

APPLICATION FOR ARCHITECTURAL DESIGN REVIEW APPROVAL

CITY OF CONCORD, NH - PLANNING BOARD

GENERAL INFORMATION

OWNER'S NAME: Picnic Point Holdings LLC

STREET ADDRESS: 32 Commercial St.

CITY, STATE, & ZIP CODE: Concord, NH 03301

TELEPHONE #: 800-338-2238 EMAIL ADDRESS: ramarosa@tecedu.com

AGENT'S NAME (IF APPLICABLE): NA

STREET ADDRESS: _____

CITY, STATE, & ZIP CODE: _____

TELEPHONE #: _____ EMAIL ADDRESS: _____

APPLICATION FEE \$ 150.00

For the property being reviewed, please complete the following:

TYPE OF DESIGN REVIEW: ☐ SITE IMPROVEMENTS ☐ NEW CONSTRUCTION ☒ RENOVATION

PROPERTY ADDRESS: 32 Commercial St.

ABUTTING STREETS: Constitution Ave.

EXISTING LOT SIZE(S): .79 ACRES OR _____ SQUARE FEET

ASSESSOR'S MAP/BLOCK/LOT #(s): 594Z/Lot 7/ _____ / _____ / _____

ZONING DISTRICT(S): OCP

OVERLAY DISTRICTS (CHECK ALL THAT APPLY): N/A

HISTORIC (HI): _____ SHORELAND PROTECTION (SP): _____ FLOOD HAZARD (FH): _____

AQUIFER PROTECTION (AP): _____ PENACOOK LAKE WATERSHED PROTECTION (WS): _____

PROJECT DESCRIPTION

Please provide a brief description of your project in the space below.

Renovation to the south side of the existing building (Technology Education Concepts, Inc.) at 32 Commercial St. There is a canopy roof addition over a rebuilt entry stair and new ramp. Several exterior walls in the southeast corner of the building are intended to be removed to expose a portion of the original loading dock.



PROJECT NARRATIVE

December 15, 2021

Renovation to Technology Education Concepts, Inc.
32 Commercial St.
Concord, NH 03301

Technology Education Concepts, Inc. is an industrial, brick building with some wood cladding in selected locations. It is one-story in height with a spine of clearstory windows above a low-slope membrane roof. The south elevation of the building is intended for renovation by the Owner. This side of the building is clad in T-111 plywood (painted), translucent glazing panels, and some brick masonry. This side of the building contains a paved parking lot used for cars and delivery vehicles.

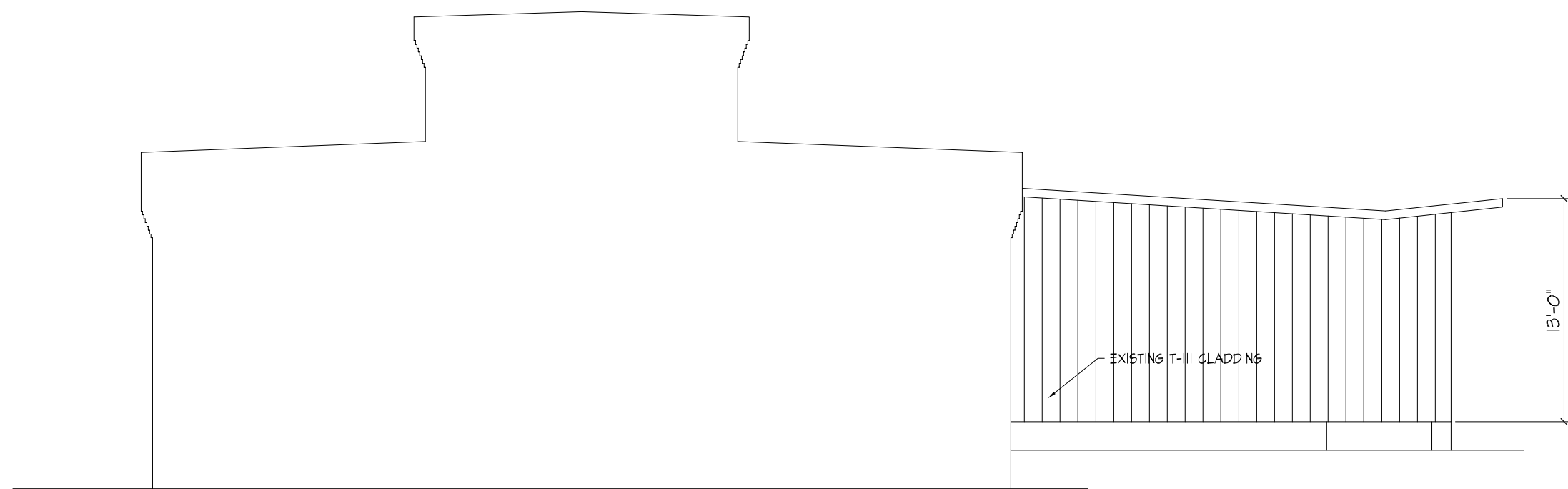
The owner wishes to remove the T-111 cladding and replace it with metal siding panels with a ribbed profile running in the horizontal direction, along with some flat MCM panels applied to the walls of the existing loading dock extension in the southwest corner. New translucent, fiberglass glazing panels are intended to replace the existing aged ones. The colors of the metal cladding have not been finalized as of yet, but will generally be as shown in the rendering views.

