



FOR PRELIMINARY ARCHITECTURAL DESIGN REVIEW

DENNIS MIRES, P.A.
THE ARCHITECTS
697 Union Street, Manchester NH
603-625-4548 FAX 603-625-1067

drawn by:
L. Leno
file: C:\concord_2021\03d.dwg
project #: 2021.002

FLATLEY APARTMENTS
32 S Main St

Rendered View from South
scale:
issued: 2022.01.17

A3D.1

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drawn by:
 Lono

File:Concord_2021-03a.rvt

FLATLEY APARTMENTS

32 S Main St

project #: 2021.002

Rendered View from North

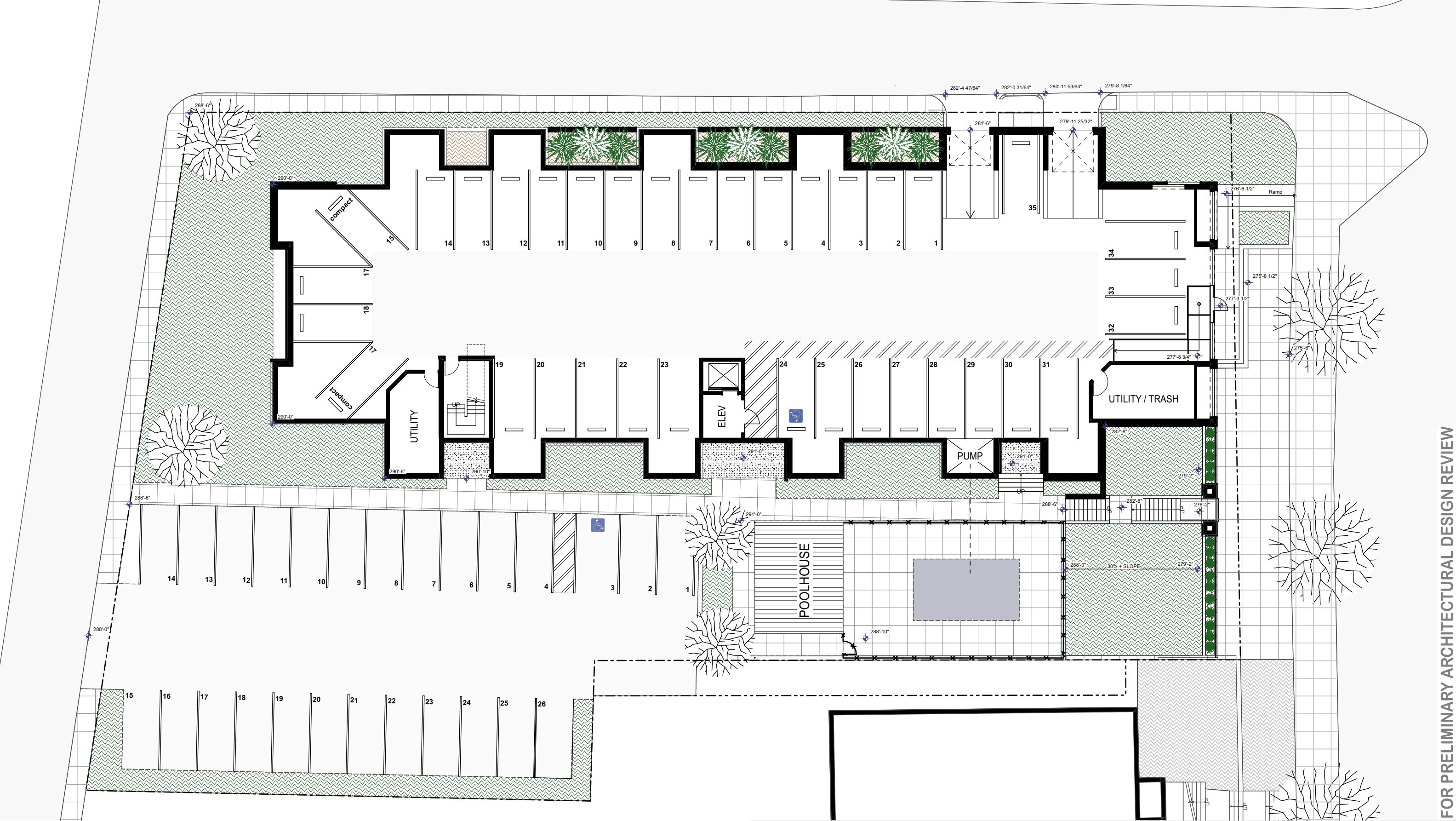
scale:

issued: 2022.01.17

A3D.2

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Garage | Street



DENNIS MIRES, P.A. THE ARCHITECTS 697 Union Street, Manchester NH 603-625-4548 FAX 603-625-1067	drawn by: Lono FileKey:Concort_2021-02.dwg Project #: 2021.1002	FLATLEY APARTMENTS 32 S Main St		Schematic Site	AS.1 FOR REVIEW
				scale: 1" = 20'	
				issued: 2021.06.07	

