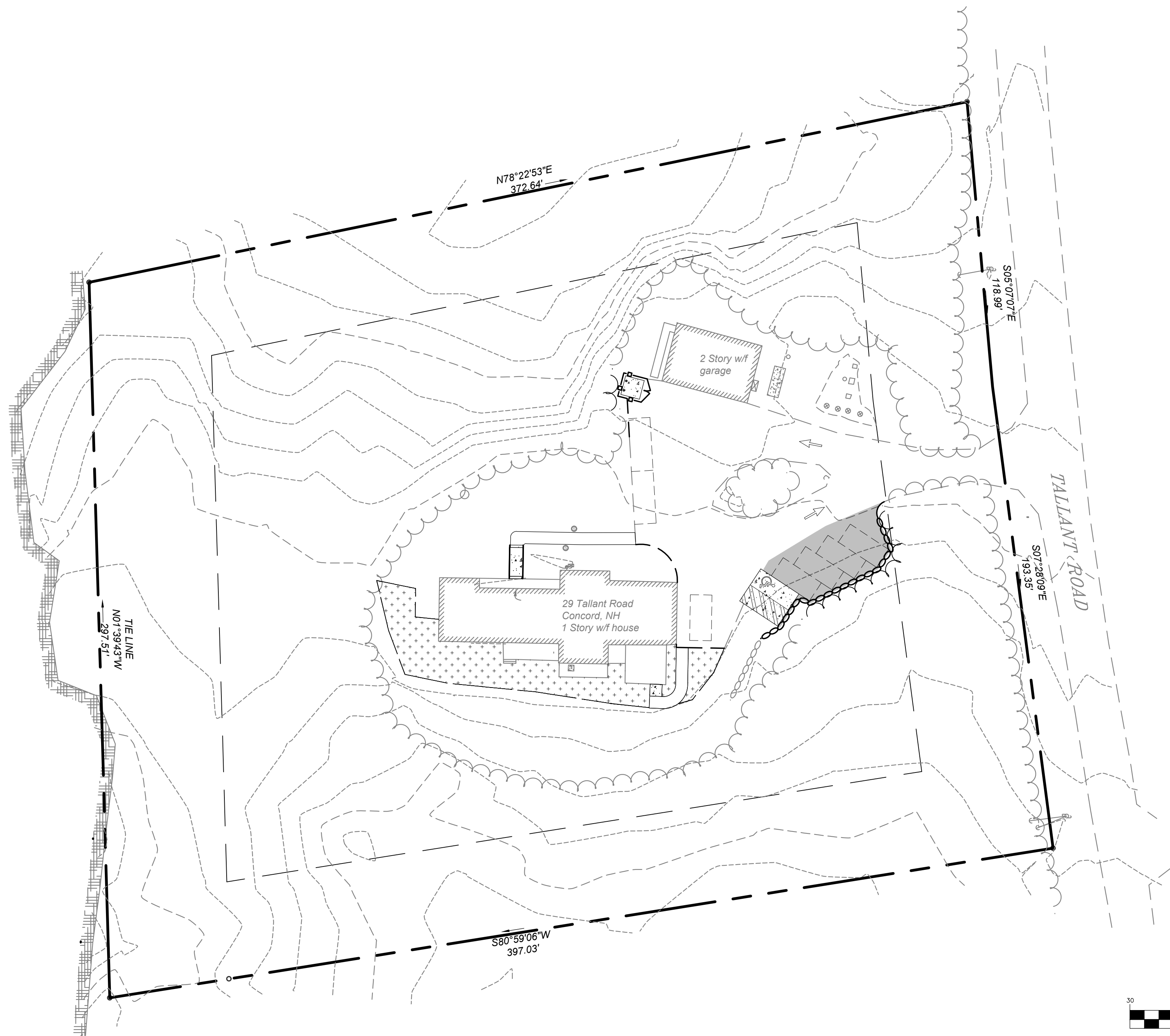


MENDOTA PROPERTIES, LLC

29 TALLANT ROAD, CONCORD, NH



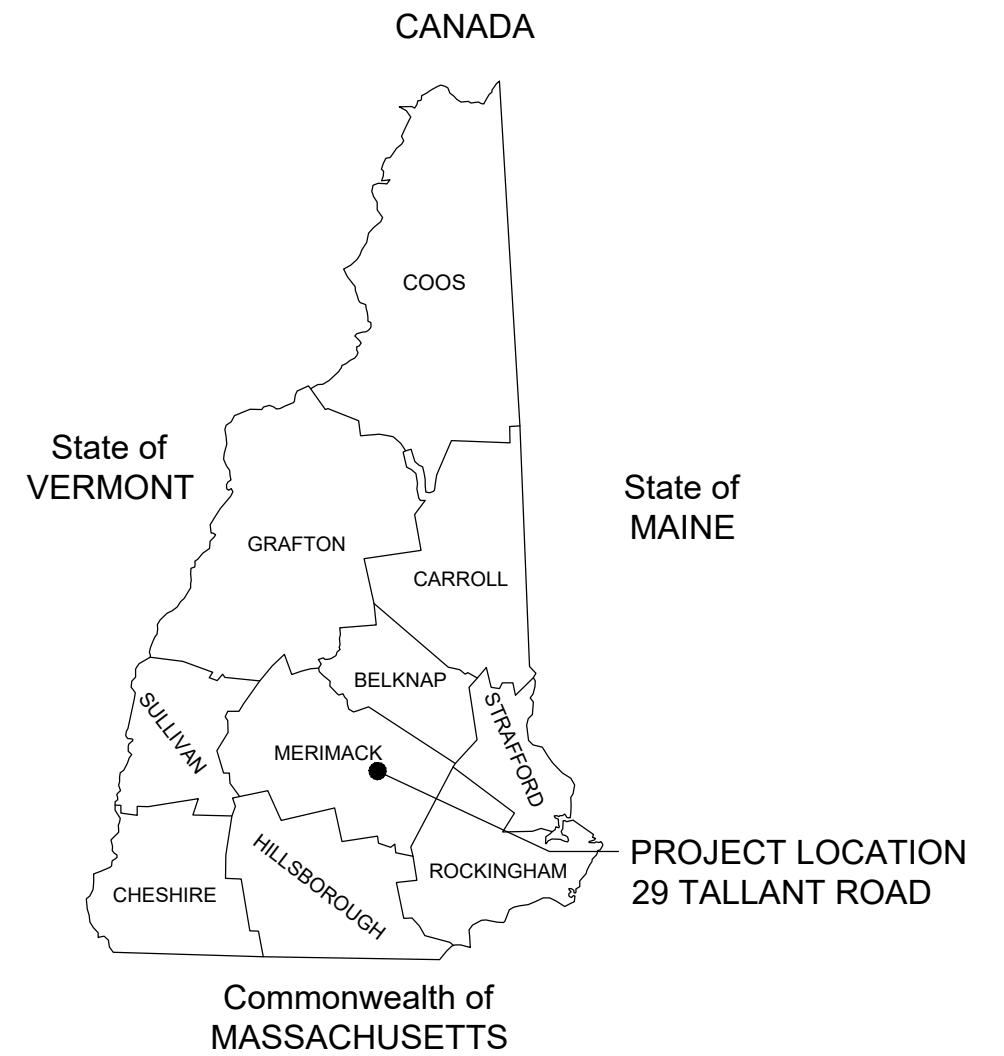
PROJECT DESCRIPTION:

THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE SITE IMPROVEMENTS TO A SINGLE-FAMILY RESIDENCE CONVERTED TO A RESIDENTIAL SOCIAL SERVICE CENTER WITH ASSOCIATED PARKING SPACES AND ACCESSIBLE WALKWAYS.

ABUTTERS LIST

01 MAP 02Z LOT 8: BK. 3757, PG. 2576; LAKE FRONT TRUST; 19 TALLANT ROAD, CONCORD, NH 03301
02 MAP 02Z LOT 10: BK. 2492, PG. 0161; JENNIFER BOFFINGER; 41 TALLANT ROAD, CONCORD, NH 03301
03 MAP 02Z LOT 16: BK. 3600, PG. 2521; BENJAMIN B. & LISA R. STEVENSON; 32 TALLANT ROAD, CONCORD, NH 03301
04 MAP 02Z LOT 16 UNIT 2: BK. 3648, PG. 1318; JULIE A. LANE & ERIC M. SOMMERS; 76 WEST STREET, CONCORD, NH 03301

SHEET INDEX				
SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	04/20/2022	--/--/----
2	C0.2	NOTES & LEGEND	04/20/2022	--/--/----
3	S1.1	EXISTING CONDITIONS PLAN	04/15/2022	--/--/----
4	C1.1	SITE PLAN	04/20/2022	--/--/----
5	C1.2	GRADING & DRAINAGE PLAN	04/20/2022	--/--/----
6	C1.3	LANDSCAPING PLAN	04/20/2022	--/--/----
7	C5.1	CONSTRUCTION DETAILS	04/20/2022	--/--/----
8	C5.2	EROSION CONTROL DETAILS	04/20/2022	--/--/----
9	L1.1	SITE LIGHTING LAYOUT	04/15/2022	--/--/----



LOCUS MAP

Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

LAND SURVEYOR
RICHARD D. BARTLETT & ASSOCIATES, LLC
214 NORTH STATE STREET
CONCORD, NH 03301

LIGHTING DESIGN
VISIBLE LIGHT, INC.
24 STICKNEY TERRACE, SUITE 6
HAMPTON, NH 03842

REVISION HISTORY
1.

ISSUED FOR

PERMITTING

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER

MENDOTA PROPERTIES, LLC

**4145 POWELL ROAD
POWELL, OH**

SITE

**29 TALLANT ROAD
CONCORD, NH**

**MAP 2Z, LOT 9
BK 3707, PG 1737**

DRAWING TITLE

COVER SHEET

SCALE	N.T.S.	DATE	04/20/2022
DRAFTED BY	RSR	CHECKED BY	ERL
PROJECT MGR	ERL	PROJECT NO.	WSAT0003

SHEET NO.

C0.1

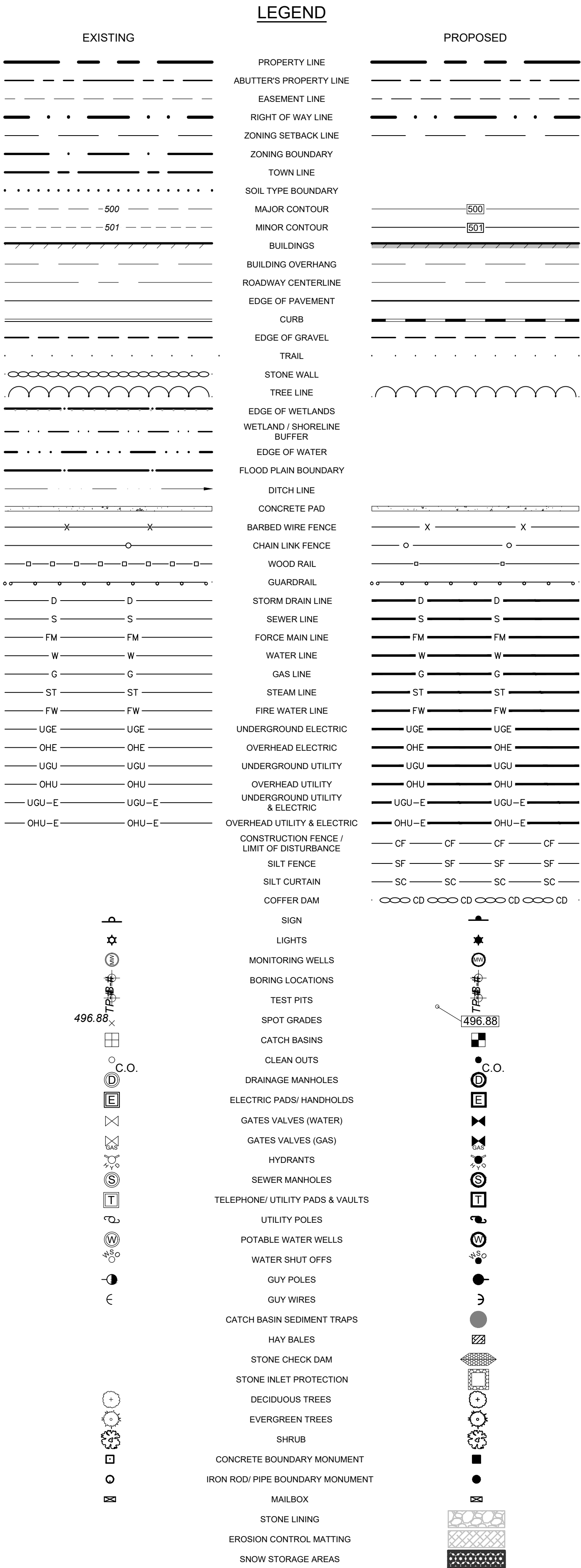
01 OF 09

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674.35 & R.S.A. 674.36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:

Approval of this plan is limited to the date as shown

Chair Clerk



STANDARD ABBREVIATIONS

BCC - BITUMINOUS CONCRETE CURB
VGC - VERTICAL GRANITE CURB
SGC - SLOPED GRANITE CURB
CCC - CAST-IN-PLACE CONCRETE CURB
PCC - PRECAST CONCRETE CURB
ICC - INTEGRAL CONCRETE CURB
RCC - REINFORCED CONCRETE CURB
BCP - BITUMINOUS CONCRETE PAVEMENT
GRV - GRAVEL DRIVE SURFACE
PCS - PORTLAND CEMENT CONCRETE SIDEWALK
BCS - BITUMINOUS CONCRETE SIDEWALK
CB - CATCH BASIN
DMH - DRAINAGE MANHOLE
SMH - SEWER MANHOLE

GENERAL NOTES

1. GENERAL:
- 1.1 THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR MENDOTA PROPERTIES, LLC" DATED 04/20/2022 PREPARED BY WILCOX & BARTON, INC.
- 1.2 EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON A PLAN TITLED "EXISTING CONDITIONS PLAN," DATED APRIL 2022, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
- 1.3 THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR MENDOTA PROPERTIES, LLC FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
- 1.4 THE PURPOSE OF THESE DRAWINGS IS TO SHOW THE SITE IMPROVEMENTS TO A SINGLE-FAMILY RESIDENCE CONVERTED TO A RESIDENTIAL SOCIAL SERVICE CENTER WITH ASSOCIATED PARKING SPACES AND ACCESSIBLE WALKWAYS.
- 1.5 PROPOSED SITE IS SERVICED BY ON-SITE WATER AND SEPTIC.
- 1.6 REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
- 1.7 CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- 1.8 ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- 1.9 PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL).
- 1.10 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
- 1.11 ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
- 1.12 CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.
- 1.13 THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER, THUS, PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR.
- 1.14 GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
- 1.15 UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
- 1.16 THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
- 1.17 THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.

2. MATERIAL SPECIFICATIONS:

- 2.1 MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- 2.2 GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
- 2.3 BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.
- 2.4 CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A 1/2 INCH SIEVE 30-60 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

EROSION CONTROL NOTES

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING IN EROSION CONTROL MATTING IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

SCHEDULE OF WORK
THIS WORK IS ANTICIPATED TO BE COMPLETED BY FALL 2022.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION.

- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

EROSION CONTROL IMPLEMENTATION SCHEDULE

THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM.
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- PLACE HUMUS AND CONDUCT PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

TEMPORARY STABILIZATION

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICTED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

TEMPORARY GRADING: TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

MULCH: MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

TACKIFIER: PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORNE DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

ROAD CLEANING: THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

DUST CONTROL: THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY-BAR THAT DISPATES THE WATER EVENLY OVER THE SURFACE.

PERMANENT STABILIZATION: GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR 6" RIP RAP HAS BEEN INSTALLED;
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

EXCAVATION DEWATERING:

SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS DISCHARGED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING:
GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

EROSION CONTROL SEED		
SEED	BY % MASS	% GERMINATION (MIN)
WINTER RYE 80 (MIN)	80 (MIN)	85
RED FESCUE (CREEPING)	4 (MIN)	80
PERENNIAL GRASS	3 (MIN)	90
RED CLOVER	3 (MIN)	90
OTHER CROP GRASS	0.5 (MAX)	
NOXIOUS WEED SEED	0.5 (MAX)	
INERT MATTER	1.0 (MAX)	

PERMANENT SEED MIX		
SEED	BY % MASS	% GERMINATION (MIN)
RED FESCUE (CREEPING)	50	85
KENTUCKY BLUE	25	85
PERENNIAL RYE GRASS	10	90
RED TOP	10	85
LANDINO CLOVER	5	85

WINTER CONSTRUCTION NOTES

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

CONSTRUCTION SEQUENCE

- CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
- DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
- PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
- PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING, LOADING, SIDEWALK, AND GRAVEL ACCESS DRIVE AREAS.
- PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
- PLACE PAVEMENT COURSES FOR SIDEWALK AND CONCRETE FOR ADA PARKING SPACE AND AISLE.
- ALL DISTURBED SOILS SHALL BE STABILIZED, LOAMED, SEEDED, AND MULCHED.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
- SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

LANDSCAPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
- LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
- ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE OWNERS REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
- CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
- ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS.
- ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED.
- AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4-FOOT RADIUS AROUND EVERGREEN TREES; B) 3-FOOT RADIUS AROUND DECIDUOUS TREES; AND C) 2-FOOT RADIUS AROUND LARGE SHRUBS.
- FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNERS REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNER'S REPRESENTATIVE 24-HOURS PRIOR TO PLACEMENT FOR APPROVAL.
- ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDED, AND MULCHED.

Wilcox & Barton, INC.
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2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
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REVISION HISTORY

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OWNER

MENDOTA PROPERTIES, LLC

**4145 POWELL ROAD
POWELL, OH**

SITE

**29 TALLANT ROAD
CONCORD, NH**

**MAP 2Z, LOT 9
BK 3707, PG 1737**

DRAWING TITLE

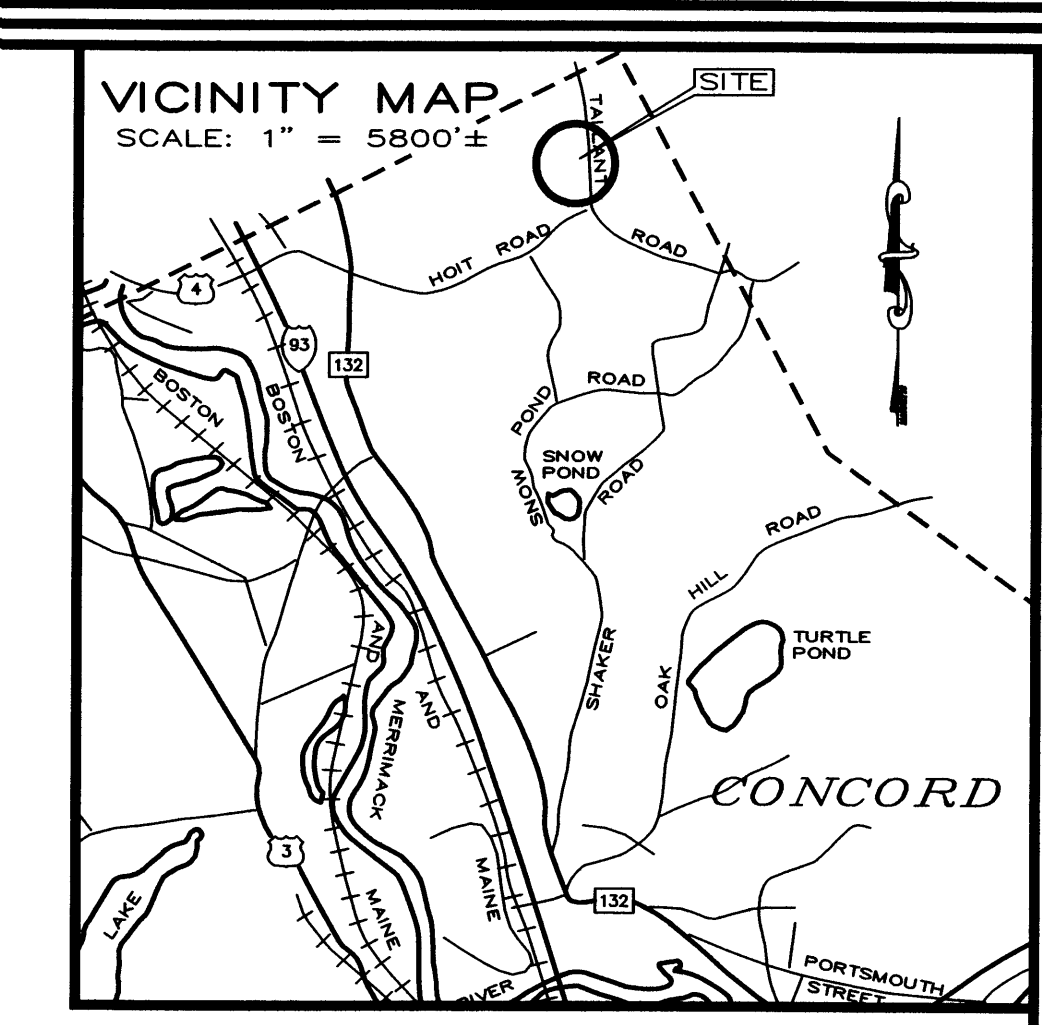
NOTES & LEGEND

SCALE		DATE	
N.T.S.		04/20/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	WSAT0003
SHEET NO.			



C0.2

02 OF 09


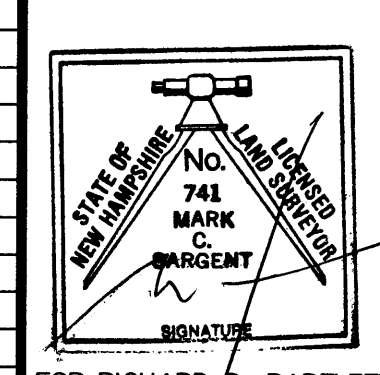


- ## NOTES
1. Survey by total station on March 8 and 10, 2022. Control Traverse error of closure 1:24,044.
 2. Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83 based on GPS observations and OPUS solutions.
 3. Vertical datum is based on NAVD 88.
 4. Owner of record: Mendota Properties, LLC 4145 Powell Road Powell, OH 43065 Map 022, Lot 9, Book 3707, Page 1737.
 5. The subject premises is within the Open Space Residential zoning district. Minimum lot size is 2 acres. Minimum buildable land = 20,000 sq. ft.. Minimum front setback = 200'. Building setbacks: front=50'; rear=50'; side=40'. Maximum lot coverage = 10%.
 6. The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 811.
 7. Reference plat entitled "Resubdivision Plat land of Paul C. & Jennifer L. Bofinger and Paul O. and Lenita D. Bofinger" dated July 26, 2001 by Paul C. Bofinger and recorded at the M.C.R.D. as plan no. 15735.
 8. The intent of this plat is to depict the existing conditions of 29 Tallant Road, Concord, NH.

"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE
 UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY
 CONDUCTED WITH A TOTAL STATION EMPLOYING AN URBAN CLASSIFICATION
 AND A MAXIMUM ERROR OF CLOSURE LESS THAN 1 TO 10,000."
 CERTIFICATION PER R.S.A.-676-18, III. "I CERTIFY THAT THIS SURVEY
 PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE, AND THAT THE
 LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE
 STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE
 SHOWN.

_____ 741 _____ 6/15/22
 SIGNATURE LICENSE NO. DATE

"I HEREBY CERTIFY THAT I HAVE FILED A COPY OF THIS PLAN WITH THE
 PLANNING BOARD OF THE CITY OF CONCORD IN ACCORDANCE WITH
 R.S.A.-676-18 (IV)."

