

OWNER
MAP 633DZ / LOT 4
 CITY OF CONCORD - AIRPORT
 41 GREEN STREET
 CONCORD, NH 03301-4255

APPLICANT
 HAMPSHIRE AVIATION, LLC
 584 CURRIER ROAD
 HOPKINTON, NH 03229

ENGINEER
 NORTHPOINT ENGINEERING, LLC
 119 STORRS ST., STE 201
 CONCORD, NH 03301

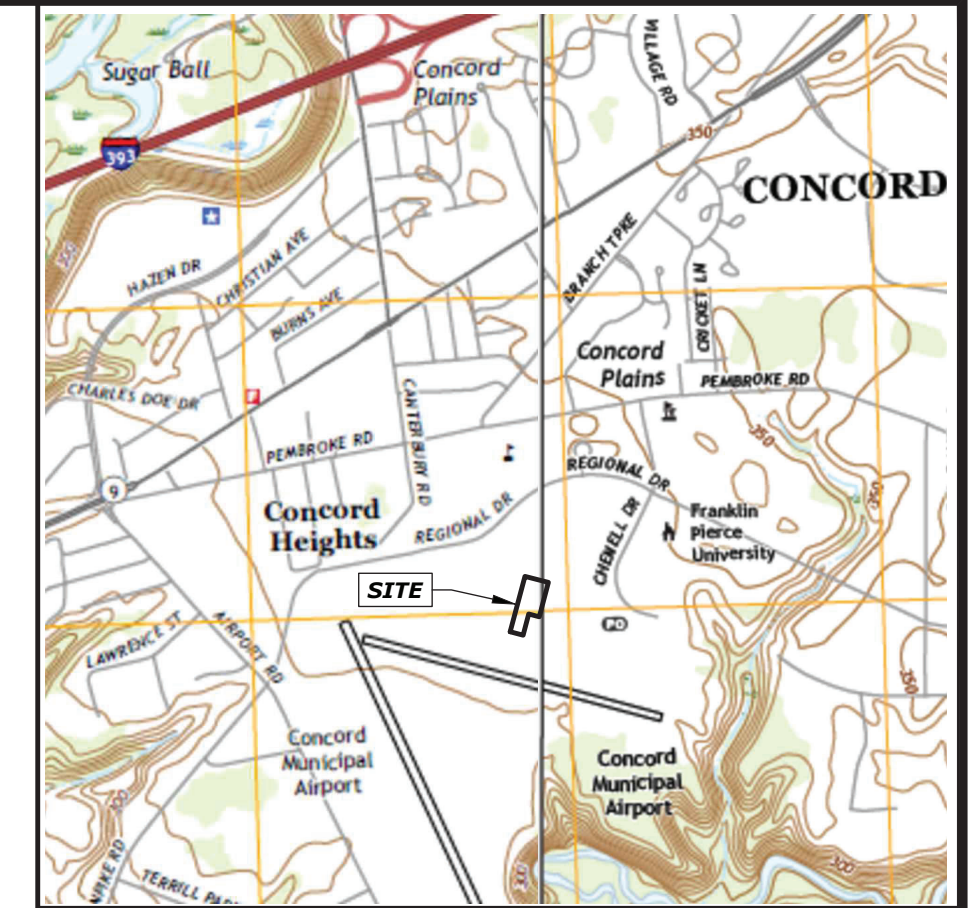
SURVEYOR
 RICHARD D. BARTLETT & ASSOCIATES, LLC.
 214 NORTH STATE STREET
 CONCORD, NH 03301

