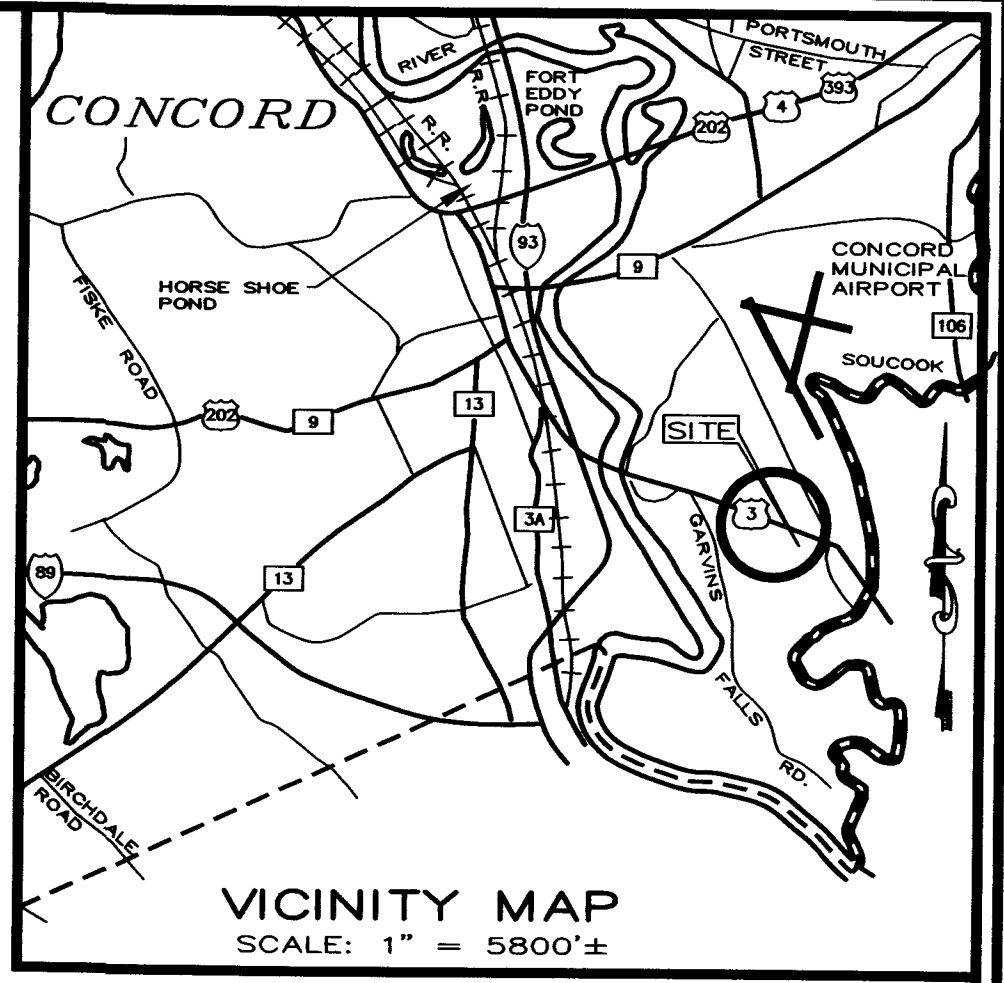


STRUCTURE SCHEDULE

CB 294 RIM 325.01' INV. 320.76'(S) 12" RCP SUMP 320.01'	DMH 10231 (SLANTED RIM) HAS CB GRATE RIM 325.36' (LOW) RIM 325.80' (HIGH) INV. 320.18'(N) 12" RCP INV. 319.70'(E) 12" CMP INV. 322.11'(S) 10" CMP INV. 319.80'(W) 12" RCP SUMP 319.00'	SMH 2609 RIM 326.71' INV. 314.63'(E) 18" INV. 314.71'(W) 18" SMH 2620 RIM 326.57' INV. 313.95'(E) 18" INV. 313.98'(W) 18" SMH 2625 RIM 326.82' INV. 313.37'(E) 18" INV. 313.43'(W) 18" SMH 2626 RIM 326.30' INV. 318.45'(N) 8" CLAY INV. 312.82'(E) 18" INV. 312.82'(E) 18" INV. 312.87'(W) 18"
CB 18148 RIM 325.32' INV. 322.42'(N) 12" CMP INV. 321.87' (S) 10" CMP SUMP 321.82' CB 18149 CB IS BURIED UNDER LANDSCAPING INV'S FROM PRIOR SURVEY CB 614 RIM 324.76' INV. 321.86'(N) 12" RCP CB 6247 RIM 325.10' INV. 321.05' 6" CLAY (N) INV. 321.10' 6" PVC (S) CB 6330 RIM 325.02' INV. 321.87' 10" CMP SUMP 321.87' CB 6500 RIM 324.81' INV. 321.98' (N) 6" PVC INV. 322.16' (S) 4" PVC SUMP 321.71' CB 6712 RIM 325.61' INV. 321.18' (S) 8" CMP INV. 321.31' (NE) 8" CLAY	DMH 10228 (SLANTED RIM) RIM 325.12'(LOW) RIM 325.61'(HIGH) INV. 320.17'(N) 12" RCP INV. 318.82'(E) 12" HOPE INV. 321.42'(S) 12" RCP INV. 319.02'(SW) 8" CLAY INV. 318.82'(W) 12" CLAY DMH 18152 RIM 325.41' INV. 319.81'(NE) 8" CLAY INV. 320.16'(S) 8" CLAY	

LEGEND

---	PROPERTY LINE
---	EDGE OF PAVEMENT
---	EDGE OF GRAVEL
---	OVERHEAD WIRES
D	DRAINAGE LINE
S	SEWER LINE
G	GAS LINE
---	SHORE LINE
○	MONITORING WELL
○	IRON PIPE OR REBAR
○	GRANITE OR CONCRETE BOUND
○	UTILITY POLE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	CATCH BASIN
○	HYDRANT
○	WATER SHUTOFF
○	GAS SHUTOFF
○	STONEWALL
○	EDGE OF WOODS
○	CONCRETE



NOTES

- Survey by total station between the dates of Sept. 22 & 24, 2009. Control Traverse error of closure 1:244.42'. Additional survey on October 15, 2021, Control traverse error of closure 1:85.734
- Horizontal datum is based on NH State Plane Coordinates NAD 83.
- Vertical datum is based on NAVD 88.
- Owner of record: HLF East LLC, 506 Route #3A Bow, NH 03304 - Map 110K, Block 1, Lot 2, V. 2869 P. 651.
- Parcel is zoned CH-Highway Commercial District; building setbacks: front 50', rear 30', and side 25'. Minimum lot size = 40,000 sq. ft.. Minimum frontage 200', Maximum lot coverage 80%, maximum building height 45'.
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 1-888-344-7233.
- The right of way for Manchester Street was taken from previous surveys prepared for the City of Concord for the entire Manchester Street corridor.
- The parcel is subject to two - ten foot easements to New England Telephone and Telegraph Co. and Concord Electric Co. as described in V. 1837 P. 2267.
- The site was checked for the presence of wetlands on November 11, 2021 by Stoney Ridge Environmental, LLC. No wetlands were found.
- The intent of this plat is to depict the existing conditions and boundary of 134 Manchester Street.
- The subject premises is not within a flood hazard zone per the FIRM no. 33013C0534E with an effective date of April 19, 2010.

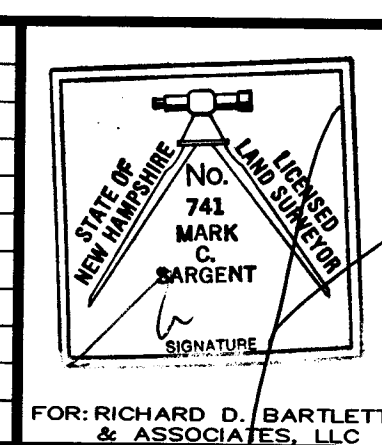
REFERENCES

- Boundary Plat prepared for Ellen Sleeper of land of Heritage Harley Davidson", dated February 19, 2001, by Richard D. Bartlett & Associates, Inc., on file at this office.
- "Site Plan prepared for Granite State Volkswagen", dated July 21, 1986, Richard D. Bartlett, LLS, on file at this office.
- "Manchester Street Sanitary Sewer Extension", dated through Dec., 1977, prepared by the City of Concord.
- "General Realty Company Black Hill Addition", dated May 1927, by Lloyd & Mann, recorded at the MCRD as plan no. 501.
- "Subdivision Plan Legend Industrial Center", dated through July 7, 1989, by Holden Engineering and Surveying, Inc., recorded at the MCRD as plan no. 11164.
- "Boundary Plan of Consolidated Lots Tax Map 110, Block 3, Lot 5 Map 110-D, Block 3, Lots 13 & 14 Concord, Merrimack County, NH. Owned by Yukon Realty Investment LP 11 Sandquist Street Concord, NH 03301", dated Nov. 18, 2004, by Provan & Lorber, Inc. and recorded at the MCRD as plan no. 17157.
- "Lot Line Adjustment Plan John Dapergolas and Edwin W. Sleeper Concord, NH", dated through July 16, 1999, by Holden Engineering and Surveying, Inc., recorded at the MCRD as plan no. 14822.