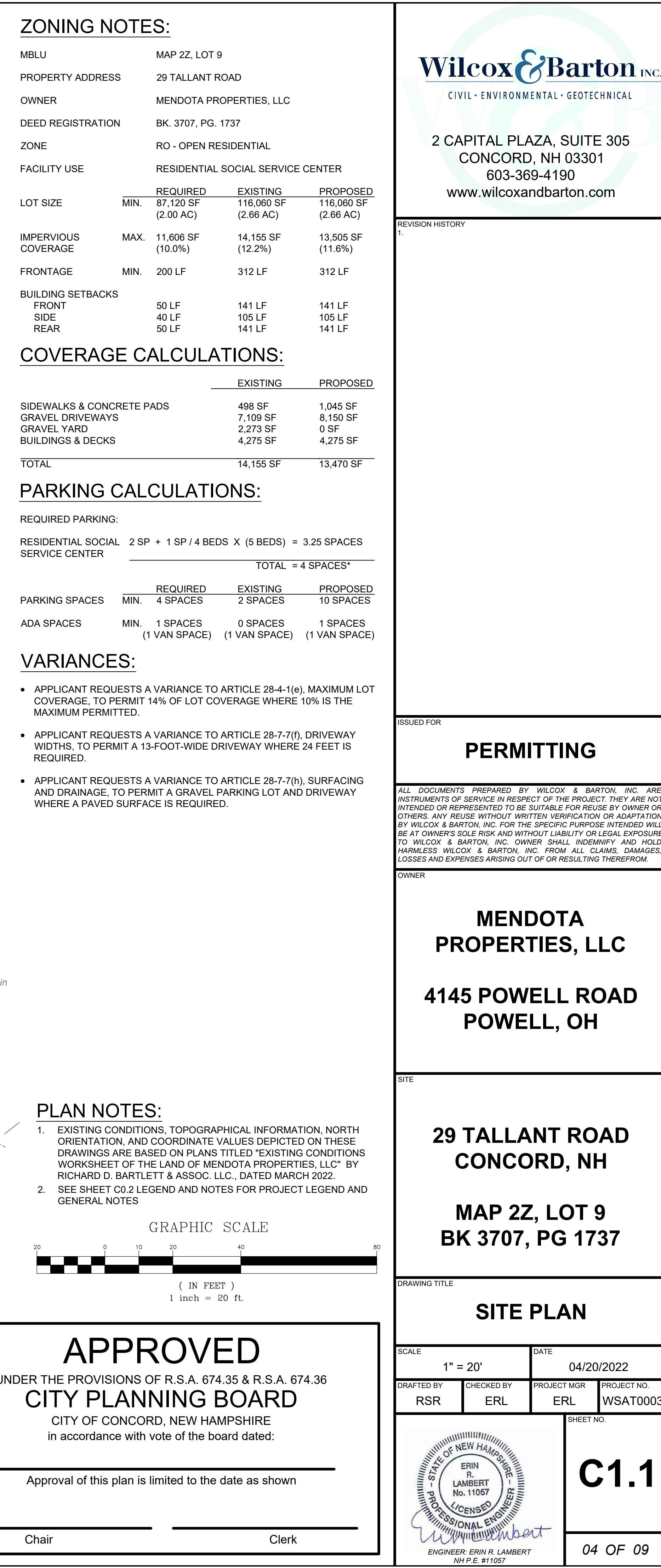
[illegible]

**RICHARD D. BARTLETT
& ASSOCIATES, LLC**
214 North State Street
Concord, N.H. 03301

Tel.: (603) 225-6770
Fax.: (603) 224-6261
E-mail: info@richardbartlett.com
World Wide Web Page:
www.richarddbartlett.com

LICENSED LAND SURVEYORS

<p>EXISTING CONDITIONS PLAT of the land of MENDOTA PROPERTIES, LLC</p>	
<p>PROJECT: 29 TALLANT ROAD CONCORD, NH LOCATION: MAP 022, LOT 9</p>	
<p>GRAPHIC SCALE</p> <p>0 20' 40'</p> <p>SCALE: 1" = 20'</p>	<p>DATE: APRIL, 2022</p> <p>JOB NO.: 322.131</p> <p>SHEET 1 OF 1</p>



MBLU	MAP 22, LOT 9			
PROPERTY ADDRESS	29 TALLANT ROAD			
OWNER	MENDOTA PROPERTIES, LLC			
DEED REGISTRATION	BK. 3707, PG. 1737			
ZONE	RO - OPEN RESIDENTIAL			
FACILITY USE	RESIDENTIAL SOCIAL SERVICE CENTER			
LOT SIZE	MIN.	REQUIRED 87,120 SF (2.00 AC)	EXISTING 116,060 SF (2.66 AC)	PROPOSED 116,060 SF (2.66 AC)
IMPERVIOUS COVERAGE	MAX.	11,806 SF (10.0%)	14,155 SF (12.2%)	13,505 SF (11.6%)
FRONTAGE	MIN.	200 LF	312 LF	312 LF
BUILDING SETBACKS				
FRONT	50 LF	141 LF	141 LF	141 LF
SIDE	40 LF	105 LF	105 LF	105 LF
REAR	50 LF	141 LF	141 LF	141 LF

	EXISTING	PROPOSED
SIDEWALKS & CONCRETE PADS	498 SF	1,045 SF
GRAVEL DRIVEWAYS	7,109 SF	8,150 SF
GRAVEL YARD	2,273 SF	0 SF
BUILDINGS & DECKS	4,275 SF	4,275 SF
TOTAL	14,155 SF	13,470 SF

REQUIRED PARKING:

RESIDENTIAL SOCIAL SERVICE CENTER	$2 \text{ SP} + 1 \text{ SP} / 4 \text{ BEDS} \times (5 \text{ BEDS}) = 3.25 \text{ SPACES}$
	<hr/>
	TOTAL = 4 SPACES*

VARIANCES:

PLAN NOTES:

1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS WORKSHEET OF THE LAND OF MENDOTA PROPERTIES, LLC." BY RICHARD D. BARTLETT & ASSOC. LLC., DATED MARCH 2022.
2. SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES

APPROVED

Approval of this plan is limited to the date as shown

Chair Clerk

REVISION HISTORY

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE. TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

**29 TALLANT ROAD
CONCORD, NH**

DRAWING TITLE

SITE PLAN

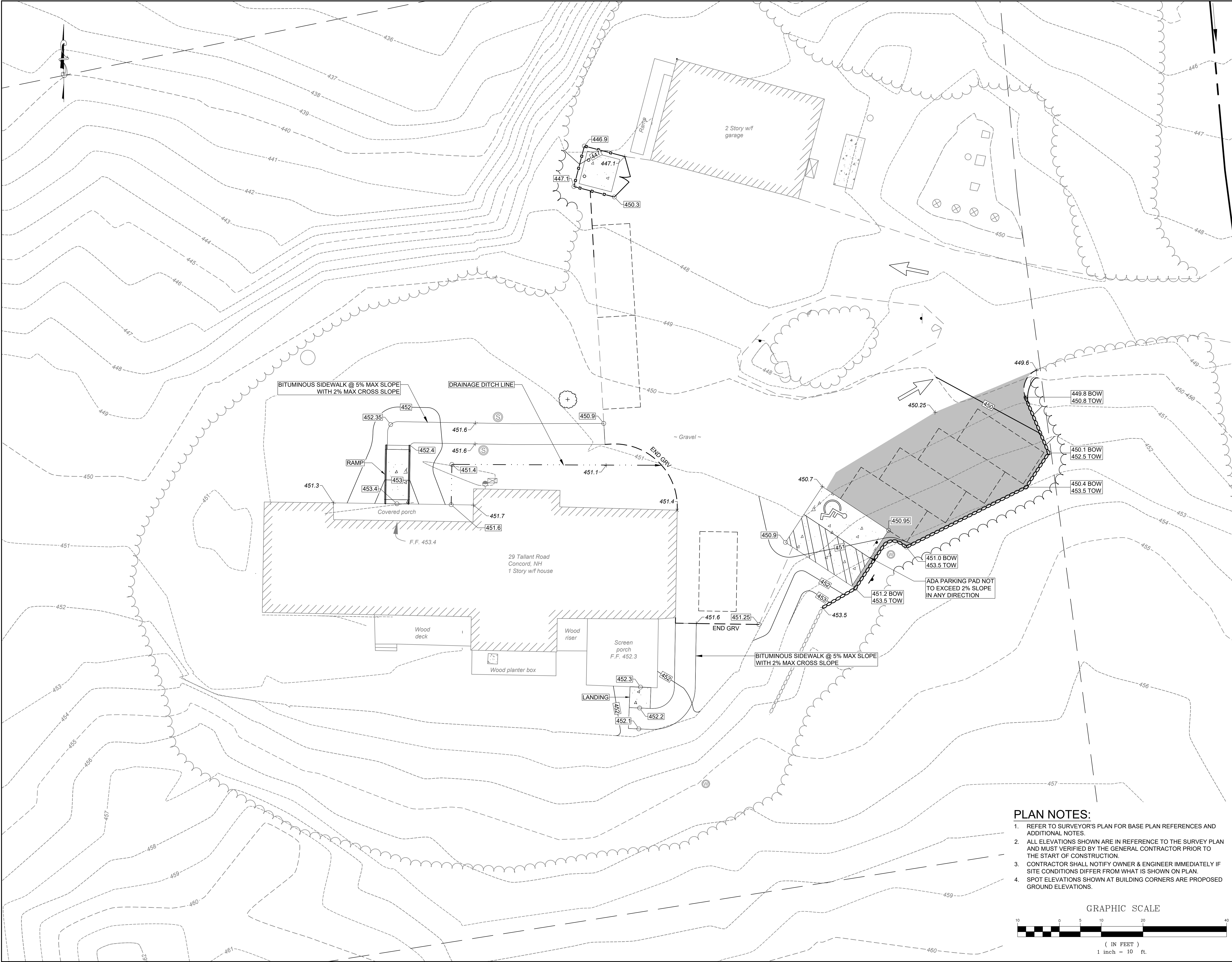
STATE OF NEW HAMPSHIRE
PROFESSIONAL ENGINEER
ERIN R. LAMBERT
No. 11057
LICENSED


Erin R. Lambert

ENGINEER, ERIN R. LAMBERT

C1.1

04 OF 09





Wilcox & Barton INC.
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 CAPITAL PLAZA, SUITE 305
CONCORD, NH 03301
603-369-4190
www.wilcoxandbarton.com

REVISION HISTORY

1.	
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PERMITTING

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OWNER

MENDOTA PROPERTIES, LLC

**4145 POWELL ROAD
POWELL, OH**

SITE


**29 TALLANT ROAD
CONCORD, NH**

**MAP 2Z, LOT 9
BK 3707, PG 1737**

DRAWING TITLE

**GRADING &
DRAINAGE PLAN**

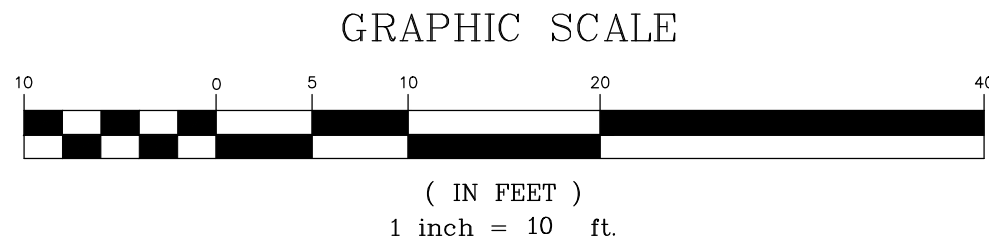
SCALE	DATE		
1" = 10'	04/20/2022		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	WSAT0003

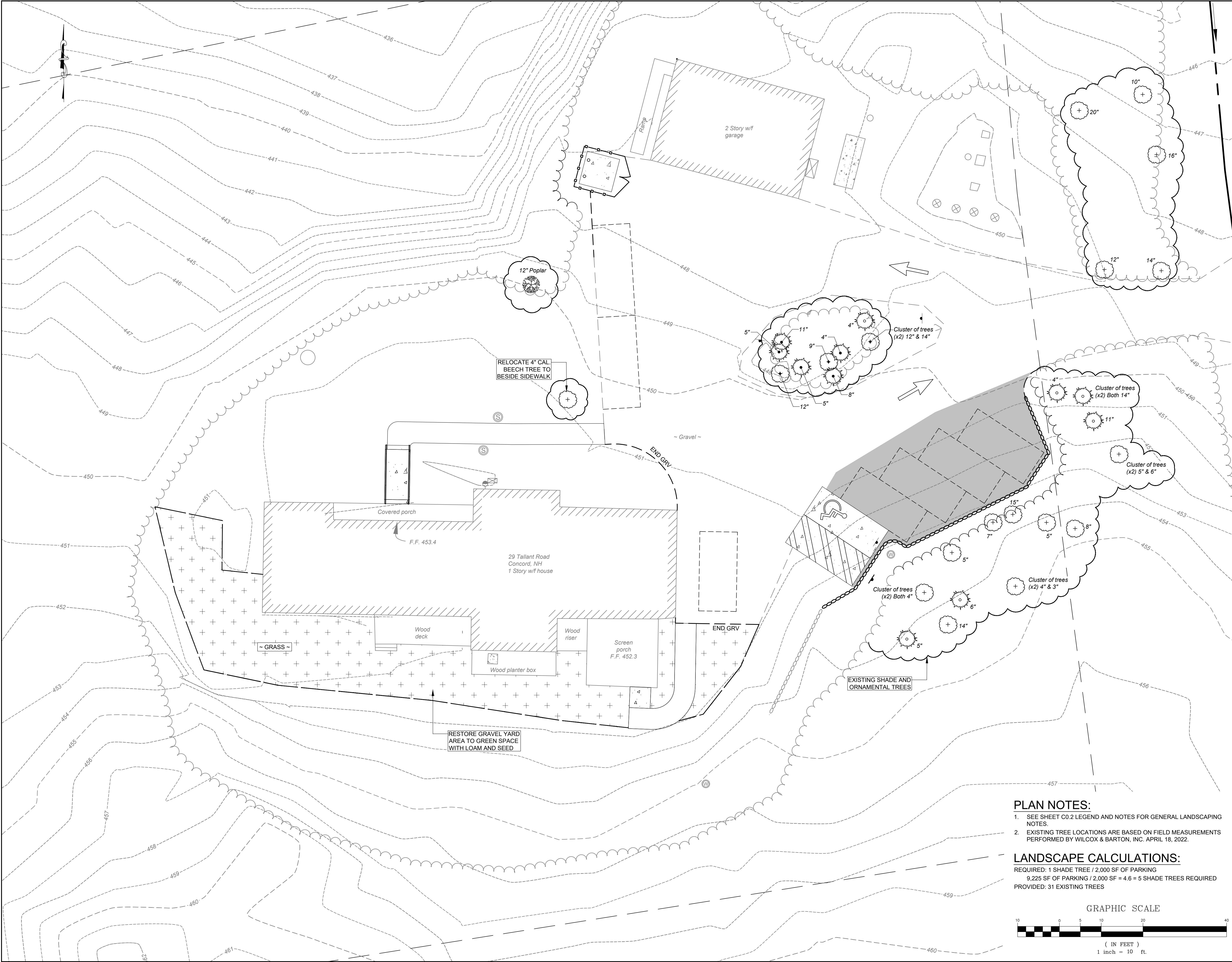
	C1.2


SHEET NO.