SITE IMPROVEMENT PLANS

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR

PART OF 633Z / 3 (LEASE AREA DZ-4)
 38 REGIONAL DRIVE, CONCORD, NH



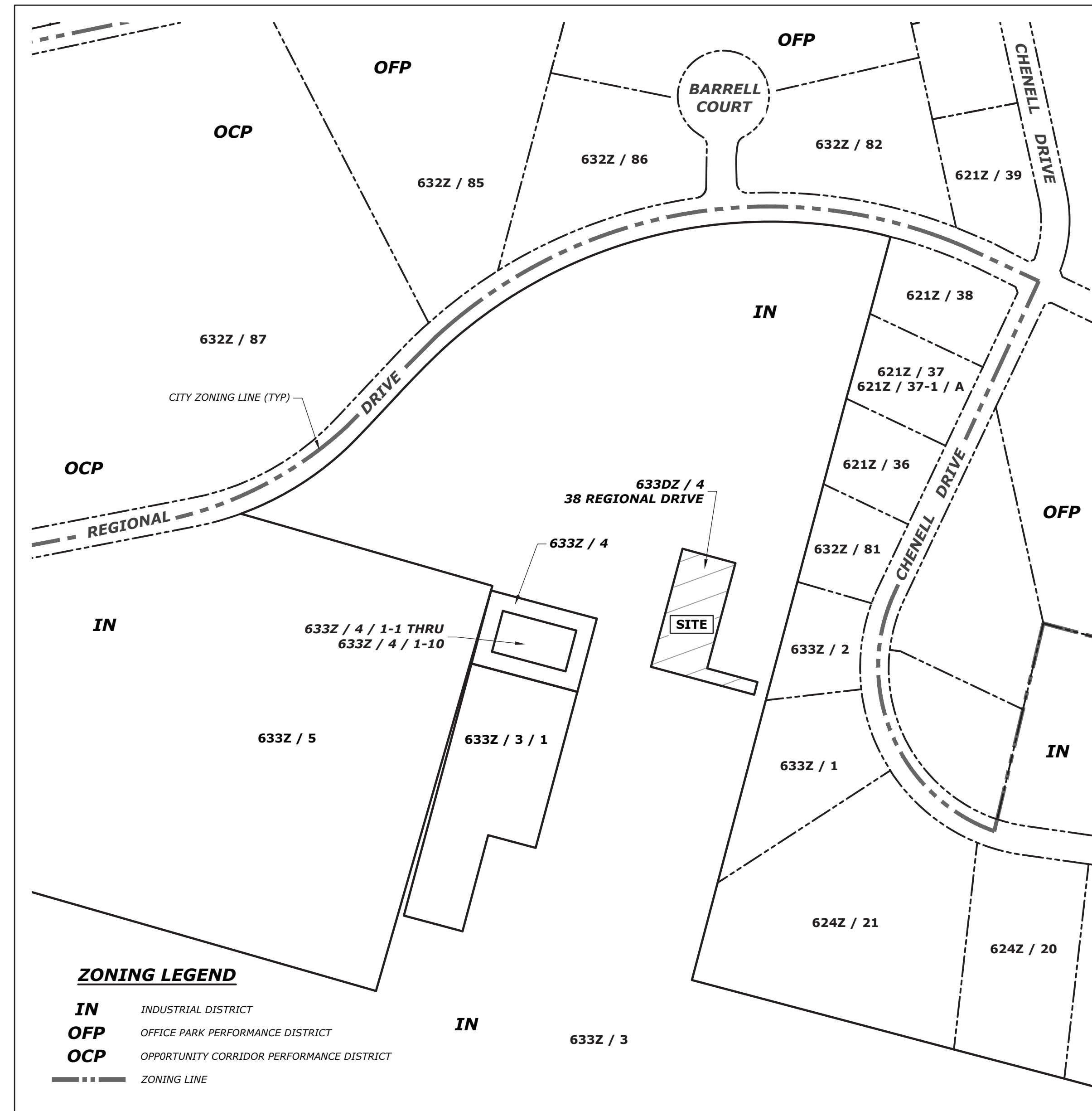
VICINITY MAP
 SCALE: 1" = 2,000'±

WILDLIFE PROTECTION NOTES:

- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG, IF ANY, TO ASSURE THE PROJECT DOES NOT APPRECIABLY JEOPARDIZE THE CONTINUED EXISTENCE OF THREATENED AND ENDANGERED SPECIES AS DEFINED IN FIS 1002.04.
- THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.
- GRASSHOPPER SPARROWS (STATE THREATENED), EASTERN HOGNOSE SNAKES (STATE ENDANGERED) AND BLACK RACERS (STATE THREATENED) HAVE ALSO BEEN DOCUMENTED ON AND NEAR THE CONCORD AIRPORT. THE NHFG WEBSITE AND NH WILDLIFE ACTION PLAN HAS ADDITIONAL INFORMATION ON THESE SPECIES:
- IN ORDER TO AVOID POTENTIAL IMPACTS TO NESTING GRASSHOPPER SPARROWS, THE PROJECT SITE PROPOSED FOR IMPACTS SHOULD BE KEPT MOWED/DISTURBED UNTIL SEPTEMBER 1ST IN ORDER TO DETER BREEDING BIRD ACTIVITY, UNLESS PROJECT IS PROPOSED FOR CONSTRUCTION AFTER SEPTEMBER 1 (SEPTEMBER 1 - APRIL 15). DIRECT DISTURBANCE, STAGING OF EQUIPMENT/VEHICLES, AND DRIVING TO SITE SHOULD BE LIMITED TO THE PROJECT FOOTPRINT IDENTIFIED ON PLAN SETS AND PAVED PORTIONS OF THE AIRPORT.
- ALL OPERATORS WORKING ON THE SITE SHOULD BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND PROVIDED SNAKE FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG CONTACT INFORMATION (SEE DETAIL SHEETS).
- ANY OBSERVATIONS OF GRASSHOPPER SPARROWS, NORTHERN BLACK RACERS AND EASTERN HOGNOSE SNAKE ON THE PROJECT SITE SHOULD BE REPORTED IMMEDIATELY TO NHFG WILDLIFE DIVISION (603-271-2461). NOTE THAT SNAKES MAY BE ATTRACTED TO DISTURBED GROUND DURING NESTING SEASON (PRIMARILY JUNE). TAKE PHOTOGRAPHS OF THE OBSERVED SPECIES, AS FEASIBLE, FOR CONFIRMATION OF SPECIES BY NHFG BIOLOGISTS.

SHEET INDEX

NO.	TITLE	LAST REVISED
--	COVER SHEET	3-19-25
1	OVERVIEW PLAN	3-19-25
2	EXISTING CONDITIONS PLAN	
3	DEMOLITION PLAN	3-19-25
4	SITE PLAN	3-19-25
5	GRADING AND DRAINAGE PLAN	3-19-25
6	UTILITY PLAN	3-19-25
7	LIGHTING PLAN	3-19-25
8	EROSION CONTROL PLAN	3-19-25
9-13	CONSTRUCTION DETAILS	3-19-25



AREA PLAN
 SCALE: 1" = 200'±

LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
□	STONE BOUND	■	—	SPOT GRADE	— F100.00
○	IRON PIPE/PIN	●	— · — · —	WETLAND LIMITS	
⊙	DRILL HOLE	⊙	— · — · —	EDGE OF WATER	
⊕	BENCHMARK	⊕	—	BOUNDARY	—
⊕	BENCHMARK	⊕	—	ABUTTER LINE	—
⊕	CATCH BASIN	⊕	—	EASEMENT	—
⊕	DRAIN MANHOLE	⊕	—	EDGE OF PAVEMENT	—
⊕	SEWER MANHOLE	⊕	— 248 —	CONTOUR (2-FT)	— F248 —
○	CLEANOUT	○	— 250 —	CONTOUR (10-FT)	— F250 —
○	MONITORING WELL	○	— W —	WATER LINE	— W —
⊕	UTILITY VALVE	⊕	— S —	SEWER LINE	— S —
⊕	WATER SHUT-OFF VALVE	⊕	— SFM —	SEWER FORCE MAIN	— SFM —
⊕	FIRE HYDRANT	⊕	— G —	GAS LINE	— G —
⊕	WELL	⊕	— D —	DRAINAGE LINE (<12")	— D —
⊕	SIGN	⊕	—	DRAINAGE LINE (>12")	—
⊕	BOLLARD	⊕	— UD —	UNDERDRAIN	— UD —
⊕	UTILITY POLE	⊕	— UGU —	UNDERGROUND UTIL.	— UGU —
⊕	GUY WIRE	⊕	— OHU —	OVERHEAD UTIL.	— OHU —
⊕	TREE	⊕	—	STONEWALL	—
⊕	SHRUB	⊕	—	RET WALL	—
⊕	WETLAND SYMBOL	⊕	—	FENCE	—
			—	SILT FENCE	—
			—	TREELINE	—

