frac{1}{2}$ " TO - $\frac{1}{2}$ "	
	ON CURVES OVER 15' RADIUS, WIDEN TOP OR BOTTOM FROM 1" AS NECESSARY.	+ $\frac{1}{2}$ " TO - $\frac{1}{2}$ "	
	ON CURVES WITH 15' RADIUS AND UNDER, USE RADIAL JOINTS OR CURVED CURB AS INDICATED. OPTIMUM WIDTH: 1"	+ $\frac{1}{2}$ " TO - $\frac{1}{2}$ "	

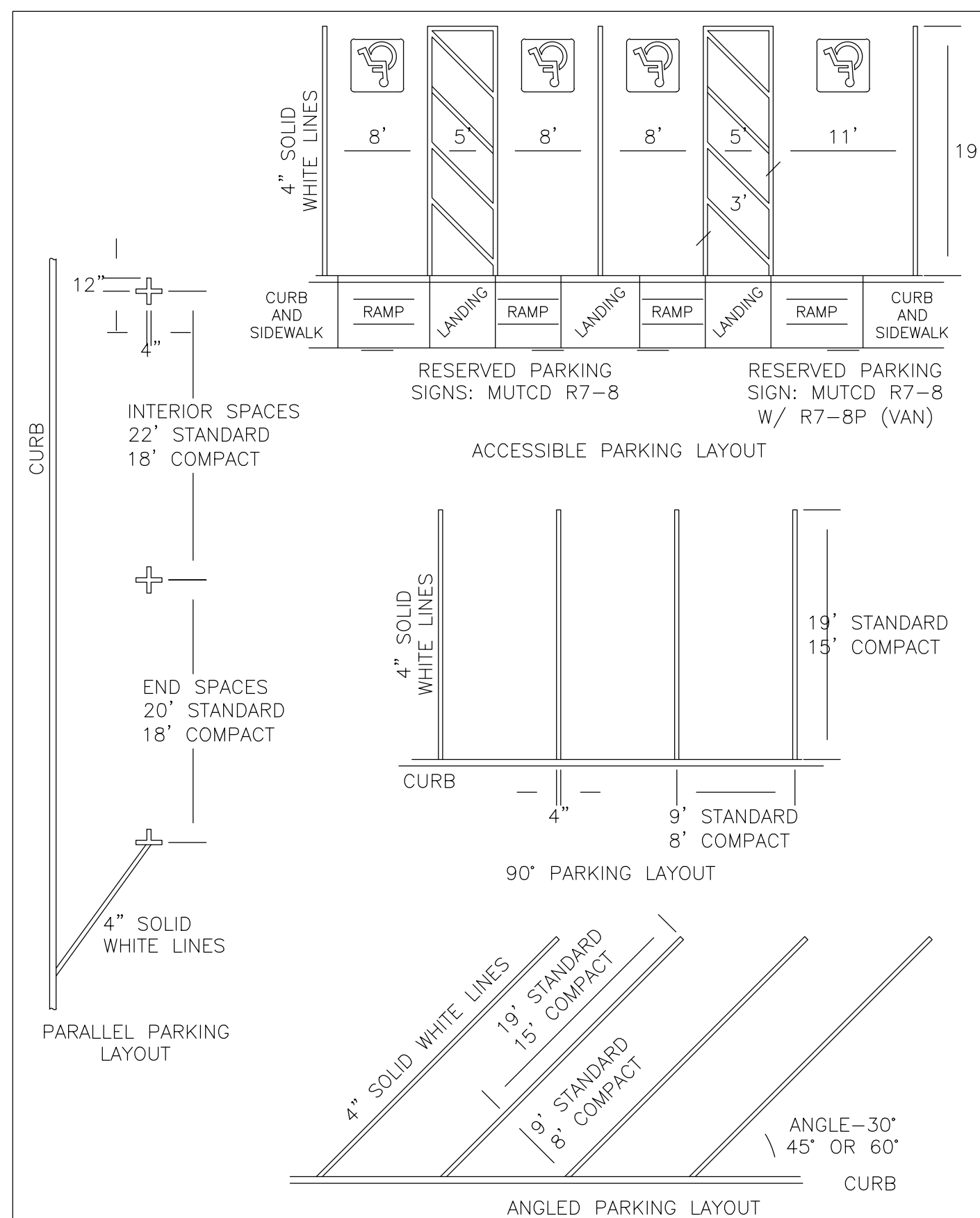
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	DRAFTING	11.11	SLOPED GRANITE CURB	DRAWING NO.	C-2
2	REMOVED FF	12.15		DATE:	12/08
3	SAWCUT	5.19		PAGE:	1
-	-	-			