The existing wood entry stairs are intended to be replaced with poured in place concrete, along with an added concrete ramp with painted metal railings. A new canopy roof extension to the existing low-slope membrane roof at this location is intended to protect both the stair and the ramp from inclement weather. New metal roof fascia flashing will be installed along the existing and new roof edges of this side of the building.

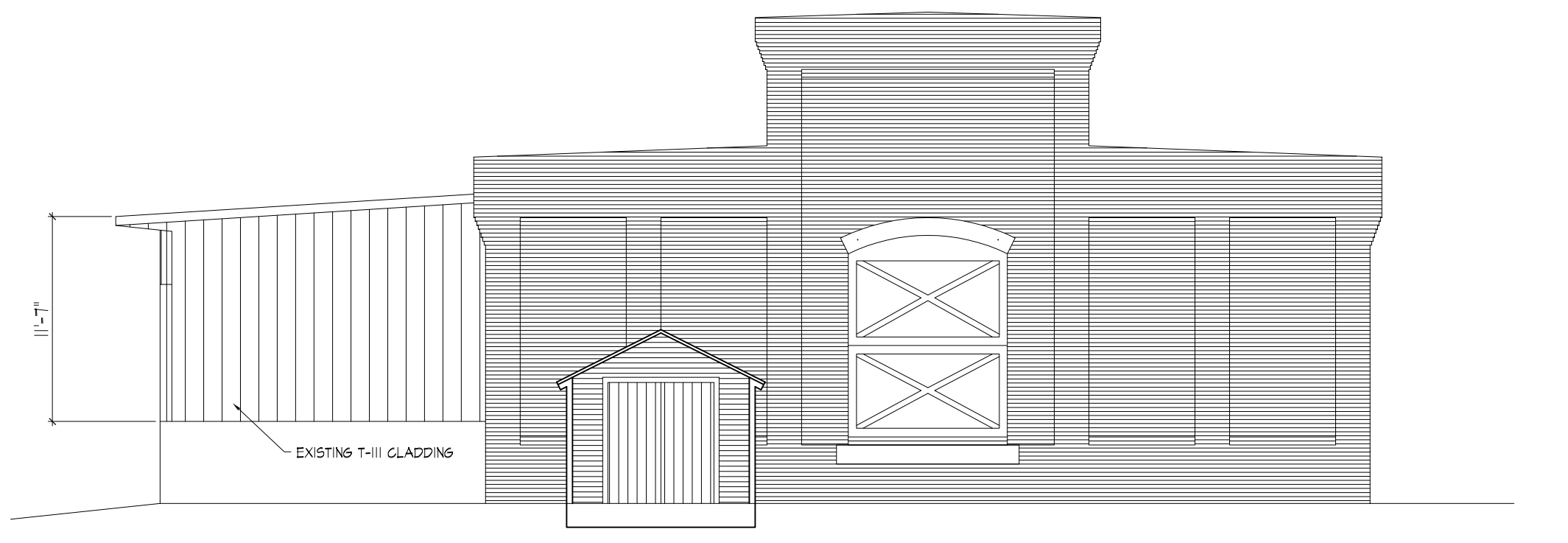
Part of the renovation scope includes removing exterior walls in the southeast corner of the building in order to expose the original exterior brick wall and crossbuck wood door, as well as a portion of the original loading dock. Removing these walls will also serve to visually step the building back at this vehicle entry corner of the site. A new guardrail will be added along the east and south sides of this newly exposed loading dock as the level is higher than 30" above the adjacent grade. A portion of the south side will be left open without rail for possible use as a loading dock in the future.