ZONING LEGEND

IN	INDUSTRIAL DISTRICT
OFF	OFFICE PARK PERFORMANCE DISTRICT
OCP	OPPORTUNITY CORRIDOR PERFORMANCE DISTRICT
— · — · —	ZONING LINE

COVER SHEET

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR

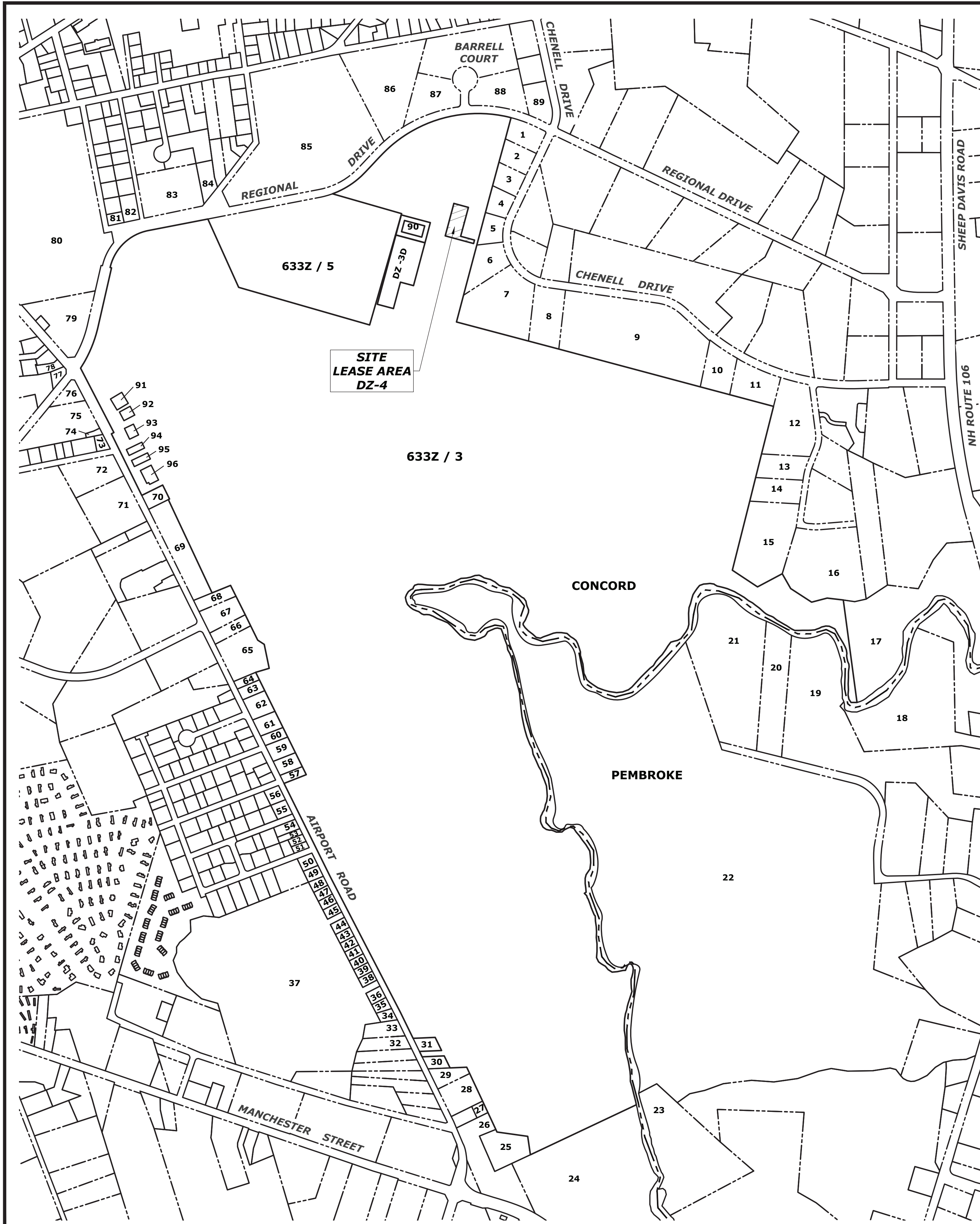
PART OF 633Z / 3 (LEASE AREA DZ-4)