C1-C2_RDWY--Granite Curb_2.dwg



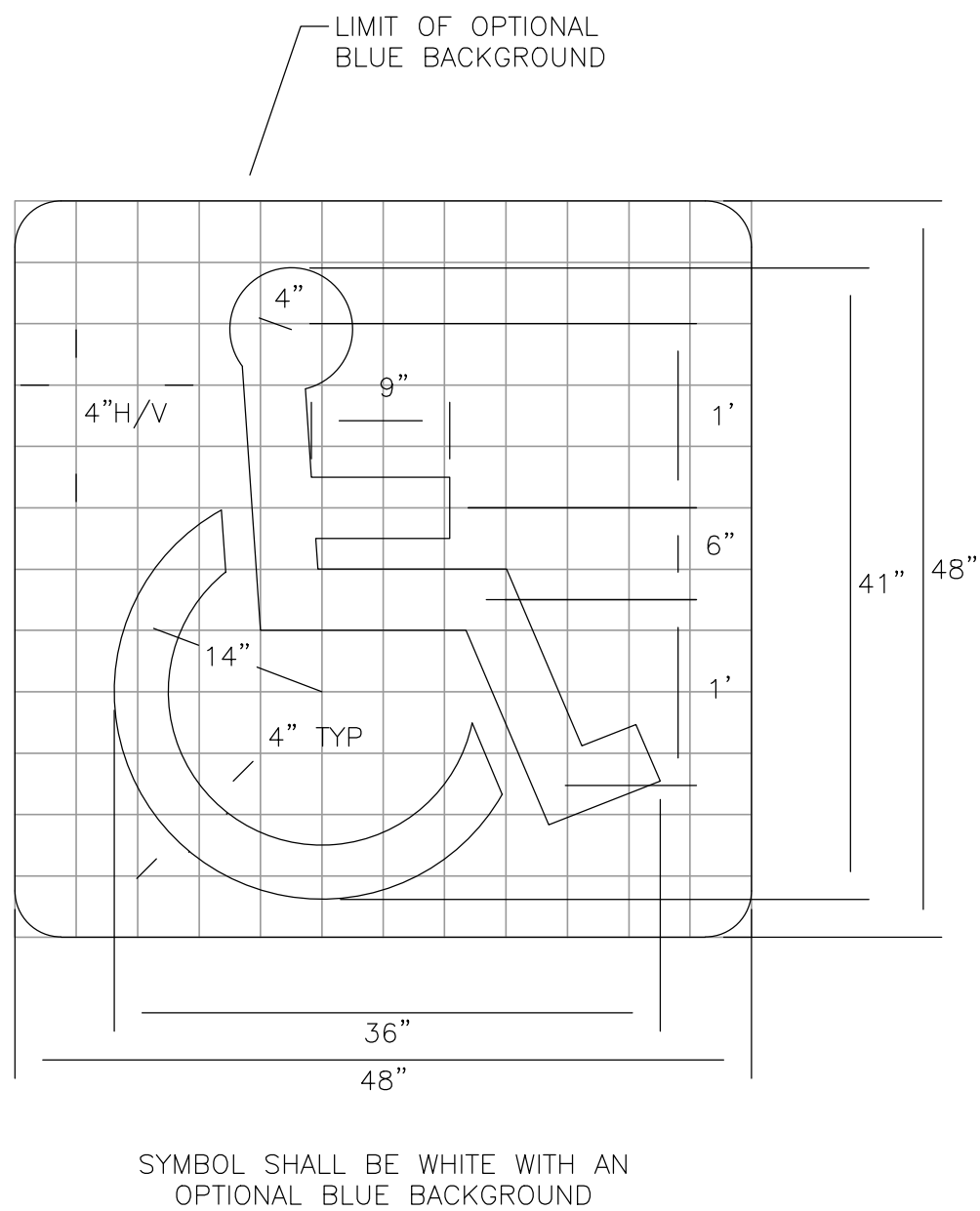
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
1	DRAWING NO.	11.11	SAWCUT REQUIREMENTS	DRAWING NO.	R-12
2	MULTIPLE	12.15		DATE:	12/08
-	-	-		PAGE:	1
-	-	-			

R12_RDWY--Sawcut_8.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
-	-	-	PARKING SPACE LAYOUT	DRAWING NO.	M-4
-	-	-		DATE:	12/08
-	-	-		PAGE:	1
-	-	-			

M3-M5_RDWY--Pavement Markings.dwg



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
-	-	-	ACCESSIBLE PARKING SPACE PAVEMENT MARKING	DRAWING NO.	M-5
-	-	-		DATE:	12/08
-	-	-		PAGE:	1
-	-	-			

M3-M5_RDWY--Pavement Markings.dwg

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

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PO BOX 10571
BEDFORD, NH 03110

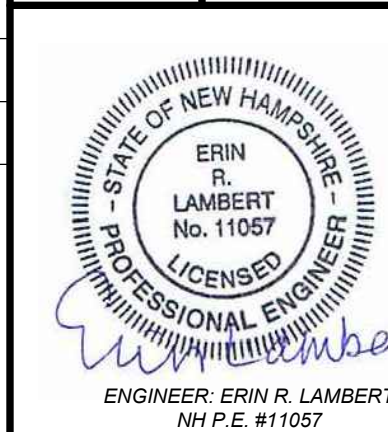
SITE

81 HALL STREET
CONCORD, NH

MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)

