

- TAX MAP 7412Z LOTS 25 & 26 -

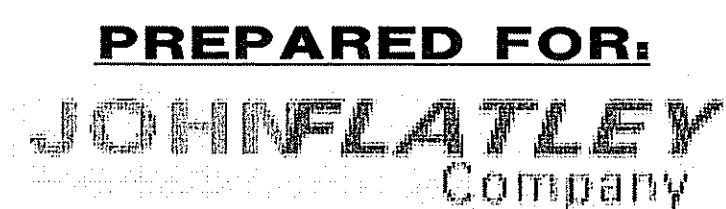
(32 SOUTH MAIN STREET)
CONCORD, NEW HAMPSHIRE
DATE: FEBRUARY 16, 2022



1. **ENGINEERING:**
41 GREEN STREET
3 rd FLOOR
CONCORD, NH 03301
ATTN: DAVID CEDARHOLM (CITY ENGINEER)
(603) 225-8520
2. **FIRE DEPARTMENT:**
CONCORD FIRE DEPARTMENT
24 HORSESHOE POND LANE
CONCORD, NH 03301
ATTN: SEAN BROWN (FIRE CHIEF)
(603) 225-8650
3. **WASTEWATER**
125 HALL STREET
CONCORD, NH 03301
ATTN: DAN DRISCOLL (SUPERINTENDENT)
(603) 225-8691

UTILITY CONTACTS:

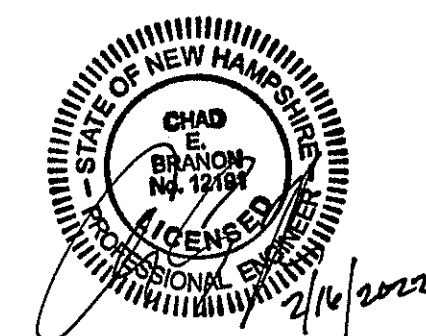
1. WATER:
GENERAL SERVICES (PUBLIC WORKS)
311 NORTH STATE STREET
CONCORD, NH 03301
ATTN: CHIP CHESLEY (DIRECTOR OF GENERAL SERVICES)
(603) 228-2737
2. GAS:
LIBERTY UTILITIES
116 NORTH MAIN STREET
CONCORD, NH 03301
(800) 833-4200
3. POWER:
UNIL (CAPITOL ELECTRIC)
5 MCQUIRE STREET
CONCORD, NH 03301
(RRR) 301-7700.



45 DAN ROAD, SUITE 320
CANTON, MA 02021
PH (781) 380-7731

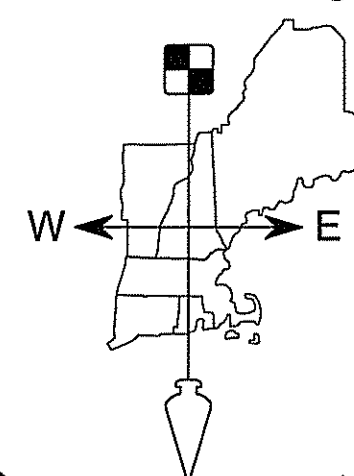
LAND OF:
CITY OF CONCORD

41 GREEN STREET
CONCORD, NH 03301-4255
PH (603) 225-8610



1. THE LOCATION OF THE UTILITIES SHOWN ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND PRESERVE ALL UTILITY SERVICES.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING AND COORDINATING WITH ALL JURISDICTIONAL AGENCIES AND UTILITY COMPANIES PRIOR TO AND DURING CONSTRUCTION
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND PROPOSED WORK PRIOR TO CONSTRUCTION.

CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 811
CALL BEFORE YOU DIG



FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603)-672-5456 Fax: (603)-413-5456
www.FieldstoneLandConsultants.com

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD

CITY OF CONCORD, NEW HAMPSHIRE

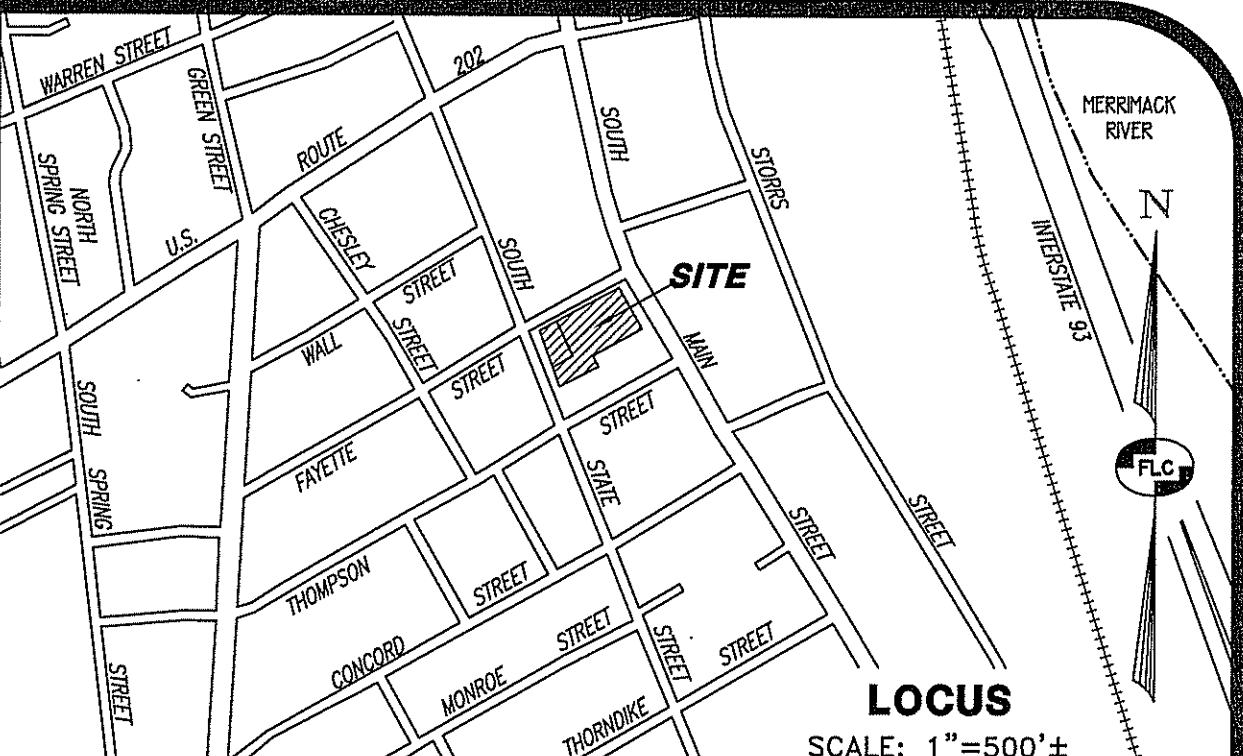
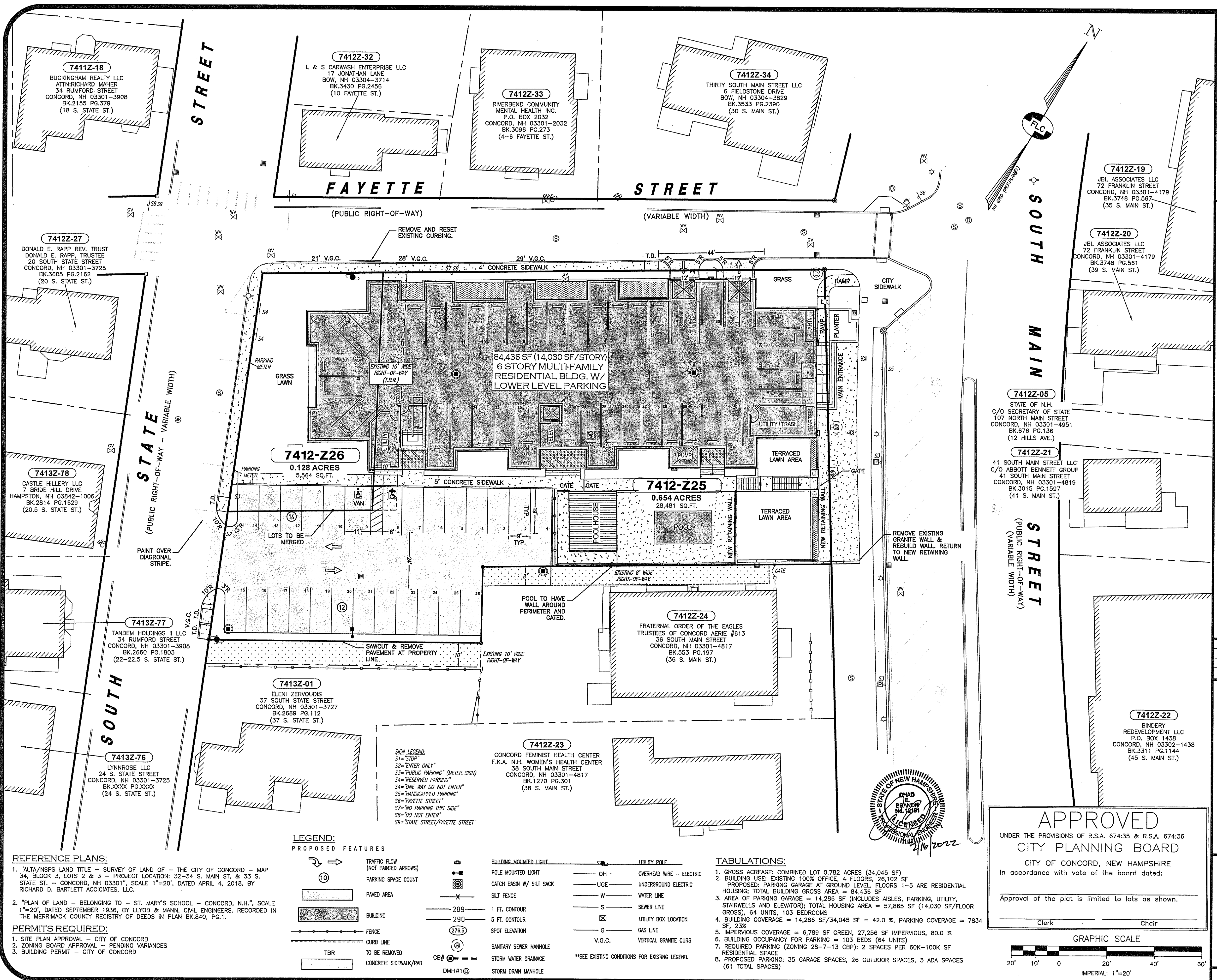
In accordance with vote of the board dated:

Approval of the plat is limited to lots as shown.

Clerk

Chair

[illegible]



- NOTES:**
- OWNER OF RECORD FOR EXISTING TAX MAP 7412 LOTS 225 & 226 IS THE CITY OF CONCORD, 41 GREEN STREET, CONCORD, NH 03301-4255. THE REFERENCE DEED FOR THE LOTS IS BK.3460 PG.218 DATED FEBRUARY 28, 2020 IN THE MERRIMACK COUNTY REGISTRY OF DEEDS.
 - THE PURPOSE OF THIS PLAN IS TO SHOW A 84,180 S.F., 6 STORY MULTI-FAMILY RESIDENTIAL BUILDING WITH LOWER LEVEL PARKING AREA ON TAX MAP LOTS 7412-225 & 7412-226.
 - THE TOTAL AREA OF TAX MAP LOT 7412-225 IS 28,481 SQ.FT. OR 0.654 ACRES WITH 185.34 FT. OF FRONTAGE ALONG FAYETTE STREET, 123.99 FT. OF FRONTAGE ALONG SOUTH MAIN STREET AND 54.31 FT. OF FRONTAGE SOUTH STATE STREET. THE TOTAL AREA OF TAX MAP LOT 7412-226 IS 5,564 SQ.FT. OR 0.128 ACRES WITH 101.16 FT. OF FRONTAGE ALONG SOUTH STATE STREET AND 50.58 FT. OF FRONTAGE ALONG FAYETTE STREET.
 - CURRENT ZONING IS THE CENTRAL BUSINESS PERFORMANCE DISTRICT "CBP".
- ZONING REQUIREMENTS:**
- MINIMUM LOT SIZE = NONE
 - FRONT SETBACK DISTANCE = NONE
 - SIDE & REAR SETBACK DISTANCE = NONE
 - MINIMUM FRONTAGE = NONE FT.
 - MAXIMUM LOT COVERAGE = NONE
 - MAXIMUM BUILDING HEIGHT = 80 FT.
- THE BOUNDARY INFORMATION SHOWN FOR LOTS 7412-225 AND 7412-226 IS BASED ON REFERENCE PLANS #1 CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2022.
 - HORIZONTAL ORIENTATION IS NH STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD83. BOTH ARE BASED ON REFERENCE PLAN #1.
 - THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH JANUARY 2022 TOGETHER WITH THE REFERENCE PLANS CITED HEREON AND GIS INFORMATION AVAILABLE FROM THE CITY OF CONCORD.
 - NO JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT LOTS.
 - THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), MERRIMACK COUNTY, CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY NO. 330110, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33013C0533E, EFFECTIVE DATE: APRIL 19, 2010.
 - THE LOTS ARE LOCATED WHOLLY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT (AP).
 - THE EXISTING BUILDING ON LOT 7412-225 IS SERVICED BY OVERHEAD AND UNDERGROUND UTILITIES, MUNICIPAL WATER AND SEWER AND GAS PROVIDED BY LIBERTY UTILITIES.
 - ALL OTHER UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
 - EXISTING TAX MAP LOT 7412-225 HAS THE BENEFIT OF AN 8 FT. WIDE AND A 10 FT. WIDE RIGHT-OF-WAY GRANTED TO EDWARD F. DONOVAN BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 551 PAGE 28 DATED OCTOBER 8, 1936 AND REFERENCE PLAN #2 CITED HEREON.
 - EXISTING TAX MAP LOT 7412-226 HAS THE BENEFIT OF AN 10 FT. WIDE RIGHT-OF-WAY GRANTED TO WILLIAM E. SLEEPER BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 553 PAGE 473 DATED JUNE 22, 1937.
 - FIRE ACCESS TO THE SITE WILL BE FROM CITY STREETS AND THE PARKING LOT.

SITE PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021

LAND OF:
CITY OF CONCORD
41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20'
FEBRUARY 16, 2022

Surveying • Engineering • Land Planning • Permitting • Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2965SP00B.DWG PROJ. NO. 2965.00 SHEET NO. SP-1 PAGE NO. 2 OF 13

- REFERENCE PLANS:**
- "ALTA/NSPS LAND TITLE SURVEY OF LAND OF - THE CITY OF CONCORD - MAP 34, BLOCK 3, LOTS 2 & 3 - PROJECT LOCATION: 32-34 S. MAIN ST. & 33 S. STATE ST., CONCORD, NH 03301", SCALE 1"=20', DATED APRIL 4, 2018, BY RICHARD D. BARTLETT ASSOCIATES, LLC.
 - "PLAN OF LAND - BELONGING TO - ST. MARY'S SCHOOL - CONCORD, N.H.", SCALE 1"=20', DATED SEPTEMBER 1936, BY LLOYD & MANN, CIVIL ENGINEERS. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS IN PLAN BK.840, PG.1.
- PERMITS REQUIRED:**
- SITE PLAN APPROVAL - CITY OF CONCORD
 - ZONING BOARD APPROVAL - PENDING VARIANCES
 - BUILDING PERMIT - CITY OF CONCORD

- LEGEND:**
PROPOSED FEATURES
- TRAFFIC FLOW (NOT PAINTED ARROWS)
 - PARKING SPACE COUNT
 - PAVED AREA
 - BUILDING
 - FENCE
 - CURB LINE
 - TBR
 - CONCRETE SIDEWALK/PAD
 - TO BE REMOVED
 - CONCRETE SIDEWALK/PAD
 - DMH #1
 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT
 - CATCH BASIN W/ SILT SACK
 - SILT FENCE
 - 1 FT. CONTOUR
 - 5 FT. CONTOUR
 - SPOT ELEVATION
 - SANITARY SEWER MANHOLE
 - STORM WATER DRAINAGE
 - STORM DRAIN MANHOLE
 - UTILITY POLE
 - OH - OVERHEAD WIRE - ELECTRIC
 - UGE - UNDERGROUND ELECTRIC
 - W - WATER LINE
 - S - SEWER LINE
 - UTILITY BOX LOCATION
 - G - GAS LINE
 - V.G.C. - VERTICAL GRANITE CURB
 - *SEE EXISTING CONDITIONS FOR EXISTING LEGEND.

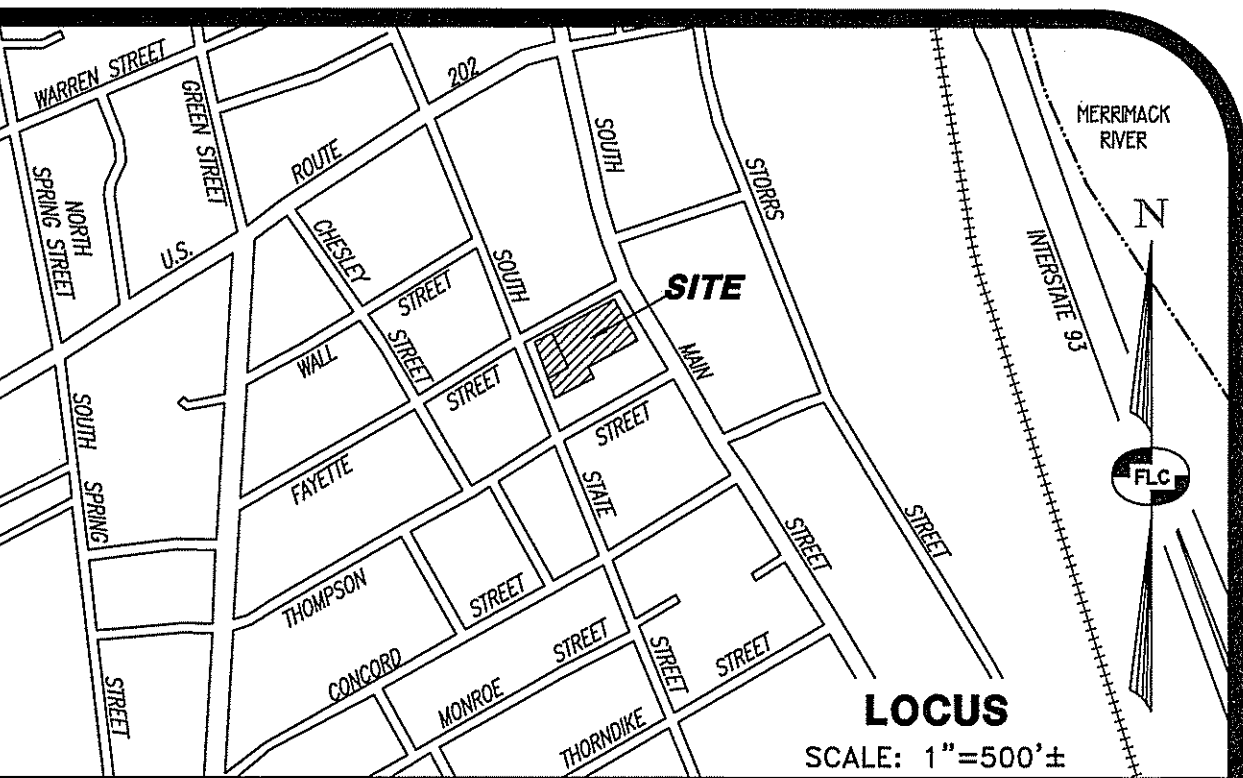
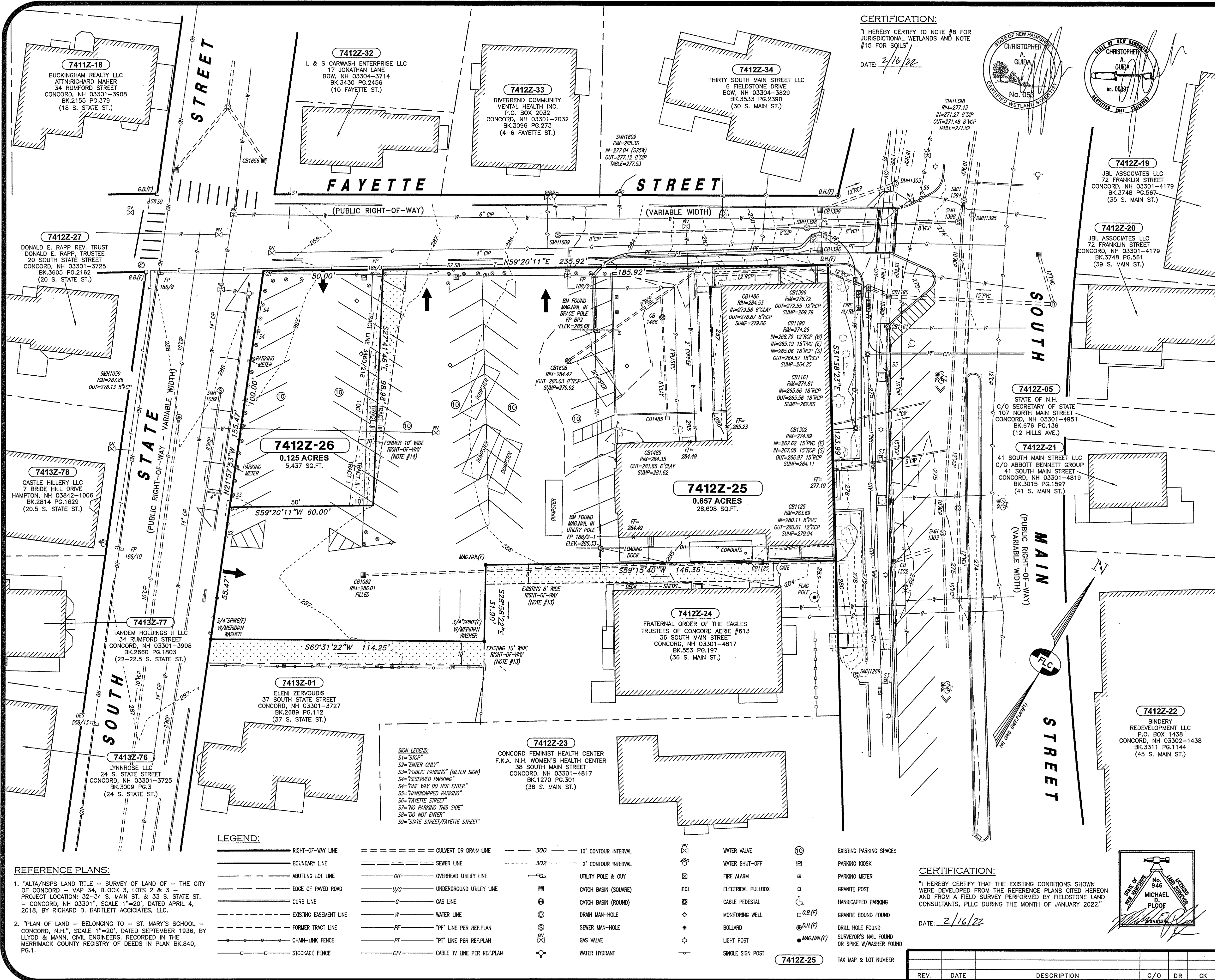
- TABULATIONS:**
- GROSS ACREAGE: COMBINED LOT 0.782 ACRES (34,045 SF)
 - BUILDING USE: EXISTING 100% OFFICE, 4 FLOORS, 26,102 SF
PROPOSED: PARKING GARAGE AT GROUND LEVEL, FLOORS 1-5 ARE RESIDENTIAL HOUSING, TOTAL BUILDING GROSS AREA = 84,436 SF
 - AREA OF PARKING GARAGE = 14,286 SF (INCLUDES AISLES, PARKING, UTILITY, STAIRWELLS AND ELEVATOR); TOTAL HOUSING AREA = 57,865 SF (14,030 SF/FLOOR GROSS), 64 UNITS, 103 BEDROOMS
 - BUILDING COVERAGE = 14,286 SF/34,045 SF = 42.0 %, PARKING COVERAGE = 7834 SF, 23%
 - IMPERVIOUS COVERAGE = 6,789 SF GREEN, 27,256 SF IMPERVIOUS, 80.0 %
 - BUILDING OCCUPANCY FOR PARKING = 103 BEDS (64 UNITS)
 - REQUIRED PARKING (ZONING 28-7-13 CBP): 2 SPACES PER 60K-100K SF RESIDENTIAL SPACE
 - PROPOSED PARKING: 35 GARAGE SPACES, 26 OUTDOOR SPACES, 3 ADA SPACES (61 TOTAL SPACES)

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated:

Approval of the plat is limited to lots as shown.