Respectfully submitted,

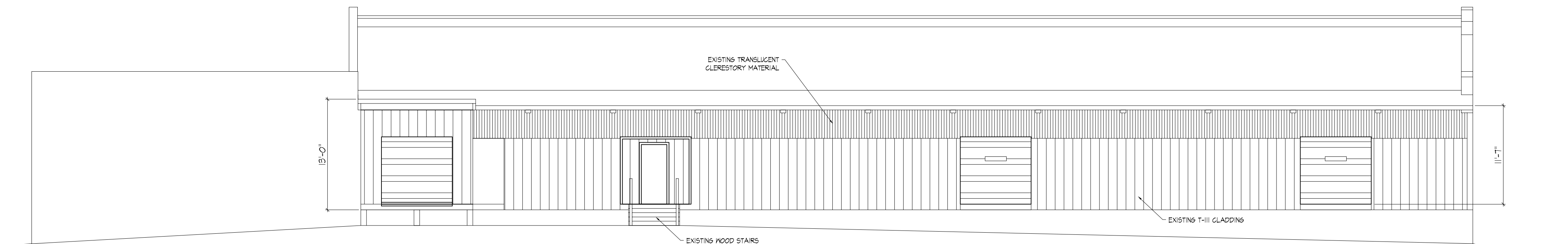
Gary L. Goudreau, AIA, LEED AP



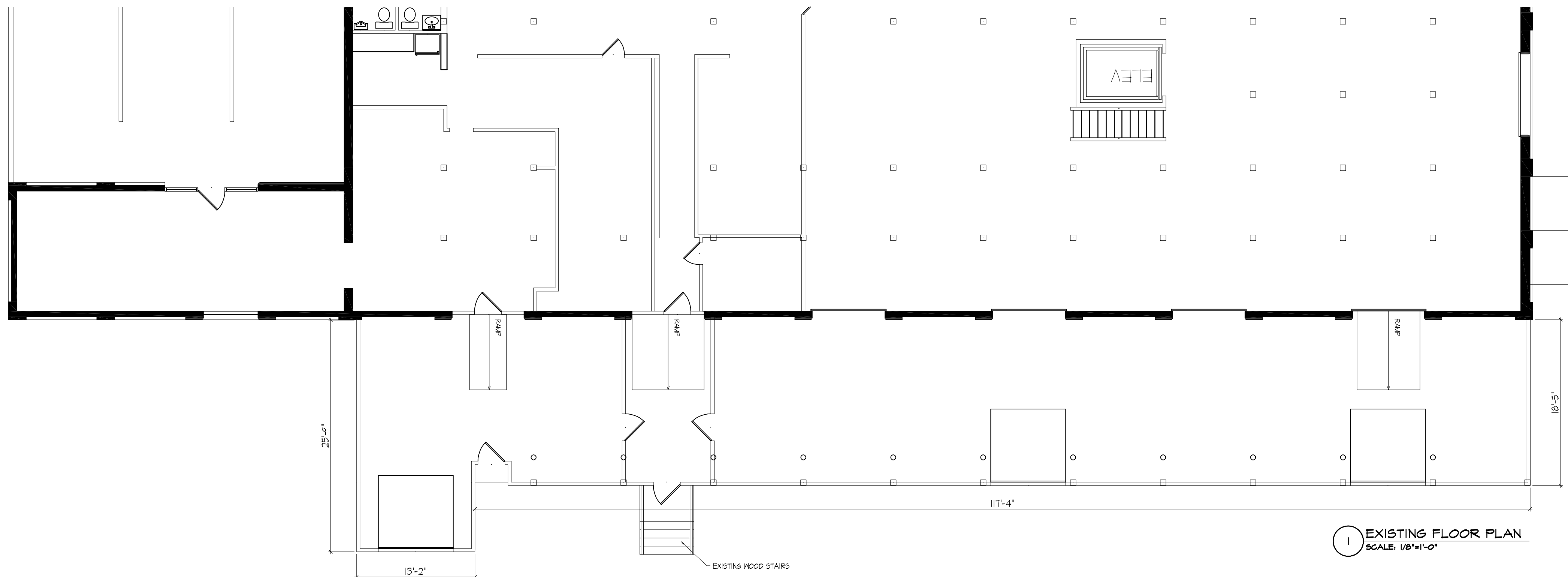
4 WEST ELEVATION-EXISTING
SCALE: 1/8"=1'-0"



3 EAST ELEVATION-EXISTING
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION-EXISTING
SCALE: 1/8"=1'-0"



1 EXISTING FLOOR PLAN
SCALE: 1/8"=1'-0"

SEAL:



5 Eagle Square
Concord, NH 03301
cgarchs.com

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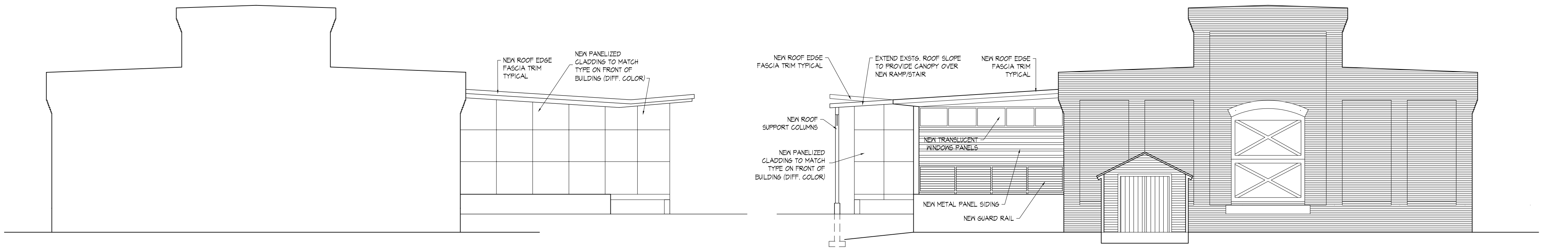
PROPOSED EXTERIOR RENOVATIONS
TECHNICAL EDUCATION CONCEPTS
32 COMMERCIAL ST., CONCORD, NH

REVISIONS:

TITLE:	EXSTG. PLAN & ELEVATIONS	DRAWN BY:	GLG	REVIEWED BY:	GLG
DATE:	12/15/21	REV:	-	SCALE:	AS NOTED
PHASE:	SCHEMATIC				

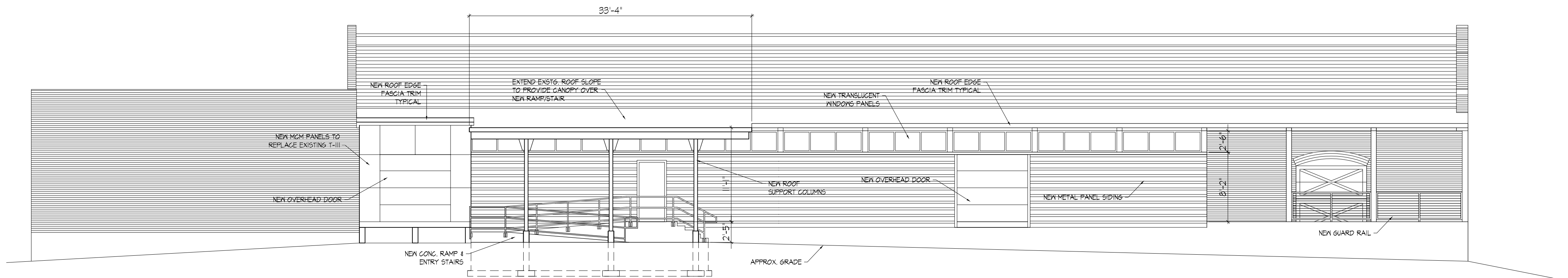
SHEET NO.