38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255																		
<table border="1" style="width: 100%;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03/19/25</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1	03/19/25	REVISED PER CITY COMMENTS												
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119 Storrs St, Ste 201
 Concord, NH 03301
 Tel 603-226-1166
 Fax 603-226-1160
 www.northpointeng.com

DATE: FEB. 2025
 PROJ.: 24063
 SCALE: AS SHOWN
 SHEET: ----



ABUTTERS LIST

LOT ID #	MAP/LOT	NAME: ADDRESS; TOWN, STATE / ZIP	LOT ID #	MAP/LOT	NAME: ADDRESS; TOWN, STATE / ZIP
1	6212 / 38	"CHENEK LLC: 10 CHENELL DR; CONCORD, NH 03301"	78	6342 / 16	"KNIGHT CHRISTOPHER & KNIGHT ANDREW: 7 MERRIMACK ST; CONCORD, NH 03301"
2	6212 / 37/1A	"SCOTT ENTERPRISES LLC: 12A CHENELL DR; CONCORD, NH 03301"	79	6342 / 3	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"
2	6212 / 37	"12B CHENELL DRIVE CONCORD LLC: 12A CHENELL DR; CONCORD, NH 03301"	80	6312 / 98	"STATE OF NH COOWNER SECRETARY OF STATE: 107 N MAIN ST; CONCORD, NH 03301"
2	6212 / 37 /1B	"12B CHENELL DRIVE CONCORD LLC: 12A CHENELL DR; CONCORD, NH 03301"	81	6342 / 1	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"
3	6212 / 36	"DEG HOLDINGS LLC: 65 JAY DR; DUNBARTON, NH 03046"	82	6312 / 81	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"
4	6322 / 81	"BCL MANAGEMENT LLC: 16 CHENELL DR; CONCORD, NH 03301"	83	6322 / 107	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"
5	6332 / 2	"NK2 LLC: 18 CHENELL DR; CONCORD, NH 03301"	84	6322 / 88	"ABBOTT JEFFREY S SR: 56 CANTERBURY RD; CONCORD, NH 03301"
6	6332 / 1	"ZED PROPERTIES LLC - ATTN SCOTT LAWSON GROUP LTD: PO BOX 3304; CONCORD, NH 03302"	85	6322 / 87	"ZIBV PROPERTIES LLC: 300 GAY ST; MANCHESTER, NH 03103"
7	6242 / 21	"UNITED STATES POSTAL SERVICE - FACILITIES SERVICE CENTER: 6 GRIFFIN RD W; WINDSOR, CT 06095"	86	6322 / 85	"CONCORD CHRISTIAN ACADEMY: 37 REGIONAL DR; CONCORD, NH 03301"
8	6242 / 20	"R M S REALTY LLC: 24 CHENELL DR; CONCORD, NH 03301"	87	6322 / 86	"NEW HAMPSHIRE HIGHER EDUCATION LOAN CORP: 4 BARRELL CT; CONCORD, NH 03301"
9	6242 / 10	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"	88	6322 / 82	"NEW HAMPSHIRE HIGHER EDUCATION LOAN CORP: 4 BARRELL CT; CONCORD, NH 03301"