05 OF 09

- PLAN NOTES:**
1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.







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CONCORD, NH 03301
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REVISION HISTORY

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OWNER

MENDOTA PROPERTIES, LLC

**4145 POWELL ROAD
POWELL, OH**

SITE


**29 TALLANT ROAD
CONCORD, NH**

**MAP 2Z, LOT 9
BK 3707, PG 1737**

DRAWING TITLE

LANDSCAPING PLAN

SCALE	DATE		
1" = 10'	04/20/2022		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	WSAT0003

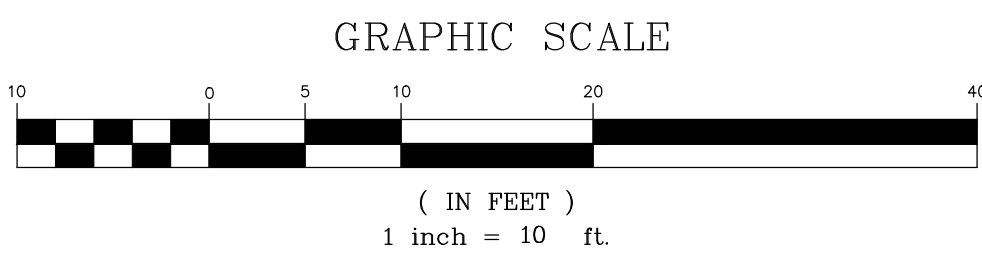
	SHEET NO.
	C1.3
	06 OF 09

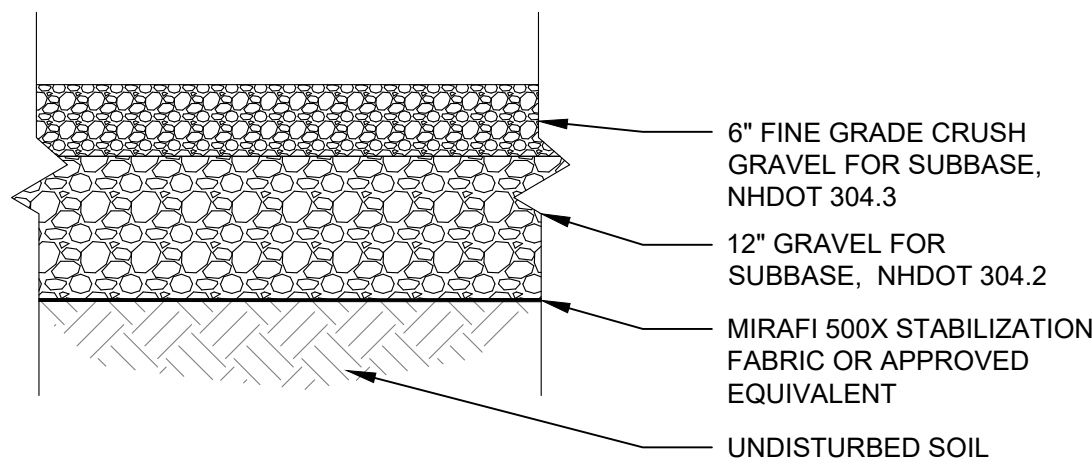
PLAN NOTES:

- SEE SHEET C0.2 LEGEND AND NOTES FOR GENERAL LANDSCAPING NOTES.
- EXISTING TREE LOCATIONS ARE BASED ON FIELD MEASUREMENTS PERFORMED BY WILCOX & BARTON, INC. APRIL 18, 2022.

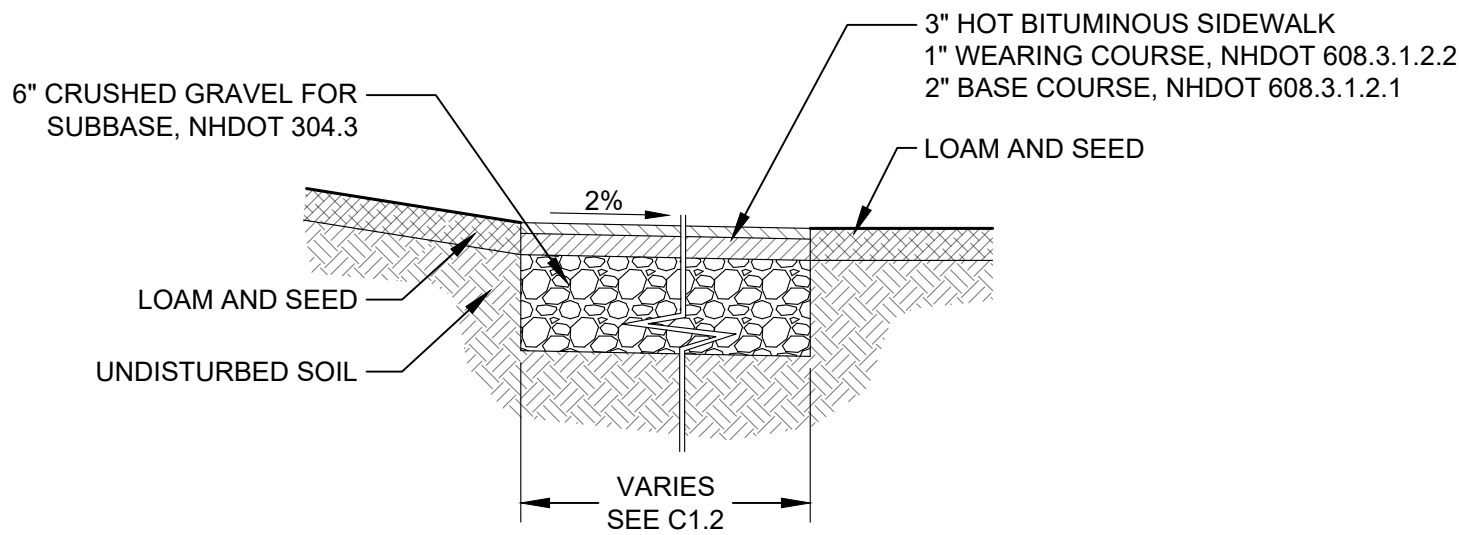
LANDSCAPE CALCULATIONS:

REQUIRED: 1 SHADE TREE / 2,000 SF OF PARKING
9,225 SF OF PARKING / 2,000 SF = 4.6 = 5 SHADE TREES REQUIRED
PROVIDED: 31 EXISTING TREES

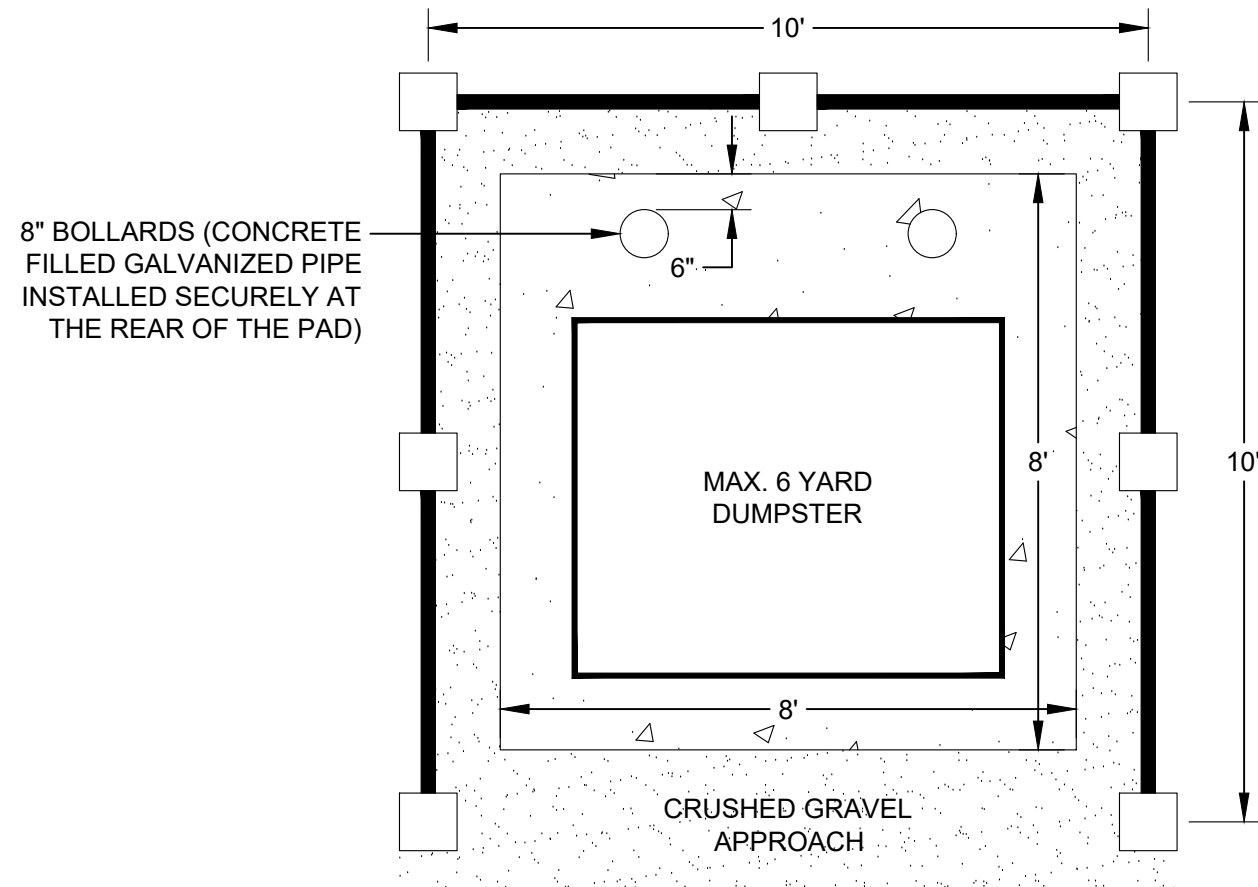




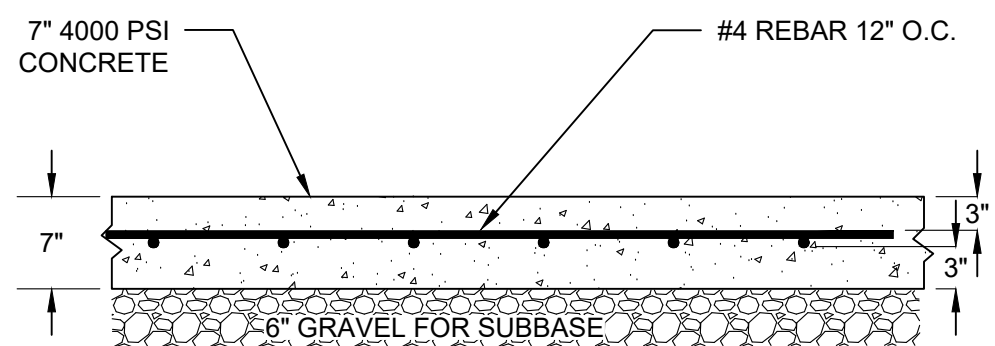
GRAVEL PARKING/DRIVE SECTION
NOT TO SCALE