CONSTRUCTION DETAILS

SCALE		DATE	
N.T.S.		06/15/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
CDM	ERL	ERL	DUPR0020



C5.1

07 OF 10

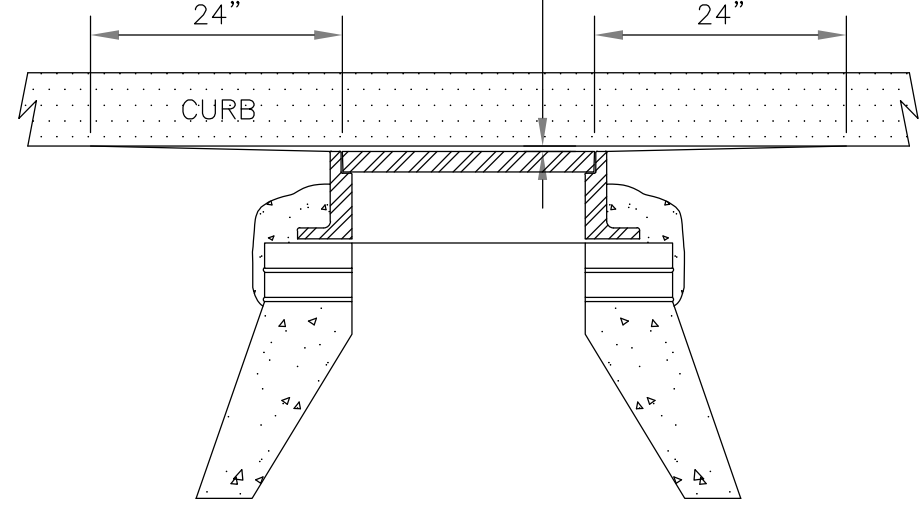
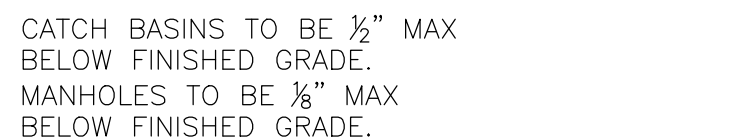


Diagram illustrating the dimensions and components of a sign structure:

- 1/4" BOLT**: Indicated by two arrows pointing to the bolts securing the sign face to the post.
- 2" MIN**: Dimension indicating the minimum distance from the edge of the sign to the edge of the pavement.
- EDGE OF SIGN TO EDGE OF PAVEMENT**: Label for the 2" MIN dimension.
- F.O.C.**: Forward Point of Curvature, indicated by an arrow pointing to the ground line.
- GROUND**: Label for the ground surface.
- 84"**: Dimension indicating the height of the sign face above the ground.
- VARIES**: Dimension indicating the variable height of the sign structure above the sign face.
- 70" MIN**: Dimension indicating the minimum height of the sign structure above the ground.

- NOTES:
1. POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND JOINING THE POST TOGETHER IS NOT ACCEPTABLE.
2. WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS "NOT EXCEEDING" 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL BE CUT OFF TO THE PROPER SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
5. SIGNS SHALL BE SET IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
6. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN.