LOT SYNOPSIS

EXISTING LOT COVERAGE	10,315 SQ. FT.
BUILDING	471 SQ. FT.
OTHER IMPERVIOUS SURFACES	98,677 SQ. FT.
PAVEMENT	109,463 SQ. FT.
EXISTING COVERAGE	EXISTING COVERAGE = 63% OF LOT AREA

NO.	DATE	REVISION
1	3/2/22	REVIEW COMMENTS



RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
Fax: (603) 224-6261
E-mail: info@richardbartlett.com
World Wide Web Page: www.richardbartlett.com
LICENSED LAND SURVEYORS

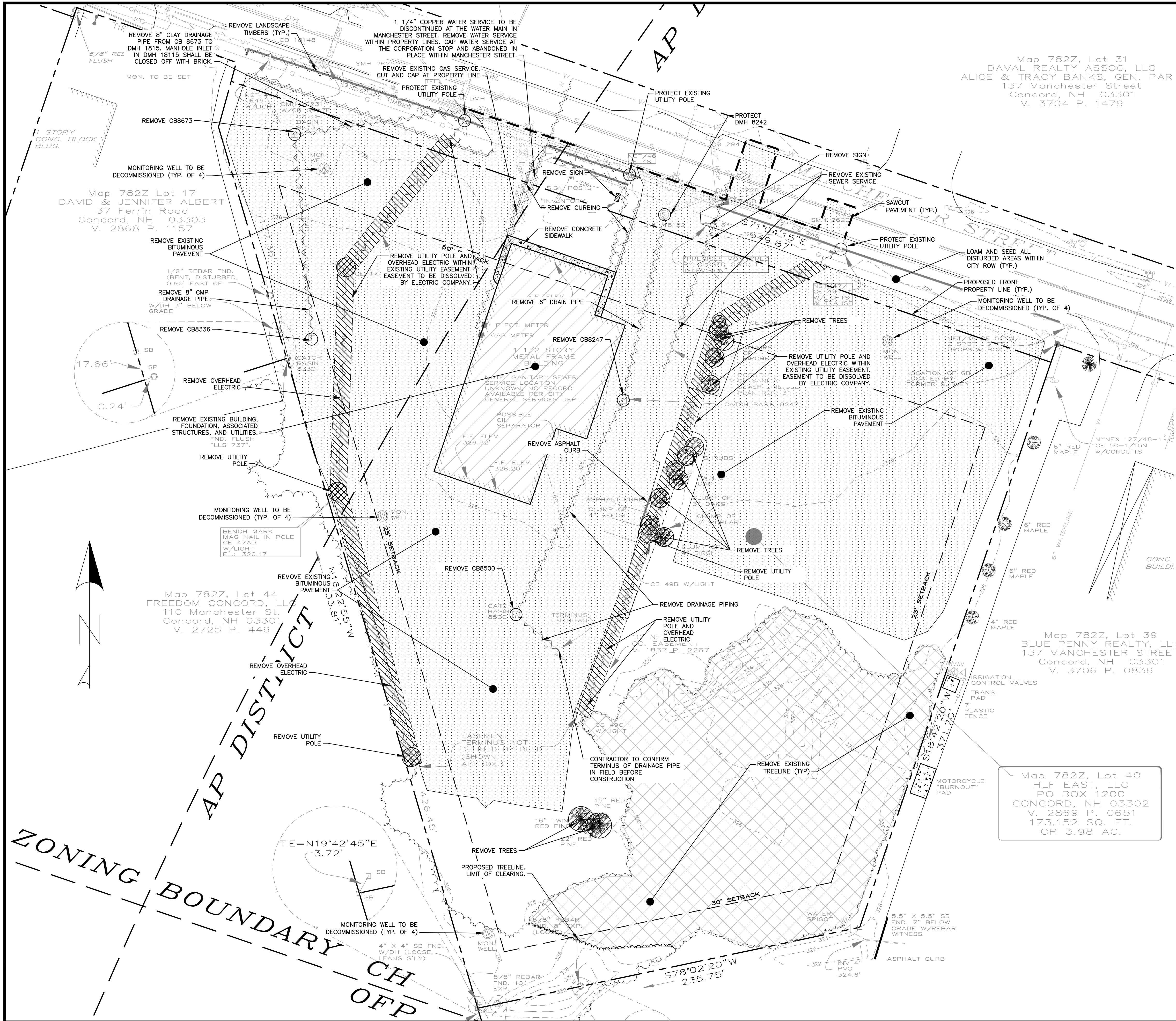
EXISTING CONDITIONS PLAT
land of
HLF EAST, LLC
PO BOX 1200 CONCORD, NH 03301
PROJECT 134 MANCHESTER ST CONCORD, NH
LOCATION MAP 782Z, LOT 40
GRAPHIC SCALE
0' 40' 80'
DATE: DECEMBER, 2021
JOB NO.: 1021.229
SHEET 1 OF 1

I, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE: [Signature] LICENSE NO. 741 DATE: 3/2/22

TO 6" X 6" GB W/DISK
"HOLDEN 10637"

J:\100180.000 Grappone Mazda 134 Manchester St. Concord, NH\CAD\dwg\100180.000-C-100-DEMO.dwg 3/3/2022 9:58 AM



- NOTES:
1. REFER TO SURVEYOR'S PLAN FOR PLAN REFERENCES ADDITIONAL NOTES, EXISTING DRAINAGE AND SANITARY SEWER INVERT INFORMATION.
 2. LOCATION AND ELEVATION OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 3. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE TOWN FIRE AND POLICE DEPARTMENTS.
 4. DEMOLISH STRUCTURES AND SITE FEATURES AS SHOWN HEREON AND REMOVE PAVEMENT TO LIMITS INDICATED.
 5. CONTRACTOR IS RESPONSIBLE FOR OFF-SITE DISPOSAL OF CONSTRUCTION DEMOLITION DEBRIS IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 6. CONTRACTOR WILL COORDINATE REMOVAL/RELOCATION OF UNDERGROUND GAS AND OVERHEAD UTILITIES WITH RESPECTIVE UTILITY COMPANIES.
 7. ABATEMENT OF HAZARDOUS MATERIALS SUCH AS LEAD PAINT, ASBESTOS, ETC., WILL BE PERFORMED BY A LICENSED CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION. A PRE-DEMOLITION SURVEY WILL BE PERFORMED BY CONTRACTOR PRIOR TO THE START OF DEMOLITION ACTIVITIES TO ENSURE PROPER DEMOLITION AND DISPOSAL PROCEDURES.
 8. DEMOLITION SEQUENCING WILL BE AS DIRECTED BY THE PRIME CONTRACTOR AND THE ARCHITECT.
 9. FOR AREAS OUTSIDE OF THE PROPOSED BUILDING FOOTPRINT, DEMOLISH ALL EXISTING BUILDINGS AND FOUNDATIONS TO 24" BELOW FINISHED GRADE. CONSULT WITH ENGINEER FOR DEMOLITION REQUIREMENTS FOR AREAS WITHIN THE PROPOSED BUILDING FOOTPRINT.
 10. ALL WORK PERFORMED TO CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF CONCORDS CONSTRUCTION STANDARDS.
 11. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND FOR CONSTRUCTION SEQUENCING NOTES.
 12. CONTRACTOR WILL NOTIFY OWNER, ENGINEER, AND ARCHITECT IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 13. CONTRACTOR WILL PROTECT ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 14. CONTRACTOR WILL PROTECT ALL SITE FEATURES OUTSIDE LIMIT OF WORK SHOWN HEREON. CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO EXISTING SITE FEATURES AND ALL COSTS ASSOCIATED WITH REPLACEMENT OR REPAIR WILL BE BORNE BY THE CONTRACTOR.
 15. DEMOLITION/REMOVAL OF EXISTING STORMWATER STRUCTURES AND PIPING WILL BE CONDUCTED DRY CONDITIONS TO THE EXTENT PRACTICAL. INSTALLATION OF NEW STRUCTURES AND PIPE WILL BE CONDUCTED PRIOR TO DEMOLITION TO THE EXTENT PRACTICAL.
 16. PRIOR TO THE START OF CONSTRUCTION AND ISSUANCE OF ANY PERMITS, A PRE-CONSTRUCTION MEETING WILL BE HELD WITH CITY OF CONCORD ENGINEERING SERVICES TO DISCUSS SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULE, ETC.