3" BITUMINOUS SIDEWALK SECTION
NOT TO SCALE

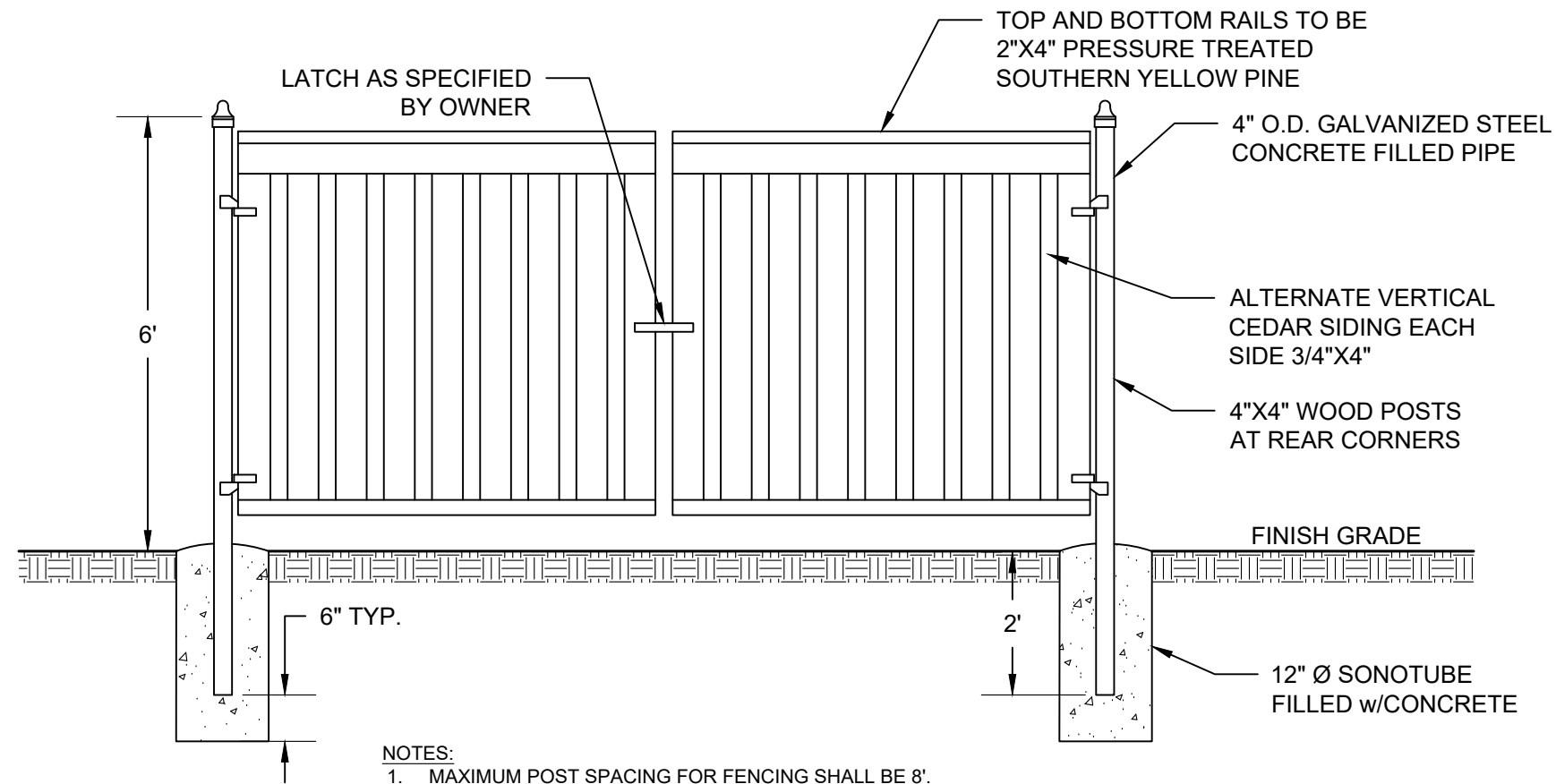


PLAN

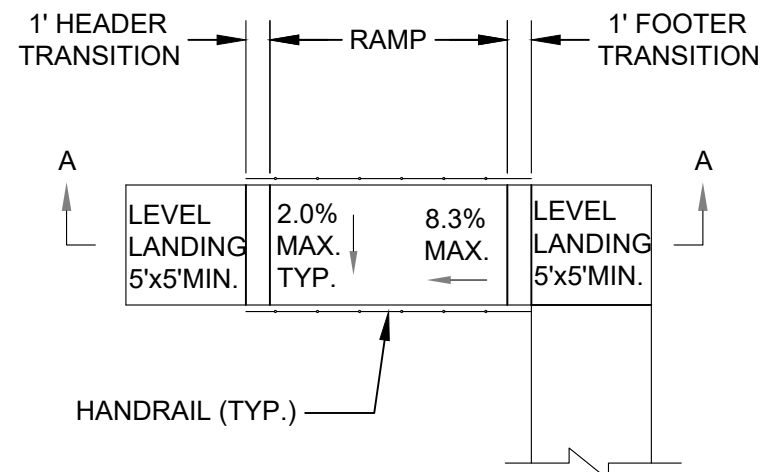


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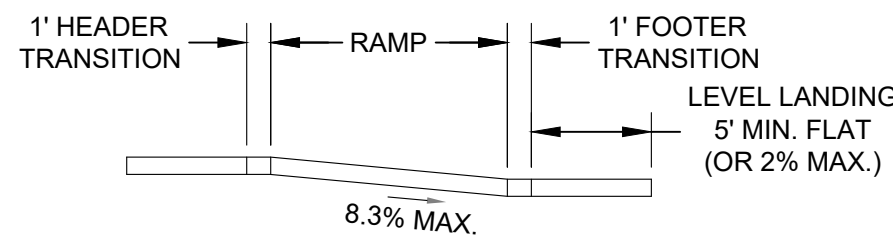
CONCRETE DUMPSTER PAD
NOT TO SCALE