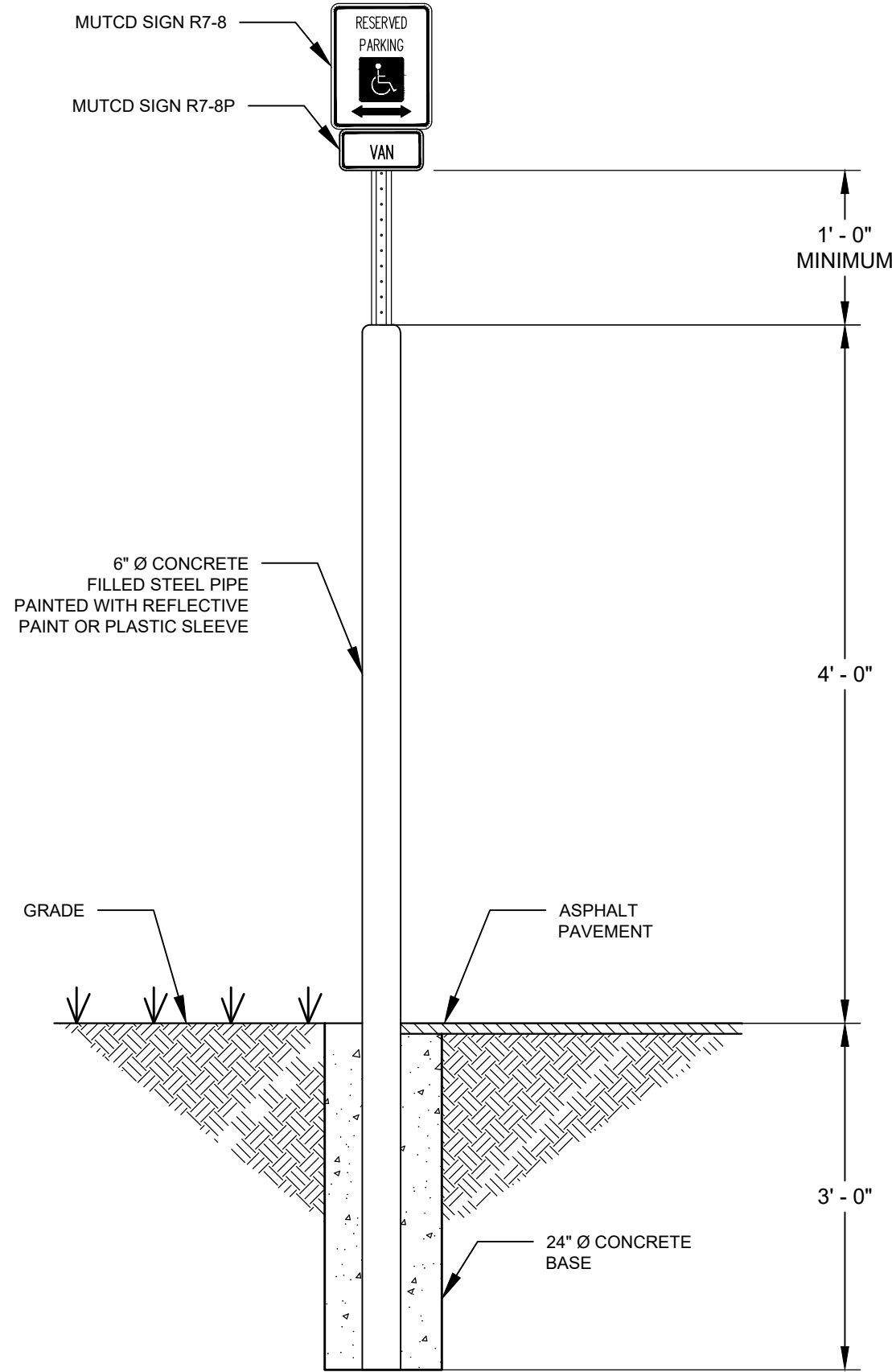
PVC OR STEEL SLEEVE
REQUIRED IN PAVED OR
CONCRETE LOCATIONS

SLEEVE WILL BE LARGE
ENOUGH TO ALLOW FOR
REPLACEMENT POST

NO. REVISION DATE			City of Concord Engineering Services Division	SECTION: SEWER/STORM			NO. REVISION DATE			City of Concord Engineering Services Division	SECTION: SITE/STREET		
1 DRAFTING 4.15			ADJUSTING FRAMES TO GRADE	DRAWING NO. SD-5			1 DRAFTING 11/11			ROAD SIGN POST and SLEEVE – URBAN	DRAWING M-1		
- - -				2 POST #/FT 8/13			2 POST #/FT 8/13				DATE: 12/08 PAGE: 1		
- - -				- - -			- - -				- - -		
- - -				- - -			- - -				- - -		
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				DATE: 12/08 PAGE: 1							DATE: 12/08 PAGE: 1		