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3/3/2022

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FOR
CONSTRUCTION

**GRAPPONE
MAZDA**

134 MANCHESTER STREET
CONCORD, NH

OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

NO.	DATE	REVISIONS
1	03/03/2022	RESPONSE TO CITY COMMENTS

0 30' 60'

GRAPHIC SCALE

DATE: DECEMBER 15, 2021

NOBIS PROJECT NO. 100180.000

DRAWN BY: MGD

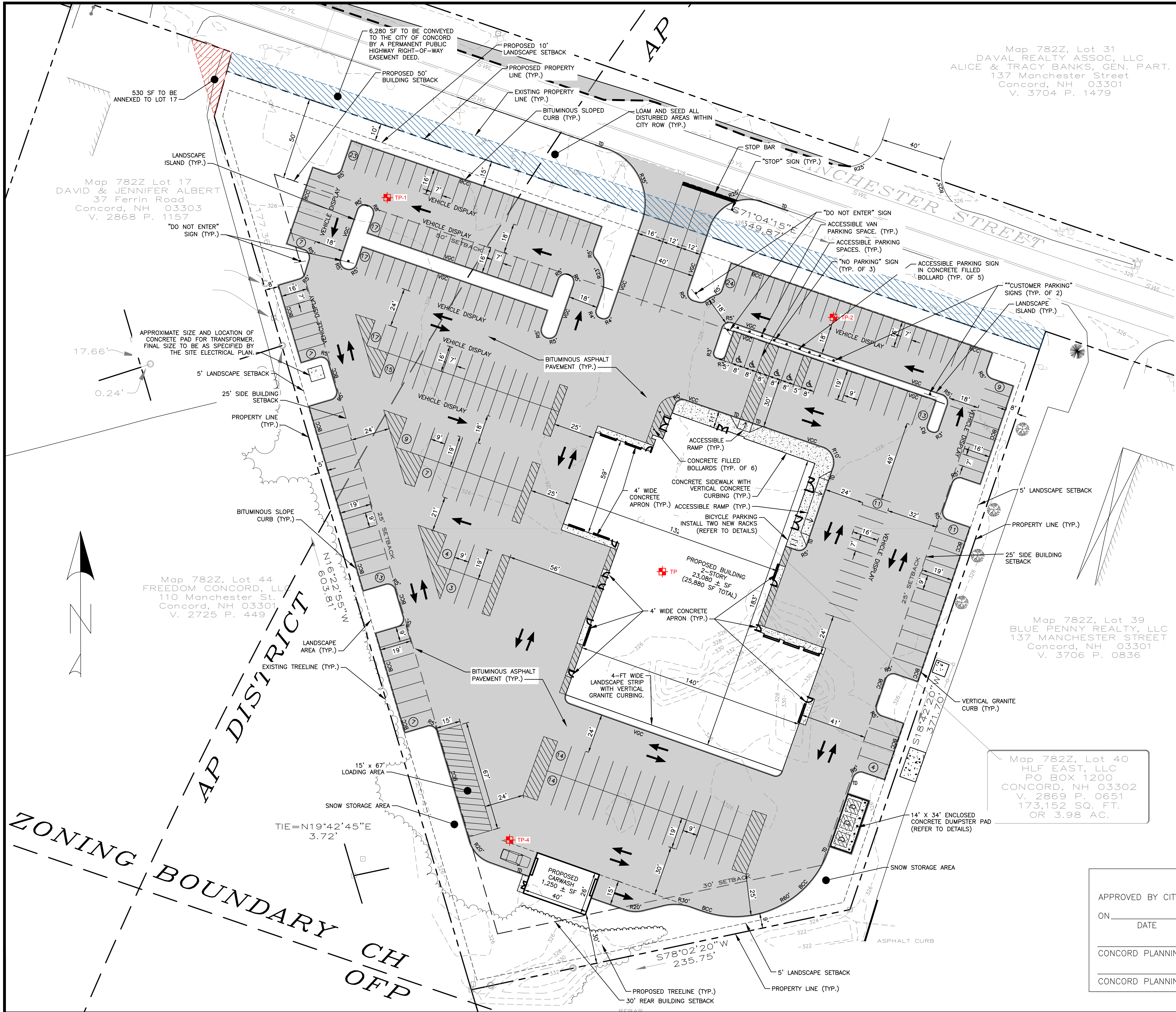
CHECKED BY: JCN

CAD DRAWING FILE: 100180.000-C-100-DEMO.dwg

SHEET TITLE

**DEMOLITION
PLAN**

SHEET
C-1



NOTES:

1. THE PURPOSE OF THIS PLAN IS TO DEPICT THE SITE LAYOUT FOR THE PROPOSED CONSTRUCTION OF A NEW MAZDA DEALERSHIP, SERVICE BAYS, AND CARWASH.
2. ALL BUILDING AND SITE CONSTRUCTION TO COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITY ACT (ADA) 2010 EDITION.
3. DIMENSIONS SHOWN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR TO USE CAUTION WHEN SCALED REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND / OR SPECIFICATIONS, THE ENGINEER WILL BE NOTIFIED BY THE CONTRACTOR.
4. (NO) JURISDICTIONAL WETLANDS WERE FOUND ON THE SUBJECT PARCEL BASED ON AN INSPECTION MADE BY STONEY RIDGE ENVIRONMENTAL, LLC CERTIFIED WETLAND SCIENTIST ON NOVEMBER 11, 2021.
5. PROPOSED BUILDING WILL BE SERVICED BY MUNICIPAL WATER AND SEWER.
6. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
7. A MANDATORY PRE-CONSTRUCTION MEETING WILL NEED TO BE HELD PRIOR TO ISSUANCE OF ANY PERMITS TO DISCUSS INSPECTION FEES, CONSTRUCTION SCHEDULE, ETC.
8. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
9. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
10. TEST PITS PERFORMED BY STONEY RIDGE ENVIRONMENTAL, ON NOVEMBER 11, 2021.
11. ADDITIONAL SNOW STORAGE TO BE PROVIDED WITHIN THE VEHICLE INVENTORY AREAS AND WILL BE REMOVED OFF SITE IF NECESSARY.
12. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.
13. REFER TO THE SOURCE CONTROL AND SPILL CONTROL AND COUNTERMEASURES PLAN INCLUDED WITH THE STORMWATER MANAGEMENT PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) INCORPORATED HEREIN BY REFERENCE.

PLAN REFERENCES:

1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "EXISTING CONDITIONS PLAT LAND OF HLF EAST, LLC," DATED DECEMBER 2021, PROVIDED TO NOBIS GROUP, BY RICHARD D. BARTLETT & ASSOCIATES, LLC.
2. BUILDING FOOTPRINT REPRESENTS (1ST FLOOR) PROVIDED TO NOBIS GROUP, BY WARRENSTREET ARCHITECTS ON DECEMBER 10, 2021. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.

ZONING ANALYSIS

TAX MAP/BLOCK/LOT:	MAP 782Z LOT 40	
ADDRESS:	134 MANCHESTER STREET CONCORD, NH	
ZONING DISTRICT:	HIGHWAY COMMERCIAL DISTRICT (CH) AQUIFER PROTECTION DISTRICT (AP)	
MINIMUM LOT AREA	EXISTING 40,000 SF	PROPOSED 173,152 SF
MINIMUM LOT FRONTAGE	EXISTING 200'	PROPOSED 550'
GROUND COVERAGE	EXISTING 10,315 SF	PROPOSED 25,058 SF
BUILDINGS	EXISTING 98,677 SF	PROPOSED 105,348 SF
PARKING/LOADING AREAS	EXISTING 471 SF	PROPOSED 2,644 SF
CONCRETE/SIDEWALKS	EXISTING 109,463 SF (63%)	PROPOSED 133,050 SF (80.0%)
TOTAL IMPERVIOUS (LOT COV.):	EXISTING 3,407 SF (3.4%)	PROPOSED 6,008 SF (5.6%)
INTERIOR LANDSCAPING (MIN 5% OF PARKING/LOADING AREAS)	EXISTING 50'	PROPOSED 30'
BUILDING SETBACKS REQUIRED	EXISTING 50'	PROPOSED 30'
FRONT YARD	EXISTING 30'	PROPOSED 25'
SIDE YARD	EXISTING 30'	PROPOSED 25'
REAR YARD	EXISTING 30'	PROPOSED 25'
PARKING SETBACKS REQUIRED	EXISTING 10'	PROPOSED 5'
FRONT YARD	EXISTING 5'	PROPOSED 5'
SIDE YARD	EXISTING 5'	PROPOSED 5'
REAR YARD	EXISTING 5'	PROPOSED 5'