Clerk _____ Chair _____

GRAPHIC SCALE
20' 10' 0' 20' 40' 60'
IMPERIAL: 1"=20'



NOTES:

- OWNER OF RECORD FOR EXISTING TAX MAP 7412Z LOTS 25 & 26 IS THE CITY OF CONCORD, 41 GREEN STREET, CONCORD, NH 03301-4255. THE REFERENCE DEED FOR THE LOTS IS BK.3460 PG.218 DATED FEBRUARY 28, 2020 IN THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS FOR TAX MAP LOTS 7412Z-25 & 7412Z-26.
- THE TOTAL AREA OF TAX MAP LOT 7412Z-25 IS 28,608 SQ.FT. OR 0.657 ACRES WITH 185.92 FT. OF FRONTAGE ALONG FAYETTE STREET, 123.99 FT. OF FRONTAGE ALONG SOUTH MAIN STREET AND 55.47 FT. OF FRONTAGE SOUTH STATE STREET. THE TOTAL AREA OF TAX MAP LOT 7412Z-26 IS 5,437 SQ.FT. OR 0.125 ACRES WITH 100.00 FT. OF FRONTAGE ALONG SOUTH STATE STREET AND 50.00 FT. OF FRONTAGE ALONG FAYETTE STREET.
- CURRENT ZONING IS THE CENTRAL BUSINESS PERFORMANCE DISTRICT "CBP".

ZONING REQUIREMENTS:

- MINIMUM LOT SIZE = NONE
- FRONT SETBACK DISTANCE = NONE
- SIDE & REAR SETBACK DISTANCE = NONE
- MINIMUM FRONTAGE = NONE FT.
- MAXIMUM LOT COVERAGE = NONE
- MAXIMUM BUILDING HEIGHT = 80 FT.

- THE BOUNDARY INFORMATION SHOWN FOR LOTS 7412Z-25 AND 7412Z-26 IS BASED ON REFERENCE PLANS #1 CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2022.
- HORIZONTAL ORIENTATION IS NH STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD83. BOTH ARE BASED ON REFERENCE PLAN #1.
- THE SURFACE FEATURES AND SITE TOPOGRAPHY SHOWN ARE THE RESULT OF AN ON-SITE FIELD SURVEY PERFORMED BY THIS OFFICE DURING THE MONTH JANUARY 2022 TOGETHER WITH THE REFERENCE PLANS CITED HEREON AND GIS INFORMATION AVAILABLE FROM THE CITY OF CONCORD.
- NO JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT LOTS.
- THE SUBJECT PARCEL IS NOT LOCATED IN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE STUDY (FIRM), MERRIMACK COUNTY, CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY NO. 330110, PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, MAP NUMBER: 33013C0533E, EFFECTIVE DATE: APRIL 19, 2010.
- THE LOTS ARE LOCATED WHOLLY WITHIN THE AQUIFER PROTECTION OVERLAY DISTRICT (AP).
- THE EXISTING BUILDING ON LOT 7412Z-25 IS SERVICED BY OVERHEAD AND UNDERGROUND UTILITIES, MUNICIPAL WATER AND SEWER AND GAS PROVIDED BY LIBERTY UTILITIES.
- ALL OTHER UTILITIES SHOWN HAVE BEEN COMPILED IN PART FROM PLANS OF RECORD AND FIELD LOCATION. THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO ANY EXCAVATION OR CONSTRUCTION ACTIVITIES.
- EXISTING TAX MAP LOT 7412Z-25 HAS THE BENEFIT OF AN 8 FT. WIDE AND A 10 FT. WIDE RIGHT-OF-WAY GRANTED TO EDWARD F. DONOVAN BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 551 PAGE 28 DATED OCTOBER 8, 1936 AND REFERENCE PLAN #2 CITED HEREON.
- EXISTING TAX MAP LOT 7412Z-26 FORMERLY HAD THE BENEFIT OF AN 10 FT. WIDE RIGHT-OF-WAY GRANTED TO WILLIAM E. SLEEPER BY ST. MARY'S SCHOOL FOR GIRLS ON JUNE 22, 1937 (SEE BOOK 553 PAGE 473). SAID 10 FT. WIDE RIGHT-OF-WAY HAS SINCE BEEN DISCONTINUED BY VIRTUE OF COMMON OWNERSHIP OF LOTS 7412Z-25 AND 7412Z-26 AND THE PROPOSED MERGER OF SAID LOTS.
- SOILS FOR THE ENTIRE SITE IS WINDSOR-URBAN LAND COMPLEX (598B) WITH SLOPES BETWEEN 0% AND 8%.

GRAPHIC SCALE

20' 10' 0 20' 40' 60'

IMPERIAL: 1"=20'

EXISTING CONDITIONS PLAN

TAX MAP 7412Z LOTS 25 & 26

(32-34 S. MAIN STREET & 33 S. STATE STREET)

CONCORD, NEW HAMPSHIRE

PREPARED FOR:

JOHN FLATLEY COMPANY

45 DAN ROAD, SUITE 320, CANTON, MA 02021

LAND OF:

CITY OF CONCORD

41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055

Phone: (603) 672-5456 Fax: (603) 413-5456

www.FieldstoneLandConsultants.com

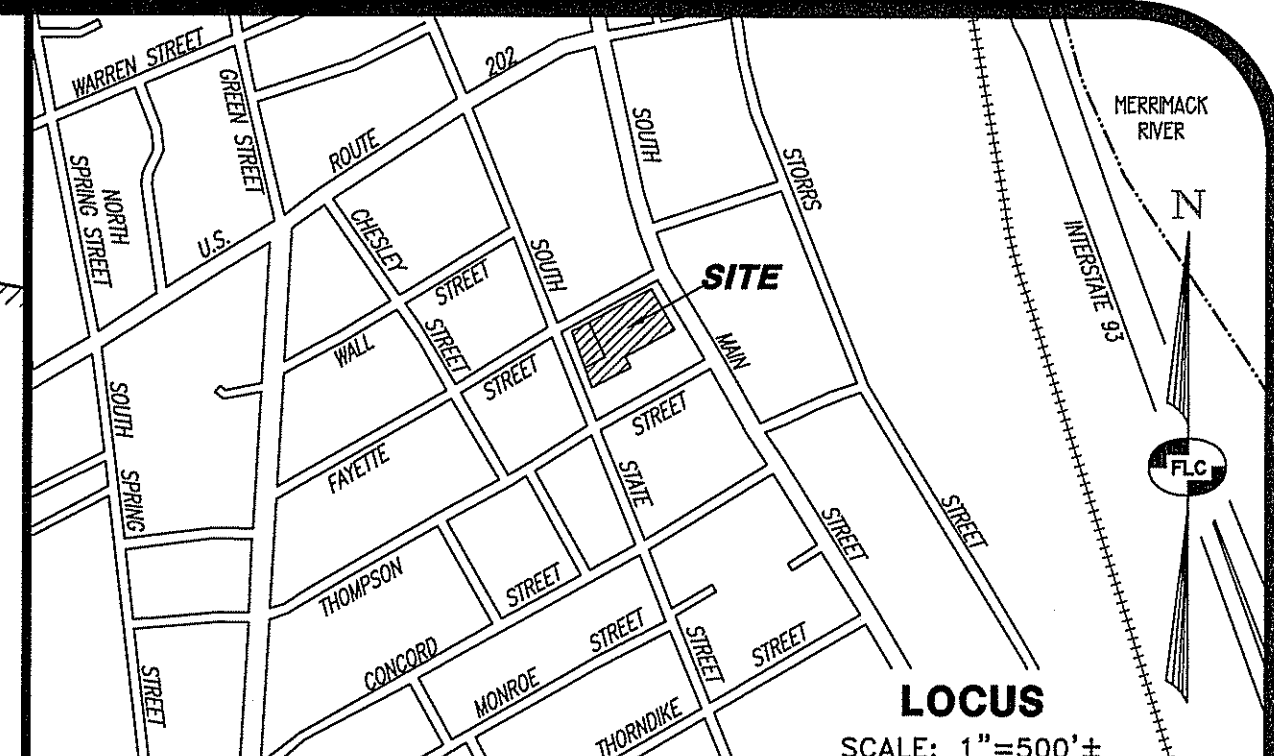
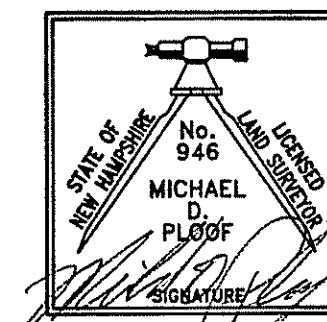
FILE: 2965X00.DWG PROJ. NO. 2965.00 SHEET NO. EX-1 PAGE NO. 3 OF 13

FAYETTE STREET
(PUBLIC RIGHT-OF-WAY - VARIABLE WIDTH)

CERTIFICATION:

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN (RSA 676:18,III)."

DATE: 2/16/22



NOTES:

1. OWNER OF RECORD FOR EXISTING TAX MAP 7412Z LOTS 25 & 26 IS THE CITY OF CONCORD, 41 GREEN STREET, CONCORD, NH 03301-4255. THE REFERENCE DEED FOR THE LOTS IS BK.3460 PG.218 DATED FEBRUARY 28, 2020 IN THE MERRIMACK COUNTY REGISTRY OF DEEDS.
2. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE EXISTING TAX MAP LOTS 7412Z-25 & 7412Z-26 AS SHOWN. THE RESULTING CONSOLIDATION CREATES NEW LOT 7412Z-25 WITH A TOTAL 34,045 SQ. FT. OR 0.782 ACRES.
3. THE BOUNDARY INFORMATION SHOWN FOR LOTS 7412Z-25 AND 7412Z-26 IS BASED ON REFERENCE PLANS #1 CITED HEREON TOGETHER WITH A PRECISE FIELD SURVEY PERFORMED BY THIS OFFICE IN JANUARY 2022.
4. HORIZONTAL ORIENTATION IS NH STATE PLANE COORDINATE SYSTEM. VERTICAL DATUM IS NAVD88. BOTH ARE BASED ON REFERENCE PLAN #1.
5. EXISTING TAX MAP LOT 7412Z-25 HAS THE BENEFIT OF AN 8 FT. WIDE AND A 10 FT. WIDE RIGHT-OF-WAY GRANTED TO EDWARD F. DONOVAN BY ST. MARY'S SCHOOL FOR GIRLS. SEE BOOK 551 PAGE 28 DATED OCTOBER 8, 1936 AND REFERENCE PLAN #2 CITED HEREON.
6. TO EXECUTE THIS CONSOLIDATION A VOLUNTARY LOT MERGER APPLICATION HAS BEEN FILED WITH THE COMMUNITY DEVELOPMENT DEPARTMENT OF THE CITY OF CONCORD.

REFERENCE PLANS:

1. "ALTA/NSPS LAND TITLE - SURVEY OF LAND OF - THE CITY OF CONCORD - MAP 34, BLOCK 3, LOTS 2 & 3 - PROJECT LOCATION: 32-34 S. MAIN ST. & 33 S. STATE ST. - CONCORD, NH 03301", SCALE 1"=20', DATED APRIL 4, 2018, BY RICHARD D. BARTLETT ASSOCIATES, LLC.
2. "PLAN OF LAND - BELONGING TO - ST. MARY'S SCHOOL - CONCORD, N.H.", SCALE 1"=20', DATED SEPTEMBER 1936, BY LLOYD & MANN, CIVIL ENGINEERS. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS IN PLAN BK.840, PG.1.

CONSOLIDATION PLAN

TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE

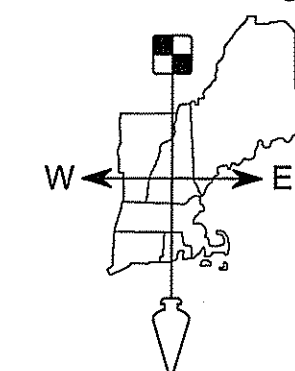
PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021

LAND OF:
CITY OF CONCORD
41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20'

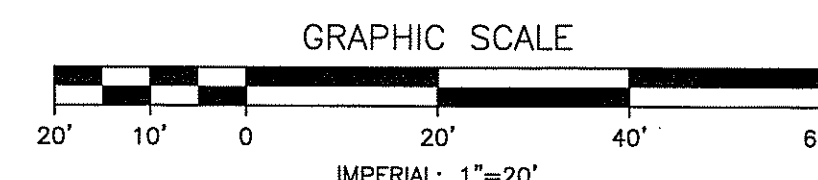
FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE
LAND CONSULTANTS PLLC

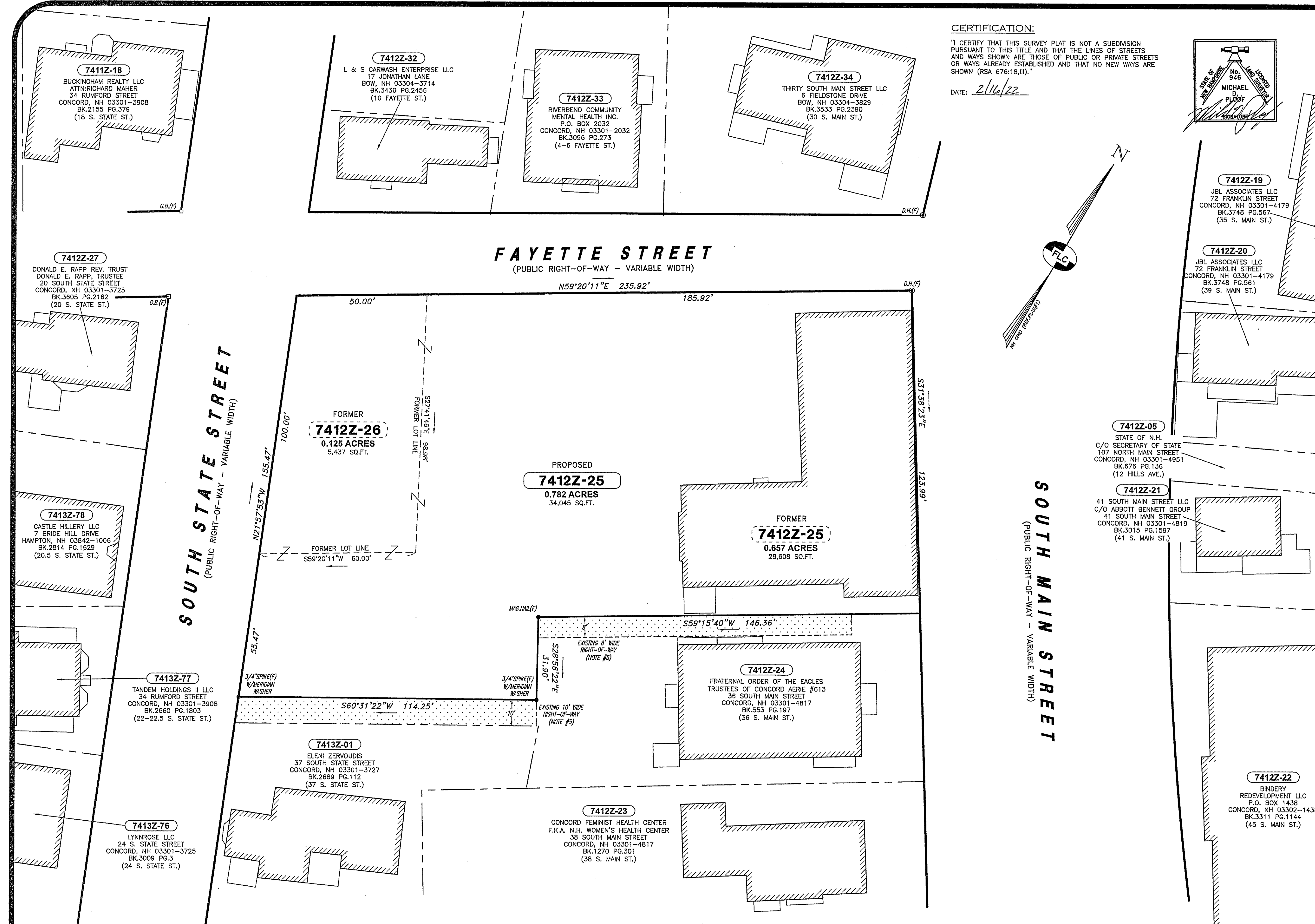
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

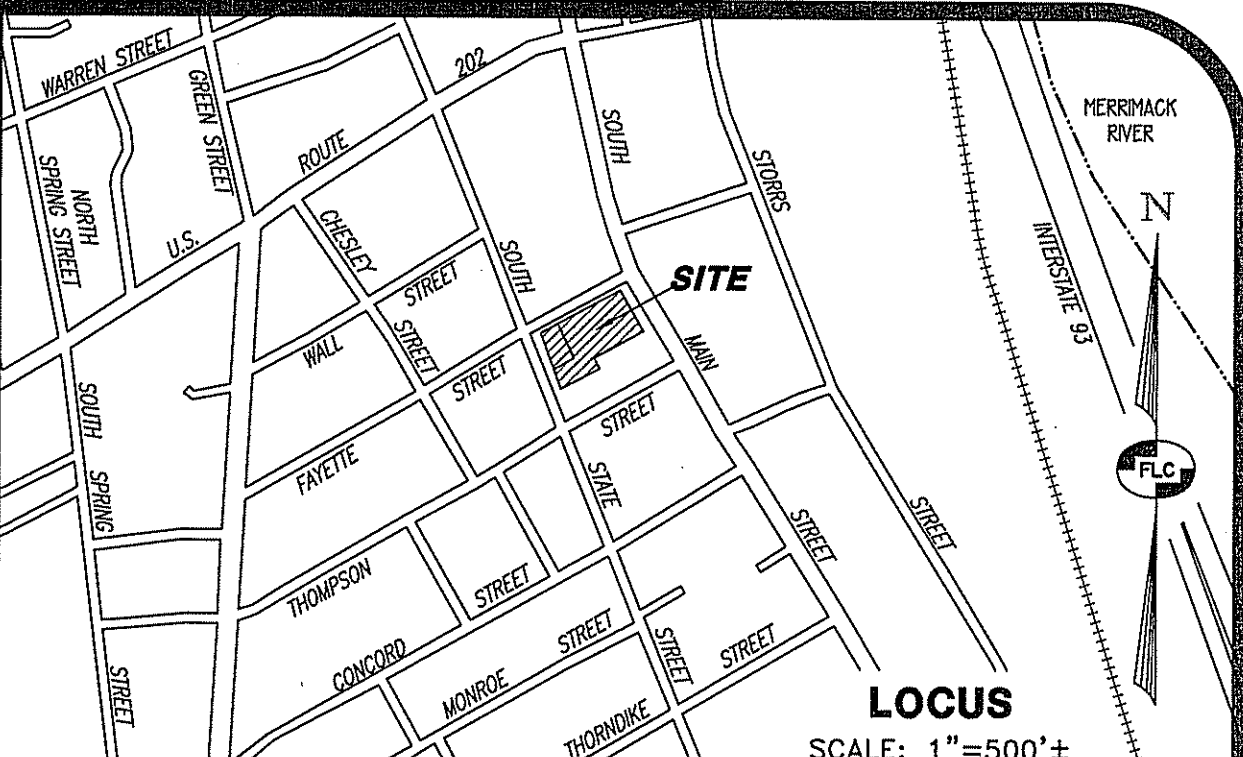
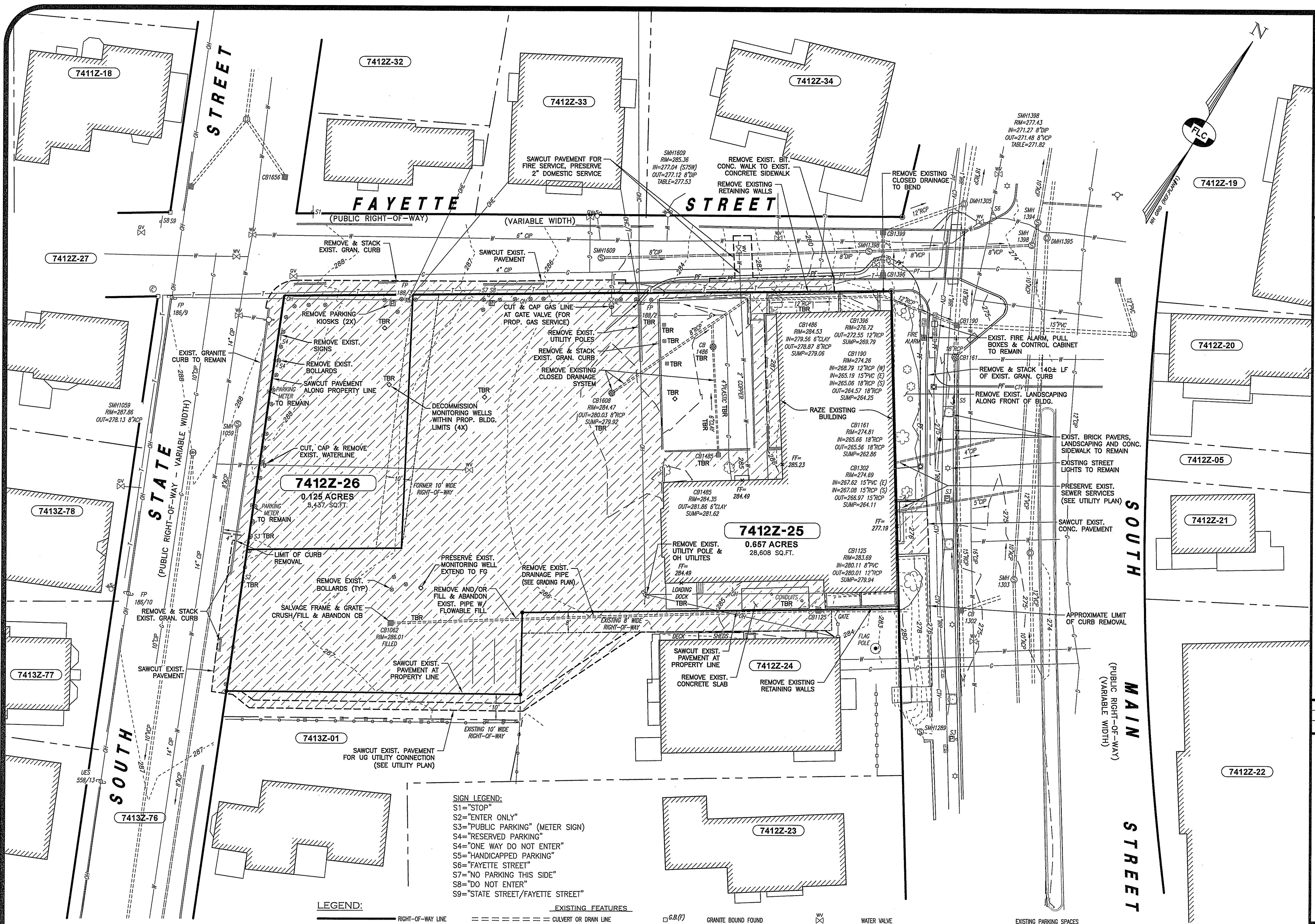


REV.	DATE	DESCRIPTION	C/O	DR	CK

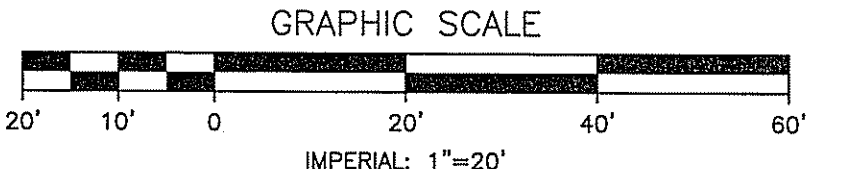
LEGEND:

- RIGHT-OF-WAY LINE
- BOUNDARY LINE
- ABUTTING LOT LINE
- LOT LINE TO BE REVOKED
- EXISTING EASEMENT LINE
- GRANITE BOUND FOUND
- DRILL HOLE FOUND
- SURVEYOR'S NAIL FOUND OR SPIKE W/WASHER FOUND
- TAX MAP & LOT NUMBER





- GENERAL CONSTRUCTION NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF CONCORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (DIAL 811).
 4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 5. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD FIRE DEPARTMENT REGULATIONS.
 6. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
 7. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 8. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 9. ALL POWER WORK SHALL CONFORM TO UNTIL STANDARDS.
 10. ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
 11. STREET RESTORATION, IF ANY, SHALL BE IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS.
 12. ALL EXISTING WATER AND SEWER SERVICES TO BE CAPPED, PLUGGED AND MARKED WITH WITNESS MARKER AT RIGHT OF WAY.
 13. EXISTING MONITORING WELLS WITHIN FIVE (5) FEET TO THE PROPOSED FOUNDATION SHALL BE DECOMMISSIONED PER NHDES SPECIFICATIONS.
 14. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING EROSION CONTROLS TO PREVENT OFF-SITE SEDIMENT TRANSPORT DURING DEMOLITION PHASE.
 15. EXISTING GRANITE CURBING SHALL BE REMOVED AND STACKED ON-SITE FOR REUSE AND/OR SALVAGED TO CITY OF CONCORD.
 16. THE CONTRACTOR SHALL COORDINATE NATURAL GAS SERVICE REMOVAL AND RECONNECTION WITH THE GAS UTILITY (LIBERTY UTILITIES).