TYPICAL DUMPSTER FENCE
NOT TO SCALE

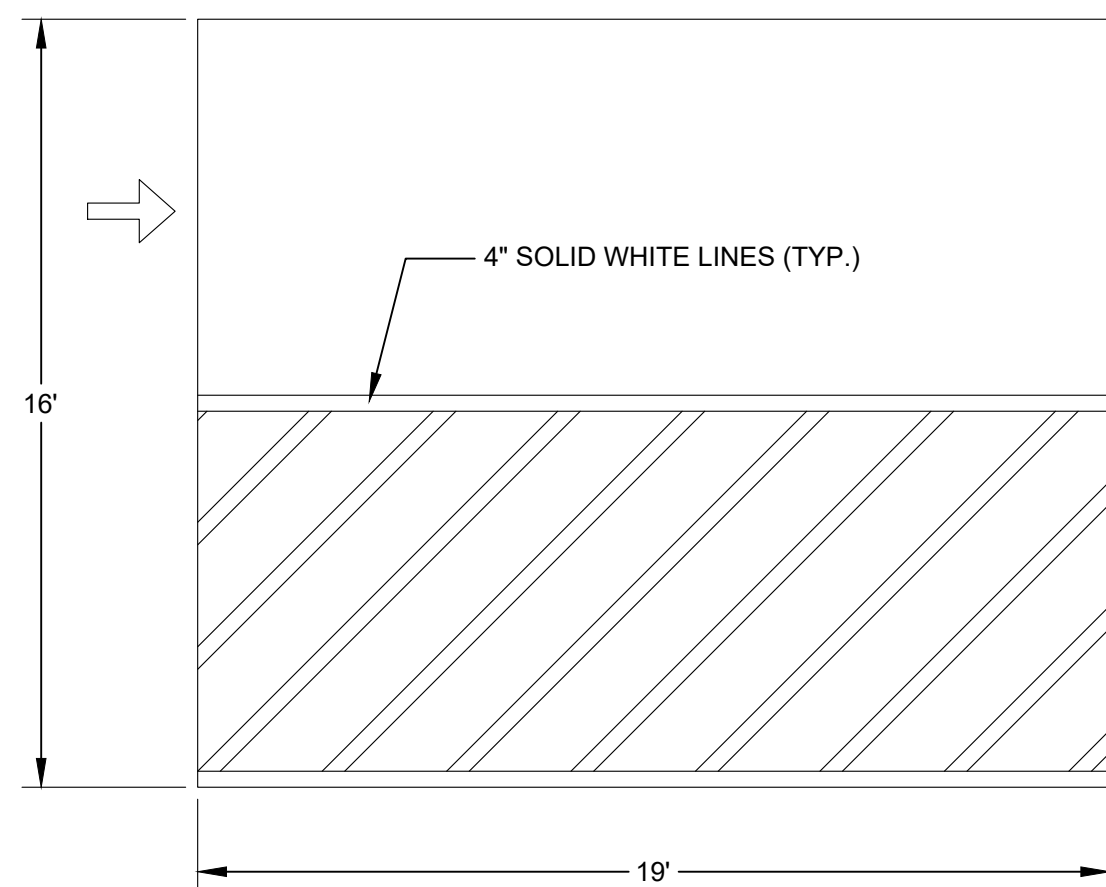


PLAN

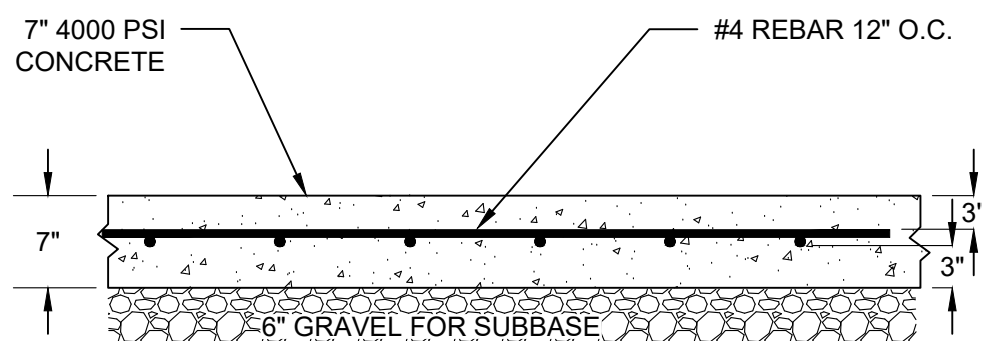


SECTION A-A

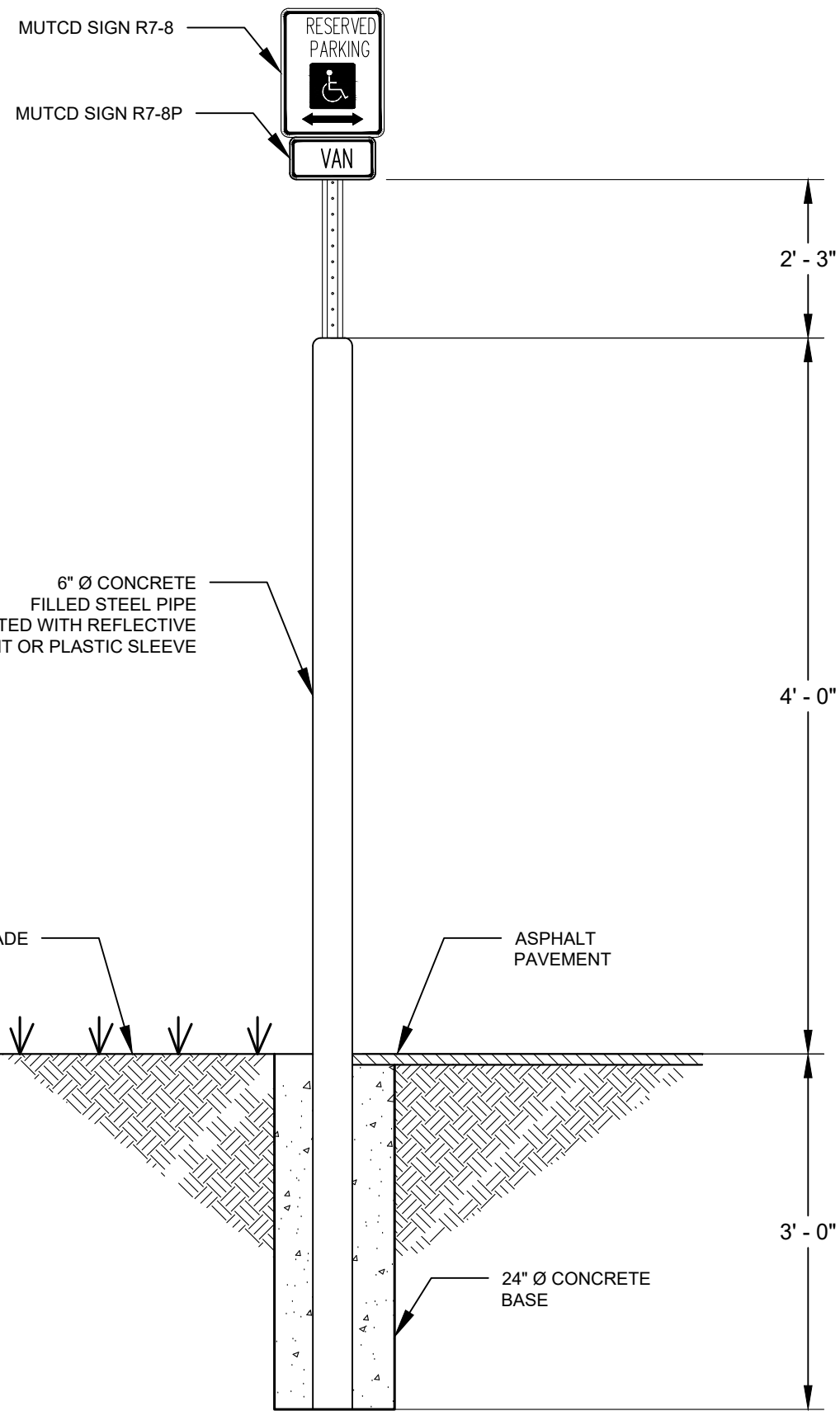
SIDEWALK RAMP
NOT TO SCALE



PARKING PAD LAYOUT
NOT TO SCALE

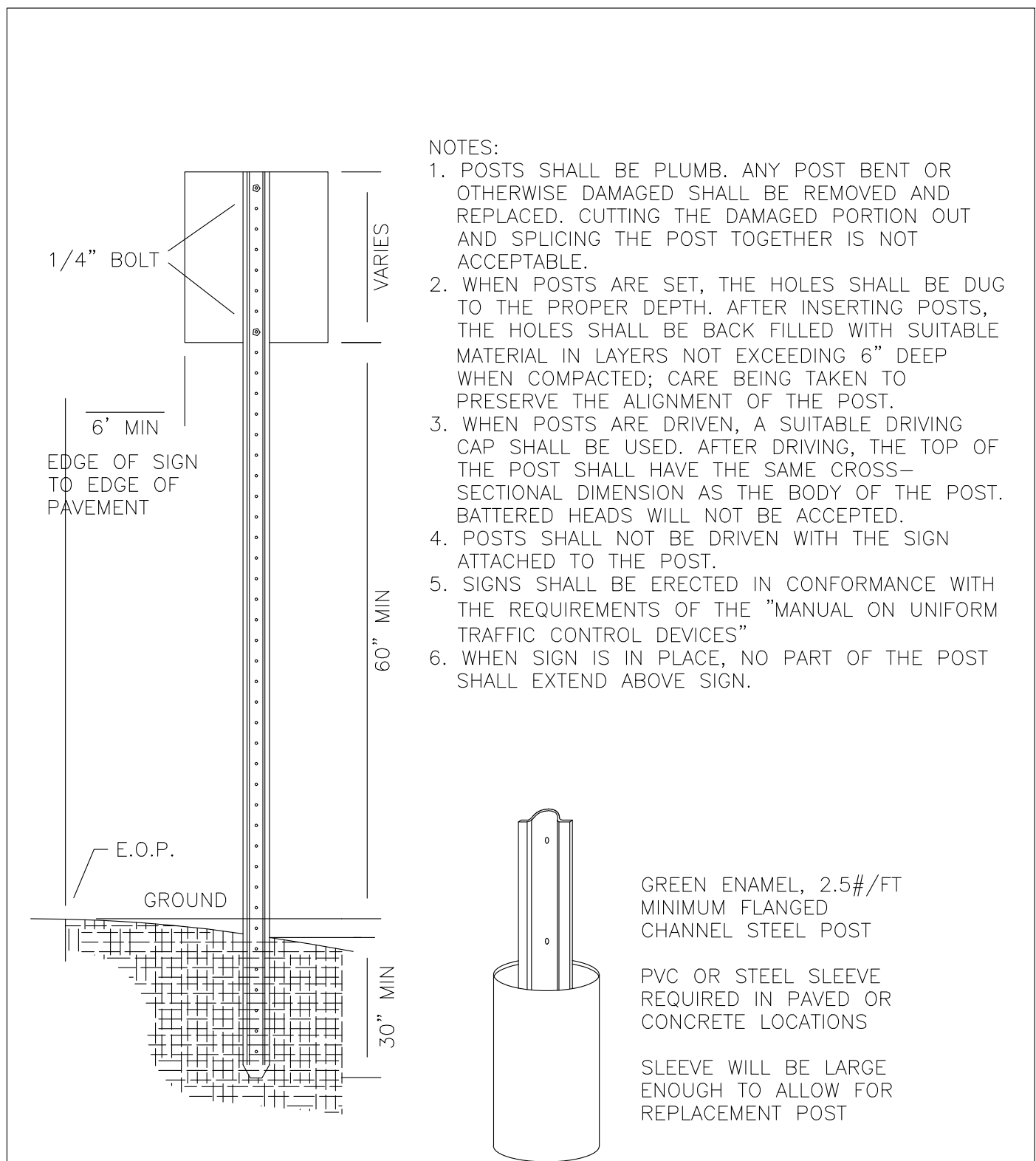


CONCRETE PARKING PAD
NOT TO SCALE



- NOTES:
1. A PRECAST BOLLARD WHICH MEETS THE SPECIFIED DIMENSIONS MAY ALSO BE USED.

TRAFFIC BOLLARD WITH ADA SPACE SIGN
NOT TO SCALE



- NOTES:
1. POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
 2. WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"
 6. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN.

GREEN ENAMEL, 2.5#/FT
MINIMUM FLANGED
CHANNEL STEEL POST

PVC OR STEEL SLEEVE
REQUIRED IN PAVED OR
CONCRETE LOCATIONS

SLEEVE WILL BE LARGE
ENOUGH TO ALLOW FOR
REPLACEMENT POST

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION: SITE/STREET
1	POST #/FT	8/13		
-	-	-		
-	-	-		
-	-	-		

ROAD SIGN POST and
SLEEVE - RURAL

DRAWING NO. M-2
DATE: 12/08 PAGE: 1

M.U.T.C.D. NUMBER	SPECIFICATION		MOUNTING HEIGHT	SIGN
	WIDTH	HEIGHT		
R7-8	12"	18"	7'-0"	RESERVED PARKING
R7-8P	12"	6"	6'-3"	VAN
R7-1	12"	18"	7'-0"	NO PARKING ANY TIME
R6-1(R)	36"	12"	7'-0"	ONE WAY

NOTE: MOUNTING HEIGHT IS THE CLEARANCE OF THE BOTTOM OF THE SIGN TO THE NEAREST EDGE OF PAVEMENT.

SIGN SUMMARY
NOT TO SCALE

REVISION HISTORY

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PERMITTING

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OWNER

MENDOTA
PROPERTIES, LLC

4145 POWELL ROAD
POWELL, OH

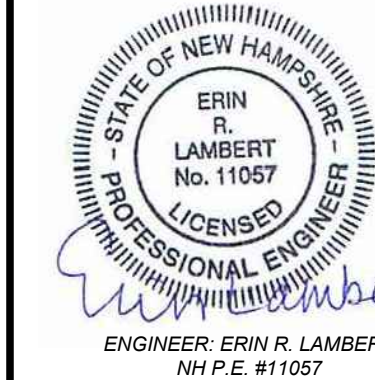
SITE

29 TALLANT ROAD
CONCORD, NH

MAP 2Z, LOT 9
BK 3707, PG 1737

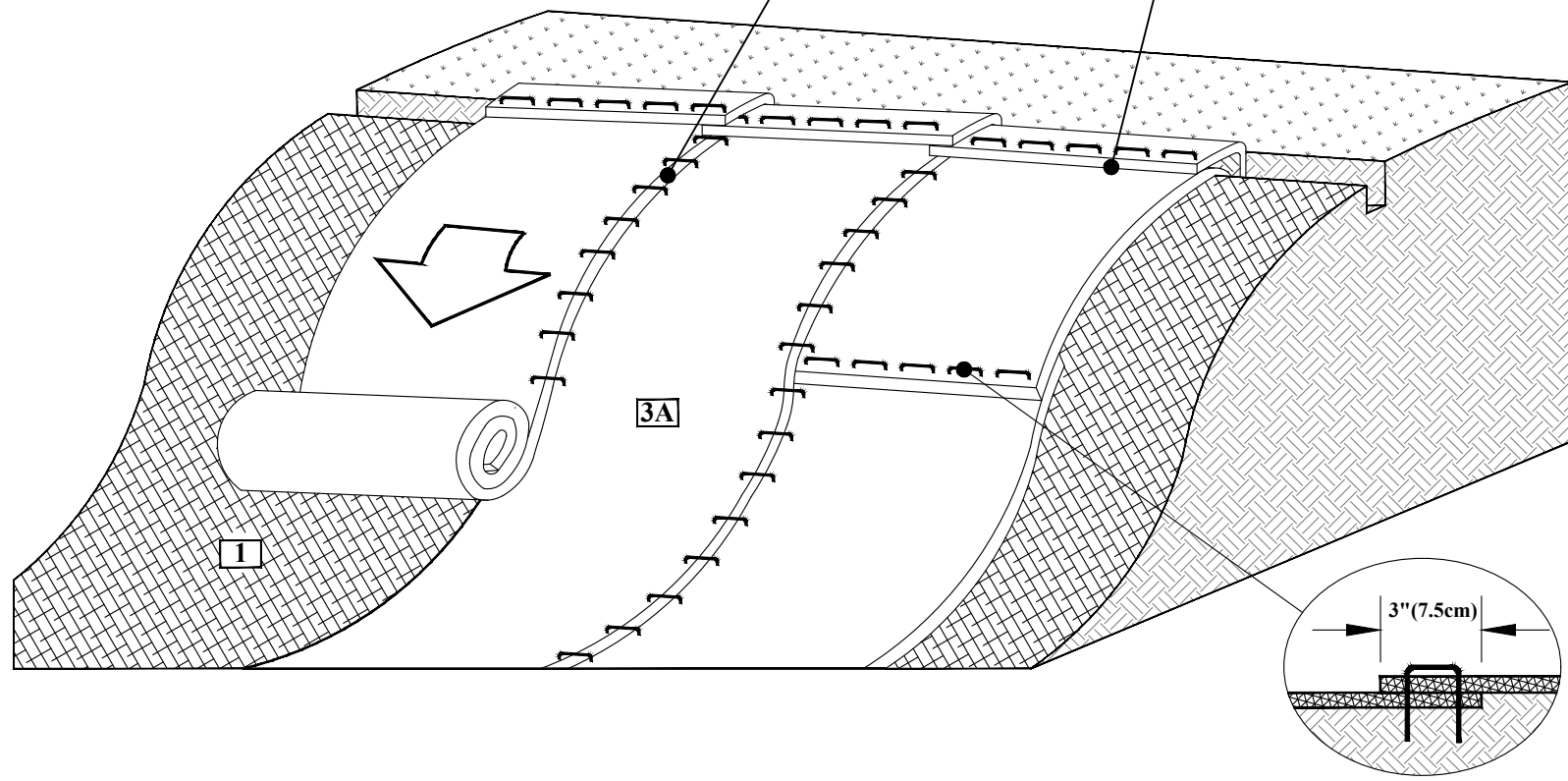
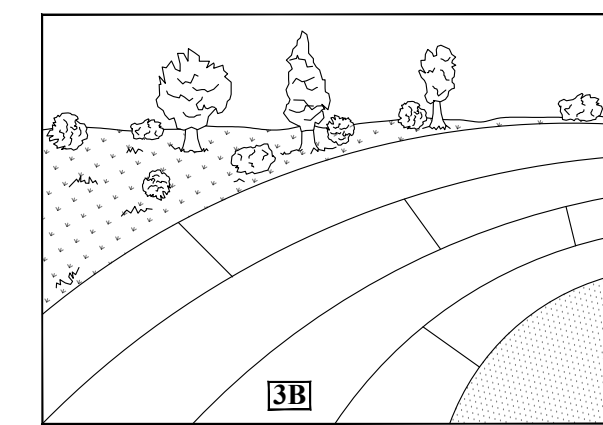
DRAWING TITLE
CONSTRUCTION
DETAILS

SCALE		DATE	
N.T.S.		04/20/2022	
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
RSR	ERL	ERL	WSAT0003
			SHEET NO.



