



CITY OF CONCORD

Code Administration

37 Green Street • Concord, New Hampshire 03301 • 225.8580 • Fax 225.8586

APPLICATION TO ERECT A SIGN

Permit # _____

1) Address where sign is to be erected: 100 North Main Street

2) **Message as shown on sign:**

Revelstoke Coffee

SIGN A

	Property Owner Information	Sign Installer Information	Sign Owner Information
Name >	The Duprey Companies	NEOPCO Signs	Revelstoke Coffee- Alex Stoye/Lindsey Cole
Address >	PO Box 1438	5 Crosby Street	100 North Main Street
City/State/ Zip >	Concord, NH 03301-1438	Concord, NH 03301	Concord, NH 03301
Phone(s) >	603-228-2151	603.228.8652	603-674-2653
E-mail >		glen@neopcosigns.com	revelstokecoffee@gmail.com

4) Property Information: CBP 22 ft ft
 Zone Store/Building Frontage Lot Frontage

5) Type of Sign: ☒ New ☐ Relocation ☐ Replacement
☐ Freestanding ☐ Monument
☒ Wall ☐ Projecting ☐ Window ☐ Awning ☐ Roof ☐ Marquee ☐ Marker

5) Materials to be used: Laser cut, acrylic letters

6) How & to what is sign supported: Stud mounted to facade

7) Dimensions of sign: 8" ft x 132" ft equals 8' 7.5" sf
 Length Height Total (Round up)

8) Height Overall: Ground to bottom of sign 14 ft Ground to top of sign 14'8" ft

9) Illumination: ☒ None ☐ External ☐ Internal **Internally illuminated signs are NOT permitted in CVP, IS, UT or any Residential Zones**

10) Does sign project over public property or sidewalk? ☒ No ☐ Yes* > * _____ ft in

11) How far back is leading edge of sign from any curb face? _____

NOTE: Any applicant for a permit to locate a projecting sign over a public right-of-way, in accordance with this Ordinance, shall file with the Code Administrator, a certificate of insurance indemnifying the City of Concord against any form of liability in a minimum amount as specified by the Finance Director. No permit shall be issued prior to the receipt of said certificate and the permit shall be valid only so long as the certificate remains in effect. The policy shall provide for advance notification to the Code Administrator in the event of cancellation. If the policy should lapse or be cancelled, the applicant shall remove the sign immediately. (Article 28-6-11.a)

12) Does the sign require Design Review? ☒ Yes ☐ No Historic District Review? ☐ Yes ☒ No

*Design review is **required** per Article 28-6-9.f, if any of the following apply:

- The sign is to be located in a Performance (P) District
- The Development requires Major Site Plan Review, Article 28-9-4.d.1
- The sign area is greater than the maximum in Column 1 of Table 28-6-9.a
- The sign is the second or third freestanding sign on a lot.

Continued
on back →



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APPLICATION TO ERECT A SIGN

Permit # _____

1) Address where sign is to be erected: 100 North Main Street

2) **Message as shown on sign:**

Coffee

(Revelstoke Coffee, owner)

SIGN B

	Property Owner Information	Sign Installer Information	Sign Owner Information
Name >	The Duprey Companies	NEOPCO Signs	Revelstoke Coffee- Alex Stoyte/Lindsey Cole
Address >	PO Box 1438	5 Crosby Street	100 North Main Street
City/State/ Zip >	Concord, NH 03301-1438	Concord, NH 03301	Concord, NH 03301
Phone(s) >	603-228-2151	603.228.8652	603-674-2653
E-mail >		glen@neopcosigns.com	revelstokecoffee@gmail.com

4) Property Information: CBP 22 ft ft
Zone Store/Building Frontage Lot Frontage

5) Type of Sign: ☒ New ☐ Relocation ☐ Replacement
☐ Freestanding ☐ Monument
☐ Wall ☒ Projecting ☐ Window ☐ Awning ☐ Roof ☐ Marquee ☐ Marker

5) Materials to be used: Aluminum cabinet, neon

6) How & to what is sign supported: Lagged to facade with steel bracket

7) Dimensions of sign: ft x 34" round ft equals 6.5 7' sf
Length Height Total (Round up)

8) Height Overall: Ground to bottom of sign 10' + ft Ground to top of sign 12'8" ft

9) Illumination: ☐ None ☒ External ☐ Internal Internally illuminated signs are NOT permitted in CVP, IS, UT or any Residential Zones

10) Does sign project over public property or sidewalk? ☐ No ☒ Yes* > * 3 ft 4 in