A1.01

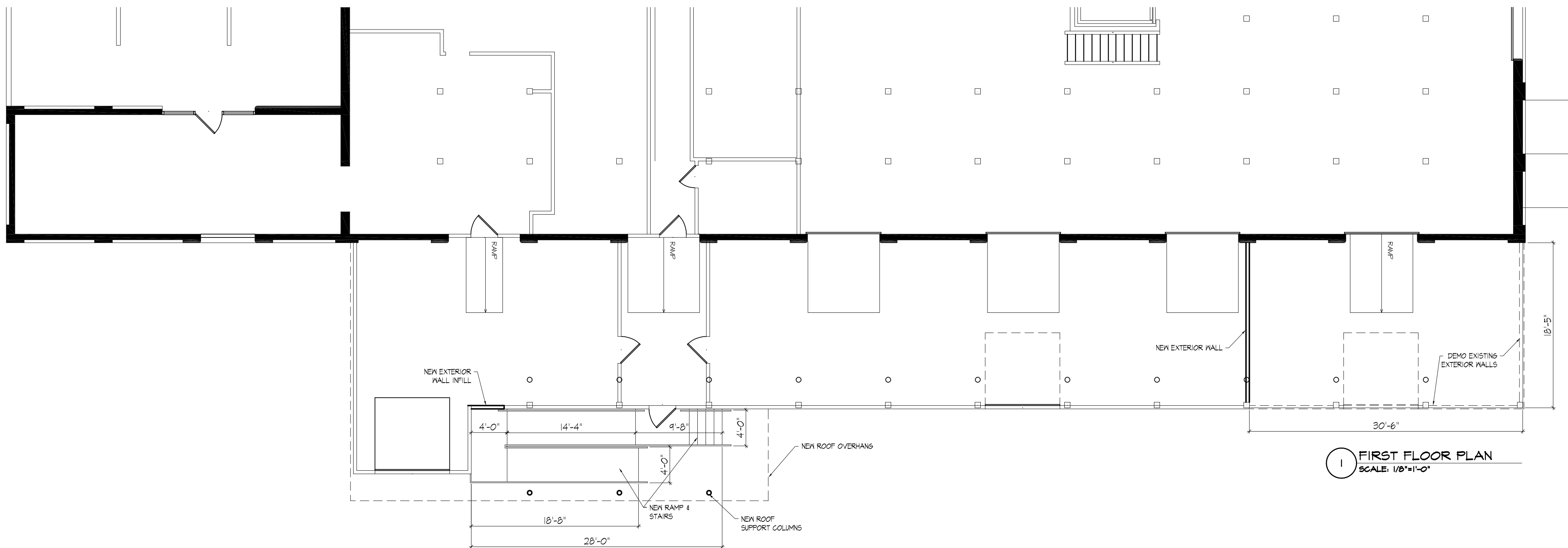


4 WEST ELEVATION
SCALE: 1/8"=1'-0"

3 EAST ELEVATION
SCALE: 1/8"=1'-0"

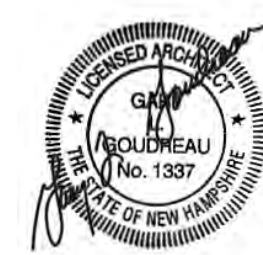


2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/8"=1'-0"

SEAL:



5 Eagle Square
Concord, NH 03301
cgarchs.com

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PROPOSED EXTERIOR RENOVATIONS
TECHNICAL EDUCATION CONCEPTS
32 COMMERCIAL ST., CONCORD, NH

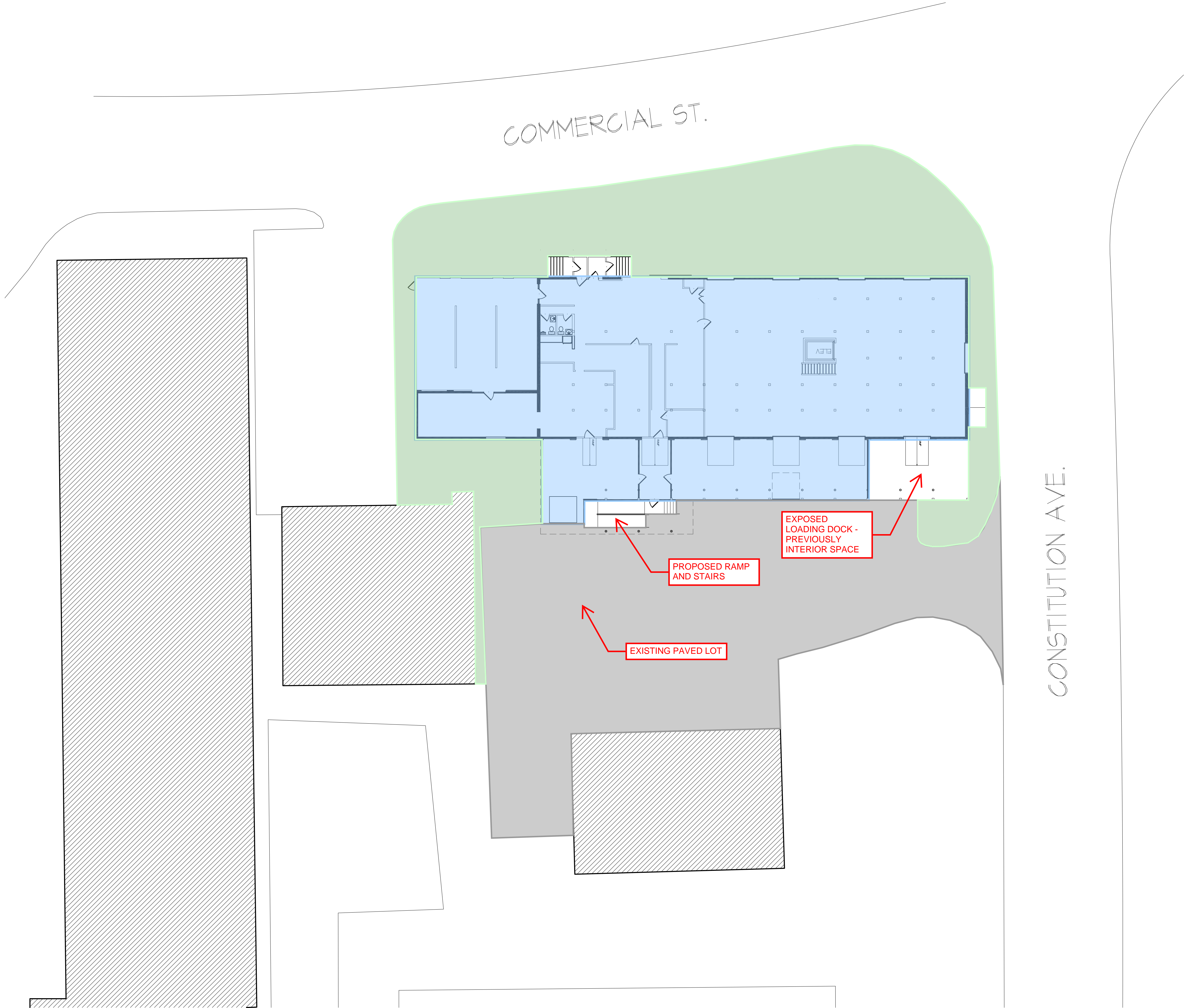
REVISIONS:

DRAWN BY: GLG
REVIEWED BY: GLG
DATE: 12/15/21
REV: -
SCALE: AS NOTED

TITLE: PLAN & ELEVATIONS
PHASE: SCHEMATIC

SHEET NO.

A1.02



SEAL:



5 Eagle Square
Concord, NH 03301
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PROPOSED EXTERIOR RENOVATIONS
TECHNICAL EDUCATION CONCEPTS
32 COMMERCIAL ST., CONCORD, NH

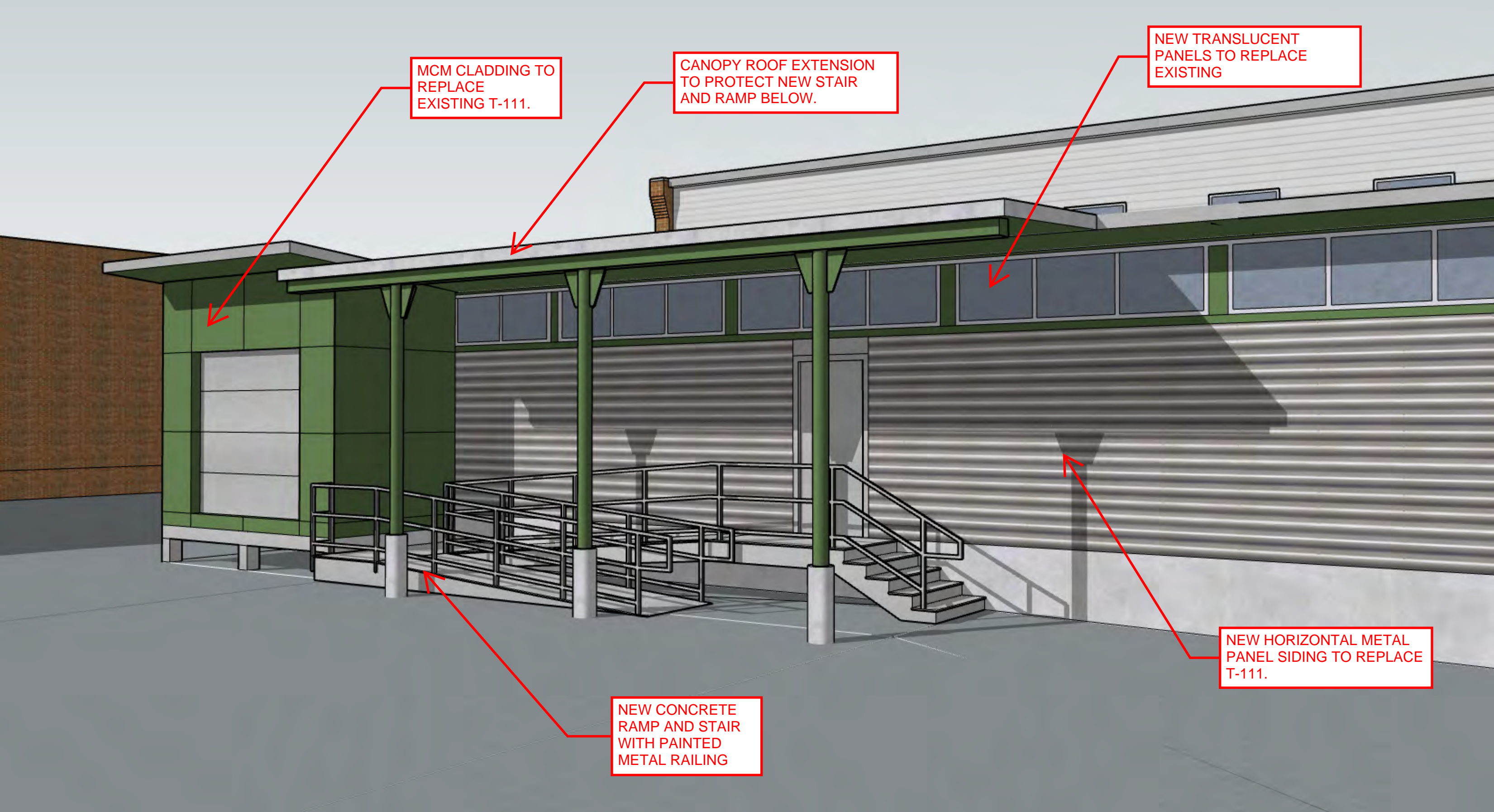
REVISIONS:

DRAWN BY: GLG
REVIEWED BY: GLG
DATE: 12/15/21
REV: -
SCALE: AS NOTED

TITLE:
SITE PLAN
PHASE:
SCHEMATIC

SHEET NO.