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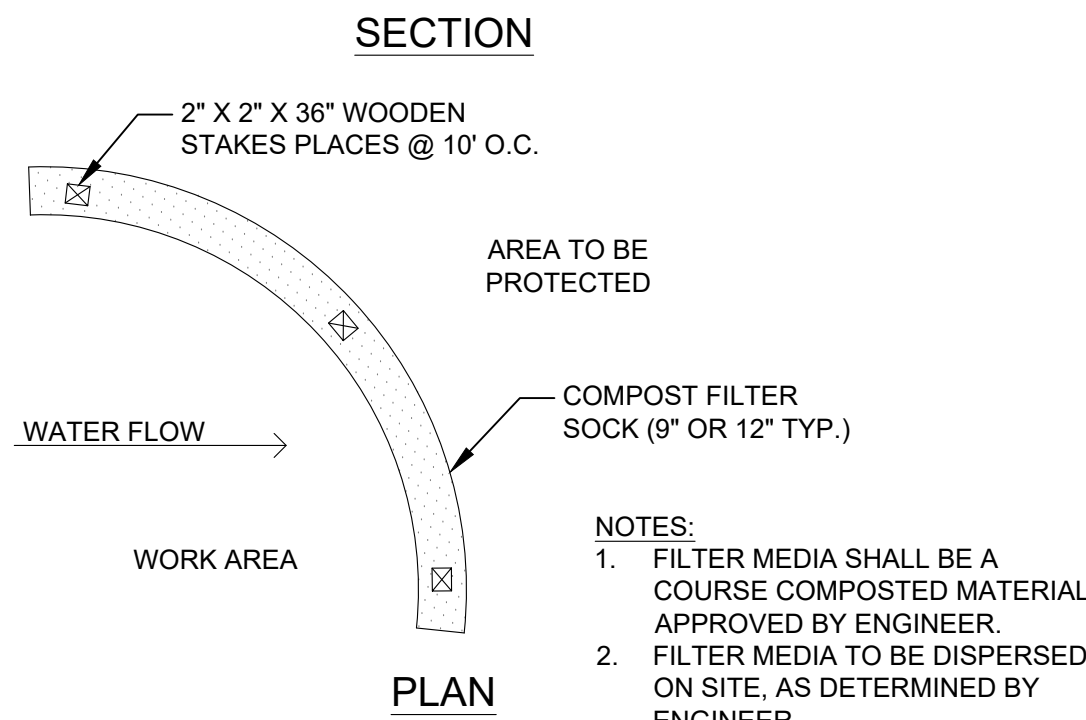
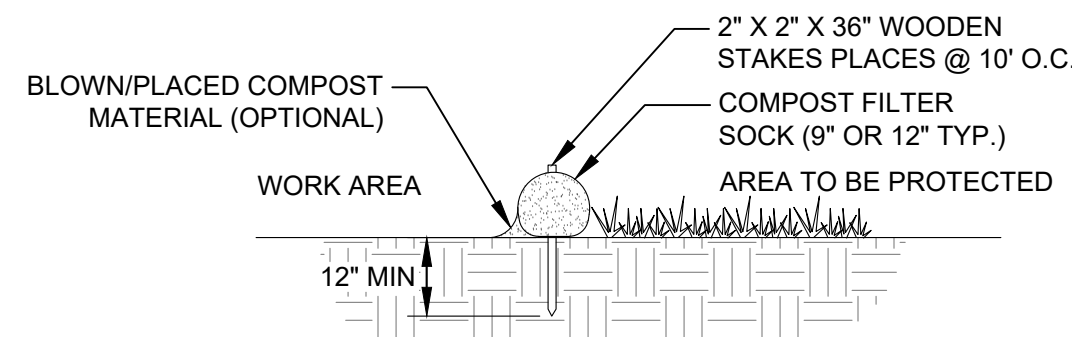
07 OF 09



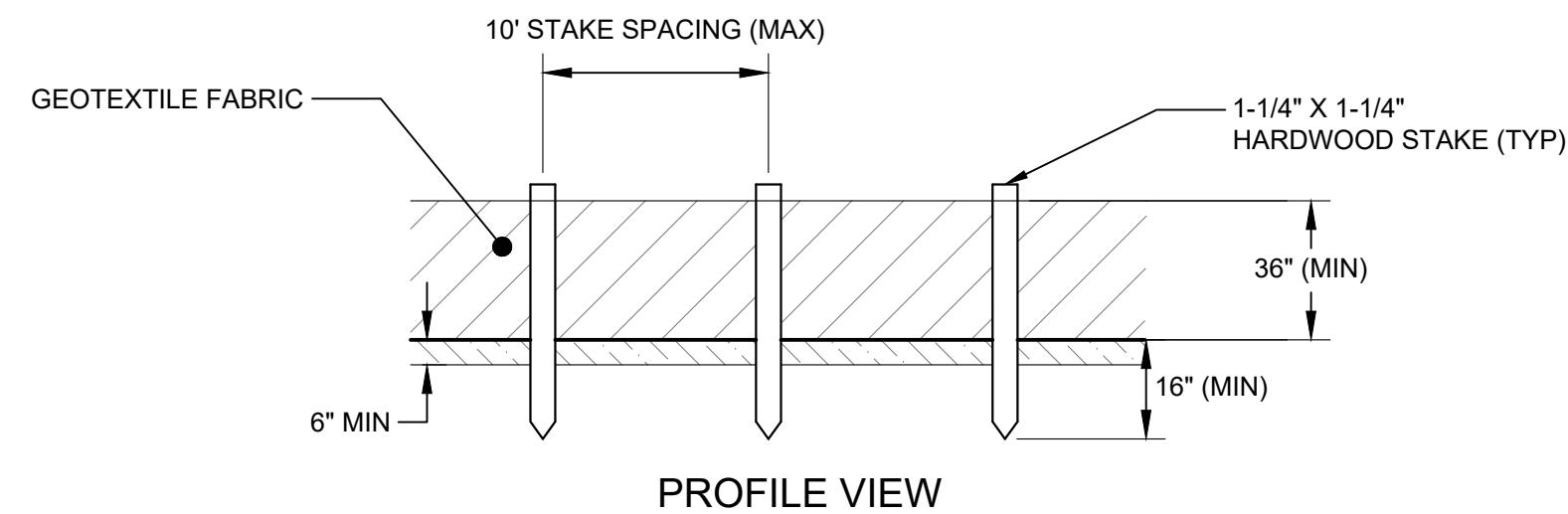
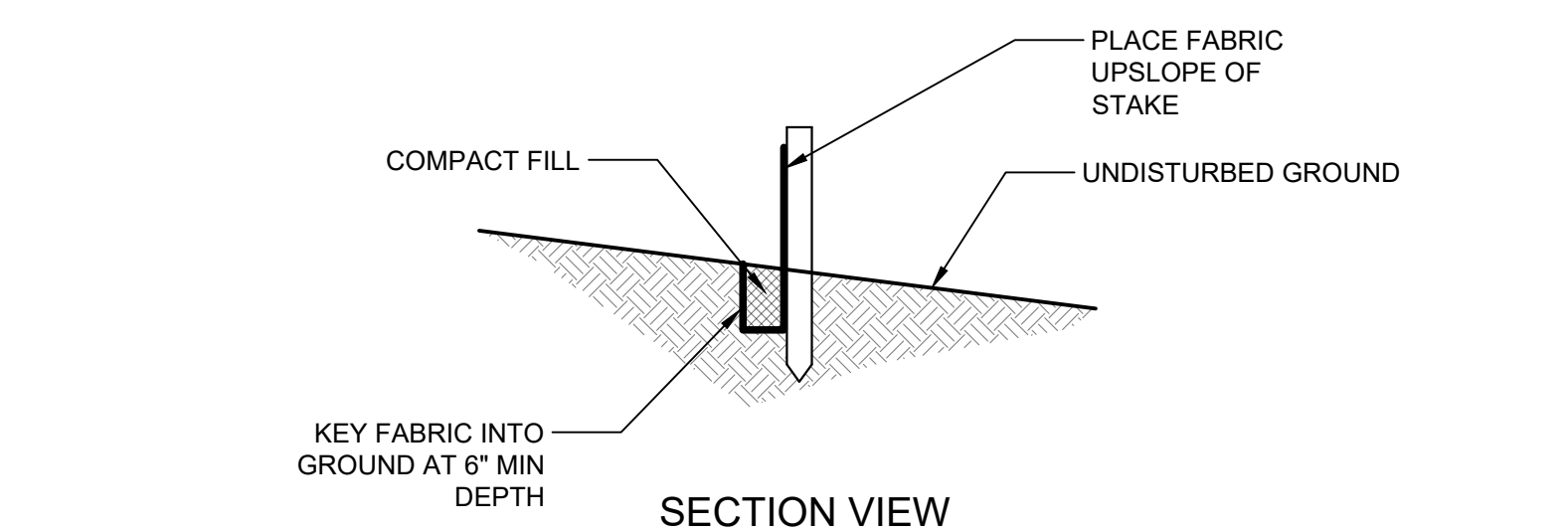
**EROSION BLANKET
SLOPE INSTALLTION**
NOT TO SCALE

- SLOPE
INSTALLATION
DETAIL**
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPS), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPS IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECPS EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPS WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12"(30CM) PORTION OF RECPS BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPS OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12"(30CM) APART ACROSS THE WIDTH OF THE RECPS.
 3. ROLL THE RECPS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
 4. THE EDGES OF PARALLEL RECPS MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5-12.5CM) OVERLAP DEPENDING ON THE RECPS TYPE.
 5. CONSECUTIVE RECPS SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3"(7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12"(30CM) APART ACROSS ENTIRE RECPS WIDTH.

*NOTE:
IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"(15CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECPS.