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1st Floor Res

(FLOORS 2-5 SIMILAR)

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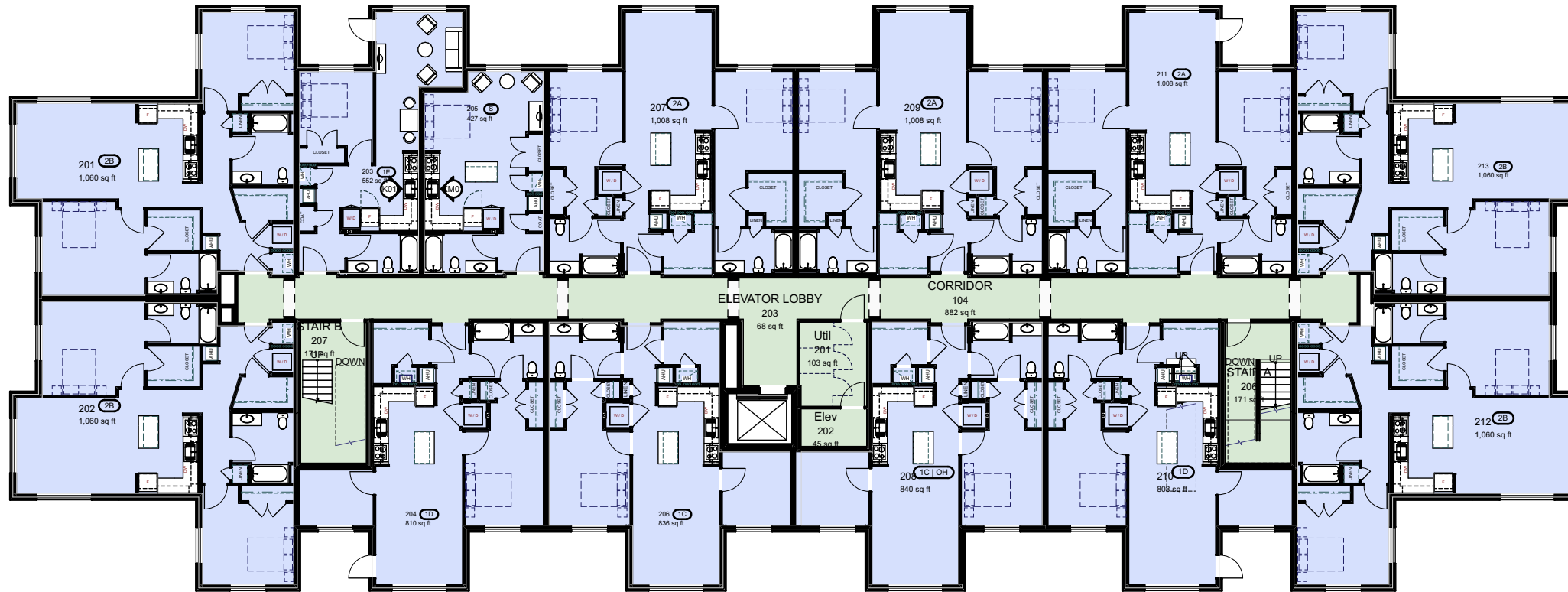
Residential Layout
scale: 1" = 20'
issued: 2022.01.17

A1.1

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2nd Floor Res



3rd-5th Floor Res

DENNIS MIRES, P.A. THE ARCHITECTS 697 Union Street, Manchester NH 603-625-4548 FAX 603-625-1067	drawn by: Lono File/Rev/Concmt: 2021-02 .pin	FLATLEY APARTMENTS 32 S Main St	project #: 2021.002	Residential Layout	A1.2
				scale: 1" = 20' issued: 2022.01.17	

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North Elevation

SCALE: 1" = 20'

