

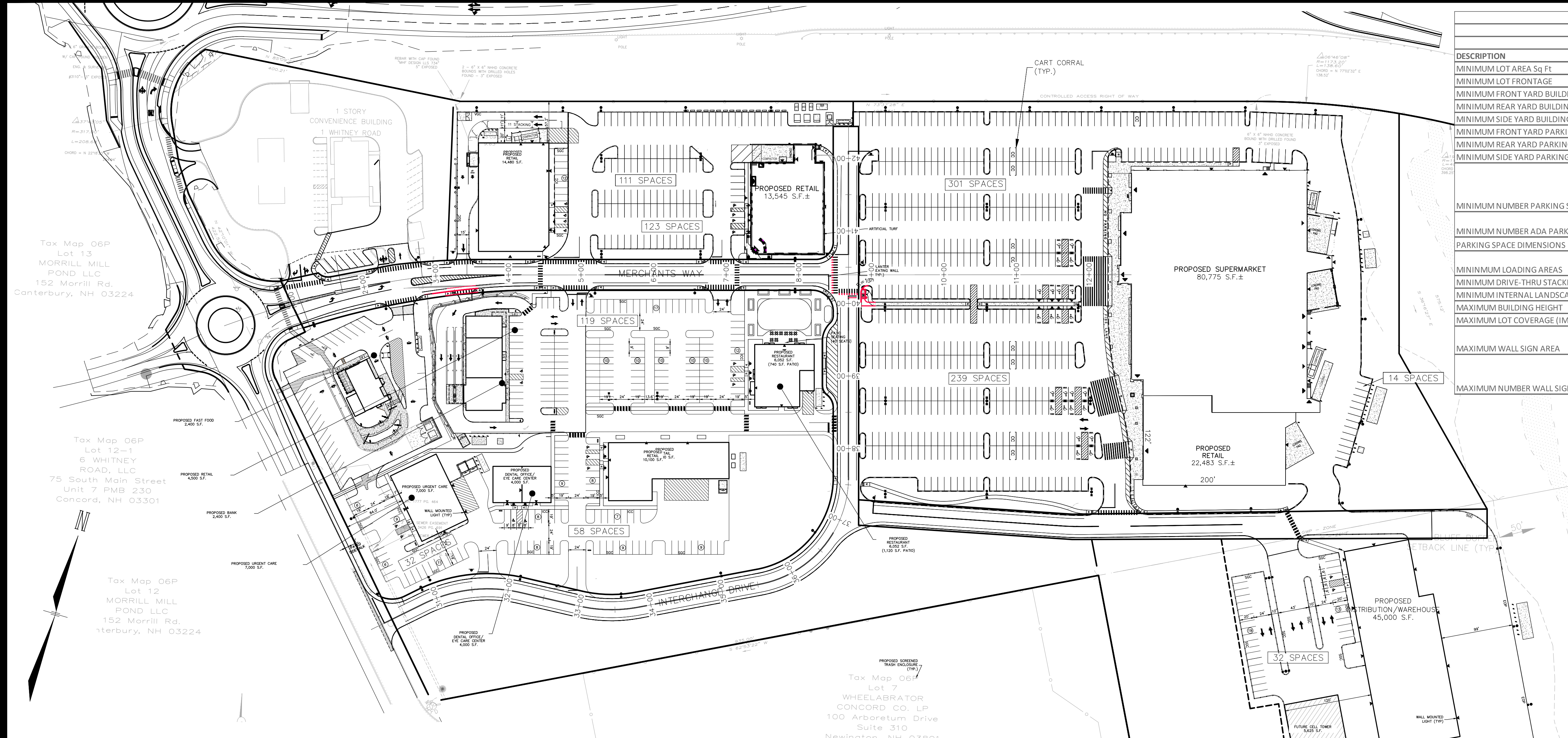


TABLE OF ZONING REGULATIONS- CONCORD, NH		
ZONE: GATEWAY PERFORMANCE DISTRICT (GWP)		
PHASE 3		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq Ft	NONE	43,038 AC
MINIMUM LOT FRONTAGE	300'	992.57'
MINIMUM FRONT YARD BUILDING SETBACK	25'	337.69'
MINIMUM REAR YARD BUILDING SETBACK	25'	375.80'
MINIMUM SIDE YARD BUILDING SETBACK	25'	199.81'
MINIMUM FRONT YARD PARKING SETBACK	10'	178.91'
MINIMUM REAR YARD PARKING SETBACK	5'	504.34'
MINIMUM SIDE YARD PARKING SETBACK	10'	551.47'
MINIMUM NUMBER PARKING SPACES	WAREHOUSE-DISTRIBUTION: 1 SP/ 1,500 SF (45,000 SF)= 30 SP	PROPOSED= 32 SP (INC. 2 ADA) PROVIDED= 927 SPACES (INCL. 49 ADA)
MINIMUM NUMBER ADA PARKING SPACES	2 SP	PROPOSED= 2 SP PROVIDED= 49 SP
PARKING SPACE DIMENSIONS	19' X 9' / 16' X 8' (COMPACT)	19' X 9' / 16' X 8' (COMPACT)
MINIMUM LOADING AREAS	2 SPACES FOR WAREHOUSING 20,001 - 60,000 SF	2 SPACES
MINIMUM DRIVE-THRU STACKING	N/A	N/A
MINIMUM INTERNAL LANDSCAPING	5% OF PARKING / CIRCULATION AREAS	5.00%
MAXIMUM BUILDING HEIGHT	45'	<45'
MAXIMUM LOT COVERAGE (IMPERVIOUS)	85%	61%
MAXIMUM WALL SIGN AREA	40 SF W/O ARCHITECTURAL REVIEW 150 SF W/ ARCHITECTURAL REVIEW	150 SF MAX
MAXIMUM NUMBER WALL SIGNS	3 WALL SIGNS PER WALL FRONTAGE ON STREET NOT TO EXCEED ALLOWED AREA	6 WALL SIGNS PER BUILDING MAX.

REFERENCE PLANS