REV.	DATE	DESCRIPTION	C/O	DR	CK

DEMOLITION PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE
PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021
LAND OF:
CITY OF CONCORD
41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

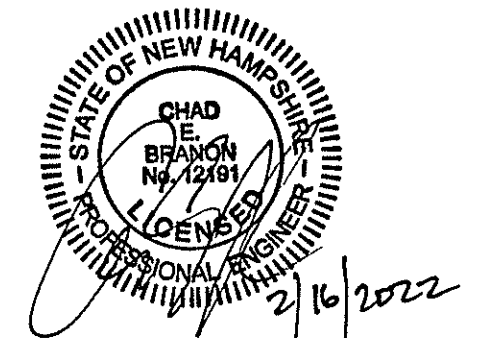
FIELDSTONE
LAND CONSULTANTS, PLLC

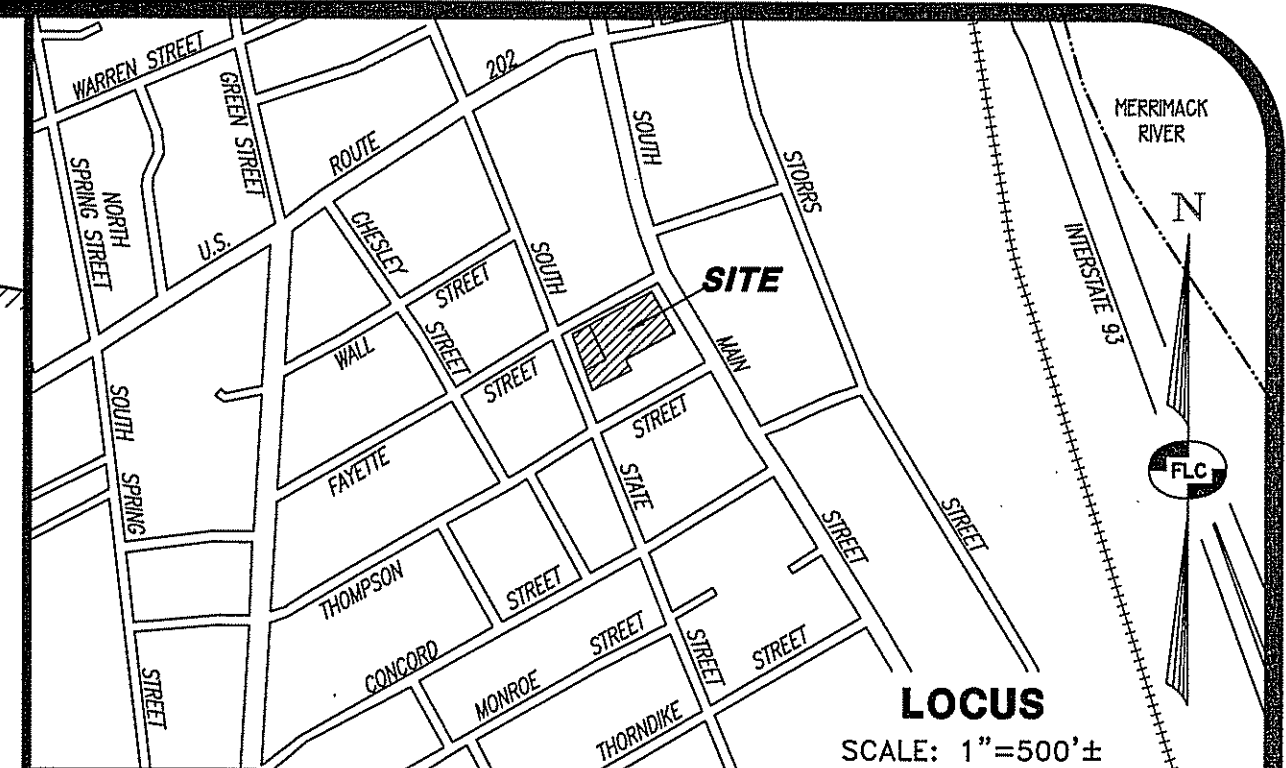
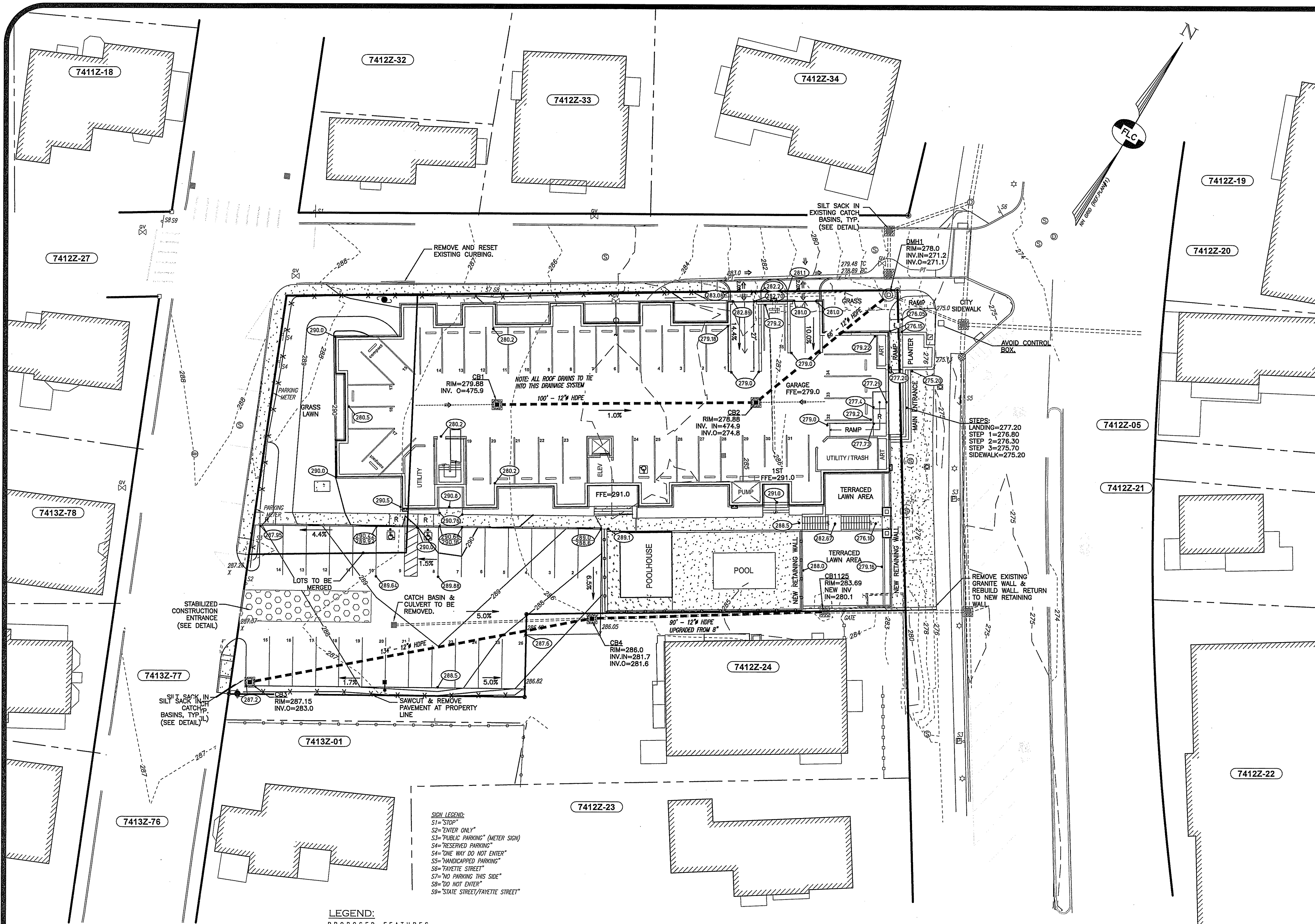
206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

REFERENCE PLANS:

1. "ALTA/NSPS LAND TITLE - SURVEY OF LAND OF - THE CITY OF CONCORD - MAP 34, BLOCK 3, LOTS 2 & 3 - PROJECT LOCATION: 32-34 S. MAIN ST. & 33 S. STATE ST. - CONCORD, NH 03301", SCALE 1"=20', DATED APRIL 4, 2018, BY RICHARD D. BARTLETT ASSOCIATES, LLC.
2. "PLAN OF LAND - BELONGING TO - ST. MARY'S SCHOOL - CONCORD, N.H.", SCALE 1"=20', DATED SEPTEMBER 1936, BY LLOYD & MANN, CIVIL ENGINEERS. RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS IN PLAN BK.640, PG.1.

- LEGEND:**
- RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVED ROAD
 - CURB LINE
 - EXISTING EASEMENT LINE
 - 300 10' CONTOUR INTERVAL
 - 302 2' CONTOUR INTERVAL
 - CHAIN-LINK FENCE
 - STOCKADE FENCE
- EXISTING FEATURES**
- — — — — CULVERT OR DRAIN LINE
 - — — — — SEWER LINE
 - — — — — OVERHEAD UTILITY LINE
 - — — — — UNDERGROUND UTILITY LINE
 - — — — — GAS LINE
 - — — — — WATER LINE
 - — — — — "P" LINE PER REF. PLAN
 - — — — — "PT" LINE PER REF. PLAN
 - — — — — CABLE TV LINE PER REF. PLAN
 - — — — — TAX MAP & LOT NUMBER
- PROPOSED FEATURES**
- TO BE REMOVED
 - PAVEMENT TO BE REMOVED
- SYMBOLS**
- GRANITE BOUND FOUND
 - DRILL HOLE FOUND
 - SURVEYOR'S NAIL FOUND OR SPIKE W/ WASHER FOUND
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - CATCH BASIN (ROUND)
 - DRAIN MAN-HOLE
 - SEWER MAN-HOLE
 - GAS VALVE
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - FIRE ALARM
 - ELECTRICAL PULLBOX
 - CABLE PEDESTAL
 - MONITORING WELL
 - BOLLARD
 - LIGHT POST
 - SINGLE SIGN POST
 - GRANITE POST
 - EXISTING PARKING SPACES
 - PARKING KIOSK
 - PARKING METER
 - HANDICAPPED PARKING





- GRADING DRAINAGE UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF CONCORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233)
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD FIRE DEPARTMENT REGULATIONS
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO UNTIL STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
 12. ALL NATURAL GAS WORK SHALL CONFORM TO LIBERTY GAS SPECIFICATIONS.
 13. WATER AND SEWER SERVICES TO BE TIED INTO THE CONCORD MUNICIPAL SERVICE.
 14. THE BUILDING WILL BE ENTIRELY SPRINKLERED, SERVICED BY CITY WATER.
 15. THE EXISTING GAMEWELL BOX ON SOUTH MAIN STREET WILL BE RELOCATED OR REPLACED AT THE DIRECTION OF THE FIRE DEPARTMENT.

REV.	DATE	DESCRIPTION	C/O	DR	CK

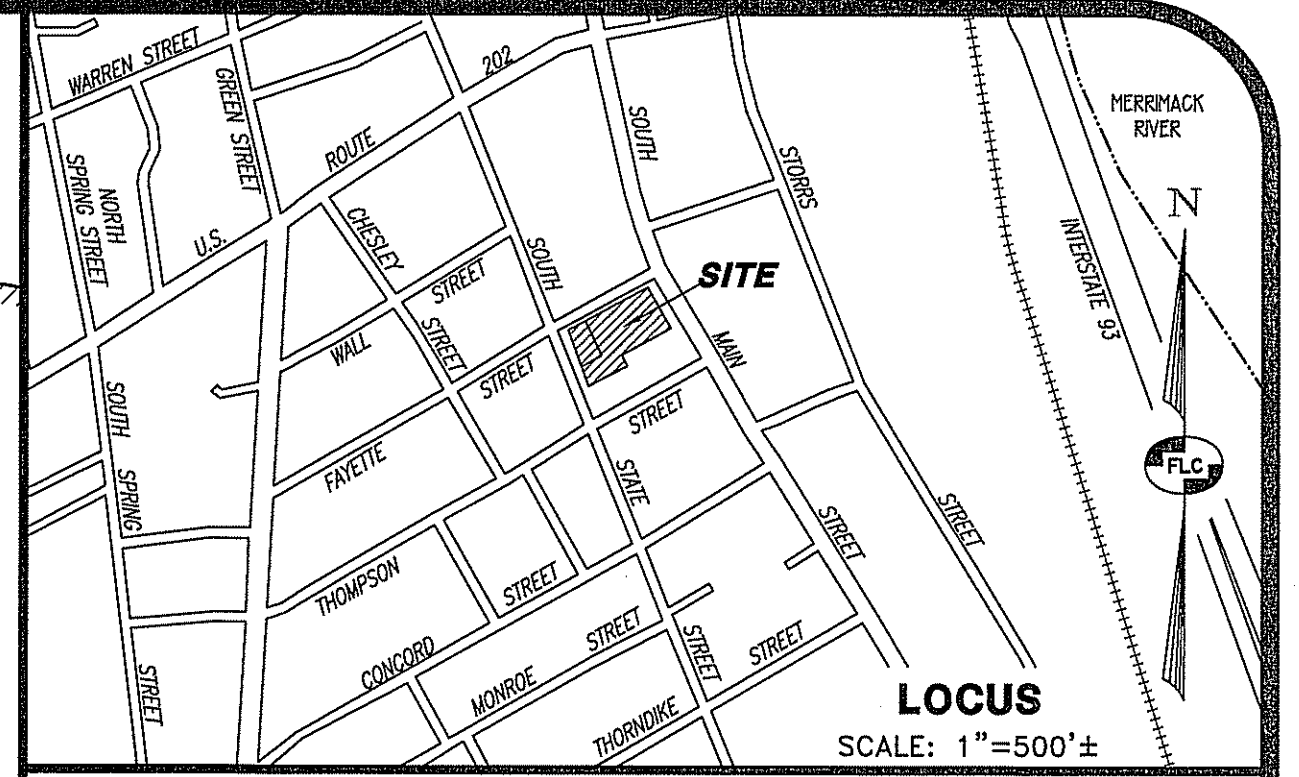
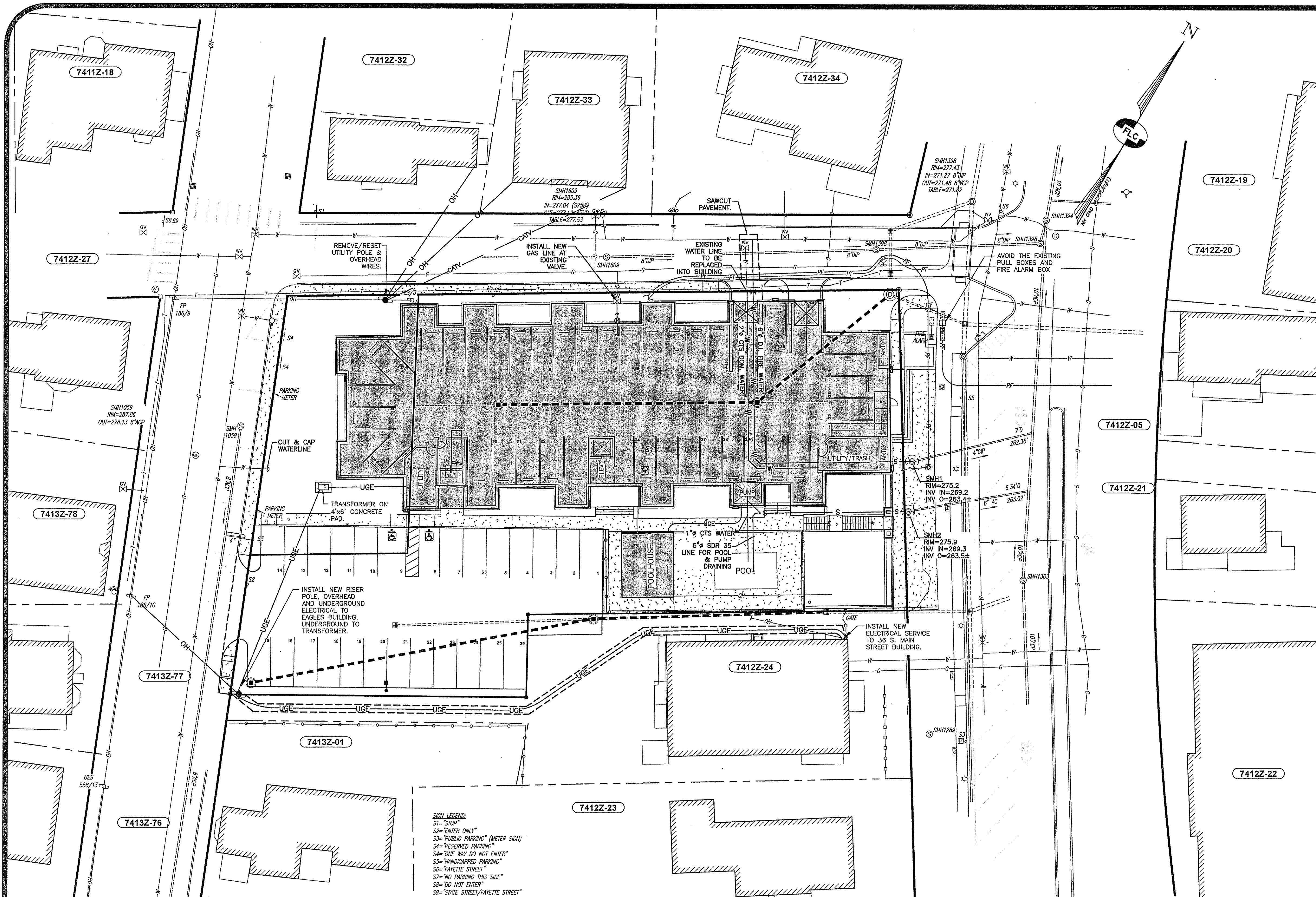
GRADING & DRAINAGE PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE
 PREPARED FOR:
JOHN FLATLEY COMPANY
 45 DAN ROAD, SUITE 320, CANTON, MA 02021
 LAND OF:
CITY OF CONCORD
 41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com



- GRADING DRAINAGE UTILITY NOTES:**
1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD AND SHALL BE BUILT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CITY OF CONCORD DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS FOR ROAD CONSTRUCTION AND SEWERS AND DRAINS AND THE NHDOT STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED AND ADOPTED 2010 ARE HEREBY INCORPORATED BY REFERENCE.
 2. ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND THE SPECIFICATIONS NOTED ABOVE. ANY ALTERATION OF THIS DESIGN OR CHANGE DURING CONSTRUCTION MAY REQUIRE APPROVAL OF VARIOUS CITY BOARDS OR AGENCIES AND SHALL BE DISCUSSED WITH THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL VERIFY THAT ALL THE INFORMATION SHOWN HEREON IS CONSISTENT, COMPLETE, ACCURATE, AND CAN BE CONSTRUCTED PRIOR TO AND/OR DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR EXISTING UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION SO THAT REMEDIAL ACTION MAY BE TAKEN BEFORE PROCEEDING WITH THE WORK.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACT "DIGSAFE" AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION (1-888-344-7233).
 5. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE APPROPRIATE CITY DEPARTMENTS PRIOR TO CONSTRUCTION TO ARRANGE FOR NECESSARY INSPECTIONS.
 6. BLASTING, IF REQUIRED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD FIRE DEPARTMENT REGULATIONS.
 7. ALL DISTURBED NON-PAVED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED. THE RETAINING WALLS SHOWN SHALL BE DESIGNED BY OTHERS UNLESS OTHERWISE NOTED.
 8. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
 9. EXISTING PAVEMENT SHALL BE SAW-CUT AS NECESSARY. THE CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW PAVEMENT.
 10. ALL POWER WORK SHALL CONFORM TO UNTIL STANDARDS.
 11. ALL TELEPHONE WORK SHALL CONFORM TO CONSOLIDATED COMMUNICATIONS SPECIFICATIONS.
 12. ALL NATURAL GAS WORK SHALL CONFORM TO LIBERTY GAS SPECIFICATIONS.
 13. WATER AND SEWER SERVICES TO BE TIED INTO THE CONCORD MUNICIPAL SERVICE.
 14. THE BUILDING WILL BE ENTIRELY SPRINKLERED, SERVICED BY CITY WATER.
 15. THE EXISTING GAMEWELL BOX ON SOUTH MAIN STREET WILL BE RELOCATED OR REPLACED AT THE DIRECTION OF THE FIRE DEPARTMENT.
 16. SEWER INVERTS AT MAIN STREET TIE IN POINTS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- GRAPHIC SCALE**
20' 10' 0' 20' 40' 60'
IMPERIAL: 1"=20'