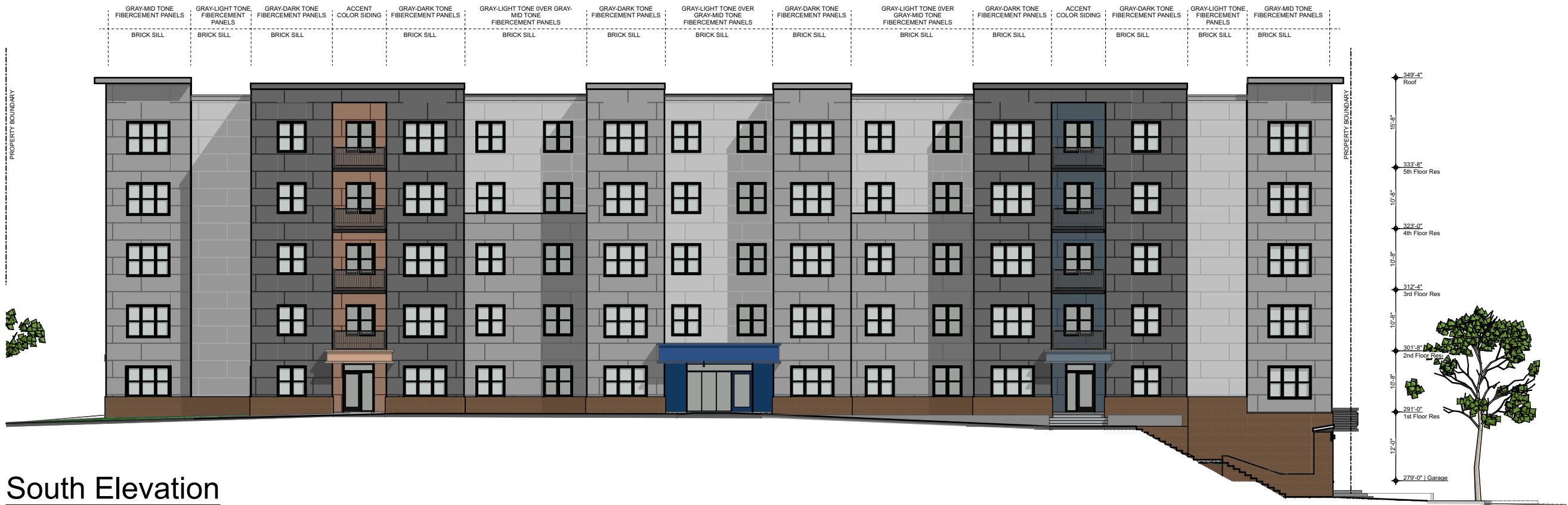


East Elevation

SCALE: 1" = 20'

DENNIS MIRES, P.A. THE ARCHITECTS 697 Union Street, Manchester NH 603-625-4548 FAX 603-625-1067	drawn by: Lono Flatley Concept_2021-02.dwg	FLATLEY APARTMENTS		project # 2021.002	Elevations	A2.1
		32 S Main St				
		scale: 1" = 20'				
		issued: 2022.01.17				

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South Elevation
SCALE: 1" = 20'