RE-SUBDIVISION PLAT LANDS OF SUSAN A. WHITNEY AND INTERCHANGE DEVELOPMENT LLC. LOCATION, WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY, TAX MAPS 06P LOTS 5 & 6. PREPARED BY FWS LAND SURVEYING P.L.L.C., DATED FEB. 10, 2014 LAST REVISED MAY 01, 2014.

NOTES

- THE PURPOSE OF THIS PLAN IS TO SHOW A MIXED USE DEVELOPMENT WHICH INCLUDES A LOT LINE ADJUSTMENT, COMMON ACCESS/PARKING AREAS AND COMMON UTILITIES.
- CURRENT ZONING IS GATEWAY PERFORMANCE DISTRICT (GWP) & INDUSTRIAL (IN) ZONING DISTRICT.

	REQUIRED GWP/IN	PROPOSED GWP/IN
MIN. LOT SIZE:	--/40,000 SF	*/*
MIN. BUILDABLE LAND:	--/20,000 SF	*/*
MIN. LOT FRONTAGE:	300'/200'	*/*
MIN. BUILDING SETBACKS:		
FRONT	25'/50'	>25'/NA
SIDE	25'/25'	>25'/>25'
REAR	25'/30'	>25'/>35'
MAX. LOT COVERAGE:	85%/85%	<85%/<85%
* SEE LOT LINE ADJUSTMENT PLAN BY FWS LAND SURVEY.		

3. PARKING CALCULATIONS:
REQUIRED:
SUPERMARKET: 1 SP/250 SF (80,775 SF) = 323 SP.
*SUPERMARKET (CLIENT REQUIREMENT): 5 SP/1,000 SF (80,775 SF) = 404 SP.
ATTACHED RETAIL (ATTACHED TO SUPERMARKET): 1 SP/250 SF (22,483 SF) = 90 SP.
*ATTACHED RETAIL (ATTACHED TO SUPERMARKET, CLIENT REQUIREMENT): 5 SP/1,000 SF = 112 SP.
RETAIL: 1 SP/250 SF (41,720 SF) = 169 SP.
RESTAURANT: 1 SP/75 SF (6,052 SF + 1,120 SF PATIO) = 96 SP.
FASTFOOD: 1 SP/75 SF (2,400 SF) = 32 SP.
BANK: 1 SP/200 SF (2,400 SF) = 12 SP.
DENTAL OFFICE/EYE CARE CENTER: 1 SP/225 SF (4,000 SF) = 18 SP.
MEDICAL OFFICE: 1 SP/225 SF (7,000 SF) = 31 SP.
WAREHOUSE-DISTRIBUTION: 1 SP/1,500 SF (45,000 SF) = 30 SP.