REQUIRED PARKING SPACES
PROJECT CLASSIFICATION = SALE OR RETAIL OF MOTOR VEHICLES:
1 SPACE PER 600 SF GROSS FLOOR AREA PLUS 1 PER 3,000 SF OUTSIDE DISPLAY AREA PLUS 4 PER REPAIR BAY

REPAIR	BAYS	REQ. SPACES	TOTAL
	16	4 PER BAY	64
GROSS SALES	GROSS AREA	REQ. SPACES	TOTAL
10,443 SF	16,686 SF	1 PER 600 SF	18
OUTSIDE DISPLAY		1 PER 3,000 SF	6
CAR WASH		MIN OF 2	2
TOTAL SPACES:	90	90	
ACCESSIBLE SPACES:	4	5	
DISPLAY SPACES (7' X 16')		156	
STANDARD SPACES (9' X 19')		90	

* ANNEX 530 SF TO LOT 17 AND 6,280 SF TO THE CITY OF CONCORD.

PLANNING BOARD APPROVAL

APPROVED BY CITY OF CONCORD, NH PLANNING BOARD

ON _____
DATE

CONCORD PLANNING BOARD CHAIR

DATE

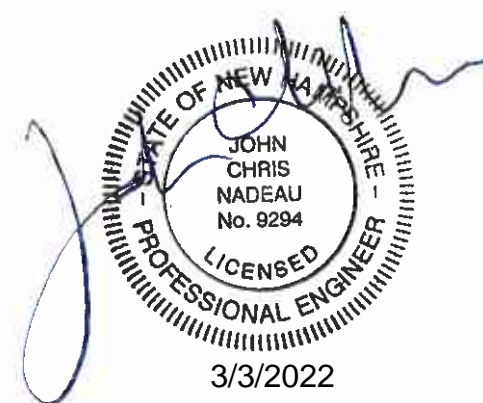
CONCORD PLANNING BOARD CLERK

DATE



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**GRAPPONE
MAZDA**

134 MANCHESTER STREET
CONCORD, NH

OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

NO.	DATE	REVISIONS
1	03/03/2022	RESPONSE TO CITY COMMENTS

DATE:	DECEMBER 15, 2021
NOBIS PROJECT NO.	100180.000
DRAWN BY:	MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100180.000-c-200-site.dwg
SHEET TITLE	

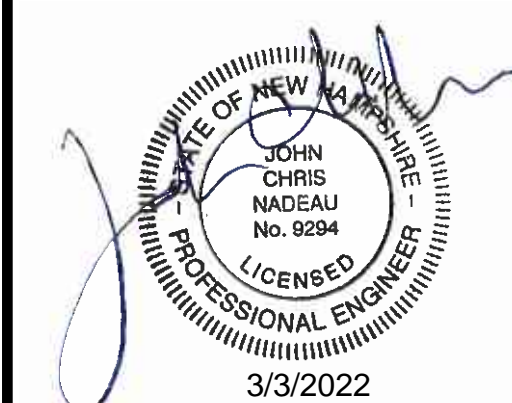
**PROPOSED SITE
PLAN**

SHEET

C-2



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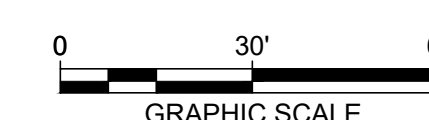
GRAPPONE
MAZDA

134 MANCHESTER STREET
CONCORD, NH

OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

	03/03/2022	RESPONSE TO CITY COMMENTS
NO.	DATE	DESCRIPTION

REVISIONS



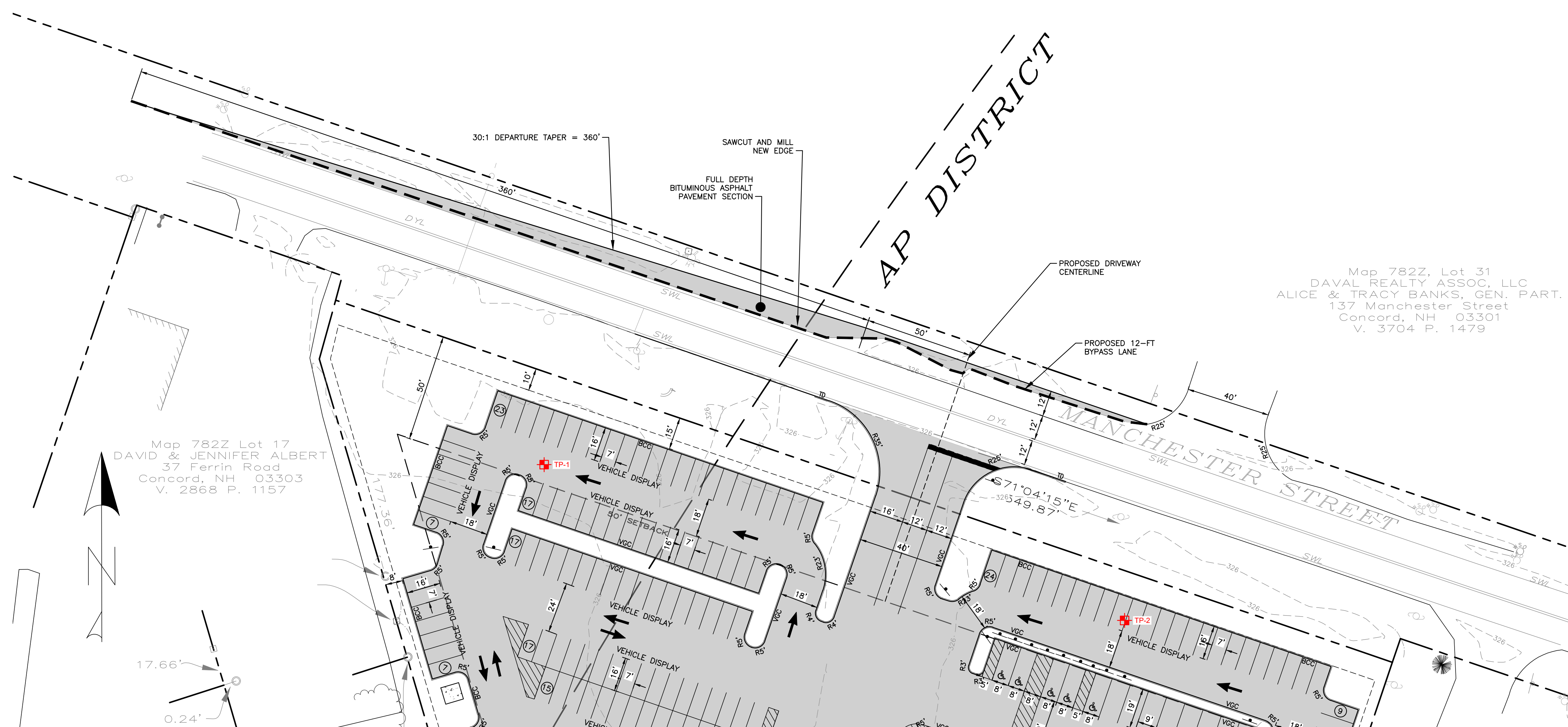
DATE:	DECEMBER 15, 2021
NOBIS PROJECT NO.	100180.000
DRAWN BY:	MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100180.000-c-200-site.dwg