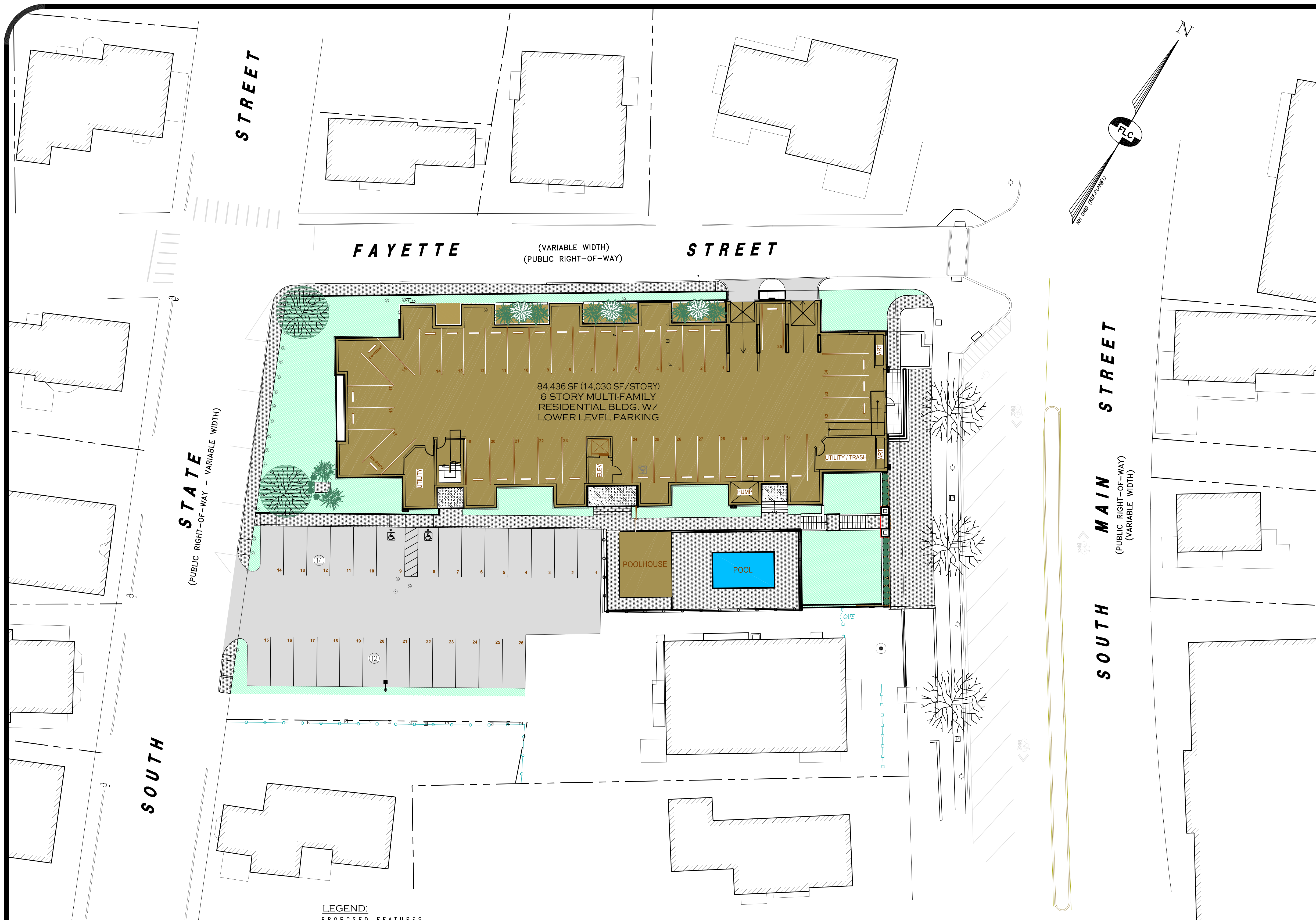


West Elevation
SCALE: 1" = 20'

DENNIS MIRES, P.A. THE ARCHITECTS 697 Union Street, Manchester NH 603-625-4548 FAX 603-625-1067	drawn by: Lono Flatley Concept_2021-02.dwg	FLATLEY APARTMENTS 32 S Main St		project # 2021.002	Elevations	A2.2
					scale: 1" = 20'	
					issued: 2022.01.17	

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REFERENCE PLANS:

- "ALTA/NSPS LAND TITLE - SURVEY OF LAND OF - THE CITY OF CONCORD - MAP 34, BLOCK 3, LOTS 2 & 3 - PROJECT LOCATION: 32-34 S. MAIN ST. & 33 S. STATE ST. - CONCORD, NH 03301", SCALE 1"=20', DATED APRIL 4, 2018, BY RICHARD D. BARTLETT ACCIATIES, LLC.
- "PLAN OF LAND - BELONGING TO - ST. MARY'S SCHOOL - CONCORD, N.H.", SCALE 1"=20', DATED SEPTEMBER 1936, BY LLOYD & MANN, CIVIL ENGINEERS. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS IN PLAN BK.840, PG.1.

PERMITS REQUIRED:

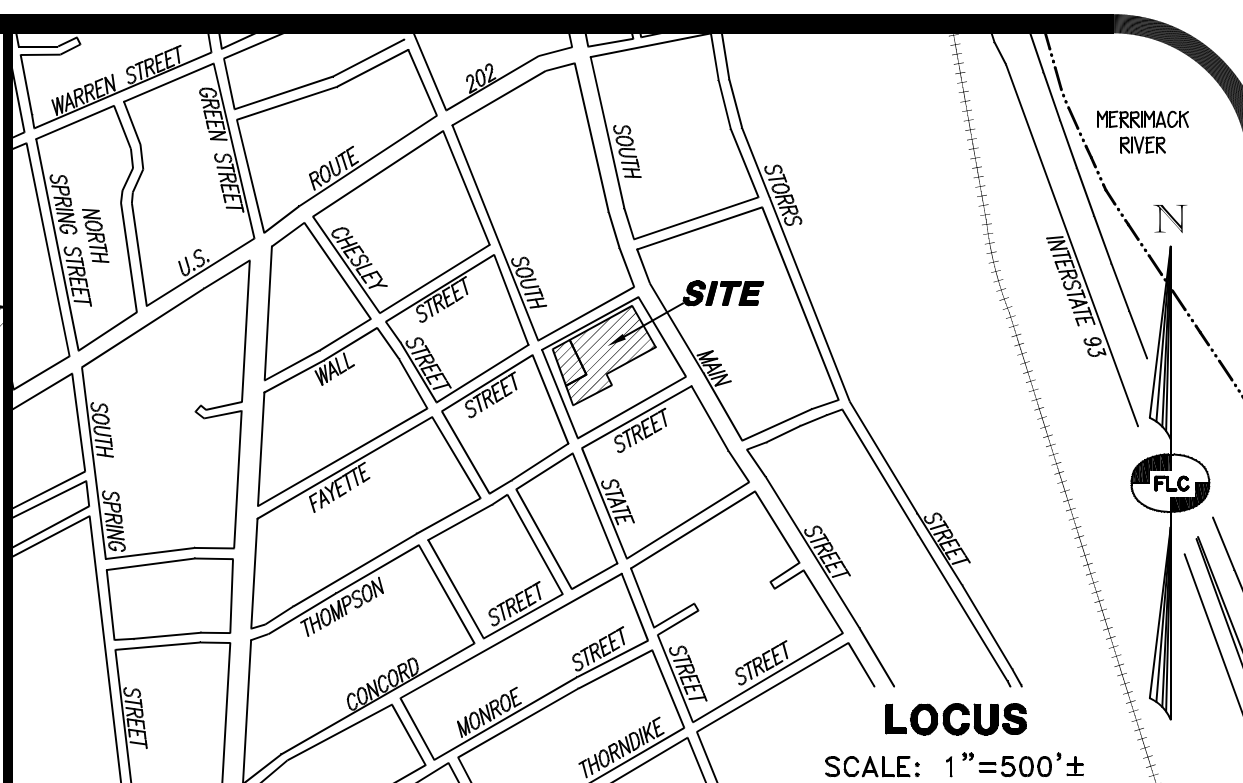
- SITE PLAN APPROVAL - CITY OF CONCORD
- ZONING BOARD APPROVAL - PENDING VARIANCES
- BUILDING PERMIT - CITY OF CONCORD

LEGEND:
PROPOSED FEATURES

- | | | | | | |
|--|-------------------------------------|--|--------------------------|--|--------------------------|
| | TRAFFIC FLOW (NOT PAINTED ARROWS) | | BUILDING MOUNTED LIGHT | | UTILITY POLE |
| | PARKING SPACE COUNT | | POLE MOUNTED LIGHT | | OVERHEAD WIRE - ELECTRIC |
| | PAVED AREA | | CATCH BASIN W/ SILT SACK | | UNDERGROUND ELECTRIC |
| | BUILDING | | SILT FENCE | | WATER LINE |
| | FENCE | | 1 FT. CONTOUR | | SEWER LINE |
| | CURB LINE | | 5 FT. CONTOUR | | UTILITY BOX LOCATION |
| | TO BE REMOVED CONCRETE SIDEWALK/PAD | | SPOT ELEVATION | | GAS LINE |
| | TBR | | SANITARY SEWER MANHOLE | | VERTICAL GRANITE CURB |
| | DMH #1 | | STORM WATER DRAINAGE | | |
| | | | STORM DRAIN MANHOLE | | |
- *SEE EXISTING CONDITIONS FOR EXISTING LEGEND.

TABULATIONS:

- GROSS ACREAGE: COMBINED LOT 0.782 ACRES (34,045 SF)
- BUILDING USE: EXISTING 100% OFFICE, 4 FLOORS, 26,102 SF
PROPOSED: PARKING GARAGE AT GROUND LEVEL, FLOORS 1-5 ARE RESIDENTIAL HOUSING; TOTAL BUILDING GROSS AREA = 84,436 SF
- AREA OF PARKING GARAGE = 14,286 SF (INCLUDES AISLES, PARKING, UTILITY, STAIRWELLS AND ELEVATOR); TOTAL HOUSING AREA = 57,865 SF (14,030 SF/FLOOR GROSS), 64 UNITS, 103 BEDROOMS
- BUILDING COVERAGE = 14,286 SF/34,045 SF = 42.0 %, PARKING COVERAGE = 7834 SF, 23%
- IMPERVIOUS COVERAGE = 6,789 SF GREEN, 27,256 SF IMPERVIOUS, 80.0 %
- BUILDING OCCUPANCY FOR PARKING = 103 BEDS (64 UNITS)
- REQUIRED PARKING (ZONING 28-7-13 CBP): 2 SPACES PER 60K-100K SF RESIDENTIAL SPACE
- PROPOSED PARKING: 35 GARAGE SPACES, 26 OUTDOOR SPACES, 3 ADA SPACES (61 TOTAL SPACES)