SITE



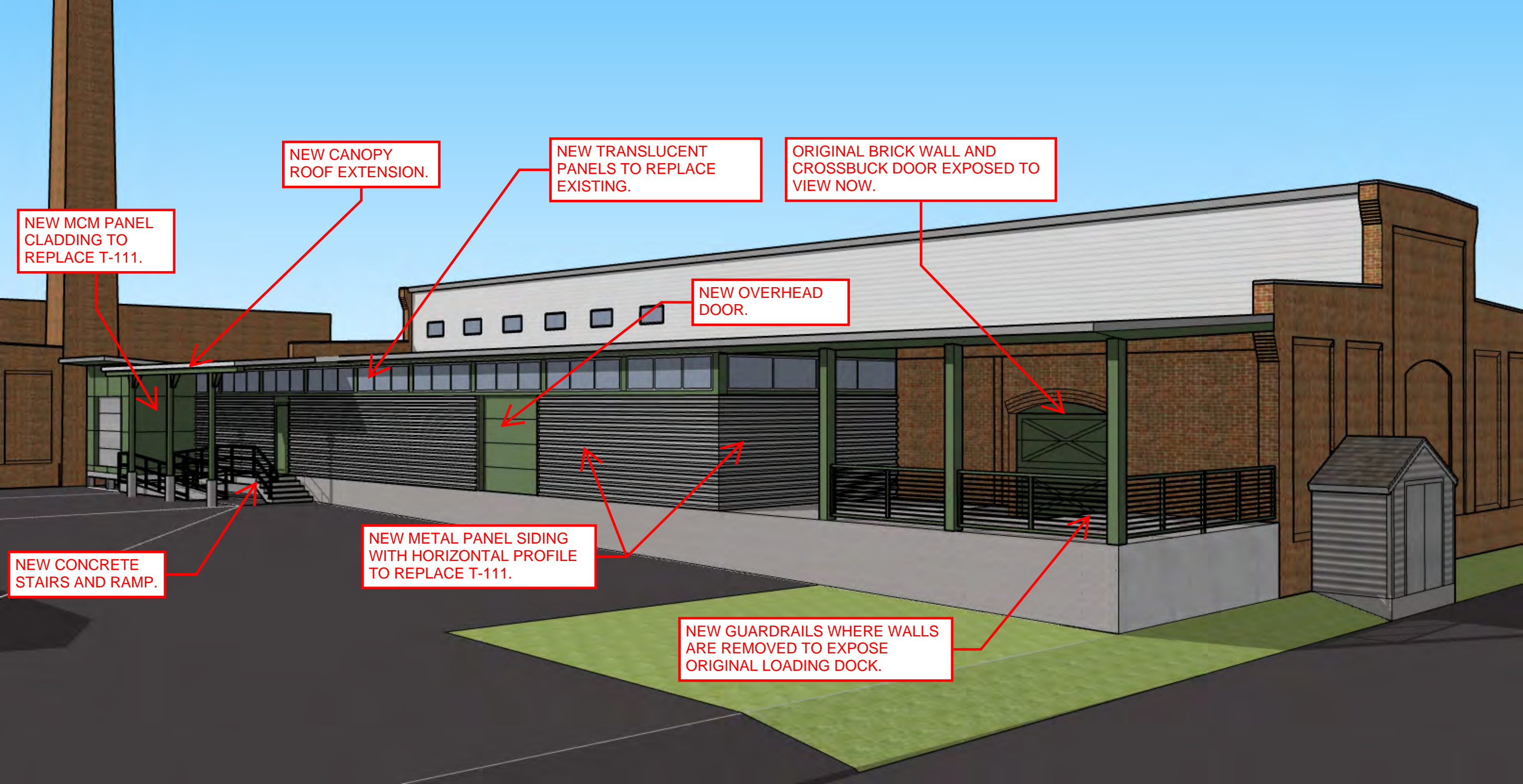
MCM CLADDING TO
REPLACE
EXISTING T-111.

CANOPY ROOF EXTENSION
TO PROTECT NEW STAIR
AND RAMP BELOW.

NEW TRANSLUCENT
PANELS TO REPLACE
EXISTING

NEW HORIZONTAL METAL
PANEL SIDING TO REPLACE
T-111.

NEW CONCRETE
RAMP AND STAIR
WITH PAINTED
METAL RAILING



NEW MCM PANEL CLADDING TO REPLACE T-111.