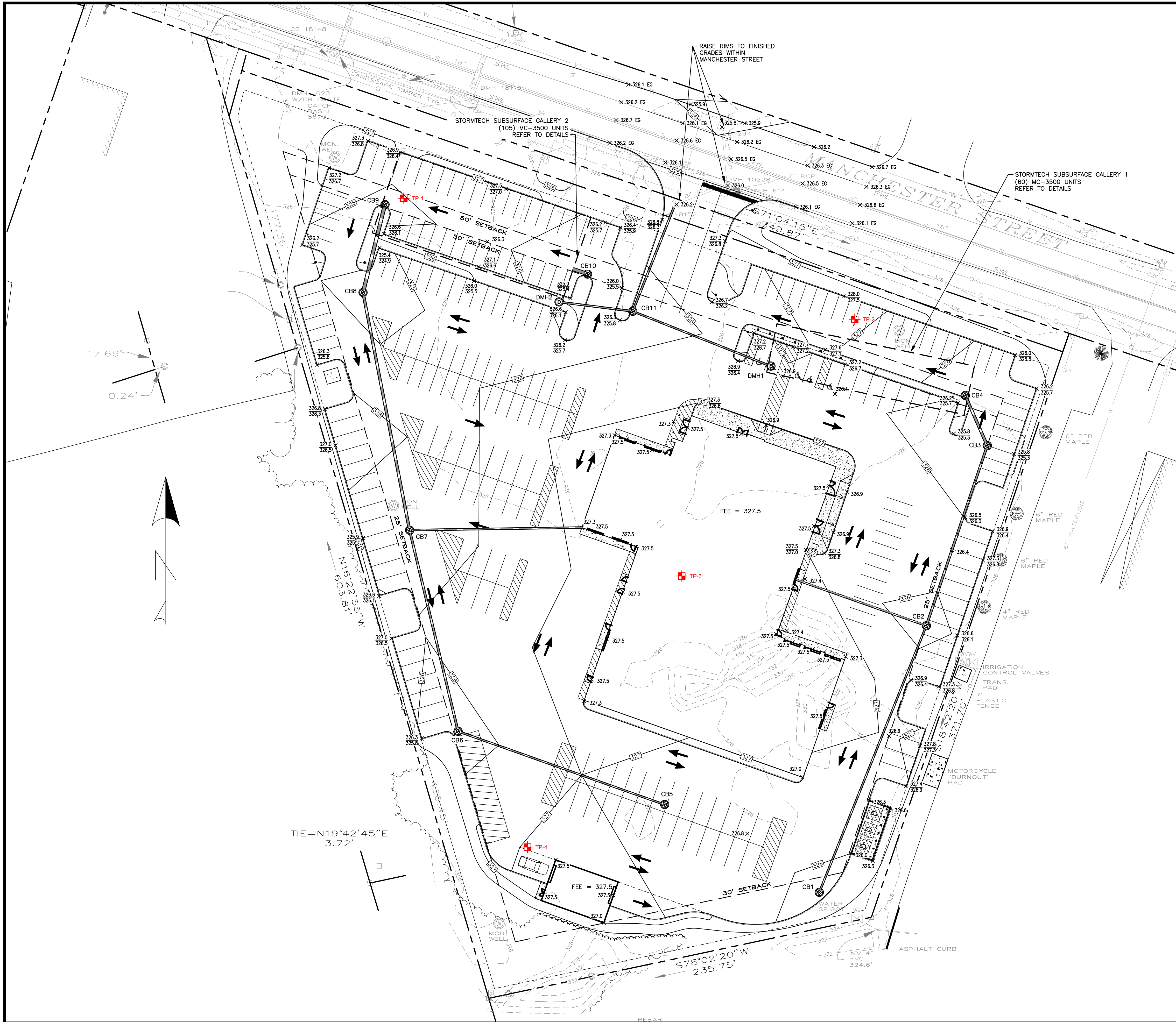
SHEET TITLE

PROPOSED SITE PLAN

SHEET

C-2.1




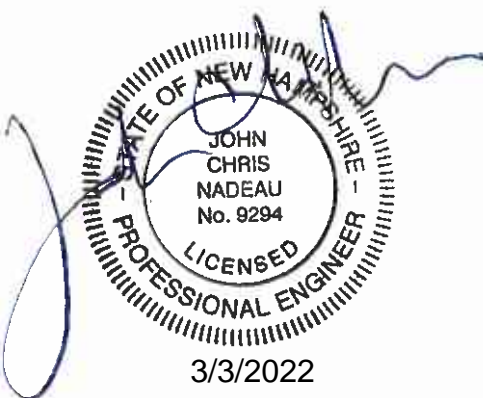


- NOTES:
1. REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
 2. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 3. CONTRACTOR WILL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
 4. SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
 5. STONE DRIP EDGE PIPING WILL BE CONNECTED TO THE CLOSED DRAINAGE SYSTEM.
 6. FINISH WALK AND CURB ELEVATIONS WILL BE 6" ABOVE FINISH PAVEMENT.
 7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.
 8. LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
 9. ALL WORK ON SITE, ALL UTILITY WORK AND ALL WORK WITH CITY R.O.W. WILL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD SPECIFICATIONS, LATEST EDITION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR WILL COORDINATE WORK WITH THE CITY FIRE, POLICE, AND COMMUNITY DEVELOPMENT DEPARTMENTS.
 11. ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER WILL BE OVERLaid WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
 12. REFER TO SHEET G-1 FOR GENERAL NOTES AND LEGEND.

DRAINAGE SCHEDULE

CB1 RIM = 325.6 INV. IN = 321.6 INV. OUT = 321.6 L = 169 LF 12" HDPE (TO CB2) S = 0.005 FT/FT	CB2 RIM = 325.7 INV. IN = 320.7 (12" HDPE) INV. IN = 320.7 (ROOF DRAIN) INV. OUT = 320.45 L = 111 LF 15" HDPE (TO CB3) S = 0.005 FT/FT	CB3 RIM = 325.0 INV. IN = 319.9 INV. OUT = 319.65 L = 29 LF 18" HDPE (TO CB4) S = 0.005 FT/FT	CB4 (TO STORMTECH GALLERY 1) RIM = 325.5 INV. IN = 319.5 INV. OUT = 319.35 (12" MANIFOLD) INV. OUT = 317.3 (24" ISOLATOR ROW)	DMH1 (4" DIA. STRUCTURE) RIM = 326.8 INV. IN = 319.35 (12" MANIFOLD) INV. OUT = 320.9 L = 86 LF 12" HDPE (TO CB11) S = 0.006 FT/FT	CB5 RIM = 326.2 INV. OUT = 322.2 L = 128 LF 12" HDPE (TO CB6) S = 0.006 FT/FT	CB6 RIM = 325.4 INV. IN = 321.4 INV. OUT = 321.15 L = 121 LF 15" HDPE (TO CB7) S = 0.005 FT/FT	CB7 RIM = 325.0 INV. IN = 320.8 (ROOF DRAIN) INV. IN = 320.55 INV. OUT = 320.3 L = 142 LF 18" HDPE (TO CB8) S = 0.006 FT/FT	CB8 RIM = 324.6 INV. IN = 319.5 INV. OUT = 319.0 L = 51 LF 24" HDPE (TO CB9) S = 0.006 FT/FT	CB9 (TO STORMTECH GALLERY 2) RIM = 325.7 INV. IN = 318.7 INV. OUT = 319.05 (12" MANIFOLD) INV. OUT = 317.0 (24" ISOLATOR ROW)	CB10 (TO STORMTECH GALLERY 2) RIM = 325.0 INV. OUT = 319.05 (12" MANIFOLD) INV. OUT = 317.0 (24" ISOLATOR ROW)	DMH2 (4" DIA. STRUCTURE) RIM = 326.3 INV. IN = 319.05 (12" MANIFOLD) INV. OUT = 320.6 L = 41 LF 12" HDPE (TO CB11) S = 0.005 FT/FT	CB11 RIM = 325.5 INV. IN (DMH1) = 320.4 INV. IN (DMH2) = 320.4 INV. OUT = 320.3 L = 65 LF 12" RCP (TO EX DMH 18152) S = 0.006 FT/FT	EX DMH 18152 (4" DIA. STRUCTURE) RIM = 326.3 (RAISE RIM TO GRADE) INV. IN = 320.2 (EXISTING PLUG) INV. IN = 319.9 (CORE NEW HOLE)" INV. OUT = 319.81 (EXISTING 8" CLAY)	*STRUCTURE MUST BE REPLACED IF CITY SPECIFICATION CANNOT BE MET: MINIMUM 12-INCH INSIDE SURFACE BETWEEN HOLES AND NOT MORE THAN 75% OF HORIZONTAL CROSS-SECTION MAY BE HOLES.
--	--	--	---	---	---	---	---	---	---	---	---	---	---	---


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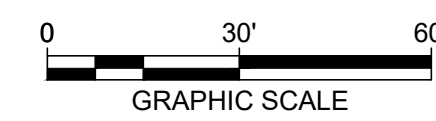


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MAZDA
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CONCORD, NH
OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

NO.	DATE	DESCRIPTION
	03/03/2022	RESPONSE TO CITY COMMENTS

REVISIONS



DATE:	DECEMBER 15, 2021
NOBIS PROJECT NO.	100180.000
DRAWN BY:	MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100180.000-C-300-G&D.dwg