NOTES:

- OWNER OF RECORD FOR EXISTING TAX MAP 7412 LOTS Z25 & Z26 IS THE CITY OF CONCORD, 41 GREEN STREET, CONCORD, NH 03301-4255. THE REFERENCE DEED FOR THE LOTS IS BK.3460 PG.218 DATED FEBRUARY 28, 2020 IN THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO SHOW A 84,180 S.F., 6 STORY MULTI-FAMILY RESIDENTIAL BUILDING WITH LOWER LEVEL PARKING AREA ON TAX MAP LOTS 7412-Z25 & 7412-Z26.
- THE TOTAL AREA OF TAX MAP LOT 7412-Z25 IS 28,481 SQ.FT. OR 0.0,654 ACRES WITH 185.34 FT. OF FRONTAGE ALONG FAYETTE STREET, 123.99 FT. OF FRONTAGE ALONG SOUTH MAIN STREET AND 54.31 FT. OF FRONTAGE SOUTH STATE STREET. THE TOTAL AREA OF TAX MAP LOT 7412-Z26 IS 5,564 SQ.FT. OR 0.128 ACRES WITH 101.16 FT. OF FRONTAGE ALONG SOUTH STATE STREET AND 50.58 FT. OF FRONTAGE ALONG FAYETTE STREET.
- CURRENT ZONING IS THE CENTRAL BUSINESS PERFORMANCE DISTRICT "CBP".
ZONING REQUIREMENTS:
 - MINIMUM LOT SIZE = NONE
 - FRONT SETBACK DISTANCE = NONE
 - SIDE & REAR SETBACK DISTANCE = NONE
 - MINIMUM FRONTAGE = NONE FT.
 - MAXIMUM LOT COVERAGE = NONE
 - MAXIMUM BUILDING HEIGHT = 80 FT.
- THE BOUNDARY INFORMATION SHOWN FOR LOTS 7412-Z25 AND 7412-Z26 IS BASED ON REFERENCE PLANS #1 CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2022.
- HORIZONTAL ORIENTATION IS NH STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD83. BOTH ARE BASED ON REFERENCE PLAN #1.
- THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH JANUARY 2022 TOGETHER WITH THE REFERENCE PLANS CITED HEREON AND GIS INFORMATION AVAILABLE FROM THE CITY OF CONCORD.
- NO JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT LOTS.
- THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), MERRIMACK COUNTY, CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY NO. 330110, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33013C0533E, EFFECTIVE DATE: APRIL 19, 2010.
- THE LOTS ARE LOCATED WHOLLY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT (AP).
- THE EXISTING BUILDING ON LOT 7412-Z25 IS SERVICED BY OVERHEAD AND UNDERGROUND UTILITIES, MUNICIPAL WATER AND SEWER AND GAS PROVIDED BY LIBERTY UTILITIES.
- ALL OTHER UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- EXISTING TAX MAP LOT 7412-Z25 HAS THE BENEFIT OF AN 8 FT. WIDE AND A 10 FT. WIDE RIGHT-OF-WAY GRANTED TO EDWARD F. DONOVAN BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 551 PAGE 28 DATED OCTOBER 8, 1936 AND REFERENCE PLAN #2 CITED HEREON.
- EXISTING TAX MAP LOT 7412-Z26 HAS THE BENEFIT OF AN 10 FT. WIDE RIGHT-OF-WAY GRANTED TO WILLIAM E. SLEEPER BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 553 PAGE 473 DATED JUNE 22, 1937.
- FIRE ACCESS TO THE SITE WILL BE FROM CITY STREETS AND THE PARKING LOT.

REV.	DATE	DESCRIPTION	C/O	DR	CK

OVERVIEW PRESENTATION PLAN
TAX MAP 7412Z LOTS 25 &26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE
PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021
LAND OF:
CITY OF CONCORD
41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
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