10	6242 / 19	"TRIEM PLUS ONE LLC: 17940 GULF BLVD, APT 16A; REDDINGTON SHORE, FL 33708"	89	6212 / 39	"HODGES DEVELOPMENT CORP: 201 LOUDON RD; CONCORD, NH 03301"
11	6242 / 18	"NEW SUNSET REALTY LLC: 73 MCINTOSH LN; BEDFORD, NH 03110"	90	6332 / 4	"CONCORD NORTH RAMP HANGAR - CONDO UNIT OWNERS ASSOCIATION: PO BOX 932; CONCORD, NH 03301"
12	6242 / 17	"WMI VENTURES LLC: PO BOX 216; SALISBURY, NH 03268"	90	6332 / 4 / 1/1	"RUNDE FAMILY REVOCABLE TRUST: 168 SOUTH ST; CONCORD, NH 03302"
13	762 / 11	"30 HENNIKER STREET COMMONS CONDO: 30 HENNIKER ST. COMMONS CONDO; CONCORD, NH 03301"	91	6332 / 5	"CITY OF CONCORD - LEASED/ARMY/AVIATION SUPRT FACILITY: 41 GREEN ST; CONCORD, NH 03301"
13	762 / 11 / 1/1	"CHRIS PASCUCCI LLC: 15 WEATHERSTONE RD; LITCHFIELD, NH 03052"	92	6342 / 4	"CITY OF CONCORD COMMUNITY DEVELOPMENT: 41 GREEN ST; CONCORD, NH 03301"
13	762 / 11 / 1/2	"10-4 REALTY TRUST C/O VALLEY SERVICE: 687 LOWELL ST STE 3; METHUEN, MA 01844"	93	6342 / 5 / 1	"CONCORD HANGAR CONDOMINIUM: 85 AIRPORT RD; CONCORD, NH 03301"
13	762 / 11 / 1/3	"95 LOUDON ROAD LLC: PO BOX 2274; CONCORD, NH 03301"	93	6342 / 5 / 1/1	"FAIRVIEW PROPERTIES LLC: 6 PONDFIELD RD; BEDFORD, NH 03110"
13	762 / 11 / 1/4	"SULL-ELECTRIC LLC: 30 HENNIKER ST, UNIT 4; CONCORD, NH 03301"	93	6342 / 5 / 1/2	"MOONEY V LLC: 104 BROWN HILL RD; BOW, NH 03304"
13	762 / 11 / 1/5	"COLE-RYMES BETHANY L & RYMES THOMAS J: 12 ALBIN ST; CONCORD, NH 03301"	93	6342 / 5 / 1/3	"REAL ESTATE HOLDINGS INC: 434 BOYNTON ST; BEDFORD, NH 03110"
13	762 / 11 / 1/6	"UNIT 7 LLC: 12 EVELYN NOYES LN; CHESTER, NH 03036"	93	6342 / 5 / 1/4	"MILLER MICHAEL & EVELYN REVOCABLE TRUST: 35 STEPHEN DR; GOFFSTOWN, NH 03045"
13	762 / 11 / 1/7	"UNIT 7 LLC: 12 EVELYN NOYES LN; CHESTER, NH 03036"	93	6342 / 5 / 1/5	"OFNER JOSEF PETER & CUTLER LAWRENCE: 595 CRYSTAL LAKE RD; GILMANTON IRON WORKS, NH 03302"
13	762 / 11 / 1/8	"AIRPORT ROAD 90 REALTY LLC: PO BOX 400; ALTON BAY, NH 03810"	93	6342 / 5 / 1/6	"RUSSO F PAUL: 17 STACK DR; BOW, NH 03304"
13	762 / 11 / 1/9	"MCBEE PROPERTIES LLC: 38 CUNNINGHAM POND RD; WARNER, NH 03278"	93	6342 / 5 / 1/7	"MILLER MICHAEL & EVELYN REVOCABLE TRUST: 35 STEPHEN DR; GOFFSTOWN, NH 03045"