11) How far back is leading edge of sign from any curb face? 16' +/-

NOTE: Any applicant for a permit to locate a projecting sign over a public right-of-way, in accordance with this Ordinance, shall file with the Code Administrator, a certificate of insurance indemnifying the City of Concord against any form of liability in a minimum amount as specified by the Finance Director. No permit shall be issued prior to the receipt of said certificate and the permit shall be valid only so long as the certificate remains in effect. The policy shall provide for advance notification to the Code Administrator in the event of cancellation. If the policy should lapse or be cancelled, the applicant shall remove the sign immediately. (Article 28-6-11.a)

12) Does the sign require Design Review? ☒ Yes ☐ No Historic District Review? ☐ Yes ☒ No

*Design review is **required** per Article 28-6-9.f, if any of the following apply:

- The sign is to be located in a Performance (P) District
- The Development requires Major Site Plan Review, Article 28-9-4.d.1
- The sign area is greater than the maximum in Column 1 of Table 28-6-9.a
- The sign is the second or third freestanding sign on a lot.

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on back →

ESTABLISHED 1949

NEOPCO SIGNS

Signs of Quality & Distinction

5 CROSBY STREET
CONCORD, NH 03301
(603) 228.8652
WWW.NEOPCO.COM

These plans are the exclusive property of NEOPCO Signs, and are the result of the original work of its employees. They are submitted to NEOPCO's client for the sole purpose of consideration of whether to purchase these plans or to purchase from NEOPCO a sign manufactured according to these plans.

Distribution or exhibition of these plans to anyone other than employees of said client, or use of these plans to construct a sign similar to the one embodied herein, is expressly forbidden. In the event that such exhibition or construction occurs, NEOPCO expects to be reimbursed \$1500 in compensation for time and effort entailed in creating these plans.

ALL DESIGNS PRESENTED HERE ARE

© COPYRIGHTED DESIGNS

BY INITIALING HERE, YOU ARE AUTHORIZING NEOPCO SIGNS TO PROCEED WITH PRODUCTION OF THE SIGNS HEREIN AND ALSO AUTHORIZING THE COLORS AND DESIGNS SHOWN AS WELL AS UNDERSTANDING THE COPYRIGHTED DESIGN RIGHTS OUTLINE NOTED.

CLIENT'S INITIALS _____

PRESENTATION

CLIENT: REVELSTOKE

DATE: 12/16/2021

SCALE: AS SHOWN

DRAWING
NUMBER: 211216GS

SPECIAL NOTES:

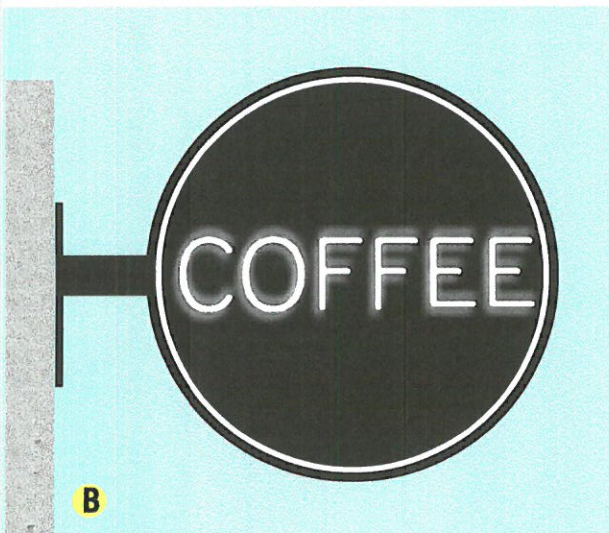
ACTUAL COLORS OF SIGNS
MAY BE SLIGHTLY DIFFERENT
THAN SHOWN ON SKETCH
DUE TO PRINT DIFFERENCES.