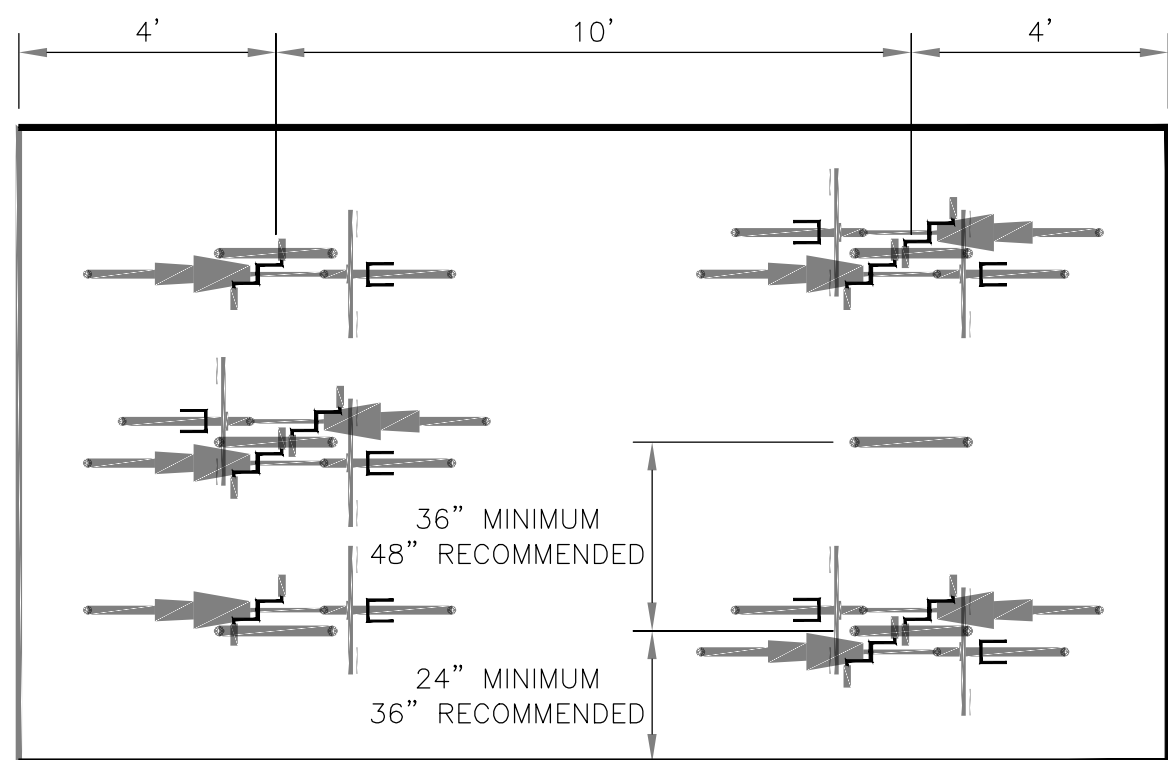
SD5_STRM-Adj Frames to Grade_1.5.dwg

M1-M2_RDWY-Sign Post.dwg



- NOTES:**
1. A PRECAST BOLLARD WHICH MEETS THE SPECIFIED DIMENSIONS MAY ALSO BE USED.

NOT TO SCALE









36" MINIMUM
48" RECOMMENDED

LOCATE RACKS BETWEEN
PARKING SPACES TO
AVOID CONFLICTS WITH
OPENING CAR DOORS

FACE OF CURE

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE	
--	--	--	BICYCLE PARKING	DRAWING NO.	M-12	
--	--	--		DATE:	08/13	PAGE: 1
--	--	--				
--	--	--				

A12_SITE-Bike Parking_3.dwg

M.U.T.C.D. NUMBER	SPECIFICATION		MOUNTING HEIGHT	SIGN
	WIDTH	HEIGHT		
R1-1	30"	30"	7'-0"	
R7-8	12"	18"	7'-0"	
R7-1	12"	18"	7'-0"	
R5-1	30"	30"	7'-0"	
R3-5	30"	36"	7'-0"	
R6-1(R)(L)	36"	12"	7'-0"	

NOTE:
MOUNTING HEIGHT IS THE CLEARANCE OF THE BOTTOM
OF THE SIGN TO THE NEAREST EDGE OF PAVEMENT.

NOT TO SCALE

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY

1.	LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAG)
2.	REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

ISSUED FOR

PERMITTING

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OWNER

**NHT 2022, LLC
PO BOX 10571
BEDFORD, NH 03110**

SITE

**81 HALL STREET
CONCORD, NH**

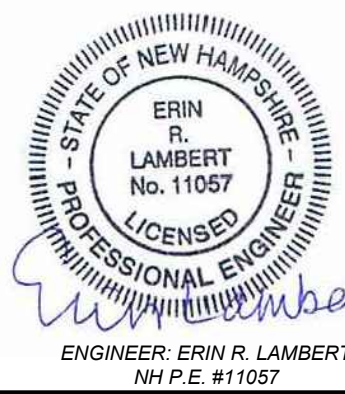
**MAP 792Z LOT 38
V. 2962 P. 430
(LAND UNIT 2 W/LCA)**