TOTAL REQUIRED = 801 SPACES
*TOTAL REQUIRED (CLIENT REQUIREMENT) = 904 SPACES
PROPOSED: 927 SPACES

4. THE PROPERTY WILL BE SERVICED BY THE FOLLOWING SERVICES:
DRAINAGE: PRIVATE
SEWER: MUNICIPAL
WATER: MUNICIPAL
ELECTRIC: UNTIL
5. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN INFORMATION.
6. TOPOGRAPHY WAS GENERATED FROM REFERENCE PLAN INFORMATION.
7. WETLANDS INFORMATION DEPICTED ON THIS PLAN IS FROM REFERENCE PLAN INFORMATION.
8. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY PANEL NUMBER 3301303376, EFFECTIVE DATE: APRIL 18, 2010, INDICATES THAT THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN A FLOOD HAZARD AREA.
9. EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN ARE THOSE WHICH IDENTIFIED BASED ON DATA USED IN CONCEPTUAL DESIGN. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH DEED RESEARCH AND A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
10. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.

TABLE OF ZONING REGULATIONS- CONCORD, NH		
ZONE: GATEWAY PERFORMANCE DISTRICT (GWP)		
PHASE 1		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq Ft	NONE	43,038 AC
MINIMUM LOT FRONTAGE	300'	992.57'
MINIMUM FRONT YARD BUILDING SETBACK	25'	668.62' 1,105.47'
MINIMUM REAR YARD BUILDING SETBACK	25'	1,115.78' 450.22'
MINIMUM SIDE YARD BUILDING SETBACK	25'	59.10' 92.38'
MINIMUM FRONT YARD PARKING SETBACK	10' (WHITNEY RD)	458.45' 678.05'
MINIMUM REAR YARD PARKING SETBACK	5'	1,177.91' 413.87'
MINIMUM SIDE YARD PARKING SETBACK	10' (US ROUTE 4)	14.75' 14.93'
MINIMUM NUMBER PARKING SPACES	SUPERMARKET: 1 SP/ 250 SF (80,775 SF)= 323 SP RETAIL 1: 1 SP/ 250 SF (22,483 SF)= 90 SP RETAIL 2: 1 SP/ 250 SF (13,554 SF)= 54 SP NET : 467 SP	632 SPACES (INCL. 28 ADA)
MINIMUM NUMBER ADA PARKING SPACES	2% OF 464 = 9.3 SP	28 SP
PARKING SPACE DIMENSIONS	19' X 9' / 16' X 8' (COMPACT)	19' X 9' / 16' X 8' (COMPACT)
MINIMUM LOADING AREAS	3 SPACE FOR RETAIL @ 103,000 SF 1 SPACE FOR RETAIL @ 13,500 SF	4 SPACES FOR RETAIL @ 103,000 SF 1 SPACE FOR RETAIL @ 13,500 SF
MINIMUM DRIVE-THRU STACKING	N/A	N/A
MINIMUM INTERNAL LANDSCAPING	5% OF PARKING / CIRCULATION AREAS	5.00%
MAXIMUM BUILDING HEIGHT	45'	37.0' Supermarket 25.5' Liquor Store
MAXIMUM LOT COVERAGE (IMPERVIOUS)	85%	41%
MAXIMUM WALL SIGN AREA	40 SF W/O ARCHITECTURAL REVIEW 150 SF W/ ARCHITECTURAL REVIEW	150 SF MAX

APPROVED BY THE CONCORD PLANNING BOARD

ON _____ AND
CHAIRMAN: _____
CLERK: _____

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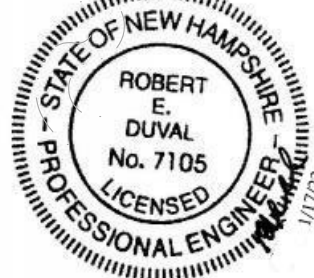
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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.