NEW CANOPY ROOF EXTENSION.

NEW TRANSLUCENT PANELS TO REPLACE EXISTING.

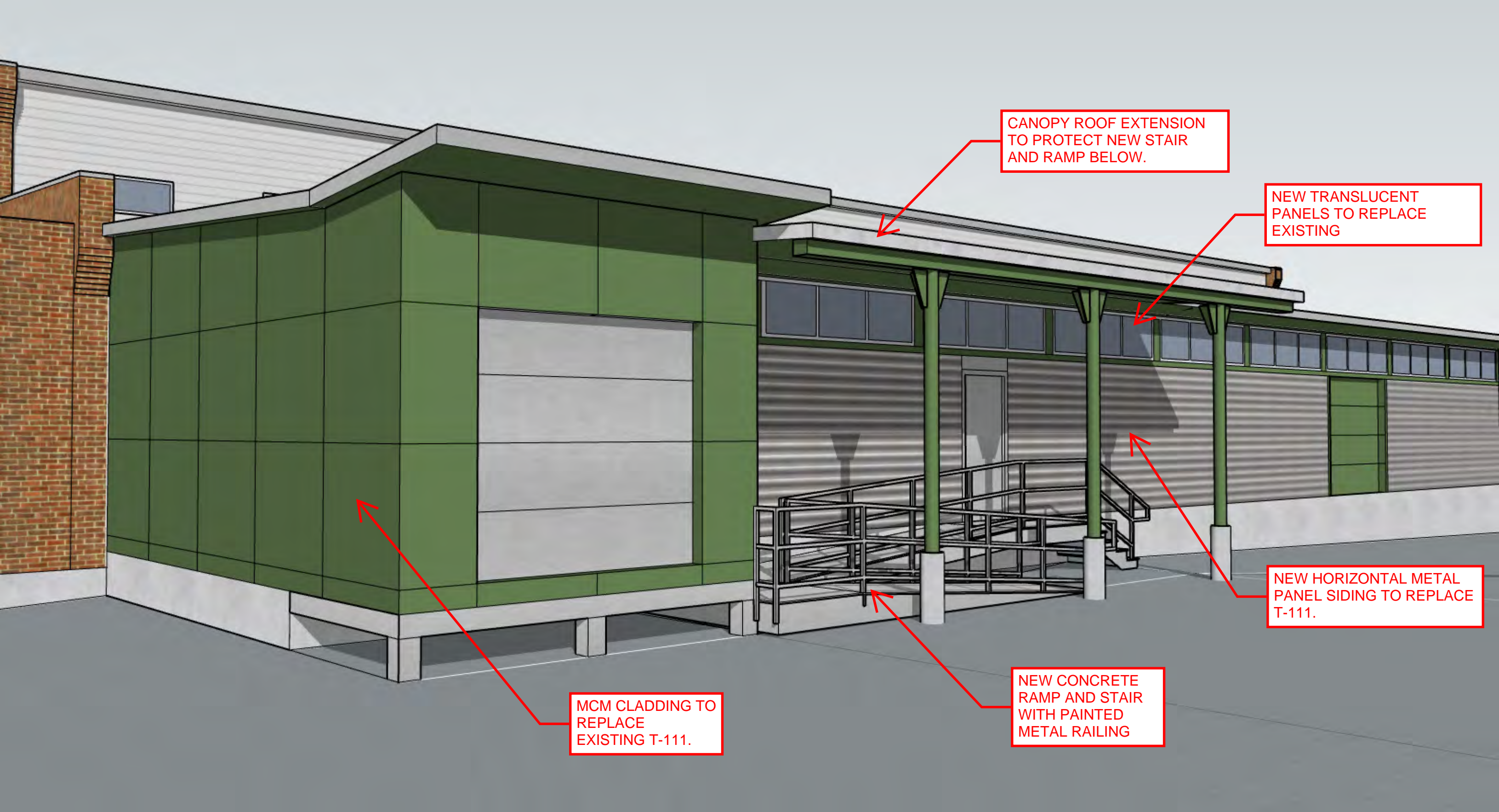
ORIGINAL BRICK WALL AND CROSSBUCK DOOR EXPOSED TO VIEW NOW.

NEW OVERHEAD DOOR.

NEW CONCRETE STAIRS AND RAMP.

NEW METAL PANEL SIDING WITH HORIZONTAL PROFILE TO REPLACE T-111.

NEW GUARDRAILS WHERE WALLS ARE REMOVED TO EXPOSE ORIGINAL LOADING DOCK.



CANOPY ROOF EXTENSION
TO PROTECT NEW STAIR
AND RAMP BELOW.

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PANELS TO REPLACE
EXISTING

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