DRAWING TITLE

CONSTRUCTION DETAILS

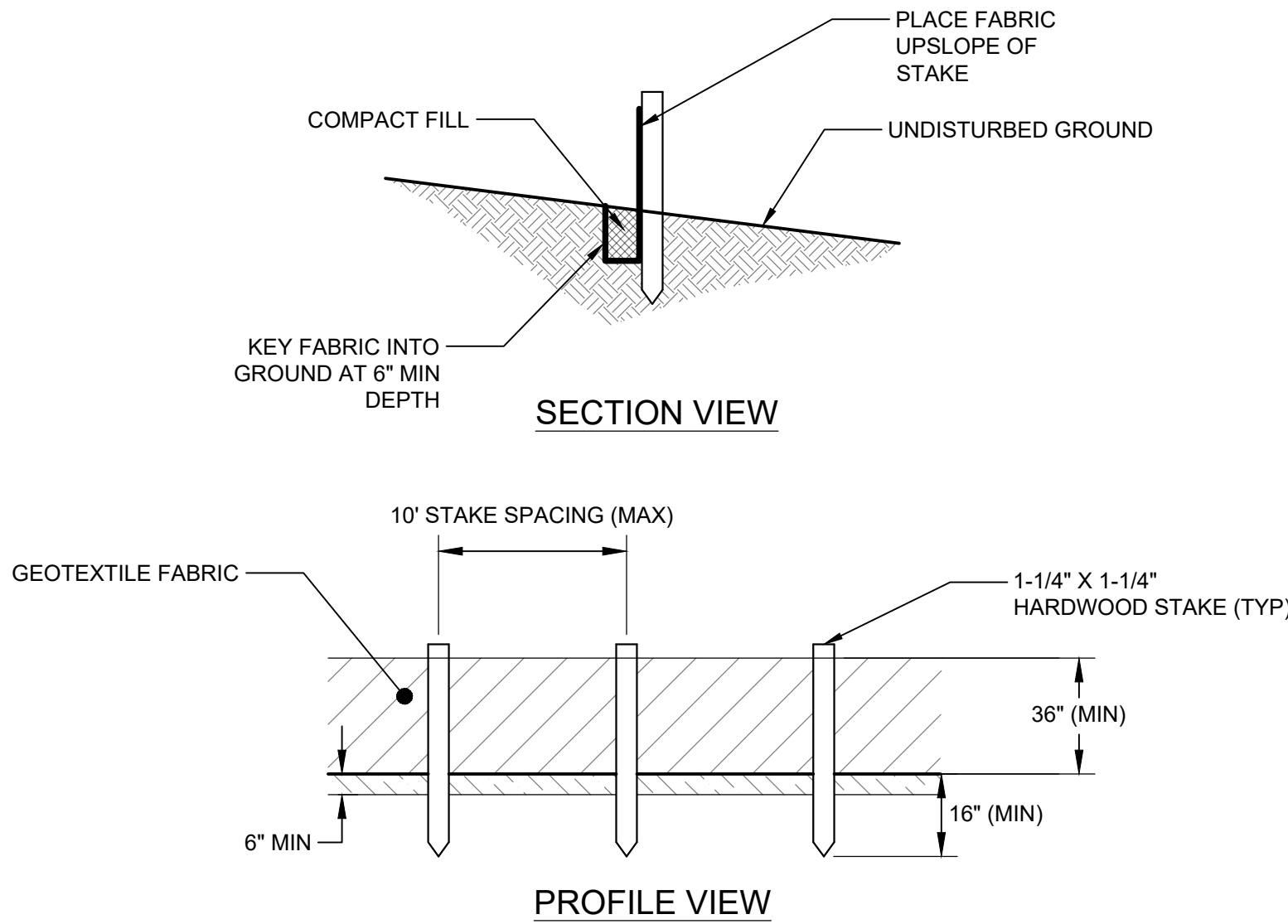
SCALE N.T.S.		DATE 06/15/2022	
DRAFTED BY CDM	CHECKED BY ERL	PROJECT MGR ERL	PROJECT NO. DUPR0020