TABLE OF ZONING REGULATIONS- CONCORD, NH		
ZONE: GATEWAY PERFORMANCE DISTRICT (GWP)		
PHASE 2		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq Ft	NONE	43,038 AC
MINIMUM LOT FRONTAGE	300'	992.57'
MINIMUM FRONT YARD BUILDING SETBACK	25'	84.00'
MINIMUM REAR YARD BUILDING SETBACK	25'	1,152.32'
MINIMUM SIDE YARD BUILDING SETBACK	25'	57.2'
MINIMUM FRONT YARD PARKING SETBACK	10' (WHITNEY RD)	15.00'
MINIMUM REAR YARD PARKING SETBACK	5'	890.34'
MINIMUM SIDE YARD PARKING SETBACK	10' (US ROUTE 4)	15.00'
MINIMUM NUMBER PARKING SPACES	RETAIL: 1 SP/ 250 SF (29,080 SF)= 116 SP RESTAURANT: 1 SP/ 75 SF (7,172 SF)= 96 SP FAST FOOD: 1 SP/ 75 SF (2,400 SF)= 32 SP BANK: 1 SP/ 200 SF (2,400 SF)= 12 SP DENTAL OFFICE/EYE CARE: 1 SP/ 225 (4,000 SF)= 18 SP OFFICE: 1 SP/ 225 SF (7,000 SF)= 31 SP MEDICAL NET : 305 SP	PROPOSED= 260 SP (INC. 19 ADA) PROVIDED= 895 SPACES (INCL. 47 ADA)
MINIMUM NUMBER ADA PARKING SPACES	8 SP	PROPOSED= 19 SP PROVIDED= 47 SP
PARKING SPACE DIMENSIONS	19' X 9' / 16' X 8' (COMPACT)	19' X 9' / 16' X 8' (COMPACT)
MINIMUM LOADING AREAS	1 SPACE FOR RETAIL & RESTAURANT 5,001 SF - 20,000 SF = 3 SP NONE REQUIRED FOR OTHER USES	4 SPACES
MINIMUM DRIVE-THRU STACKING	BANK: 5 STACKING SP PER WINDOW FAST FOOD: 11 STACKING SP PER WINDOW RETAIL (PHARMACY): 11 STACKING SP PER WINDOW	BANK= 10 SP FAST FOOD= 11 SP RETAIL (PHARMACY)= 11 SP
MINIMUM INTERNAL LANDSCAPING	5% OF PARKING / CIRCULATION AREAS	5.00%
MAXIMUM BUILDING HEIGHT	45'	<45'
MAXIMUM LOT COVERAGE (IMPERVIOUS)	85%	52%
MAXIMUM WALL SIGN AREA	40 SF W/O ARCHITECTURAL REVIEW 150 SF W/ ARCHITECTURAL REVIEW	150 SF MAX
MAXIMUM NUMBER WALL SIGNS	3 WALL SIGNS PER WALL FRONTAGE ON STREET NOT TO EXCEED ALLOWED AREA	6 WALL SIGNS PER BUILDING MAX.

HORIZONTAL SCALE 1"=80'
80 40 0 80

REV	DATE	DESCRIPTION	DR	CK
3	10/6/2021	REVISIONS PER NOTICE OF DECISION	PWH	JSH
2	8/20/2021	REVISIONS PER CITY COMMENTS	PWH	JSH
1	7/12/2021	REV. PER FAST FOOD RESTAURANT SUBMITTAL	PWH	JSH



TAX MAP 06P LOTS 5 & 6
COMPREHENSIVE DEVELOPMENT PLAN
MIXED USE DEVELOPMENT
WHITNEY ROAD, CONCORD, NH
OWNED BY
BRADLEY WHITNEY & JENNIFER HABEL & INTERCHANGE DEVELOPMENT L.L.C.
PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
SCALE: 1"=80' JUNE 17, 2019



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FILE	95830.04	DR JSH FB CK RED CADFILE	95830-04 Site Plans	SHEET 1
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