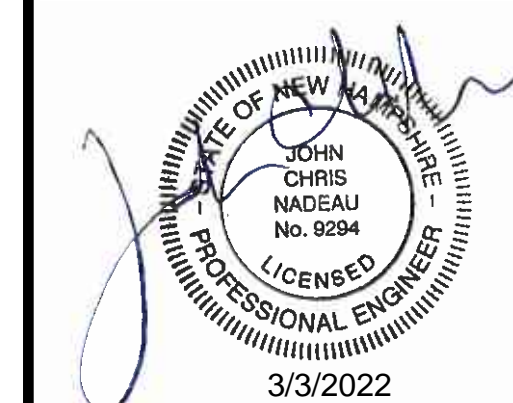
SHEET TITLE

GRADING AND
DRAINAGE

SHEET
C-3



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MAZDA

134 MANCHESTER STREET
CONCORD, NH

OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

[illegible]

REVISIONS

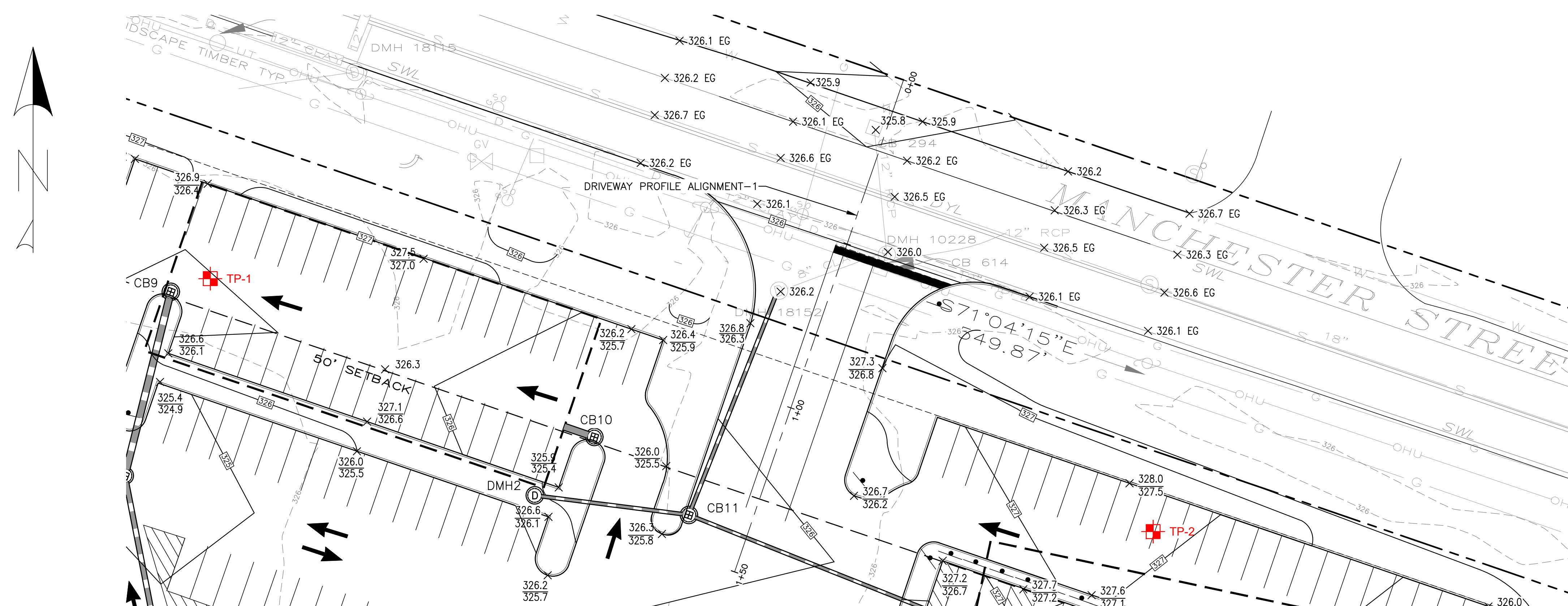
DATE:	DECEMBER 15, 202
NOBIS PROJECT NO.	100180.000
DRAWN BY:	MGD
CHECKED BY:	JCN
CAD DRAWING FILE:	100180.000-C-300-G&D.dwg