SHEET NO



C5.2

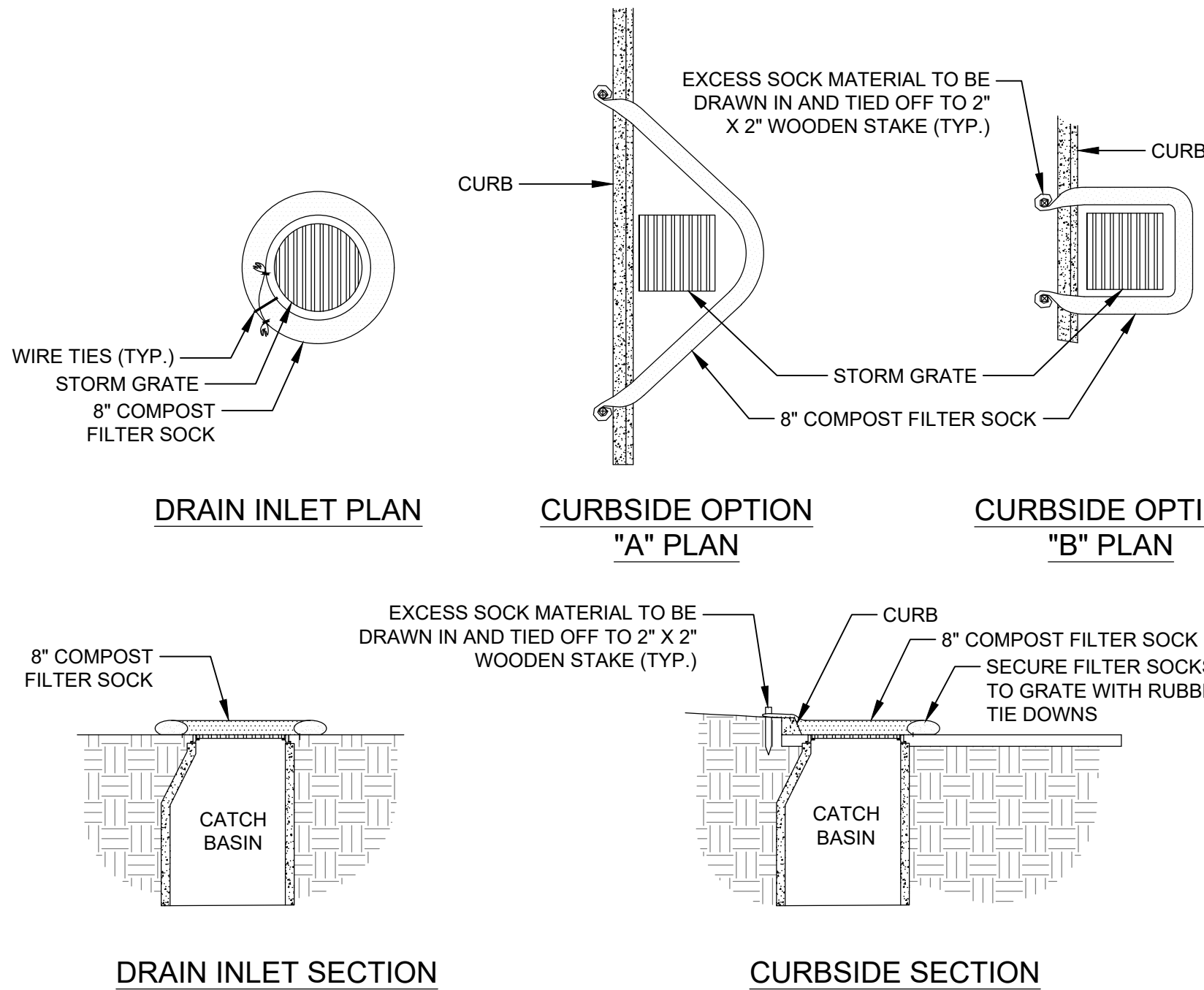
08 OF 10



- NOTES:
1. DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
 2. SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
 3. WIRE FENCE SUPPORT (14 GAGE W/6" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE.
 4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 5. ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
 6. APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOFAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
 7. INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
 8. REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