REV.	DATE	DESCRIPTION	C/O	DR	CK

UTILITY PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE
 PREPARED FOR:
JOHN FLATLEY COMPANY
 45 DAN ROAD, SUITE 320, CANTON, MA 02021
 LAND OF:
CITY OF CONCORD
 41 GREEN STREET, CONCORD, NH 03301

SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

- LEGEND:**

EXISTING FEATURES

 - RIGHT-OF-WAY LINE
 - BOUNDARY LINE
 - ABUTTING LOT LINE
 - EDGE OF PAVED ROAD
 - CURB LINE
 - EXISTING EASEMENT LINE
 - 10' CONTOUR INTERVAL
 - 2' CONTOUR INTERVAL
 - CHAIN-LINK FENCE
 - STOCKADE FENCE

PROPOSED FEATURES

 - TRAFFIC FLOW (NOT PAINTED ARROWS)
 - PARKING SPACE COUNT
 - PAVED AREA
 - BUILDING
 - FENCE
 - CURB LINE TO BE REMOVED
 - CONCRETE SIDEWALK/PAD

EXISTING FEATURES

 - G.B.(F)
 - D.H.(F)
 - M.C.NAL.(F)
 - 7412-Z25
 - CULVERT OR DRAIN LINE
 - SEWER LINE
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - GAS LINE
 - WATER LINE

EXISTING FEATURES

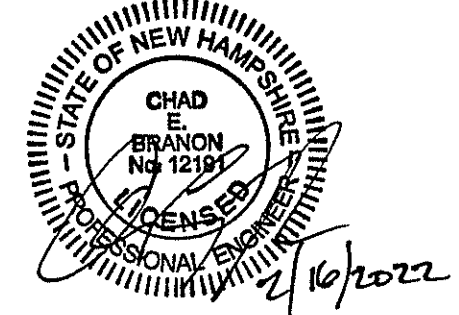
 - UTILITY POLE & GUY
 - CATCH BASIN (SQUARE)
 - CATCH BASIN (ROUND)
 - DRAIN MAN-HOLE
 - SEWER MAN-HOLE
 - GAS VALVE
 - WATER HYDRANT
 - WATER VALVE
 - WATER SHUT-OFF
 - FIRE ALARM

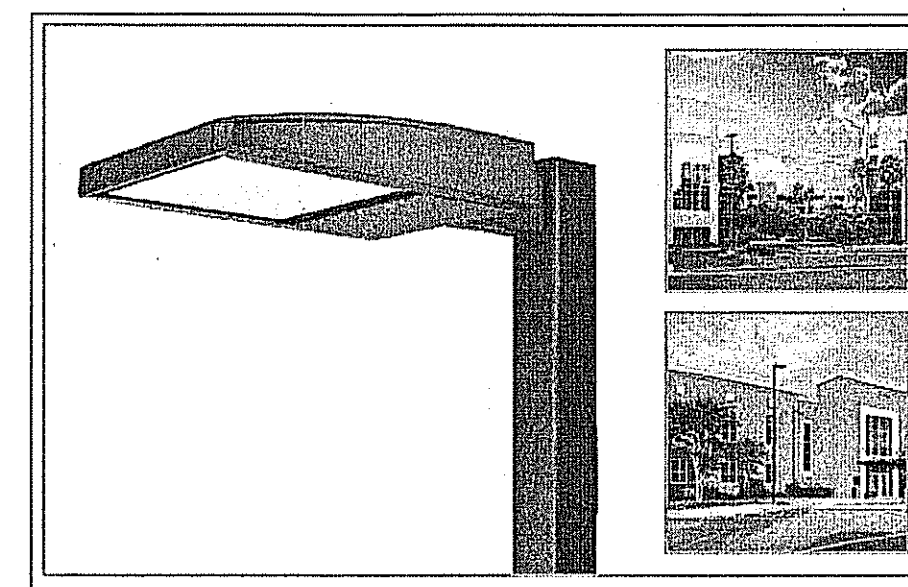
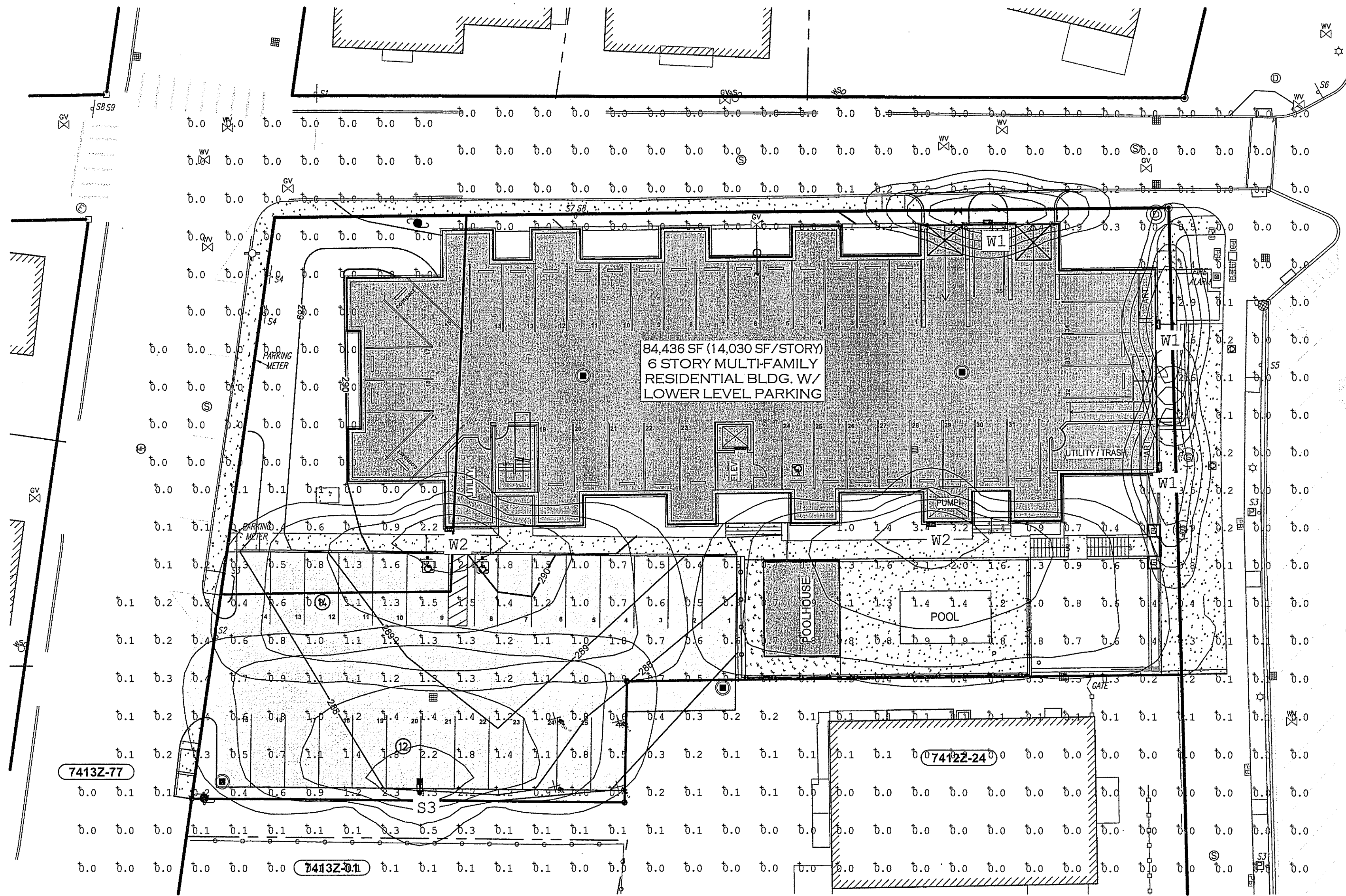
EXISTING FEATURES

 - BUILDING MOUNTED LIGHT
 - POLE MOUNTED LIGHT
 - CATCH BASIN W/ SILT SACK
 - SILT FENCE
 - 1 FT. CONTOUR
 - 5 FT. CONTOUR
 - SPOT ELEVATION
 - SANITARY SEWER MANHOLE
 - STORM WATER DRAINAGE
 - STORM DRAIN MANHOLE

EXISTING FEATURES

 - UTILITY POLE
 - OVERHEAD WIRE - ELECTRIC
 - UNDERGROUND ELECTRIC
 - WATER LINE
 - SEWER LINE
 - UTILITY BOX LOCATION
 - GAS LINE
 - VERTICAL GRANITE CURB
- *SEE EXISTING CONDITIONS FOR EXISTING LEGEND.





McGraw-Edison
GLEON Galleon *OR EQUAL*

Area / Site Luminaire

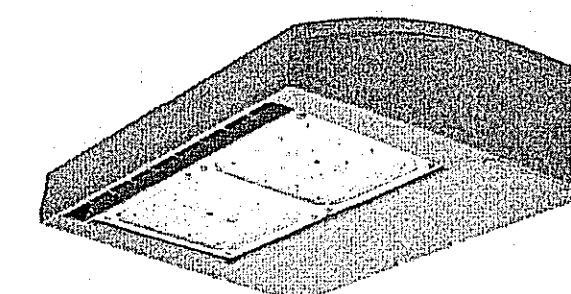
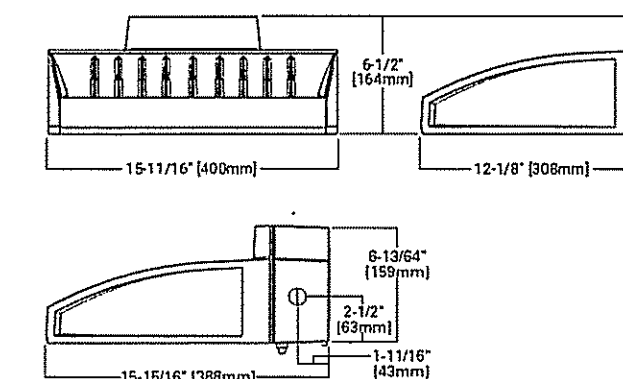
Typical Applications
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

Nominal Power Lumens (1.2A)	
Nominal Power (Watts)	87
Input Current @ 120V (A)	0.58
Input Current @ 208V (A)	0.33
Input Current @ 240V (A)	0.25
Input Current @ 277V (A)	0.22
Input Current @ 347V (A)	0.20
Input Current @ 480V (A)	0.15

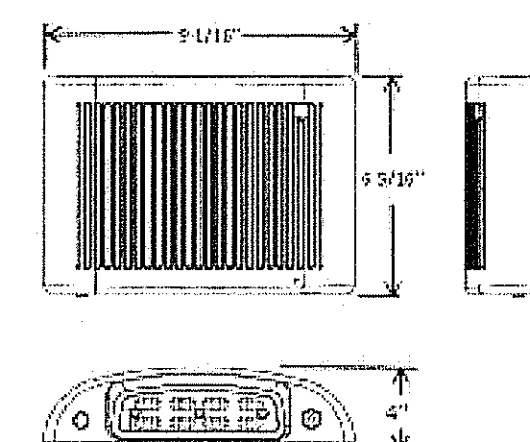
4000K Lumens	7593
SL2	SL2 Rating
Lumens per Watt	82.10/0.3
	119

S3 - LIGHT FIXTURE: FULL CUTOFF

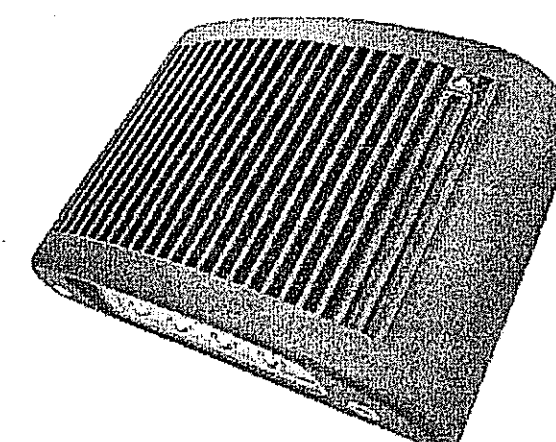
McGraw-Edison
GWC Galleon Wall
Wall Mount Luminaire



W2 - WALL MOUNTED FIXTURE
FULL CUTOFF



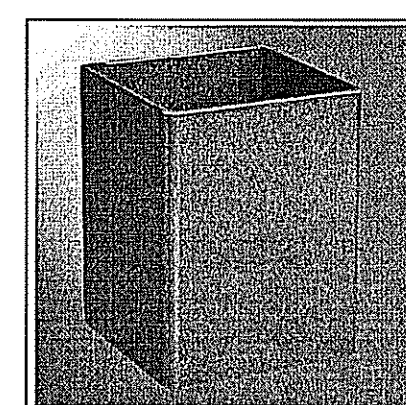
W1 - WALL MOUNTED FIXTURE
FULL CUTOFF



LIGHTING NOTES:

- LIGHTING SHALL BE INSTALLED AND ARRANGED SO AS NOT TO REFLECT OR CAUSE GLARE UPON ABUTTING LAND OR HIGHWAYS AND ROADS.
- THE LIGHTS WILL PROVIDE ADDITIONAL LIGHT ALONG THE MAIN STREET AND FAYETTE STREET SIDEWALKS. THE LIGHT IS AT 0.0 FOOT-CANDLES PRIOR TO ANY ABUTTING PROPERTY LINES.
- MOUNTING HEIGHT OF THE PROPOSED POLE MOUNT LIGHTING FIXTURE SHALL BE 20 FEET ABOVE FINISH GRADE.
- MOUNTING HEIGHT OF ALL WALL MOUNT LIGHTING FIXTURES SHALL BE 12 FEET AND 20 FEET ABOVE FINISH GRADE, IN LOCATIONS SHOWN.
- ALL LIGHTS ARE TO BE SETUP ON PHOTOCELLS TO AUTOMATICALLY TURN OFF DURING DAYLIGHT HOURS.
- ALL FIXTURES, POLES AND HARDWARE ARE TO BE BRONZE IN COLOR TO MATCH.
- ALL LED LIGHT COLORS ARE TO MATCH THE EXISTING MAIN STREET LIGHT POLES.
- ARCHITECTURAL LIGHTING TO BE PROVIDED IN FINAL ARCHITECTURAL PLANS. THIS WILL INCLUDE LIGHTING ALONG MAIN STREET.

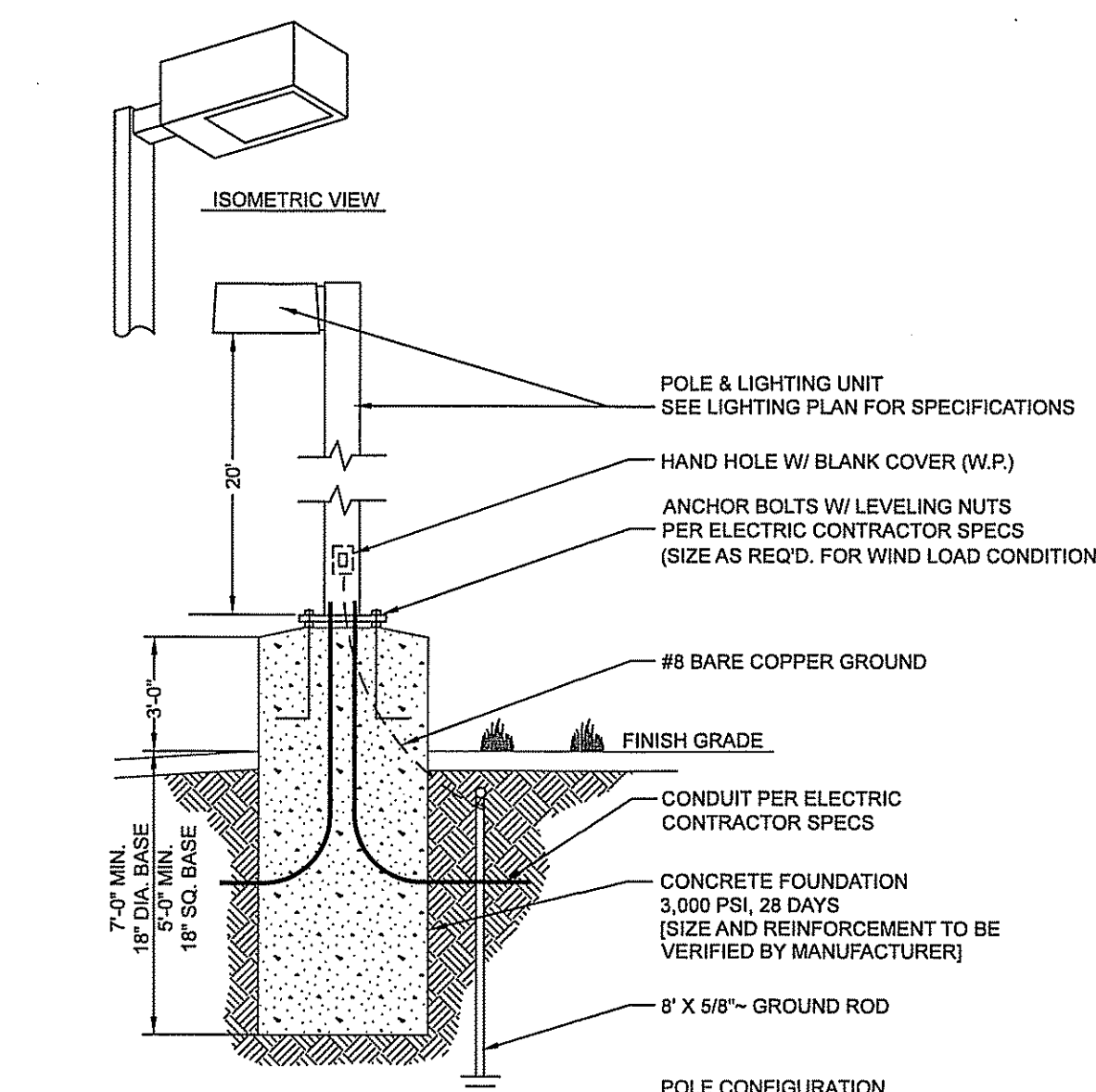
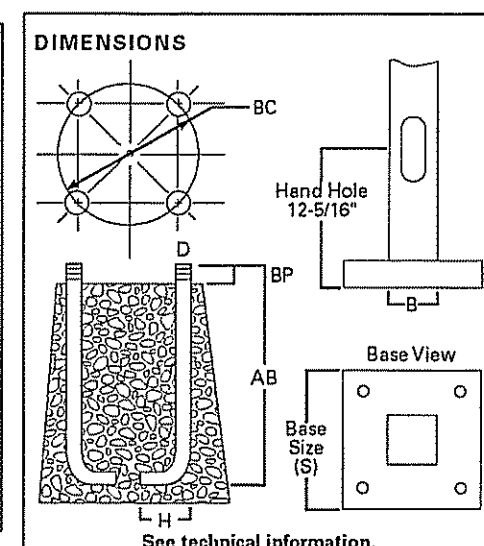
StatArea 1
PARKING LOT
Illuminance (Fc)
Average = 1.09
Maximum = 4.3
Minimum = 0.4
Avg/Min Ratio = 2.73
Max/Min Ratio = 10.75



**SSS SQUARE
STRAIGHT STEEL**

- FEATURES**
- ASTM Grade steel base plate with ASTM A366 base cover
 - Hand hole assembly 3' x 5' on 5' and 6' pole; and 2' x 4' on 4' pole
 - 10'-39' mounting heights
 - Drilled or tenon (specify)

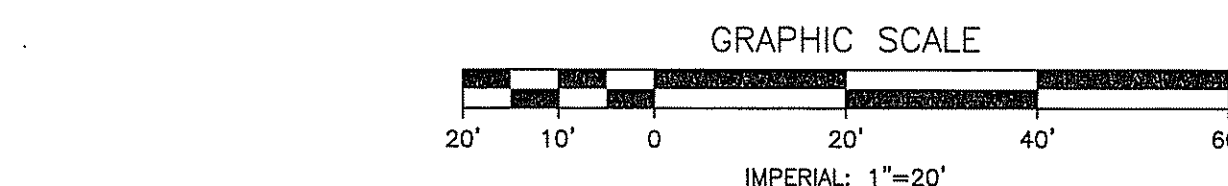
10' TO 39' SSS SQUARE STRAIGHT
STEEL POLE - EATON



NOTE:
1. LIGHT POLE FOUNDATION SHALL EXTEND 3.0 FEET ABOVE FINISH GRADE TO PREVENT VEHICLES FROM DAMAGING THE LIGHT POLE.

SCALE: N.T.S.