SHEET TITLE

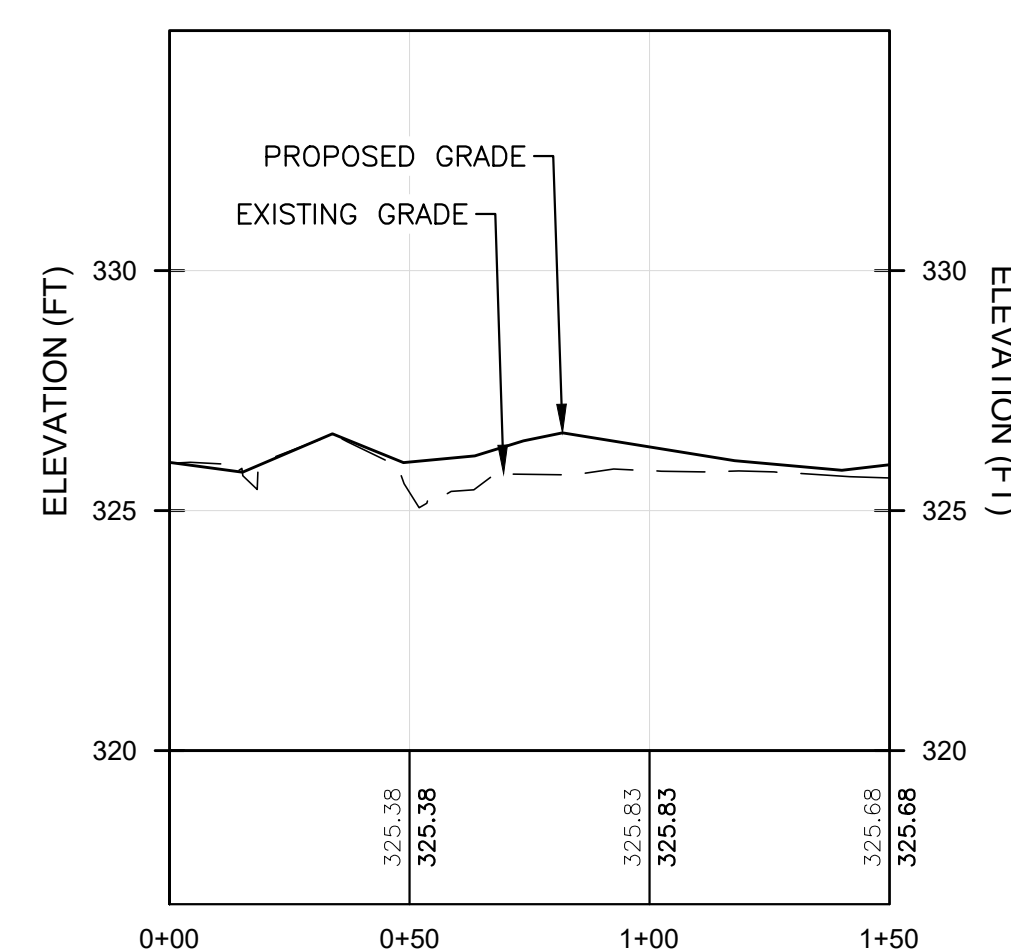
DRIVEWAY PROFILE PLAN

SHEET

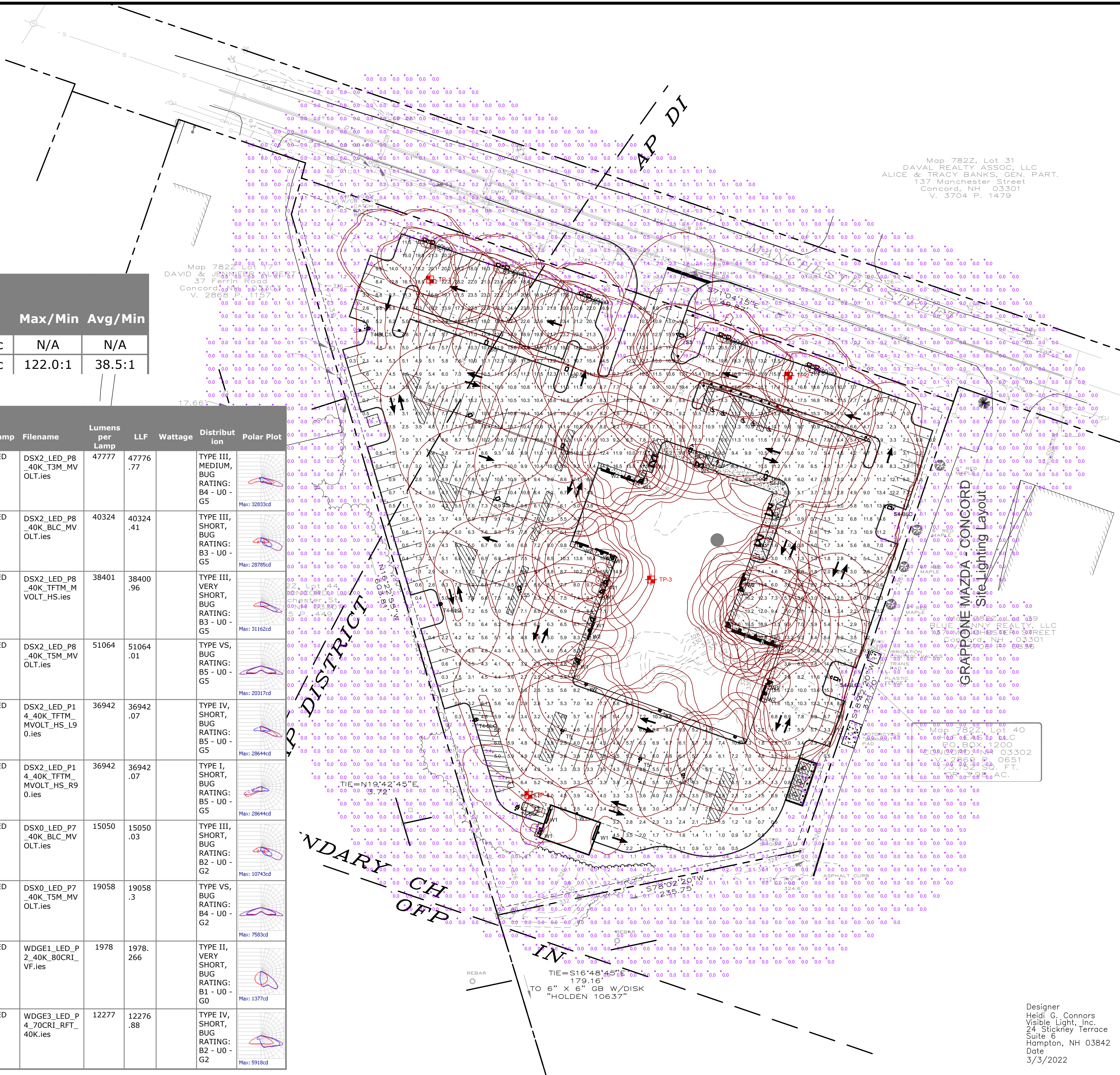
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DRIVEWAY PROFILE
PLAN VIEW
SCALE: 1" = 20'

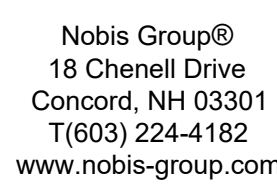


DRIVEWAY PROFILE
ALIGNMNET 1
HORIZ. SCALE: 1" = 40'
VERT. SCALE: 1" = 4'



Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.6 fc	23.1 fc	0.0 fc	N/A	N/A
Parking Lot	⊕	7.7 fc	24.4 fc	0.2 fc	122.0:1	38.5:1

Designer
Heidi G. Connors
Visible Light, Inc.
24 Stickney Terrace
Suite 6
Hampton, NH 03842
Date
3/3/2022



OWNER/APPLICANT:
HLF EAST, LLC
506 ROUTE 3A
BOW, NH

0 40' 80'

GRAPHIC SCALE

SHEET
L-1


Jonathan Halle, AIA, PLA
Architect & Landscape Architect

27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

CIVIL ENGINEER
NOBIS GROUP
18 CHENELL DRIVE,
CONCORD, NH 03301

134 MANCHESTER STREET,
CONCORD, NH 03301



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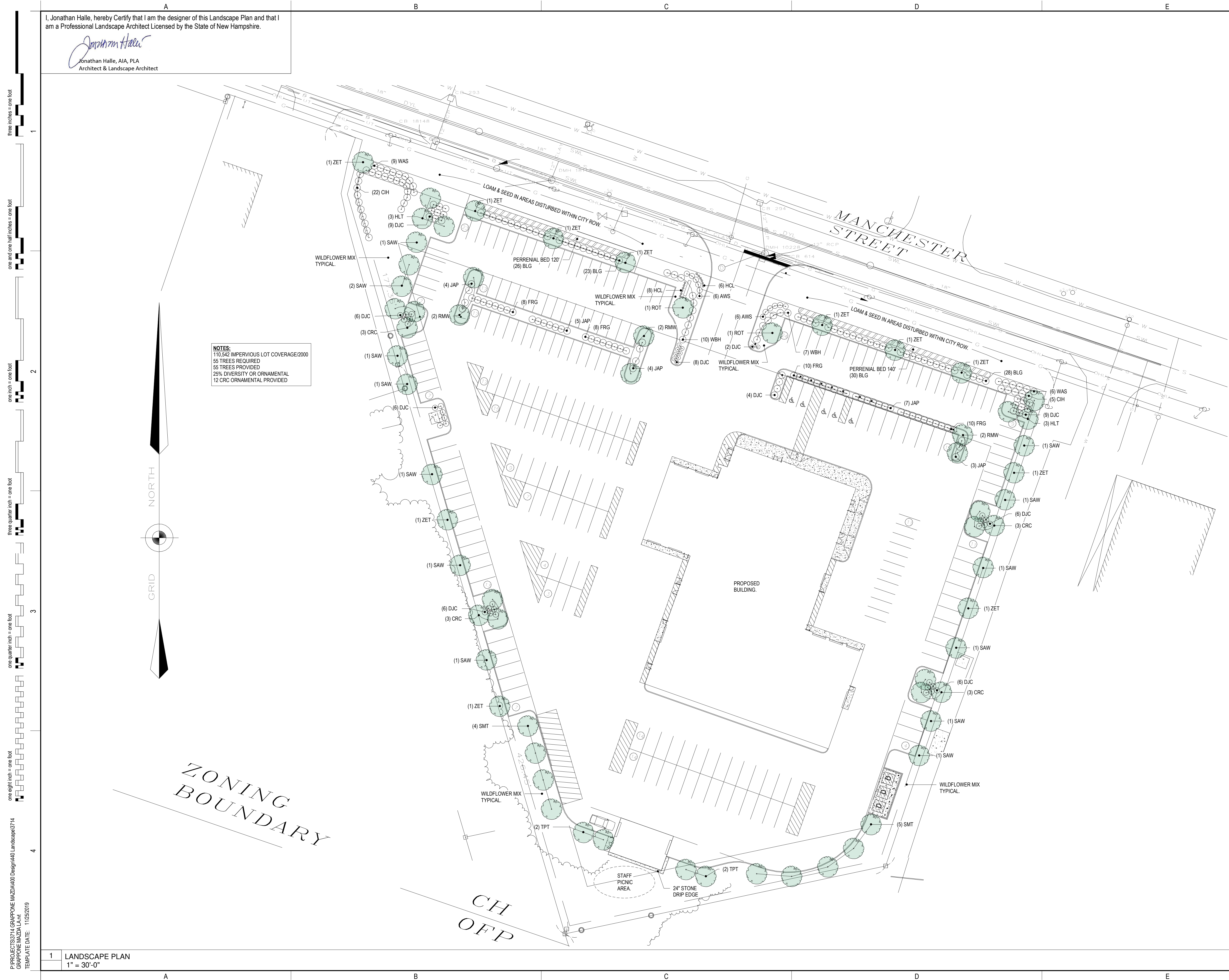
LANDSCAPE PLAN