© COPYRIGHTED DESIGNS



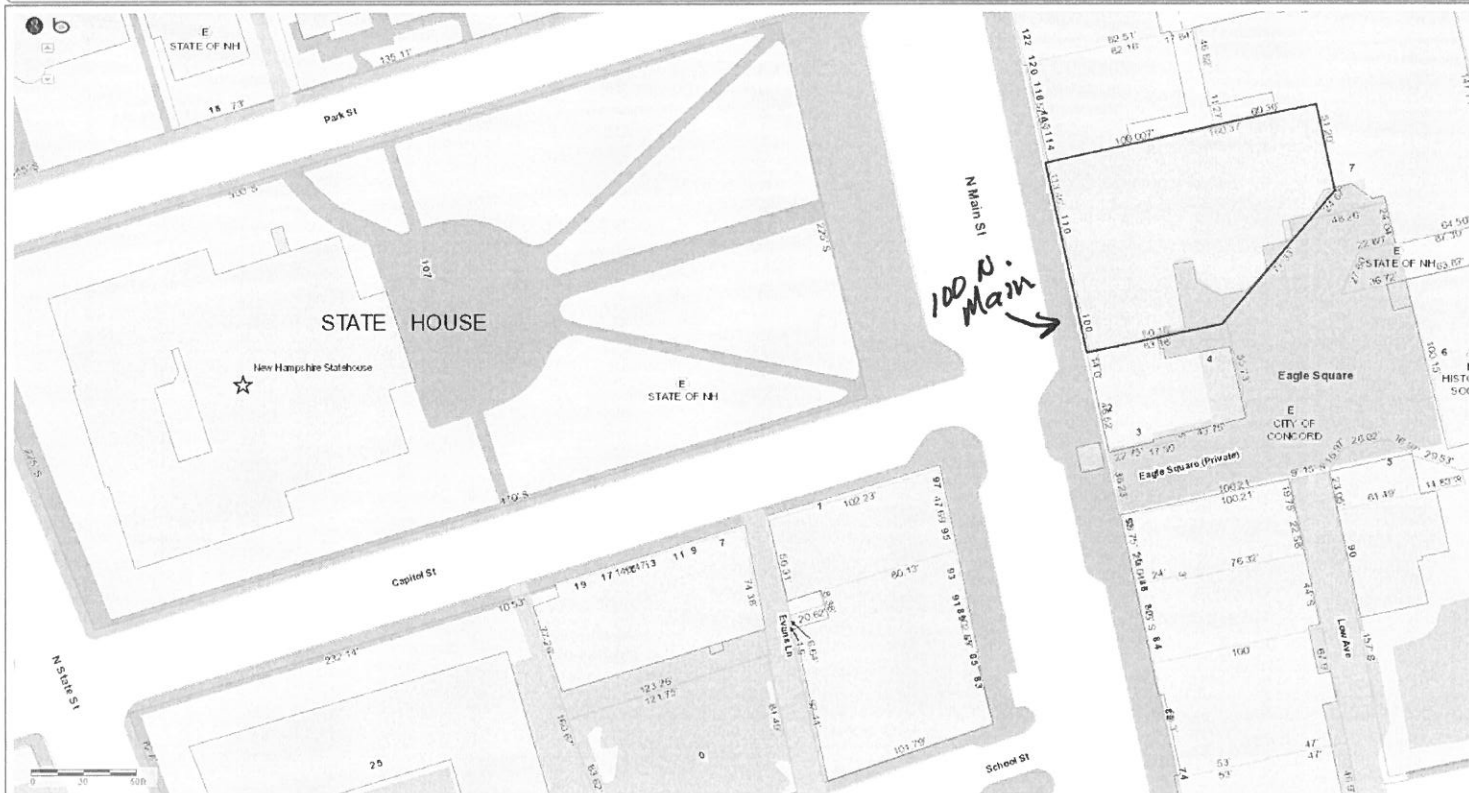
A → REVELSTOKE COFFEE



LEGEND	A	B	C
-SIGN TYPE-	CUT OUT LETTERS	BLADE SIGN	GRADE TO BOTT OF SIGN
SIGN SIZE	8"x132"	34" ROUND	14'
SINGLE SIDED- SF DOUBLE SIDED-DF	SF	DF	
QUANTITY	1	1	

Concord GIS

Zoom In Zoom Out Full Extent Prev Extent Next Extent Pan Info Clear Graphics Refresh Print ? Help



Preset Maps

Search

Property Details

About MapQuest Numbers

Total records returned: 2

Vision PID	3045 (show)
Map - Block	45 - 6
Lot - Unit	25
VISION Mblu	45/ 6/ 25/
Property Addr	100 N MAIN ST
Deed	36031228
Owner	GRANITE CENTER I
CoOwner	CIO FOXFIRE PROP MANAGEMENT INC
Owner Addr	PO BOX 1438
Owner City	CONCORD
Owner State	NH
Owner Zip	03302-1438
Land Acres	0.36
Sale Price	0
Transfer Date	8/3/2018
Land Value	440800
Building Value	3583000
Total Value	4023800
Year Built	1900
Stories	5
Style	Retail/Off
Rooms	
Bedrooms	
Baths	
Heat	Hot Water
Fuel	Gas
AC	Central
Occupancy	24
Use Code	3400

Layers

Legend

Abutter Notification

Measurement and Draw Tools

Print PDF JPEG