LIGHT POLE FOUNDATION



REV.	DATE	DESCRIPTION	C/O	DR	CK

LIGHTING PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021

LAND OF:
CITY OF CONCORD
41 GREEN STREET, CONCORD, NH 03301

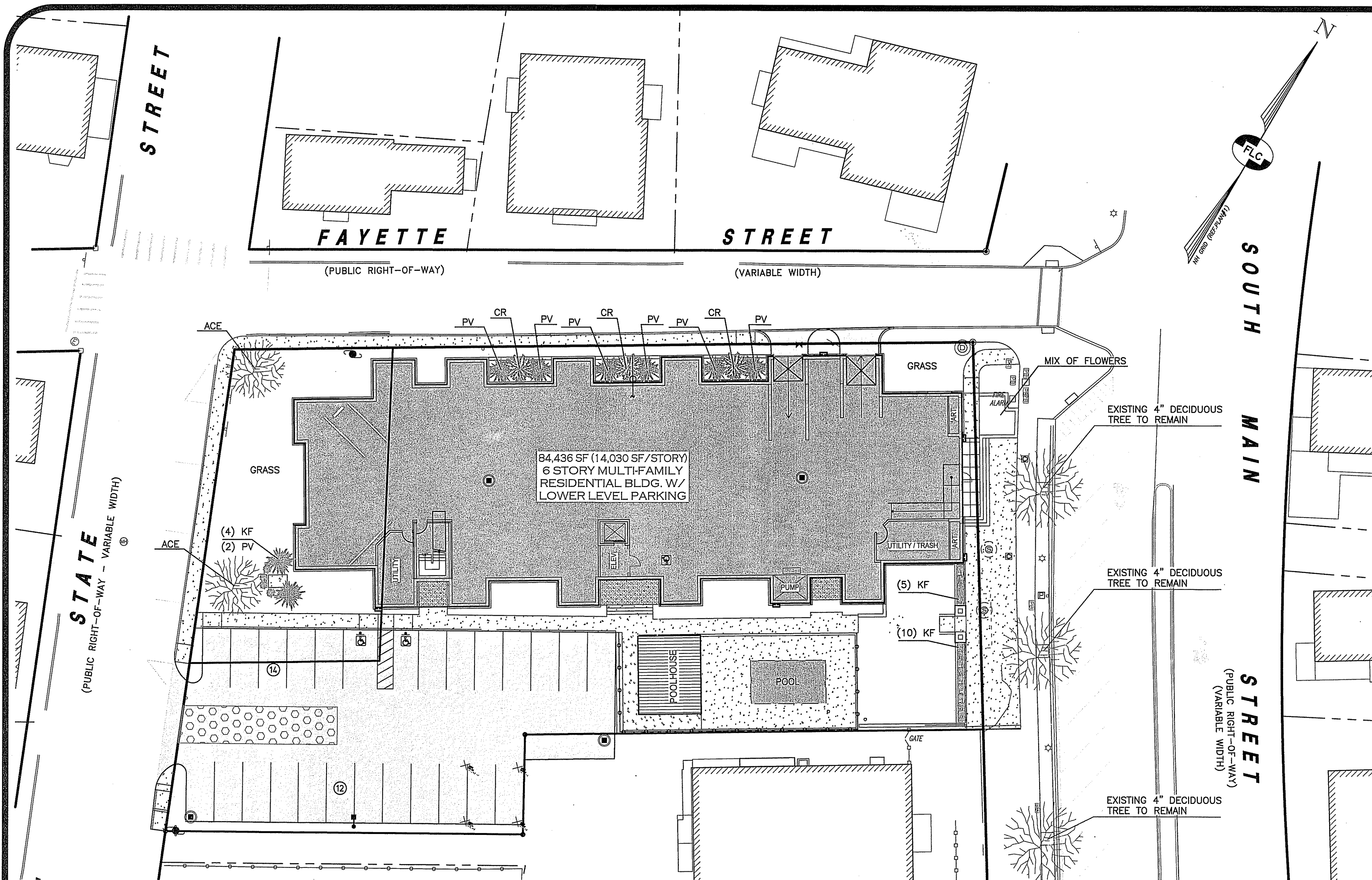
SCALE: 1"=20'

FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

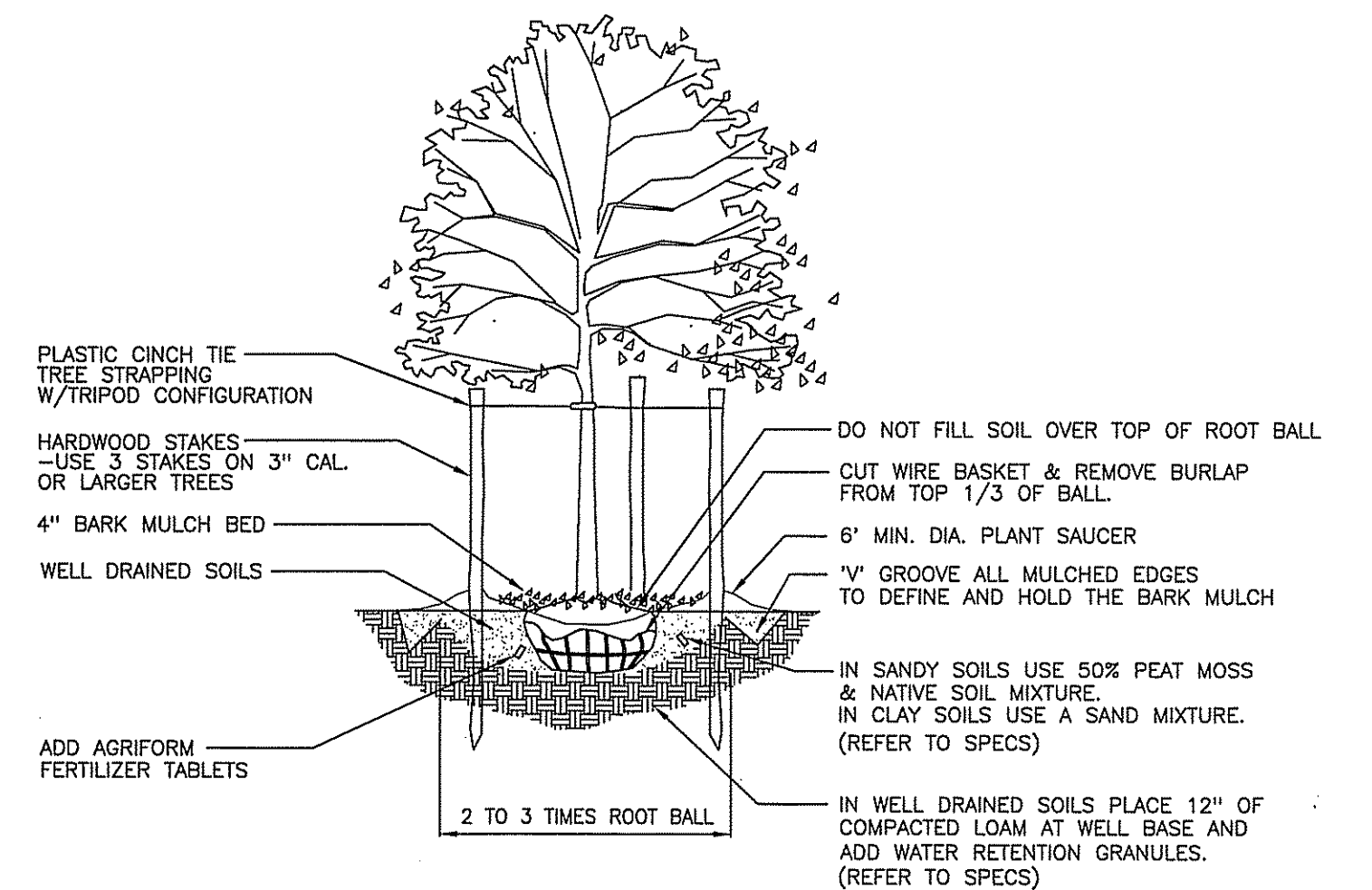
FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com



LANDSCAPING NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG-SAFE AND FOR VERIFICATION OF ALL UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS PRIOR TO COMMENCING.
2. EXISTING TREES TO REMAIN SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. TEMPORARY FENCING SHALL BE INSTALLED PRIOR TO THE START OF SITE WORK TO PROTECT ROOT MASSES AND DELINEATE EDGE.
3. EXISTING TREES THAT ARE TO BE REMOVED, SHALL BE REMOVED ENTIRELY FROM THE SITE, INCLUDING STUMPS. NO STUMP-DUMPS ARE ALLOWED ON SITE.
4. UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA NO PLANT MATERIAL SHALL BE INSTALLED.
5. UNLESS OTHERWISE NOTED OR APPROVED, ALL TREES MUST BE BALLED AND BURLAPPED.
6. ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF "THE AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, AND TOLERATE ZONE 5B WINTER.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIAL SHALL BE FINANCIALLY GUARANTEED BY THE INSTALLER FOR TWO YEARS FOLLOWING DATE OF ACCEPTANCE. ANY PLANT MATERIAL THAT IS SIGNIFICANTLY DAMAGED, MISSING, DISEASE RIDDEN, OR DEAD SHALL BE ABATED WITHIN 1-YEAR OR BEFORE THE END OF THE FOLLOWING PLANTING SEASON, WHICHEVER OCCURS FIRST.
9. IN AREAS OF STONE MULCH LAY 6 MIL SHEETS OF "VISQUEEN" TYPE POLYETHYLENE ON COMPACTED SUBGRADE BEFORE PLACING STONE, MINIMUM 6" OVERLAP. PERFORM SHEETING IN PLANTING BEDS BEFORE PLACING STONE.
10. UNLESS OTHERWISE NOTED LOAM AND SEED ALL DISTURBED AREAS WITH A MINIMUM 4" OF SUITABLE LOAM. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. SEE GRADING PLAN.
11. WHERE APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
12. PLANTS SHALL BE INSTALLED WITHIN ONE YEAR OF COMMENCEMENT OF CONSTRUCTION, AND BE PLANTED ACCORDING TO CITY OF CONCORD'S CONSTRUCTION DETAILS.
13. ALL LANDSCAPING SHALL BE LOCATED AND MAINTAINED SO AS NOT TO IMPACT THE LINES OF SIGHT AT THE ENTRANCE AND INTERNAL INTERSECTIONS TO PROVIDE SAFE PASSAGE OF PEDESTRIANS, BICYCLISTS, AND MOTORISTS.
14. ALL LANDSCAPED AREAS WILL BE MAINTAINED TO HAVE A SUFFICIENT AMOUNT OF WATER TO MAINTAIN VIABILITY EITHER BY IRRIGATION OR BY OTHER MEANS.
15. PROPOSED PLANTINGS SHALL NOT CONFLICT WITH SNOW STORAGE AREAS, LIGHT FIXTURES OR UNDERGROUND UTILITIES.
16. ALL LANDSCAPING APPROVED AS PART OF THE SITE PLAN SHALL BE CONSIDERED AS ELEMENTS OF THE SITE, IN THE SAME MANNER AS PARKING, BUILDING MATERIALS, AND OTHER SITE DETAILS. ANY CHANGES WILL REQUIRE APPROVAL BY THE OWNER AND THE LOCAL PLANNING & ECONOMIC DEVELOPMENT DIRECTOR.
17. HVAC EQUIPMENT TO BE LOCATED ON THE ROOFTOP, UTILITY ROOMS, AND THE POOL HOUSE. THE EQUIPMENT WILL NOT BE VISIBLE FROM THE PUBLIC STREETS.



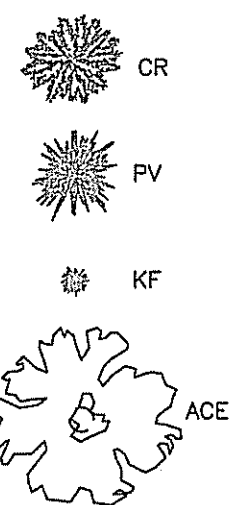
NOTES:
ALL PYRAMIDAL EVERGREENS & DECIDUOUS TREES SHALL BE PLANTED W/ ROOTS HORMONE ENHANCER.
DO NOT INSTALL BEEHIVE MULCH BEDS AROUND ANY OF THE PLANT MATERIAL.

SCALE: N.T.S.

DECIDUOUS TREE PLANTING DETAIL

3
LS-1

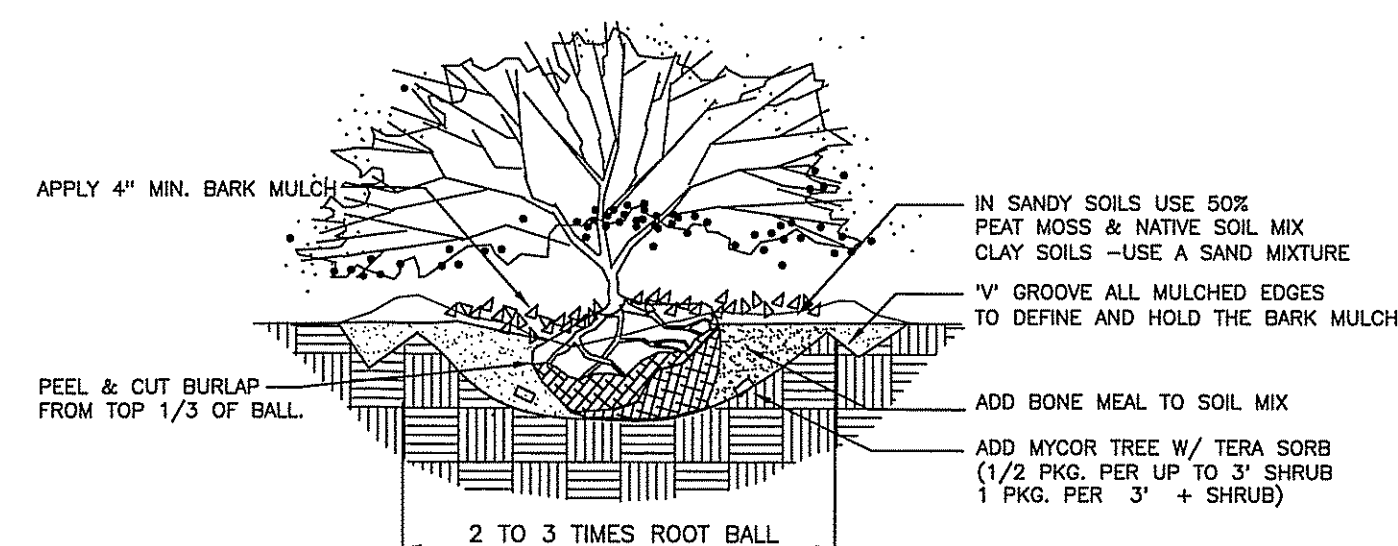
PLANT SYMBOLS



PLANT LIST & NAME

QTY. / SIZE

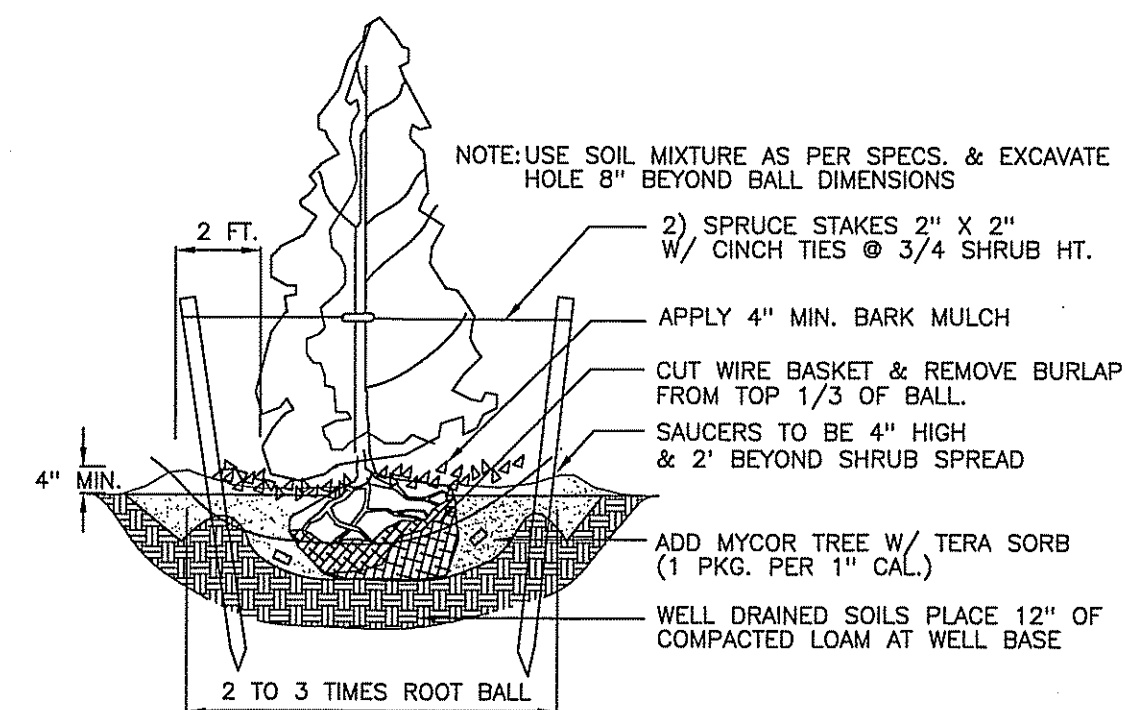
CR	CORNUS RACEMOSA (GREY DOGWOOD)	(3) 3 GAL.
PV	PANICUM VIRGATUM (SWITCH GRASS)	(8) 3 GAL.
KF	KARL FORSTER (FEATHER REED GRASS)	(19) 1 GAL.
ACE	ACER RUBRUM (RED MAPLE TREE)	(2) 2.5-3" CAL., 12' TALL, 6' DRIP LINE
	FLOWER MIX IN MAIN ST. PLANTER	MIX OF SPECIES: DAYLILYS, SIBERIAN IRIS, HOSTAS, CONEFLOWER, PHLOX AND DIANTHUS.



SCALE: N.T.S.

B & B SHRUB PLANTING DETAIL

1
LS-1



NOTE: ALL PYRAMIDAL EVERGREENS & DECIDUOUS TREES SHALL BE PLANTED W/ MYCOR TREE TRANSPLANT.

SCALE: N.T.S.

EVERGREEN TREE PLANTING DETAIL

2
LS-1

REV.	DATE	DESCRIPTION	C/O	DR	CK

LANDSCAPING PLAN
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
JOHN FLATLEY COMPANY
 45 DAN ROAD, SUITE 320, CANTON, MA 02021

LAND OF:
CITY OF CONCORD
 41 GREEN STREET, CONCORD, NH 03301

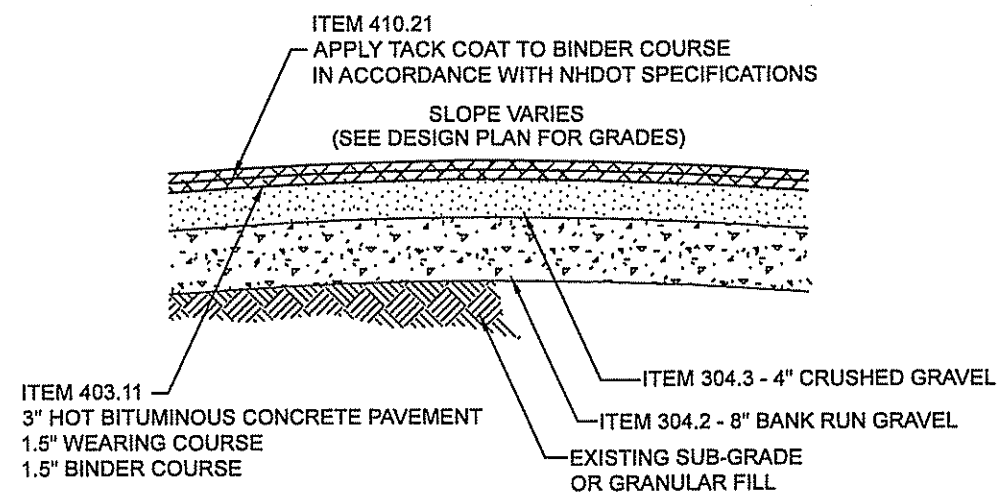
SCALE: 1"=20' FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

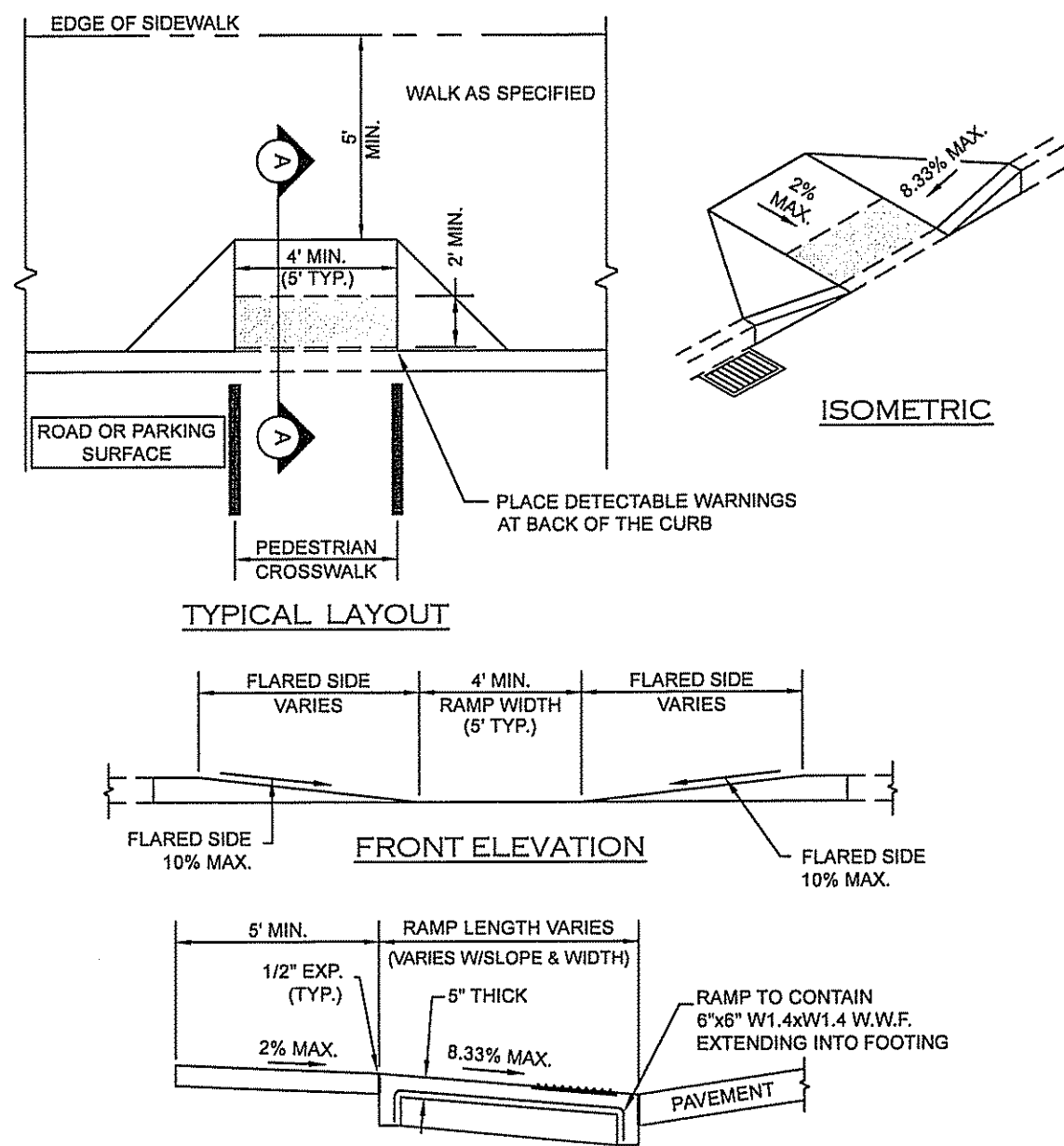
FILE: 2965SPOB.DWG PROJ. NO. 2965.00 SHEET NO. LS-1 PAGE NO. 9 OF 13



** SEE CURB DETAILS WHEN APPLICABLE **

STANDARD DUTY PARKING LOT PAVEMENT SECTION

1
DT-1

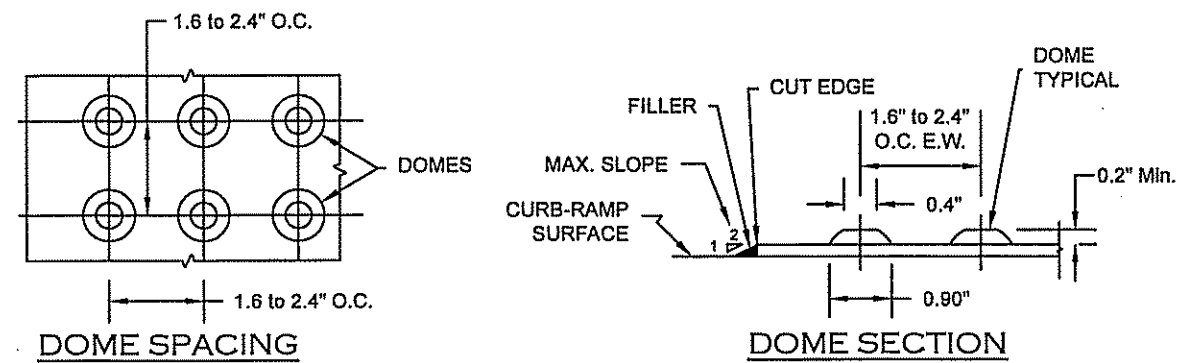


HANDICAP RAMP NOTES:

1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
2. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMP SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMP OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMP OR LANDINGS.
5. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
6. THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
7. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
8. A LEVEL LANDING 5'-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE EGRESS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING 4' DEEP SHALL BE PROVIDED AT ALL PEDESTRIAN PUSH BUTTONS AT SIGNALIZED CROSSINGS.
9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
10. FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

HANDICAP SIDEWALK RAMP - HCR1

2
DT-1

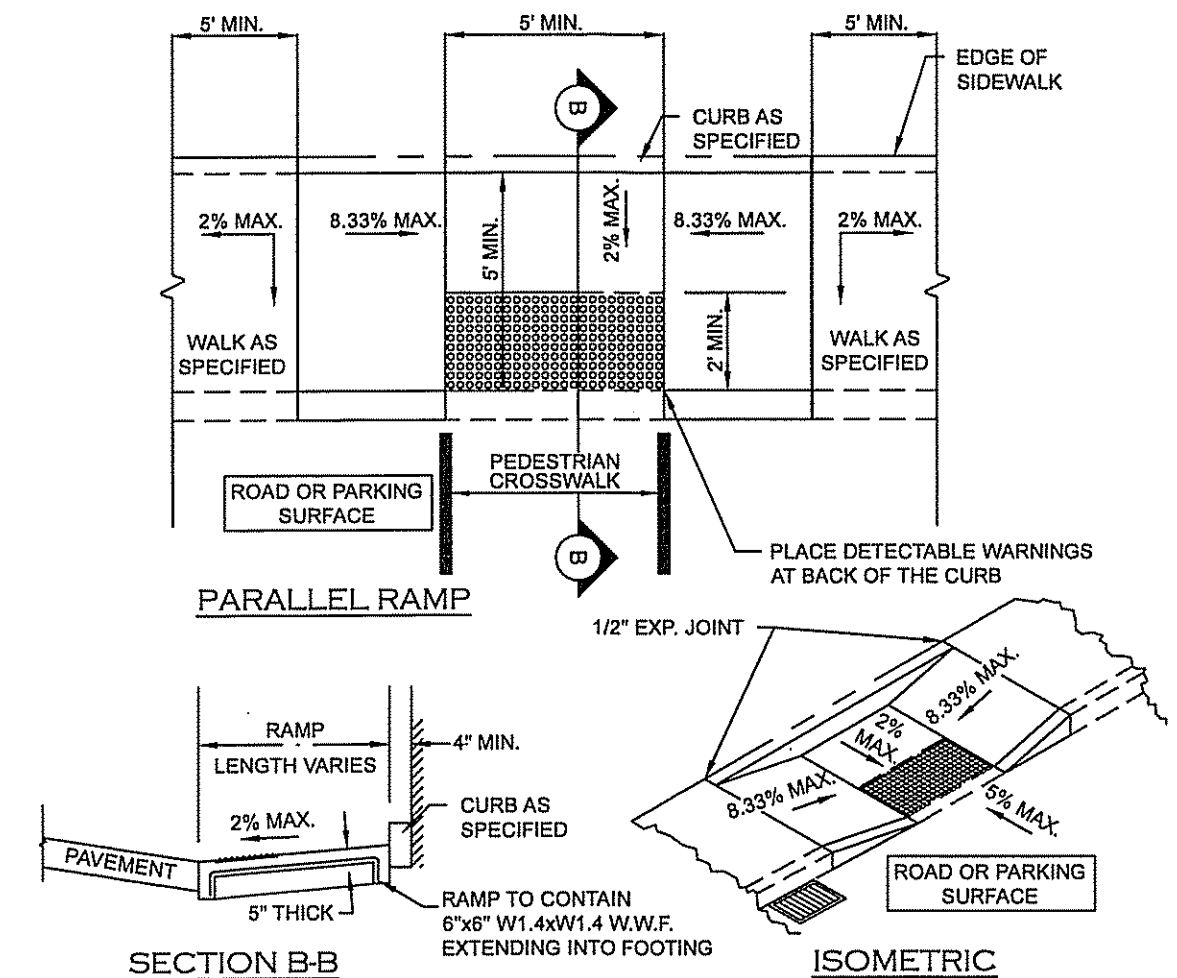


NOTES:

1. DETECTABLE WARNINGS SHALL BE PROVIDED WHERE EVER A CURB RAMP CROSSES A VEHICULAR WAY.
2. DETECTABLE WARNINGS SHALL BE PROVIDED 24 INCHES IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. THE DETECTABLE WARNING SHALL BE LOCATED ADJACENT TO THE CURB LINE.
3. DETECTABLE WARNINGS MATERIALS SHALL BE TEXTURED TO PROVIDE SLIP RESISTANCE AND SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES - EITHER LIGHT OR DARK OR DARK ON LIGHT. THE PREFERRED COLOR FOR A LIGHT BACKGROUND IS RED BRICK AND FOR A DARK BACKGROUND SHALL BE SAFETY YELLOW.
4. DETECTABLE WARNINGS SHALL BE PLACED 6" TO 8" BEHIND THE FACE OF THE CURB JOINT.
5. DETECTABLE WARNING SURFACES SHALL BE SURFACE MOUNTED, THIN MOLDED SHEETGOODS WHICH INCLUDES TILES OR MATS (RIGID OR FLEXIBLE, WITH TRUNCATED DOMES), BONDED AND/OR ANCHORED TO THE SURFACE OF THE RAMP. THE SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES GUIDELINES 4.29, 10.3, AND THE TOWN OF MERRIMACK STANDARDS.

DETECTABLE WARNING SURFACE FOR HANDICAP RAMPS

3
DT-1

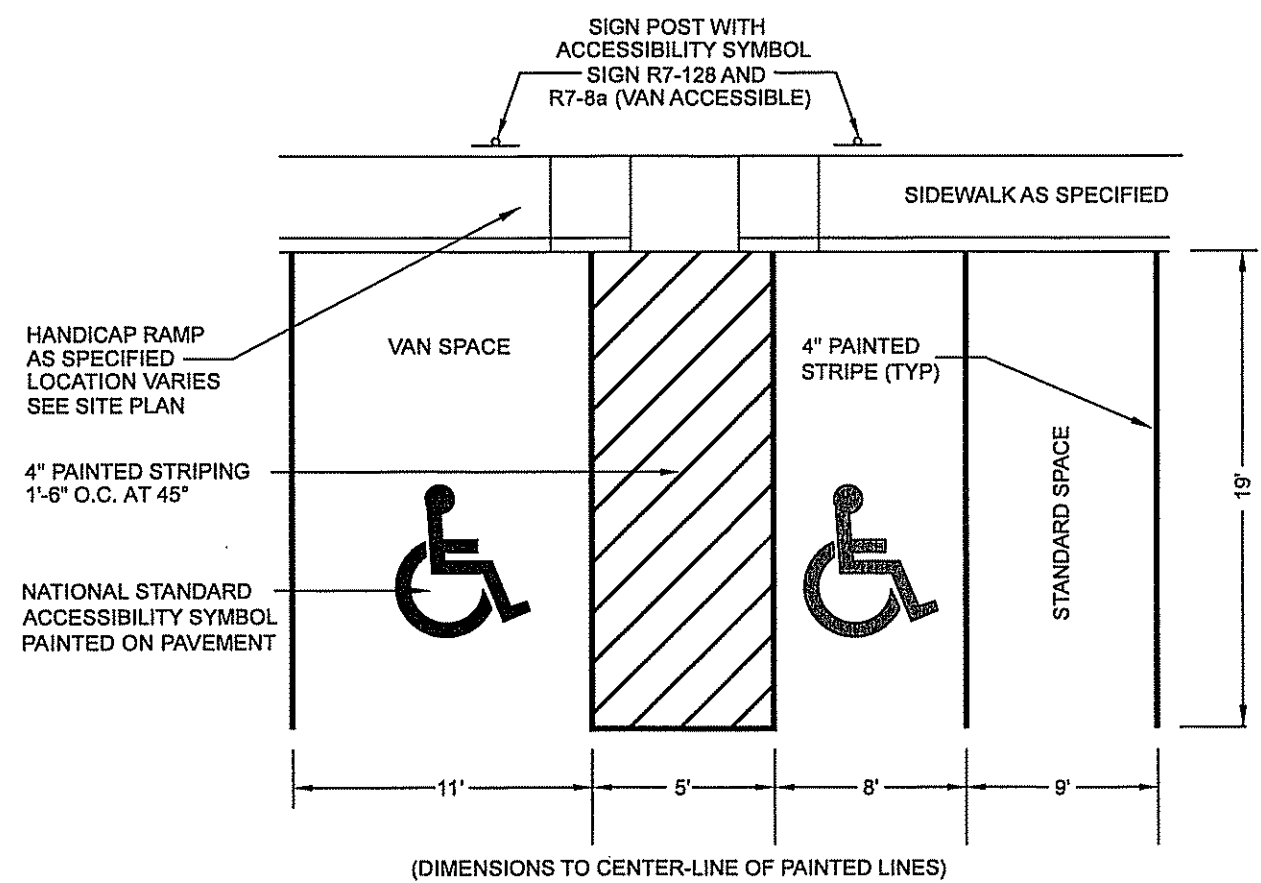


HANDICAP RAMP NOTES:

1. A SIDEWALK CURB RAMP IS DEFINED AS THE ENTIRE CONCRETE SURFACE WHICH INCLUDES THE RAMP AND FLARED SIDES.
2. THE MAXIMUM RUNNING SLOPE OF ANY SIDEWALK CURB RAMP IS 8.33% (1:12). THE MAXIMUM CROSS SLOPE IS 2%. THE SLOPE OF THE LANDING SHALL NOT EXCEED 2% IN ANY DIRECTION. THE FLARED SIDE OF THE RAMP SHALL LIE ON A SLOPE OF 10% (1:10) MAXIMUM MEASURED ALONG THE CURB.
3. TRANSITIONS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. ROADWAY SHOULDER SLOPES ADJOINING SIDEWALK CURB RAMP SHALL BE A MAXIMUM OF 5% (FULL WIDTH) FOR A DISTANCE OF 2 FEET FROM THE ROADWAY CURBLINE.
4. INTERCEPT DRAINAGE ALONG THE CURB IN ADVANCE OF SIDEWALK CURB RAMP OR LANDINGS. CATCH BASINS, MANHOLES, ETC. SHALL NOT BE LOCATED IN, OR AT THE BASE OF, SIDEWALK CURB RAMP OR LANDINGS.
5. THE BOTTOM OF THE SIDEWALK CURB RAMP OR LANDING, EXCLUSIVE OF THE FLARED SIDES, SHALL BE WHOLLY CONTAINED WITHIN THE CROSSWALK MARKINGS. IT IS DESIRABLE THAT THE LOCATION OF THE RAMP BE AS CLOSE AS POSSIBLE TO THE CENTER OF THE CROSSWALK.
6. THE SIDEWALK CURB RAMP OR THE LANDING AREA (PARALLEL SIDEWALK CURB RAMP) SHALL CONTRAST VISUALLY WITH THE ADJOINING SIDEWALK SURFACE, EITHER ASPHALT/LIGHT-COLORED CONCRETE OR LIGHT-COLORED CONCRETE/DARK-STAINED CONCRETE. THE CONCRETE SURFACE SHALL BE SLIP RESISTANT (BROOM FINISHED).
7. DETECTABLE WARNING PANELS SHALL BE THE FULL WIDTH OF THE LANDING, BLENDED TRANSITION, OR CURB RAMP THEY ARE A PART OF AND SHALL BE A MINIMUM OF 2 FEET IN DEPTH. THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED PERPENDICULAR TO THE GRADE BREAK BETWEEN THE RAMP, BLENDED TRANSITION OR LANDING AND THE STREET.
8. A LEVEL LANDING 5'-0" DEEP, WITH A 2% MAXIMUM SLOPE IN EACH DIRECTION SHALL BE PROVIDED AT THE UPPER END OF EACH CURB RAMP TO ALLOW SAFE EGRESS FROM THE RAMP SURFACES. THE WIDTH OF THE LEVEL LANDING SHALL BE AT LEAST AS WIDE AS THE WIDTH OF THE RAMP. A LEVEL LANDING 4' DEEP SHALL BE PROVIDED AT ALL PEDESTRIAN PUSH BUTTONS AT SIGNALIZED CROSSINGS.
9. RAMP OPENING SHALL BE THE SAME WIDTH AS THE SIDEWALK, UP TO 6'-0" WIDE.
10. FOR NEW CONSTRUCTION - ALL DETECTABLE WARNINGS ARE TO BE CAST IRON AND SET IN CONCRETE.

HANDICAP SIDEWALK RAMP - HCR2

4
DT-1

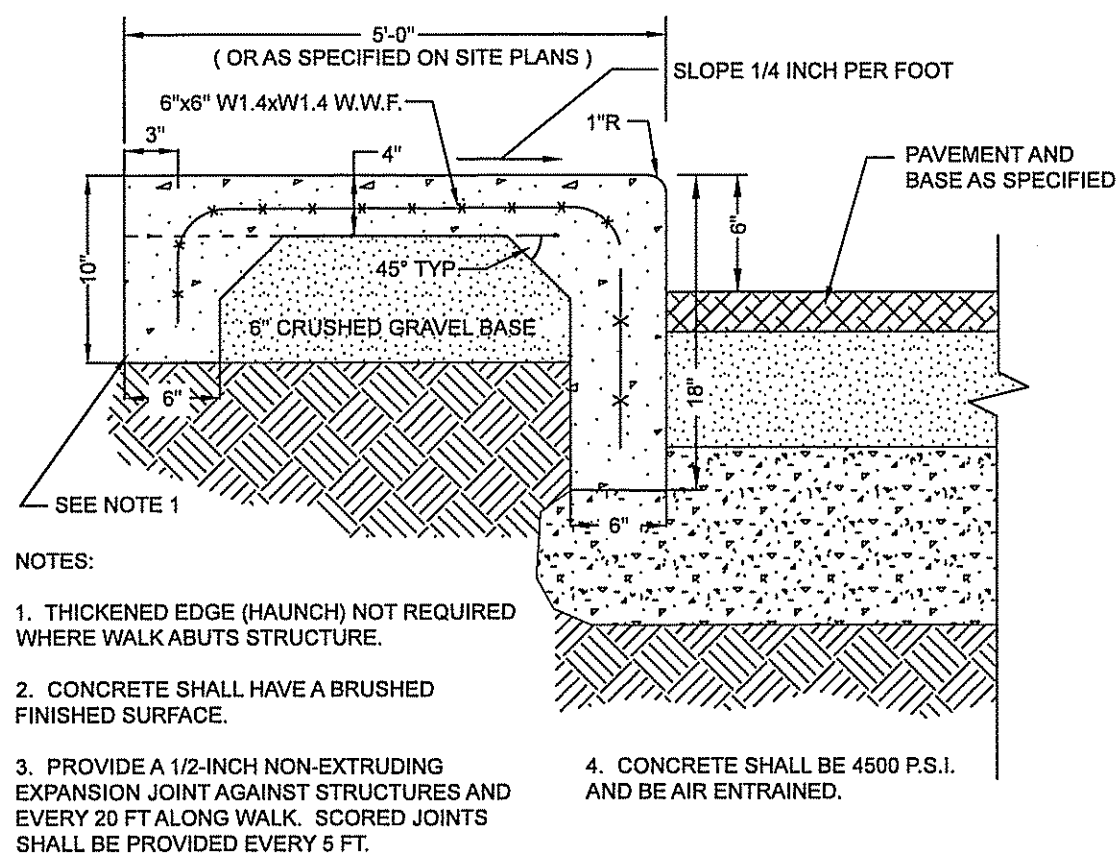


NOTES:

1. MAXIMUM SLOPE IN ANY DIRECTION IS 2.0% FOR HANDICAP SPACES.
2. SEE SITE PLAN FOR LOCATION OF HANDICAP SPACES AND TYPE OF HANDICAP RAMP TO BE USED.
3. HANDICAP SYMBOL SHALL BE CENTERED ON WIDTH OF PARKING STALL AND LOCATED 6" FROM ACCESS DRIVE, INTO PARKING SPACE.
4. THE HANDICAP SYMBOL SHALL HAVE A 5' x 5' CONTRASTING BACKGROUND, NORMALLY BLUE. A BACKGROUND IS NOT REQUIRED IF WHITE OR YELLOW SYMBOL IS ON BLACK ASPHALT.

PARKING STALL LAYOUT

5
DT-1

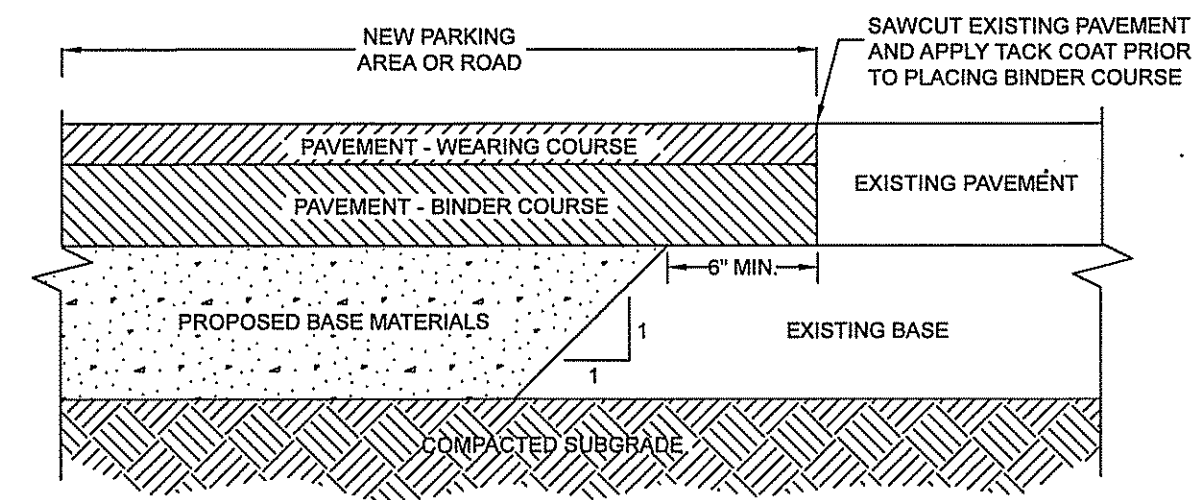


NOTES:

1. THICKENED EDGE (HAUNCH) NOT REQUIRED WHERE WALK ABUTS STRUCTURE.
2. CONCRETE SHALL HAVE A BRUSHED FINISHED SURFACE.
3. PROVIDE A 1/2-INCH NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURES AND EVERY 20 FT ALONG WALK. SCORED JOINTS SHALL BE PROVIDED EVERY 5 FT.
4. CONCRETE SHALL BE 4500 P.S.I. AND BE AIR ENTRAINED.

SIDEWALK - CONCRETE (INTEGRAL CONCRETE CURB)

6
DT-1

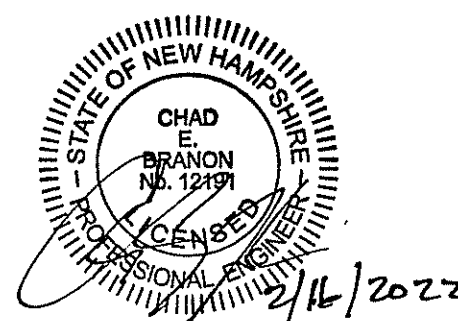


NOTE:

1. SEE ROADWAY OR PARKING LOT SECTION FOR MATERIALS AND ASSOCIATED DEPTHS.
2. INFRARED JOINT AFTER PLACING PAVEMENT.

PAVEMENT MATCH

7
DT-1



REV.	DATE	DESCRIPTION	C/O	DR	CK
-	-	-	-	-	-

CONSTRUCTION DETAILS
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE

PREPARED FOR:
JOHN FLATLEY COMPANY
 45 DAN ROAD, SUITE 320, CANTON, MA 02021

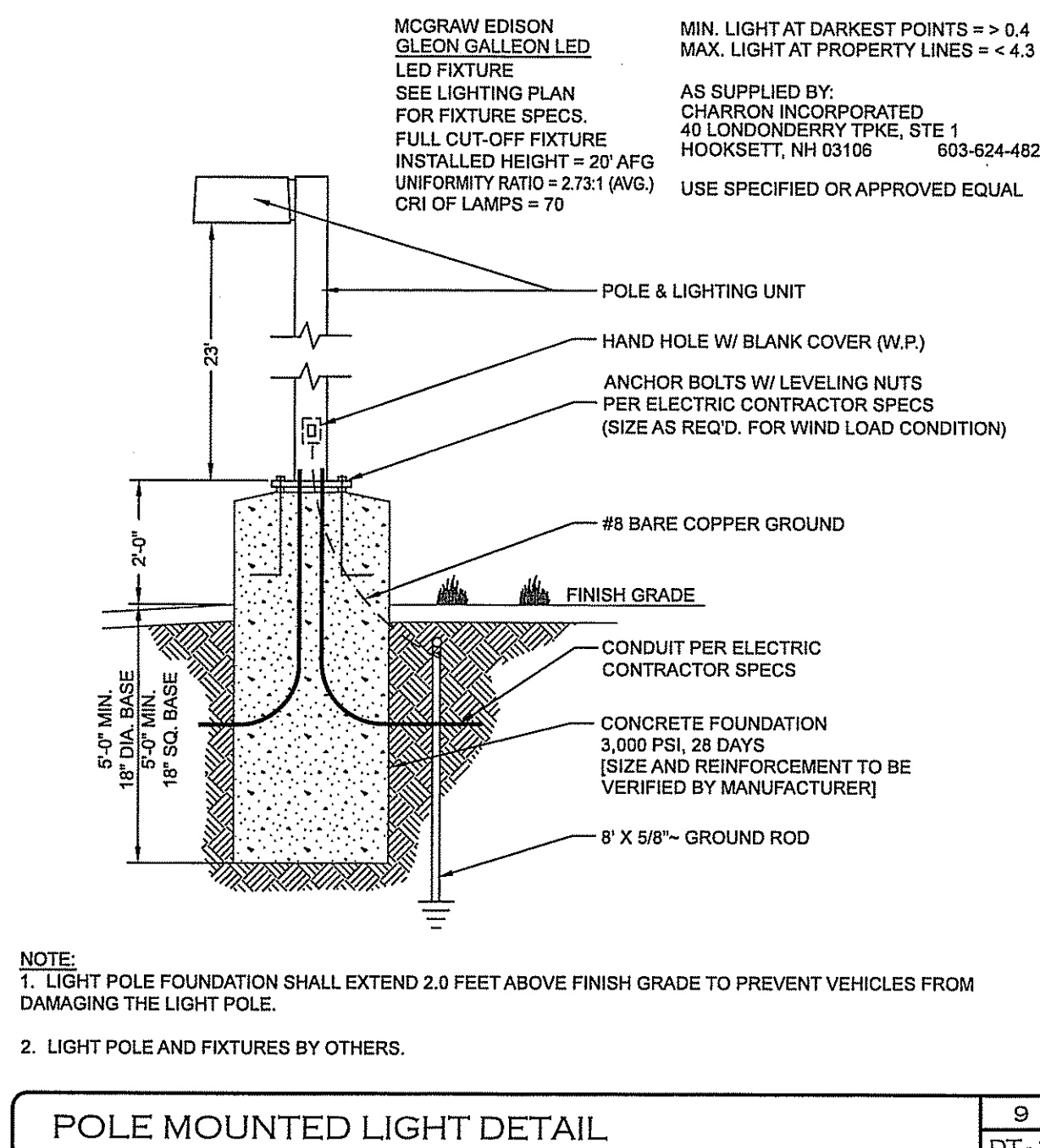
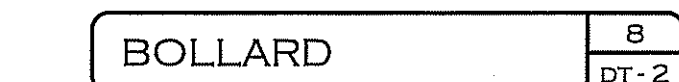
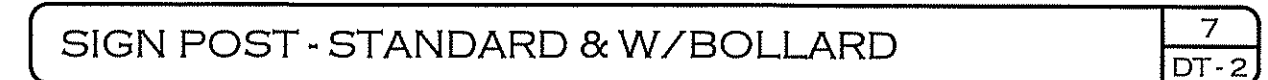
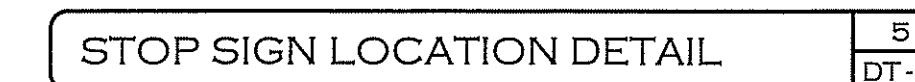
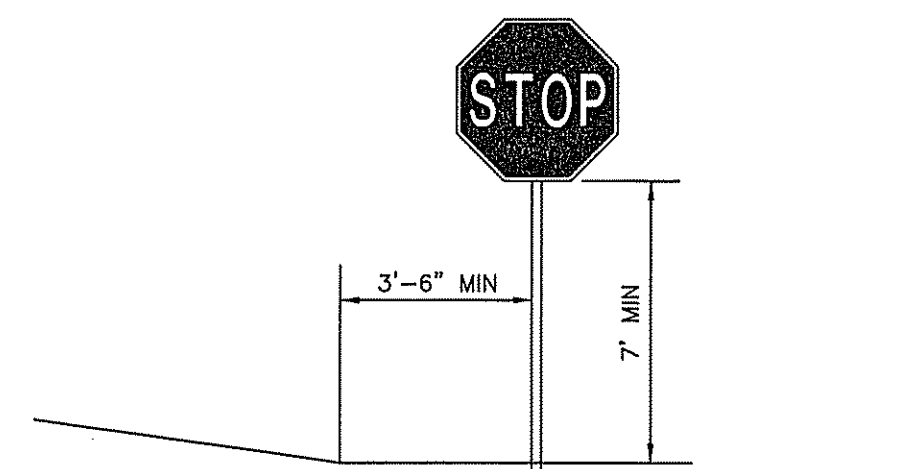
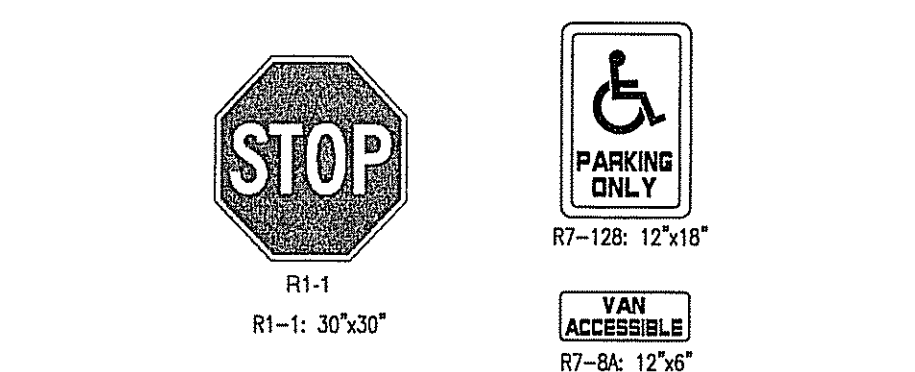
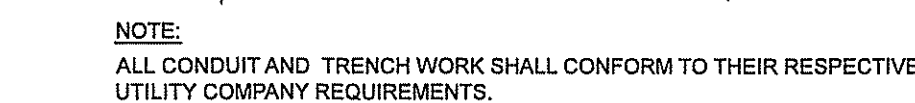
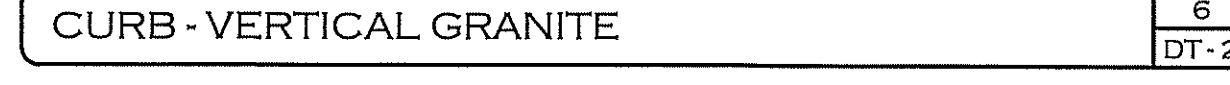
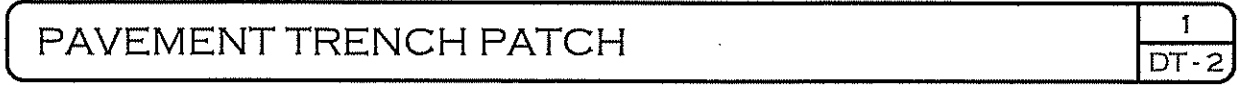
SCALE: NONE FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
 Phone: (603) 672-5456 Fax: (603) 413-5456
 www.FieldstoneLandConsultants.com

FILE: 2965DT00.DWG PROJ. NO. 2965.00 SHEET: DT-1 SHEET NO. 10 OF 13



—	—	—	—	—	—
REV.	DATE	DESCRIPTION	C/O	DR	CK

CONSTRUCTION DETAILS

TAX MAP 7412Z LOTS 25 & 26

(32-34 S. MAIN STREET & 33 S. STATE STREET)

CONCORD, NEW HAMPSHIRE

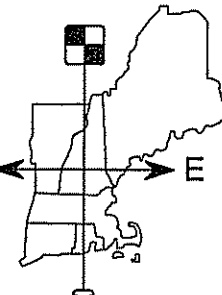
PREPARED FOR:

JOHN FLATLEY COMPANY

45 DAN ROAD, SUITE 320, CANTON, MA 02021

SCALE: NONE
FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs



FIELDSTONE

LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055

Phone: (603) 672-5456 Fax: (603) 413-5456

www.FieldstoneLandConsultants.com

FILE: 2965DT00.DWG	PROJ. NO. 2965.00	SHEET: DT-2	SHEET NO. 11 OF 13
--------------------	-------------------	-------------	--------------------

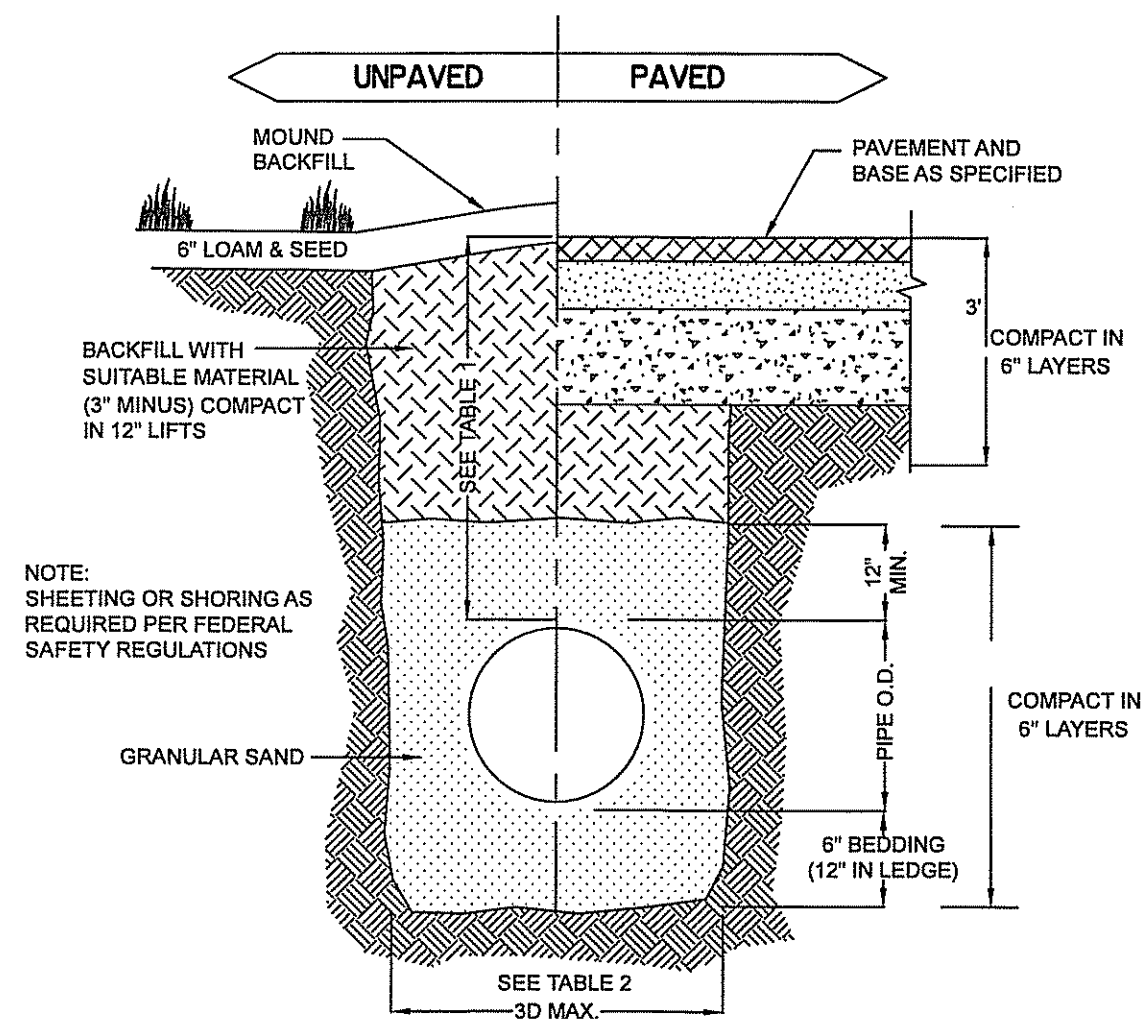
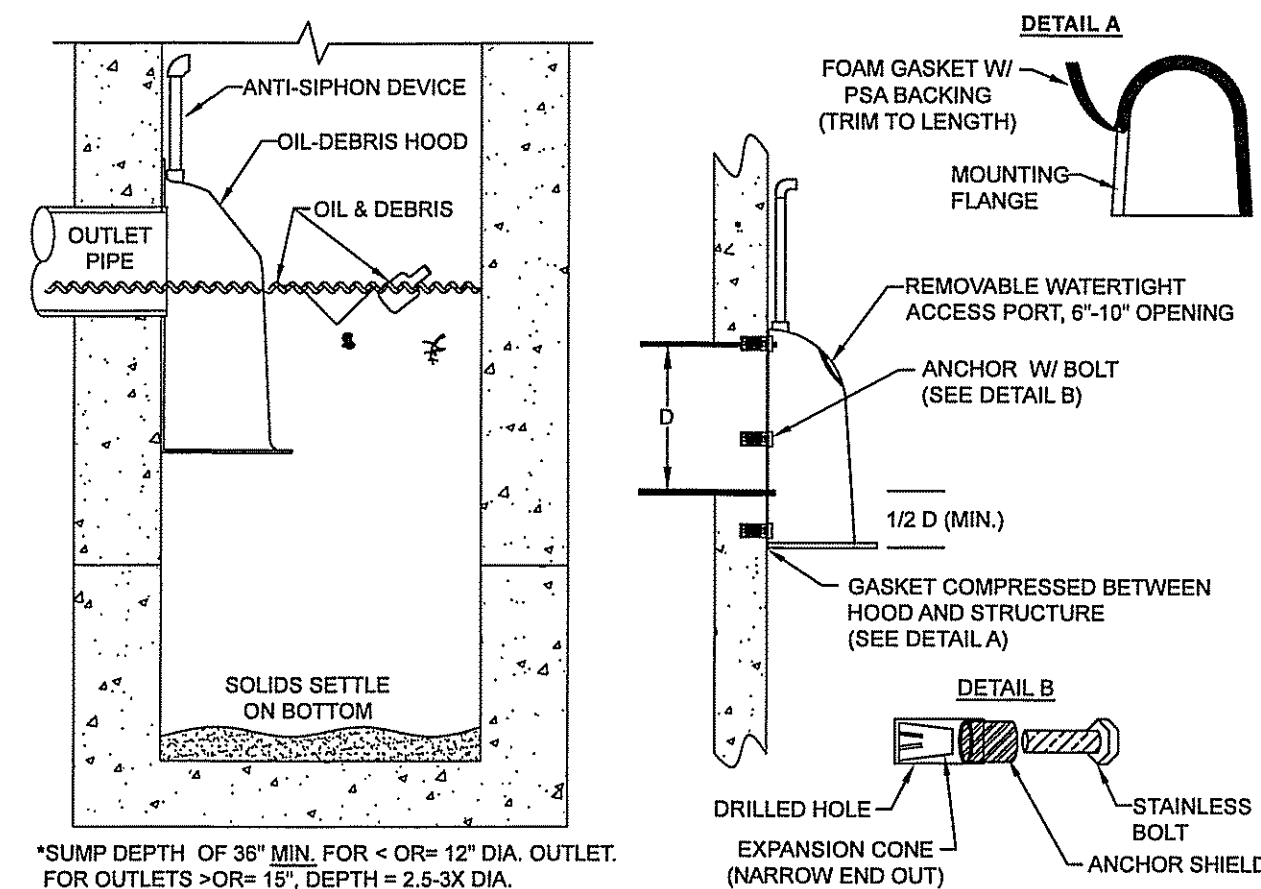


TABLE 1 (RECOMMENDED COVER)		
LOCATION	PIPE MATERIAL	MINIMUM COVER
PAVED ROADS	ALL	3 FT.
UNPAVED ROADS	ALL	2 FT.
DRIVEWAYS	ALL	1 FT.
UNPAVED AREAS	ALL	2 FT.

TABLE 2 (RECOMMENDED TRENCH WIDTH)	
INSIDE DIAMETER	TOTAL WIDTH
12" TO 24"	I.D. + 24"
OVER 24"	2 x I.D.

DRAINAGE TRENCH (TYPICAL)

1
DT-3



*SUMP DEPTH OF 36" MIN. FOR < OR = 12" DIA. OUTLET. FOR OUTLETS > OR = 16", DEPTH = 2.5-3X DIA.

STRUCTURE OUTLET HOLE SIZE	HOOD SIZE
11.9" O.D. OR LESS	12 F or R
12.0"-17.9" O.D.	18 F or R
18.0"-23.9" O.D.	24 F or R
24.0"-29.9" O.D.	30 F or R
30.0"-47.9" O.D.	48 F
48.0"-85.9" O.D.	96 F

F: FLAT WALL STRUCTURE
R: ROUND WALL STRUCTURE

NOTES:

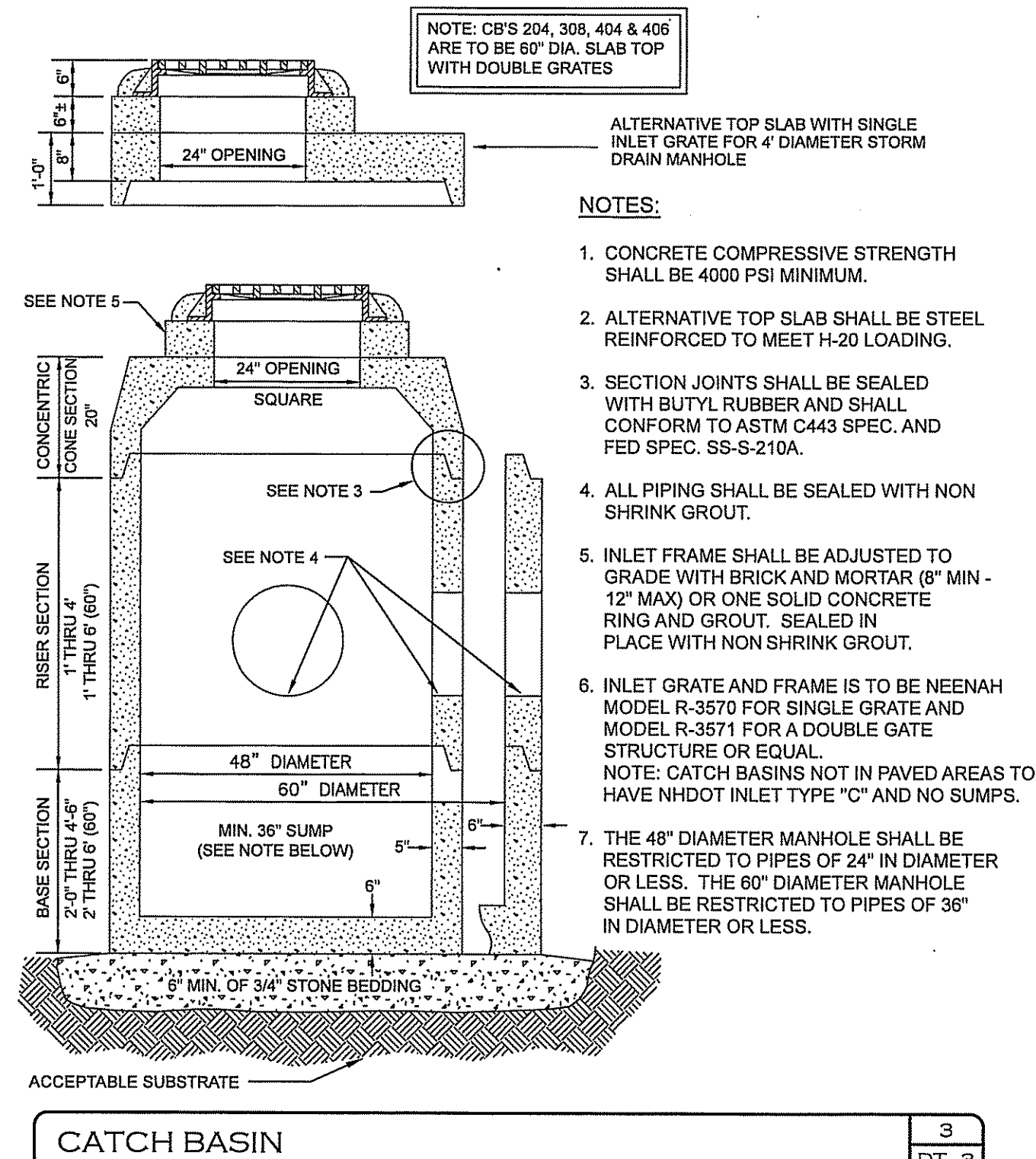
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES < 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 12" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL AND THE PIPE SHALL BE TRIMMED FLUSH TO WALL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., LYME, CT OR EQUAL.

INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2 OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES < 12" I.D. IS 6".

HOODS TO BE INSTALLED ON THE FOLLOWING CATCH BASINS:
CB1, CB2, CB3 & CB4

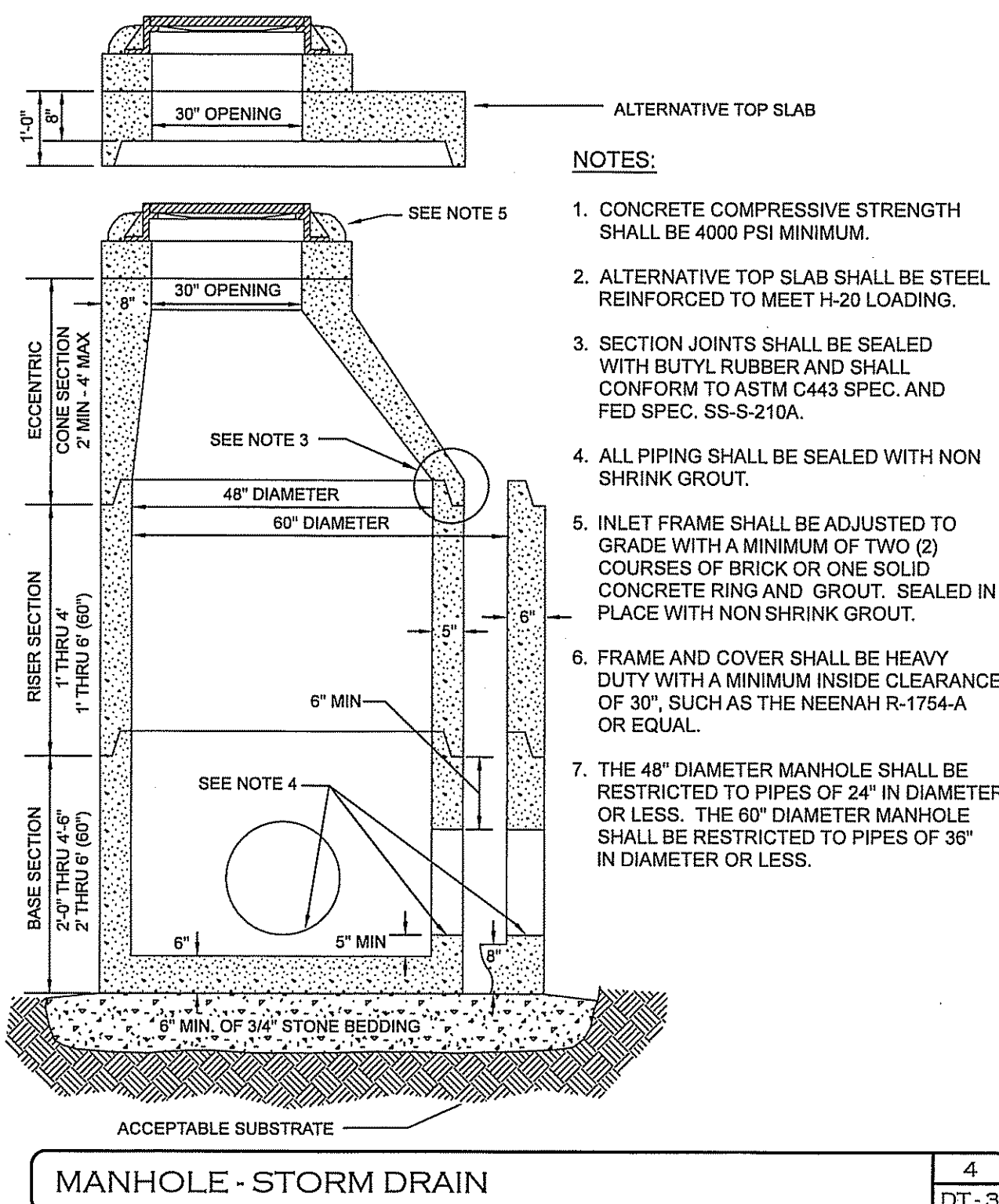
OIL - DEBRIS HOOD

2
DT-3



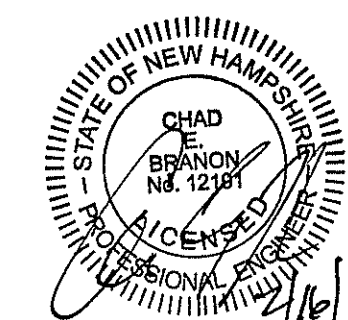
CATCH BASIN

3
DT-3



MANHOLE - STORM DRAIN

4
DT-3



CONTACT DIG SAFE
72 HOURS PRIOR
TO CONSTRUCTION
DIGSAFE.COM
OR DIAL 8 1 1
CALL 811 - KNOW WHAT'S BELOW
DigSafe
MA-MEMBERSHIP

DRAINAGE DETAILS
TAX MAP 7412Z LOTS 25 & 26
(32-34 S. MAIN STREET & 33 S. STATE STREET)
CONCORD, NEW HAMPSHIRE
PREPARED FOR:
JOHN FLATLEY COMPANY
45 DAN ROAD, SUITE 320, CANTON, MA 02021