LA101

SHEET NUMBER: 1 OF 8 LANDSCAPE

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Planting Schedule																
Trees, Shrubs, Ground Cover, Flowers, Bedding and Seeding - See Specification, General Notes and Details on the Accompanying Drawings.																
USDA Plant Hardiness Zones - NH North of Laconia Zone 4 - Southern NH Zone 5 - Western Massachusetts Zone 5, - Eastern Massachusetts Zone 6																
Photo	Type	Sym	Qty	Common Name	Botanical Name	Hardiness Zone	Habit of Growth		Sun Exposure	Drought Tolerant	Native New England	Toxicity	Installed Size	Type	Use	
							Height	Spread								
	Deciduous Flowering Shrubs	AWS	12	Blue Wild Indigo	Baptisia Australis	4-9	3-5'	3-5'	Full-Partial Sun	YES	YES	1	3 Gal	CTN	NA	
	Grasses	BLG	59	Little Bluestream Ornamental Grass	Schizachyrium scoparium 'the blues'	3-9	2-3'	2'	Full-Partial Sun	YES	YES	NO	3 Gal	CTN	NA	
	Evergreen Shrub	CIH	28	Weigela	Weigela	4-8	3-5'	3-5'	Full-Partial Sun	YES	NO	NO	3 Gal	CTN	NA	
	Deciduous Ornamental	CRC	12	Canada Red Choke Cherry	Prunus virginia 'Canada Red'	2-9	20-25'	15-20'	Sun Partial Shade	YES	NO	1	3"-3 1/2" cal 10-12ft	B&B	Street Tree	
	Evergreen Low Ground Cover	DJC	62	Moss Creeping Phlox	Phlox Subulata	3-9	6-12"	24"	Full Sun	YES	YES	NO	3 Gal	CTN	NA	
	Grasses	FRG	36	Feather Reed Grass	Calamagrostis 'x' acutiflora 'Karl Foerster'	4-9	18-24"	4-6'	Full Sun	YES	NO	NO	3 Gal	CTN	NA	
	Perennial	HCL	8	Hidecoat Lavendar	Lavandula angustifolia	5-9	18-24"	18-24"	Full Sun	YES	NO	4	1 yr. potted	1 gal.	NA	
	Deciduous Large Tree	HLT	6	Yellow Imperial Thornless Honey Locust	Gleditsia triacanthos var. inermis 'Shademaster'	3-9	30-70'	30-70'	Full Sun	YES	YES	1 to horses only	3"-3 1/2" cal 10-12ft	B&B	Street Tree	
	Evergreen Low Ground Cover	JAP	23	Juniper Andorra	(J. Horizontalis 'Plumosa')	5-9	18"	4'	Full-Partial Sun	YES	YES	2	5 Gal 18"-24"	CTN	NA	
	Deciduous Large Tree	RMW	6	Walter Columnar Red Maple	Acer Rubrum Walter Columnar	3-9	60'	4-8'	Full Sun	YES	YES	2	3"-3 1/2" cal 10-12ft	B&B	Accent Street Tree	
	Deciduous Large Tree	ROT	2	Northern Red Oak	Quercus rubra	4-8	50-75'	50-75'	Full Sun	YES	YES	4	3"-3 1/2" cal 10-12ft	B&B	Street Tree	
	Deciduous Large Tree	SAW	14	Sawtooth Oak Tree	Quercus acutissima	5-9	40-60'	40-60'	Full Sun	YES	NO	4	3"-3 1/2" cal 10-12ft	B&B	Street Tree	
	Seed Lawns	SFL	TBD	Wildflower	Northeast Wildflower Seed mix by American Meadows, Sku # AM016988 11b/1500sf @ 26.95\$/lb	3-9	24"	NA	Full Sun	YES	YES	NO	Seed Mix	—	NA	
	Deciduous Large Tree	SMT	9	Sugar Maple	Acer saccharum	3-8	55-75'	30-50'	Full Sun	YES	YES	3 to horses only	3"-3 1/2" cal 10-12ft	B&B	Shade Tree	
	Deciduous Large Tree	TPT	4	Tulip Poplar Tree	Liriodendron tulipifera	4-9	70'	30-40'	Full Sun	NO	YES	3 to pets only		B&B	Street Tree	
	Deciduous Flowering Shrubs	WAS	15	Tick Seed	Coreopsis 'Lightning Bug'	4-10	12"	15"	Full Sun	YES	YES	NO	3 Gal	CTN	NA	
	Evergreen Shrub	WBH	24	Wintergreen Boxwood Hedge	M. Wintergreen	5-9	3'-4'	4'-6'	Full-Partial Sun	YES	NO	1	5 Gal	B&B	NA	
	Deciduous Large Tree	ZET	7	Zelkova Tree	Zelkova serrata	5-8	50-80'	50-75'	Full Sun	YES	NO	NO	3"-3 1/2" cal 10-12ft	B&B	Street Tree	

three inches = one foot

one and one half inches = one foot

one inch = one foot

three quarter inch = one foot

one quarter inch = one foot

one eighth inch = one foot

1











2

3

4

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11/25/2019

MANCHESTER STREET PERENNIAL BEDS															
	Perennial	AMY	40	Moonshine' Yarrow	Achillea Moonshine	3-9	18"	24"	Full Sun	YES	YES	2	1 yr. potted	1 gal.	NA
	Perennial	AAA	50	Astilbe Amethyst	Astilbe x arendsii 'Amethyst'	4-8	24-36"	24"	Partial Sun-Full Shade	NO	NO	NO	1 yr. potted	1 gal.	NA
	Perennial	CHP	40	Coreopsis 'Hot Paprika'	Threadleaf Coreopsis, Tickseed	5-9	15-18"	20"	Full Sun	YES	YES	NO	1 yr. potted	2 qt.	NA
	Perennial	CRO	200	Crocus Mixed Bulbs Spring (6 count)	Crocus vernus and Crocus chrysanthus	3-8	3-5"	6"	Full Sun-Partial Shade	YES	NO	1	-	-	NA
	Perennial	DAF	200	Daffodil Mixed white yellow cream Bulbs Spring (6 count)	Daffodils (White, Yellow and Cream)	3-8	16-20"	12"	Full Sun-Partial Shade	YES	NO	1	-	-	NA
	Perennial	DPD	40	Daylily Purple dOro	Hemerocallis flava - 'Purple doro'	3-9	12-24"	12"	Full-Partial Sun	YES	NO	1	1 yr. potted	2 qt.	NA
	Perennial	GBS	60	Goldstream Blackeyed Susan	Rudbeckia fulgida	3-9	2-3'	18-24"	Full-Partial Sun	YES	YES	3 to pets only	1 yr. potted	2 qt.	NA
	Perennial	HFS	200	Daylily	Hemerocallis flava - 'Stella De Oro Dwarf'	4-11	36"	18"	Full-Partial Sun	YES	NO	1	1 yr. potted	2 qt.	NA
	Perennial	TUL	200	Tulips mixed colors Bulbs Summer (6 count)	Tulipa triumph	3-8	2-28"	12"	Full Sun-Partial Shade	YES	NO	2	-	-	NA
	Perennial	GBS	60	Goldstream Blackeyed Susan	Rudbeckia fulgida	3-9	2-3'	18-24"	Full-Partial Sun	YES	YES	3 to pets only	1 yr. potted	2 qt.	NA
General Planting Notes															
1. The above selection of plants is provided for design intent. It is understood that the final installation and implementation of this plan is subject to plant availability, substitutions, time of year, phasing and cost.															
2. It is understood, that the majority of nursery plants are to some degree toxic to humans and pets, whether the root, stock, bark, leaf, fruit or juice. The owner and installer should become acquainted to the potential toxicity of the ultimate selection of all nursery plants. Warrenstreet has provided common toxicity labels of plant materials selected and in noway warranties against the potential affects of any plants selected and installed.															
3. All planting beds shall be mulched with a minimum of 2" of shredded cedar "BLACK" bark mulch. All sod and/or seeded lawn areas to have minimum 6" topsoil blanket. All fall bulbs shall be planted in the fall, plan accordingly, retainage will be held until plantings occur. All mass planted shrubs beds and planters around building shall have minimum 18" deep topsoil blanket to compensate for the New England very sandy granular sub-grade material.															
4. All plant material to conform to current AAN, American Standard for Nursery Stock, ANSI Z60.1-2014. All plantings shall be warranted for (1) one year from planting date. The landscape Contractor shall be responsible for two (2) lawn mowings and weedings prior to final acceptance of installation.															

WA

WARRENSTREET ARCHITECTS

27 Warren Street Concord NH 03301
T 603.225.0640 F 603.225.0621 www.warrenstreet.coop

CIVIL ENGINEER

NOBIS GROUP

18 CHENELL DRIVE,
CONCORD, NH 03301

PROJECT TITLE / ADDRESS:
GRAPPONE MAZDA

134 MANCHESTER STREET,
CONCORD, NH 03301

SCALE: AS NOTED DWN BY: CB
JOB #: 3714 CHK BY: JH

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PLANTING SCHEDULE

LA102

SHEET NUMBER: 2 OF 8 LANDSCAPE

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Jonathan Halle, AIA, PLA
Architect & Landscape Architect



ZONING
BOUNDARY

$$\frac{CH}{OFP}$$

MANCHESTER
STREET

CIVIL ENGINEER
NOBIS GROUP
18 CHENELL DRIVE,
CONCORD, NH 03301

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LOAM & SEED PLAN

LA103

SHEET NUMBER: 3 OF 8 LANDSCAPE

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