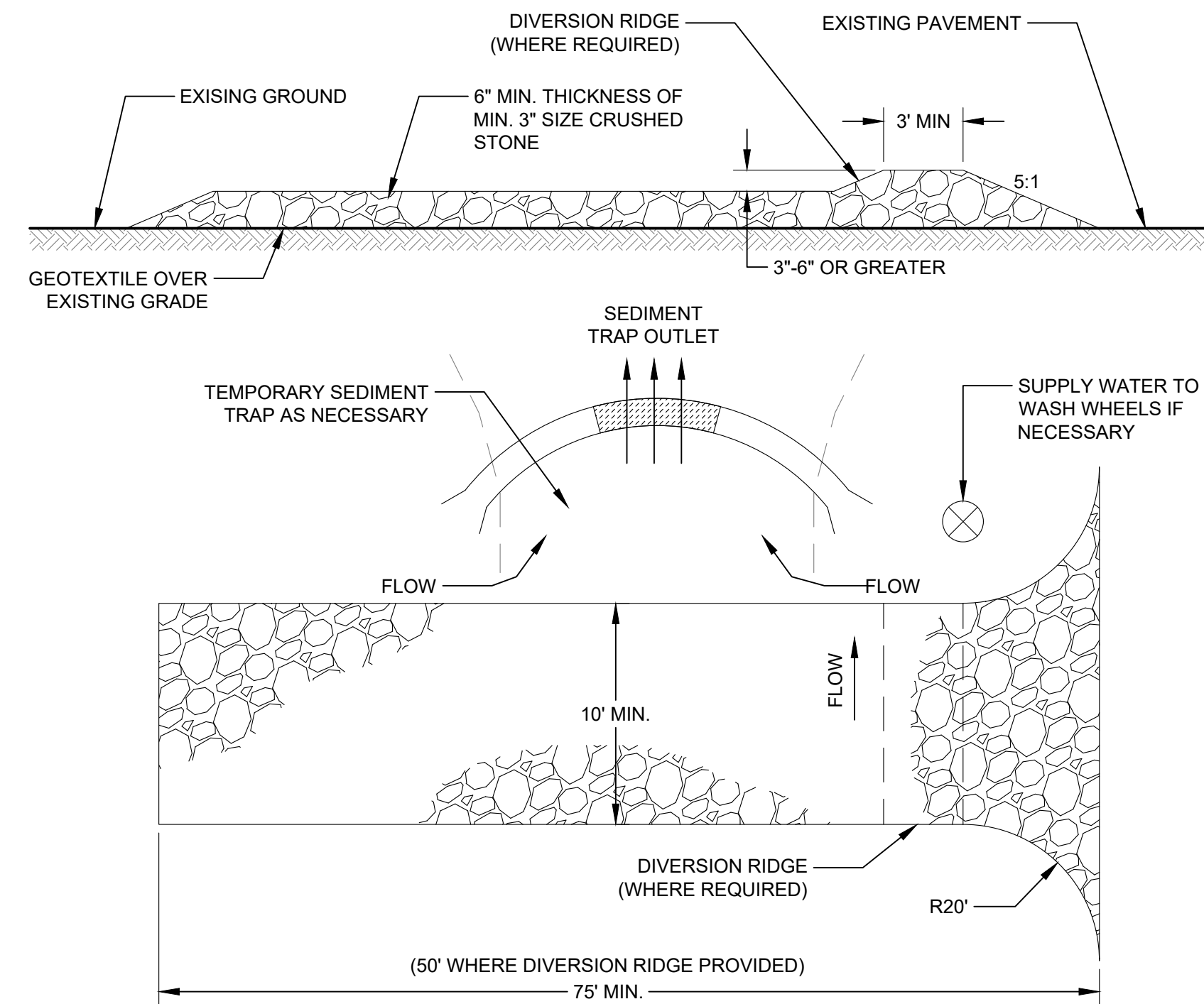


FILTER SOCK SEDIMENT CONTROL
NOT TO SCALE



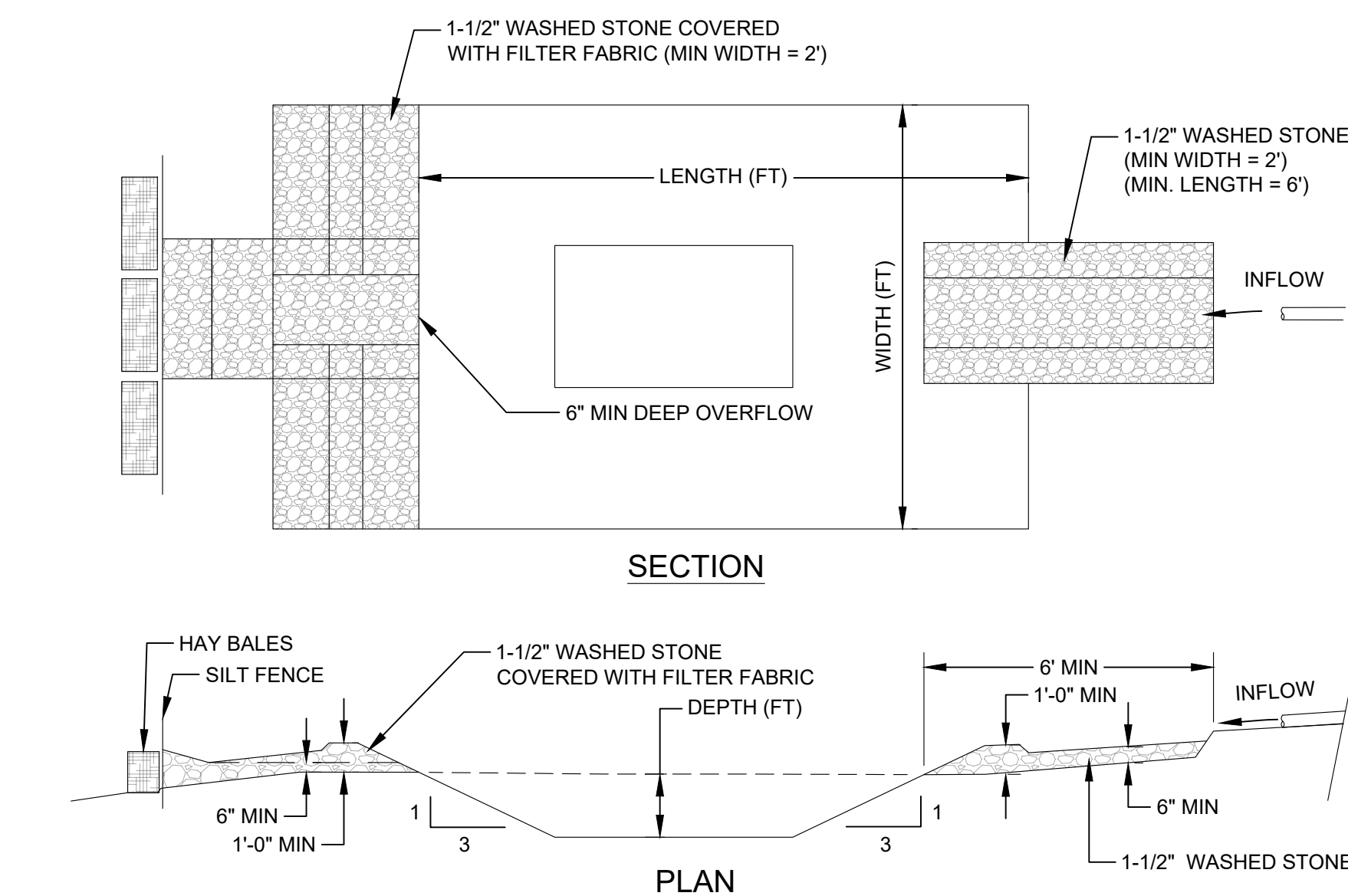
- NOTES:**
1. DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
 2. SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
 3. WIRE FENCE SUPPORT (14 GAGE W/6" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE.
 4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 5. ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
 6. APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOFAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
 7. INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
 8. REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

SILT FENCE DETAIL
NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

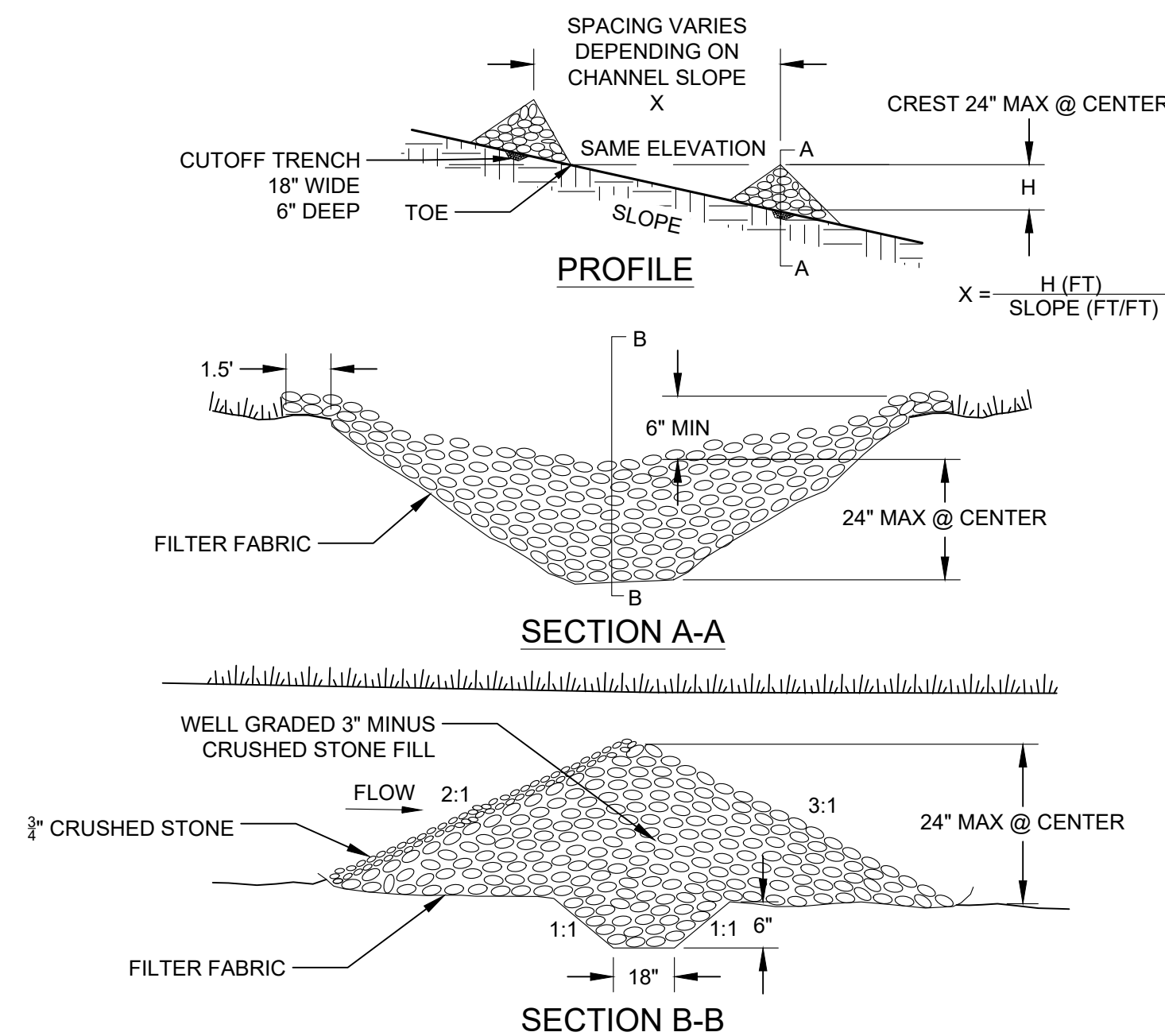
- NOTES:**
1. STONE SIZE - USE MINIMUM 3 INCH CRUSHED STONE.
 2. LENGTH - NOT LESS THAN 75 FEET (50 FEET MAY BE ALLOWED WHERE A DIVERSION RIDGE IS PROVIDED).
 3. THICKNESS - NOT LESS THAN 6 INCHES.
 4. WIDTH - 10 FOOT MINIMUM BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. GEOTEXTILE FILTER FABRIC MUST BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED ACCORDING TO PERMIT REQUIREMENTS.



SIZE	PUMP RATE			
	30 GPM	50 GPM	75 GPM	100 GPM
LENGTH (FT)	14	16	22	30
WIDTH (FT)	8	9	11	15
DEPTH (FT)	3	4	5	6

TEMPORARY SEDIMENTATION/DEWATERING BASIN
NOT TO SCALE

- NOTES:**
1. BASIN DIMENSIONS AND LOCATIONS TO BE ESTABLISHED IN THE FIELD BASED UPON SITE CONDITIONS.
 2. SEDIMENT SHALL BE REMOVED REGULARLY TO ENSURE ADEQUATE SEDIMENT BASIN CAPACITY.
 3. CONTRACTORS SHALL OBSERVE THE EFFECTIVENESS OF THE BASIN DAILY OR DURING USE, AND MAKE MODIFICATIONS TO CORRECT ANY DEFICIENCIES.



STONE CHECK DAM
NOT TO SCALE

- NOTES:**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAMGE OR BLOCKAGE FROM DISPLACED STONE.

REVISION HISTORY

1.

ISSUED FOR

PERMITTING

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OWNER

**MENDOTA
PROPERTIES, LLC**

**4145 POWELL ROAD
POWELL, OH**

SITE

**29 TALLANT ROAD
CONCORD, NH**

**MAP 2Z, LOT 9
BK 3707, PG 1737**

DRAWING TITLE

**EROSION
CONTROL DETAILS**

SCALE

N.T.S.

DATE

04/20/2022

DRAFTED BY

RSR

CHECKED BY

ERL

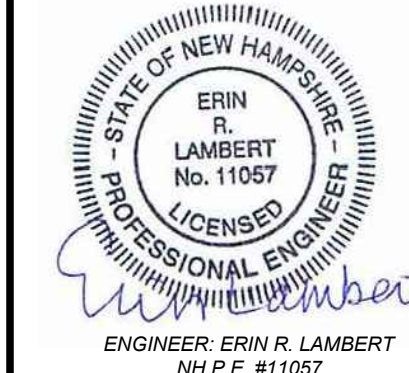
PROJECT MGR

ERL

PROJECT NO.

WSAT0003

SHEET NO.



C5.2

08 OF 09

Schedule												
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage	Distrib ion	Polar Plot
	B1	2	Lithonia Lighting	RADB LED P5 30K SYM MVOLT BTS BCC H36 DBLXD	Radean Bollard; mounted at 3ft	LED	RADB_LED_P5_30K_SYM_DB LXD.ies	2110	0.9	32.31	TYPE VS, BUG RATING: B1 - U1 - G0	
	B2	1	Lithonia Lighting	RADB LED P4 30K ASY MVOLT BTS BCC H36 DBLXD	Radean Bollard, asymmetric distribution; mounted at 3ft	LED	RADB_LED_P4_30K_ASY_DB LXD.ies	1206	0.9	18.59	TYPE I, VERY SHORT, BUG RATING: B0 - U1 - G0	
	D	3	Lithonia Lighting	LDN4 30/10 LO4AR LSS MVOLT EZ1	4in LED Round Downlight; mounted at 10ft	LED	LDN4_30_10_L O4AR_LSS.ies	1031	0.9	10.58	DIRECT, SC=0=1.04, SC=90=1.06	
	F	3	Lithonia Lighting	HGX LED 2RH ALO SWW2 120 PIR	Residential Security Floodlight; mounted at 8ft	LED	HGX_LED_2RH_ALO_SWW2_120_PIR.ies	2574	0.9	26.19	6 X 7	
	PT1	1	Lithonia Lighting	RADPT LED P1 30K ASY MVOLT PT4 DDBXD with RSS 10 4B PT DDBXD	RADEAN LED Post-Top with Asymmetric distribution; mounted at 12ft	LED	RADPT_P1_30 K_ASY.ies	3021	0.9	25.4134	TYPE IV, VERY SHORT, BUG RATING: B1 - U1 - G1	
	PT2	2	Lithonia Lighting	RADPT LED P1 30K PATH MVOLT PT4 DDBXD with RSS 10 4B PT DDBXD	RADEAN LED Post-Top Pathway distribution; mounted at 12ft	LED	RADPT_P1_30 K_PATH.ies	2473	0.9	25.41	TYPE III, SHORT, BUG RATING: B4 - U2 - G4	
	W	5	Tech Lighting	700WSBOW4B-LED830	Bowman LED Wall Sconce; mounted at 9ft	LED	-015 GB 700WSBOW4W-LED830.ies	699	0.9	17.9		

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Long Sidewalk	+	2.8 fc	41.6 fc	0.3 fc	138.7:1	9.3:1
Outside of Parking Lot	+	0.4 fc	70.5 fc	0.0 fc	N/A	N/A
Parking Lot	+	1.2 fc	37.5 fc	0.3 fc	125.0:1	4.0:1
Short Sidewalk	+	3.9 fc	38.5 fc	0.2 fc	192.5:1	19.5:1



29 TALLANT RD - CONCORD Site Lighting Layout

Designer
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24 Stickney Terrace
Suite 6
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Date
04/15/2022
Scale
1"=20'
Drawing No.

Summary