SILT FENCE DETAIL

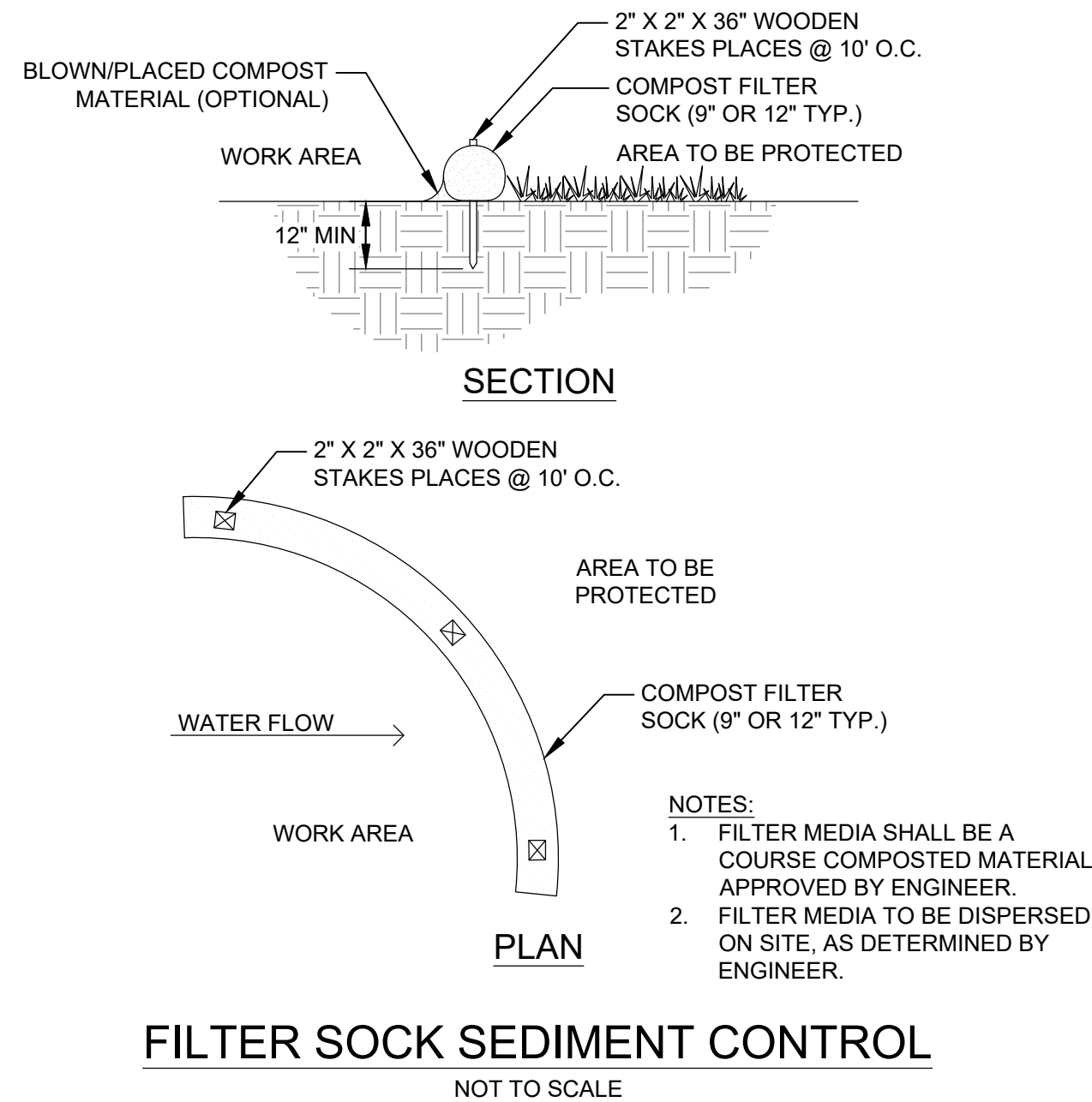
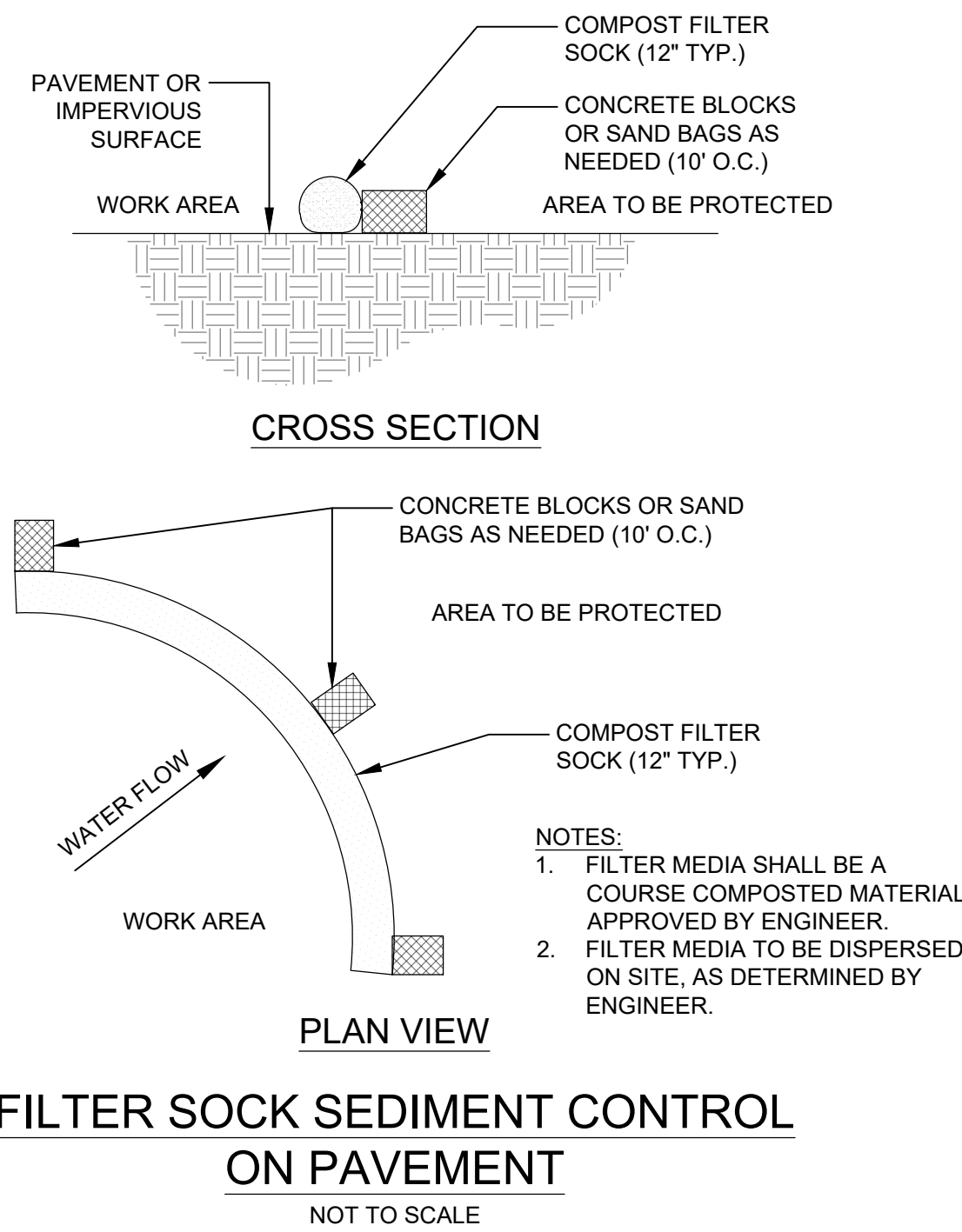
NOT TO SCALE



FILTER SOCK SEDIMENT CONTROL INLET PROTECTION

NOT TO SCALE

- NOTES:
1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
 2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.



REVISION HISTORY

1. LOADING AREA AND PARKING LAYOUT 07/07/2022 (GAG)
2. REVISED IN RESPONSE TO CITY COMMENTS 08/08/2022 (CDM)

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CONCORD, NH

MAP 792Z LOT 38
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EROSION CONTROL DETAILS

SCALE	N.T.S.	DATE	06/15/2022
DRAFTED BY	CDM	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	DUPR0020

ENGINEER: ERIN R. LAMBERT
NH P.E. #11057

C5.3

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