SCALE: NONE
FEBRUARY 16, 2022

Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs

FIELDSTONE
LAND CONSULTANTS, PLLC

206 Elm Street, Milford, NH 03055
Phone: (603) 672-5456 Fax: (603) 413-5456
www.FieldstoneLandConsultants.com

FILE: 2965D700.DWG PROJ. NO. 2965.00 SHEET: DT-3 SHEET NO. 12 OF 13

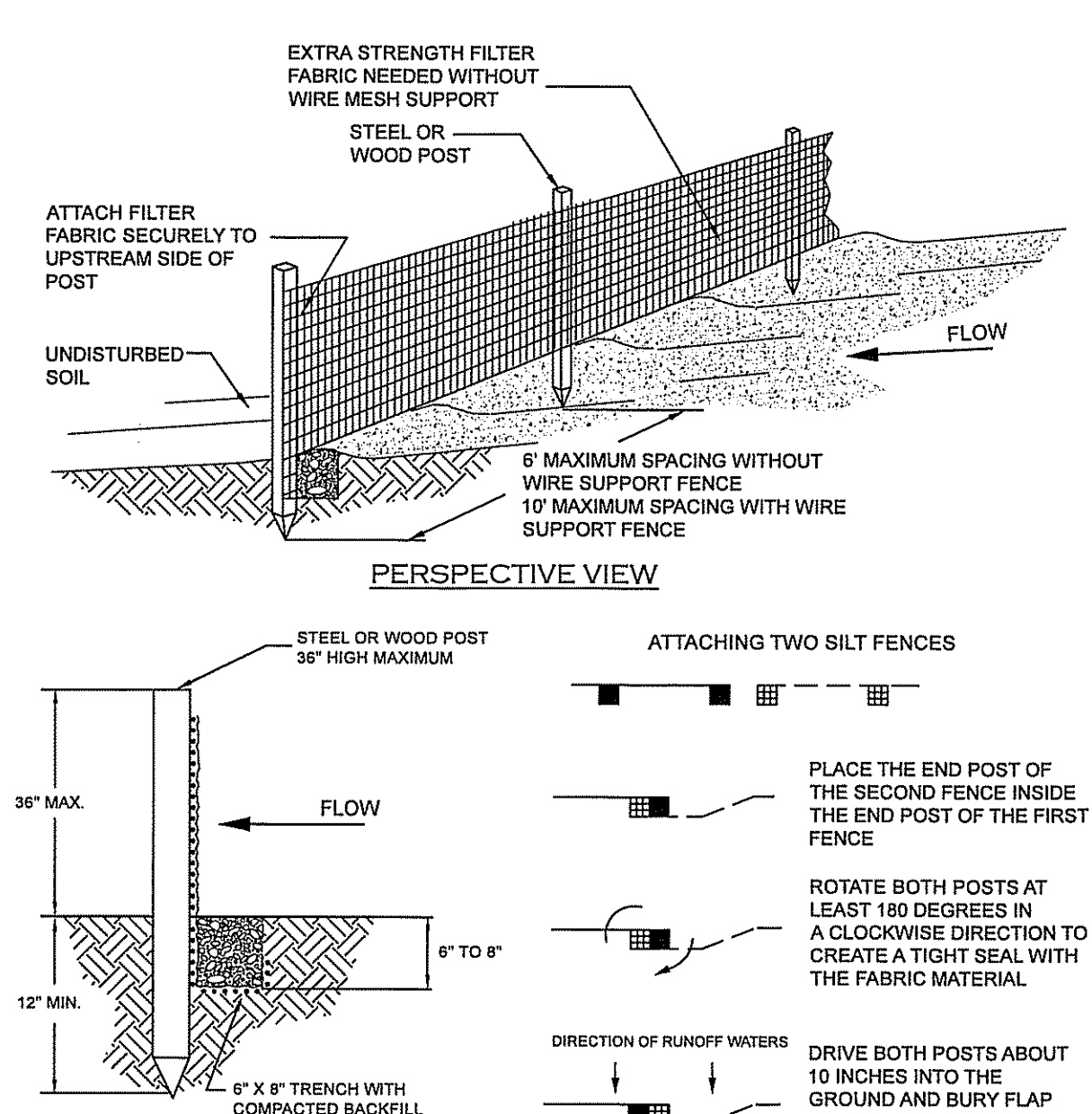
1. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES.
2. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICE STORM WATER MANUALS, VOLUME 1-3, LATEST EDITION.
3. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PER PLANS AND DETAILS. PERIMETER CONTROLS SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF EARTH DISTURBING ACTIVITIES.
4. INSTALL INLET PROTECTION AROUND ALL STORM DRAIN STRUCTURES. INLET PROTECTION BMP'S SHALL REMAIN UNTIL THE SITE IS STABILIZED. CONSTRUCTION OF DRAINAGE BASINS AND SWALES SHALL OCCUR PRIOR TO AND EARTH MOVING OPERATION THAT WILL INFLUENCE STORM WATER RUNOFF.
5. THE WORK AREA SHALL BE GRADED, SHAPED AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA.
6. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEN POSSIBLE.
7. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE KEPT CLEAN DURING CONSTRUCTION. INSPECTIONS OF EROSION CONTROL MEASURES AND INSTALLATION OF STORMWATER MANAGEMENT SYSTEMS DURING CONSTRUCTION SHALL BE PERFORMED BY A THIRD PARTY STORMWATER CONSULTANT APPROVED BY THE TOWN AT THE APPLICANT'S EXPENSE. EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY CATCH BASINS LOCATED IMMEDIATELY DOWNSTREAM FROM THE CONSTRUCTION SITE SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EVERY 0.5-INCH OR GREATER RAINFALL. SEDIMENTS ALONG EROSION CONTROLS SHALL BE REMOVED WHEN THEY REACH A MAXIMUM DEPTH OF SIX (6) INCHES. SEDIMENTS SHALL BE DISPOSED OF, WITHIN 24 HOURS OF OBSERVATION, IN AN UPLAND AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND BE PERMANENTLY STABILIZED.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION. AT NO TIME SHALL THE TOTAL UNSTABILIZED DISTURBED AREA, INCLUDING LOT DISTURBANCES, BE GREATER THAN TWO (2) ACRES.
9. THE LAND AREA EXPOSED SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. ALL NON-ACTIVE DISTURBED AREAS SHALL BE STABILIZED WITHIN 30 DAYS OF THE DISTURBANCE. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF FINAL GRADING.
10. DITCHES, SWALES AND DRAINAGE BASINS SHALL BE CONSTRUCTED DURING THE INITIAL PHASE OF CONSTRUCTION AND STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
11. AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3-INCHES OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP, HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
12. EROSION CONTROL BLANKETS OR HEC-2'S SHALL BE INSTALLED ON ALL SLOPES THAT ARE PRONE TO EROSION AND ON SLOPES STEEPER THAN 3:1 (HORIZONTAL / VERTICAL), UNLESS OTHERWISE SPECIFIED THE CONTRACTOR SHALL USE NORTH AMERICAN GREEN SC150 OR HYDRAMAX (HEC-2), OR APPROVED EQUIVALENT.
13. ALL AREAS RECEIVING EROSION CONTROL STONE OR RIPRAP SHALL HAVE A GEOTEXTILE MATERIAL INSTALLED BELOW THE STONE (SEE APPROPRIATE DETAILS).
14. ALL DISTURBED AREAS TO TURF FINISHED SHALL BE COVERED WITH A MINIMUM THICKNESS OF 4 INCHES OF COMPACTED LOAM. LOAM SHALL BE COVERED WITH THE APPROPRIATE SEED MIXTURE AS INDICATED BELOW:

PERMANENT SEED (LAWN AREAS) LBS. / 1,000 SQ. FT.		PERMANENT SLOPE SEED MIX LBS. / 1,000 SQ. FT.	
CREEPING RED FESCUE	0.92 LBS	CREEPING RED FESCUE	0.80 LBS
PERENNIAL RYEGRASS	1.15 LBS	PERENNIAL RYEGRASS	0.69 LBS
KENTUCKY BLUEGRASS	0.58 LBS	REDTOP	0.12 LBS
REDTOP	0.12 LBS	ALSKA CLOVER	0.12 LBS
**APPLICATION RATE TOTALS		**APPLICATION RATE TOTALS	
2.8 LBS PER 1,000 SF**		*1.85 LBS PER 1,000 SF**	

15. TEMPORARY STABILIZATION OF DISTURBED AREAS:
STRIPPED SOIL SHALL BE STOCKPILED UNCOMPACTED, AND STABILIZED AGAINST EROSION AS OUTLINED BELOW.
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS. PER 100 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.
- A. SEED MIXTURE: USE ANY OF THE FOLLOWING:
- | SPECIES | RATE PER 1,000 SF | DEPTH | SEEDING DATES |
|-----------------|-------------------|-----------|---------------|
| WINTER RYE | 2.5 LBS | 1 INCH | 8/15 TO 9/15 |
| OATS | 2.5 LBS | 1 INCH | 4/15 TO 10/15 |
| ANNUAL RYEGRASS | 1.0 LBS | 0.25 INCH | 8/15 TO 9/15 |
- B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODIBLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:
- | TYPE | RATE PER 1,000 SF | USE AND COMMENTS |
|-----------------------------------|---------------------------------------|---|
| STRAW | 70 TO 90 LBS | MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE |
| WOOD CHIPS OR BARK MULCH | 460 TO 920 LBS | USED WITH TREE AND SHRUB PLANTINGS |
| FIBROUS MATTING | AS RECOMMENDED BY MANUFACTURER | MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE |
| CRUSHED STONE 1/4" TO 1-1/2" DIA. | SPREAD TO GREATER THAN 1/2" THICKNESS | USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED |
16. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE (CRITICAL TIME FRAMES OR VARIABLE SITES) THEN APPLY FERTILIZER AT A RATE OF 11 POUNDS PER 1,000 SF AND LIMESTONE AT A RATE OF 90 POUNDS PER 1,000 SF. FERTILIZER SHALL BE LOW PHOSPHATE (LESS THAN 2% PHOSPHORUS).
17. CAUTION SHOULD BE TAKE WHEN THE PROPERTY IS LOCATED WITHIN 250 FEET OF A WATER BODY. IN THIS CASE ALL FERTILIZERS SHALL BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER. SLOW RELEASE FERTILIZERS MUST BE AT LEAST 50% SLOW RELEASE NITROGEN COMPONENT. NO FERTILIZER EXCEPT LIMESTONE SHALL BE APPLIED WITHIN 25 FEET OF THE SURFACE WATER. THESE ARE REGULATED LIMITATIONS.
18. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS (SEE WINTER CONSTRUCTION NOTES). NO DISTURBED AREAS SHALL BE LEFT EXPOSED DURING THE WINTER MONTHS.
19. A VIGOROUS DUST CONTROL PROGRAM SHALL BE APPLIED BY THE SITE CONTRACTOR. DUST SHALL BE MANAGED THROUGH THE USE OF WATER ONLY (USE OF CALCIUM CHLORIDE IS PROHIBITED IN WPA).
20. IN NO WAY ARE THE MEASURES INDICATED ON THE PLANS OR IN THESE NOTES TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGMENT TO INSTALL ADDITIONAL EROSION CONTROL MEASURES AS SITE CONDITIONS, WEATHER OR CONSTRUCTION METHODS WARRANT.
21. FOLLOWING PERMANENT STABILIZATION, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND ACCUMULATED SEDIMENTATION IS TO BE DISPOSED OF IN AN APPROVED LOCATION, OUTSIDE OF JURISDICTIONAL WETLANDS.
22. SHOULD DEWATERING ACTIVITIES BE REQUIRED, PUMPED GROUNDWATER SHALL BE DIRECTED TO A DEWATERING SUMP PRIOR TO DISCHARGE TO ANY WETLAND RESOURCE AREA OR STORMWATER MANAGEMENT AREA.
23. DURING CONSTRUCTION AND INSTALLATION OF THE STORMWATER MANAGEMENT BMP'S, CARE SHOULD BE TAKEN TO MINIMIZE ANY SEDIMENT INTRUSION INTO THESE SYSTEMS. ANY SIGNIFICANT SEDIMENT ACCUMULATION WITHIN THESE SYSTEMS SHALL BE REMOVED WITHIN 24 HOURS OF OBSERVATION.
24. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE THE AMOUNT OF IMPERVIOUS PAVEMENT AREA TRIBUTARY TO THE DRAINAGE SYSTEM AND STORMWATER MANAGEMENT BMP'S UNTIL THE SITE HAS BEEN STABILIZED. THE CONTRACTOR SHALL CONTINUE TO DIRECT SURFACE RUNOFF TO UNPAVED AREAS AS NOTED ABOVE.
25. STORMWATER RUNOFF SHALL BE DIRECTED TO TEMPORARY PRACTICES (SEDIMENT TRAPS AND/OR BASINS) UNTIL PROPOSED STORMWATER MANAGEMENT AREAS ARE STABILIZED.

EROSION CONTROL NOTES

1
DT-4



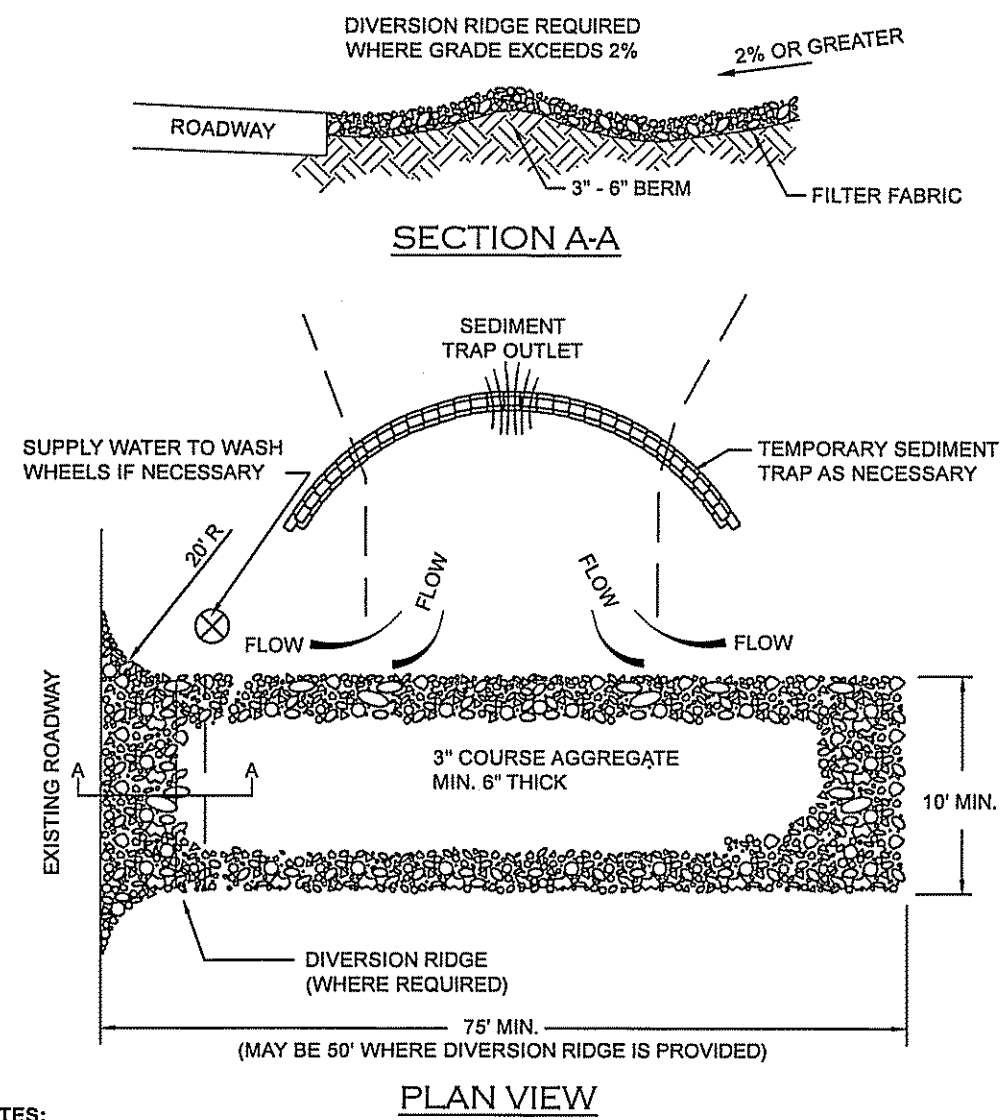
SECTION VIEW

NOTES:

- SILT FENCES SHOULD NOT BE USED ACROSS STREAMS, CHANNELS, SWALES, DITCHES OR OTHER DRAINAGE WAYS.
- SILT FENCE SHOULD BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE AND THE ENDS OF THE SILT FENCE SHOULD BE FLARED UPSLOPE.
- IF THE SITE CONDITIONS INCLUDE FROZEN GROUND, LEDGE OR THE PRESENCE OF HEAVY ROOTS THE BASE OF THE FABRIC SHOULD BE EMBEDDED WITH A MINIMUM THICKNESS OF 8 INCHES OF 3/4-INCH STONE.
- SILT FENCES PLACED AT THE TOE OF SLOPES SHOULD BE INSTALLED AT LEAST 6 FEET FROM THE TOE TO ALLOW SPACE FOR SHALLOW PONDING AND ACCESS FOR MAINTENANCE.
- THE MAXIMUM SLOPE ABOVE THE FENCE SHOULD BE 2:1 AND THE MAXIMUM LENGTH OF SLOPE ABOVE THE FENCE SHOULD BE 100 FEET.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCES SHOULD BE REMOVED WHEN THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SILT FENCE

2
DT-4

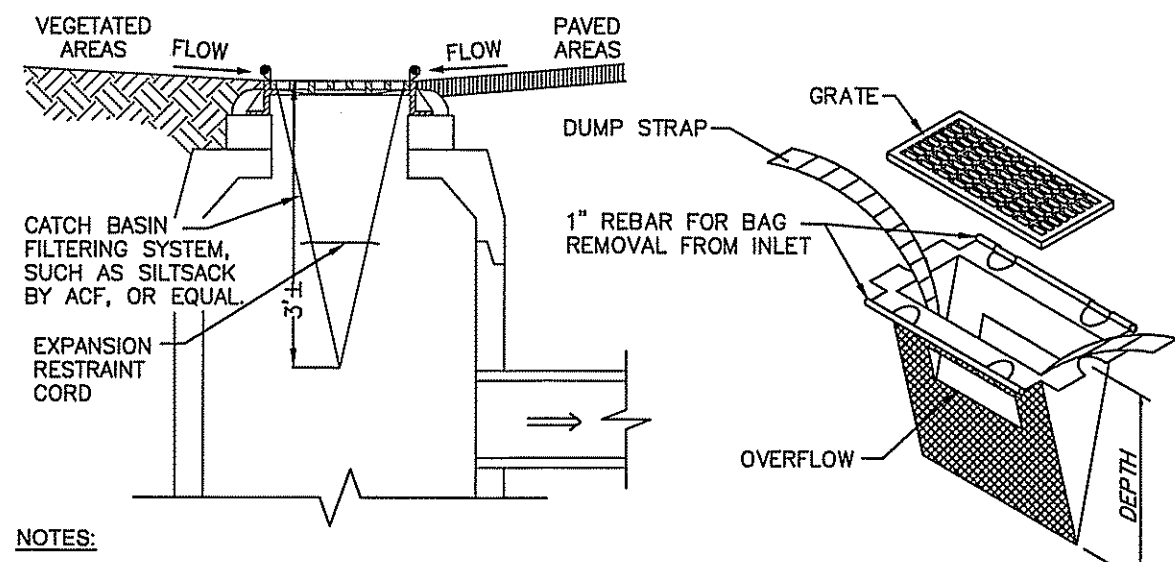


NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- THE MINIMUM STONE USED SHOULD BE 3-INCH CRUSHED STONE.
- THE MINIMUM LENGTH OF THE PAD SHOULD BE 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH HIGH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
- THE PAD SHOULD EXTEND THE FULL WIDTH OF THE CONSTRUCTION ACCESS ROAD OR 10 FEET, WHICHEVER IS GREATER.
- THE PAD SHOULD SLOPE AWAY FROM THE EXISTING ROADWAY.
- THE PAD SHOULD BE AT LEAST 6-INCHES THICK.
- THE GEOTEXTILE FILTER FABRIC SHOULD BE PLACED BETWEEN THE STONE PAD AND THE EARTH SURFACE BELOW THE PAD.
- THE PAD SHALL BE MAINTAINED OR REPLACED WHEN MUD AND SOIL PARTICLES CLOG THE VOIDS IN THE STONE SUCH THAT MUD AND SOIL PARTICLES ARE TRACKED OFF-SITE.
- NATURAL DRAINAGE THAT CROSSES THE LOCATION OF THE STONE PAD SHOULD BE INTERCEPTED AND PIPED BENEATH THE PAD, AS NECESSARY, WITH SUITABLE OUTLET PROTECTION.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GRAVEL CONSTRUCTION EXIT

4
DT-4

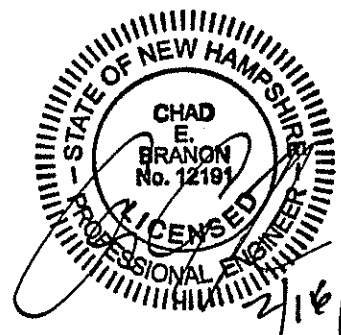


NOTES:

- INSTALL AND MAINTAIN SACKS IN ALL CATCH BASINS.
- TO INSTALL SACK, REMOVE CATCH BASIN GRATE AND PLACE SACK IN OPENING. HOLD OUT APPROXIMATELY SIX INCHES OF THE SACK OUTSIDE THE FRAME FOR THE LIFTING STRAPS. REPLACE THE GRATE TO HOLD THE SACK IN PLACE.
- THE SACK SHOULD BE INSPECTED AFTER EVERY STORM, OR ONCE EVERY TWO WEEKS, WHICH EVER OCCURS FIRST.
- THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SACK SHOULD BE EMPTIED. EMPTY THE SACK AWAY FROM THE CATCH BASIN TO PREVENT SEDIMENT FROM RE-ENTERING THE CATCH BASIN. EMPTY THE SACK PER THE MANUFACTURER'S RECOMMENDATIONS.
- REPLACE THE SACK IN THE CATCH BASIN AFTER THE SACK HAS BEEN EMPTIED. ONCE CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED BY PAVING OR A HEALTHY VEGETATIVE COVER, REMOVE THE SACK FROM THE CATCH BASINS.

SILT SACK SEDIMENT FILTER

3
DT-4



REV.	DATE	DESCRIPTION	C/O	DR	CK
EROSION CONTROL NOTES & DETAILS					
TAX MAP 7412Z LOTS 25 & 26					
(32-34 S. MAIN STREET & 33 S. STATE STREET)					
CONCORD, NEW HAMPSHIRE					
PREPARED FOR:					
JOHN FLATLEY COMPANY					
45 DAN ROAD, SUITE 320, CANTON, MA 02021					
SCALE: NONE					
FEBRUARY 16, 2022					
Surveying ♦ Engineering ♦ Land Planning ♦ Permitting ♦ Septic Designs					
206 Elm Street, Milford, NH 03055					
Phone: (603) 672-5456 Fax: (603) 413-5456					
www.FieldstoneLandConsultants.com					
FILE: 2965DT00.DWG PROJ. NO. 2965.00 SHEET: DT-4 SHEET NO. 13 OF 13					