13	762 / 11 / 1/10	"KIN LIRE & 66 CHANDLER RD; ANDOVER, MA 01810"	93	6342 / 5 / 1/8	"HENNIKER FLYING CLUB INC: PO BOX 2322; CONCORD, NH 03302"
13	762 / 11 / 1/11	"CONCRETA REALTY LLC: 30 GEORGE RD; HOPKINTON, NH 03229"	93	6342 / 5 / 1/9	"HENNIKER FLYING CLUB IN: PO BOX 2322; CONCORD, NH 03302"
13	762 / 11 / 1/12	"EUGENE VINCENT H REVOCABLE TRUST OF 2012 EUGENE VINCENT H TRUSTEE: 426 BOW LAKE RD; NORTHWOOD, NH 03261"	93	6342 / 5 / 1/10	"BURKE KEVIN A REVOCABLE TRUST: PO BOX 594; WEARE, NH 03281"
13	762 / 11 / 1/13	"RIPLEY STREET MANAGEMENT LLC: PO BOX 1481; CONCORD, NH 03302"	93	6342 / 5 / 1/11	"ANVAB INC: 71 AIRPORT RD; CONCORD, NH 03301"
13	762 / 11 / 1/14	"STEWCO CONCORD LLC: 92 GREENLEAF TRL; GILFORD, NH 03249"	94	7512 / 6	"CONCORD AVIATION SERVICES - CITY OF CONCORD COMMUNITY DEVELOPMENT: 41 GREEN ST; CONCORD, NH 03301"
13	762 / 11 / 1/15	"STEWCO CONCORD LLC: 92 GREENLEAF TRL; GILFORD, NH 03249"			
14	762 / 10	"JBJ PROPERTIES LLC: 53 AYER RD; LITTLETON, MA 01460"			
15	762 / 9	"CONCORD 6 ASSOCIATES LLC & 8 GRANCHILDREN LTD PARTNERSHIP: 160 MIDDLESEX TPKE; BEDFORD, MA 01730"			
16	762 / 8	"CLOAS REALTY MANAGEMENT LLC: 213 BLAKES HILL RD; NORTHWOOD, NH 03261"			
17	762 / 3	"HILL RICHARD A & COLEEN L: 203 SHEEP DAVIS ROAD; CONCORD, NH 03301"			
18	6322 / 18-12	"PEMBORKE WATER WORKS: 346 PEMBROKE ST; PEMBROKE, NH 03275"			
19	6322 / 18-14	"STATE OF NEW HAMPSHIRE OFFICE OF NH ADJUTANT GENERAL: 1 MINUTEMAN WAY; CONCORD, NH 03301"			
20	6322 / 18-15	"STATE OF NEW HAMPSHIRE OFFICE OF NH ADJUTANT GENERAL: 1 MINUTEMAN WAY; CONCORD, NH 03301"			
21	6322 / 18-16	"NATIONAL GRID-EUA PROPERTY TAX DEPT: 40 SYLVAN RD; WALTHAM, MA 02451"			
22	6322 / 18	"STATE OF NEW HAMPSHIRE OFFICE OF NH ADJUTANT GENERAL: 1 MINUTEMAN WAY; CONCORD, NH 03299"			
23	6322 / 11-2	"PSNH/EVERSOURCE: PO BOX 270; HARTFORD, CT 06141"			
24	772 / 1	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"			
25	7822 / 7	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"			
26	7822 / 2	"FRISSETT & BOUCHER LLC: 175 MANCHESTER ST; CONCORD, NH 03301"			
27	7822 / 6	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"			
28	7822 / 4	"CURTIN JAKE T: 237 AIRPORT RD; CONCORD, NH 03301"			
29	7822 / 3	"WHITE MADELINE E REVOCABLE TRUST: 227 AIRPORT RD; CONCORD, NH 03301"			
30	7822 / 2	"HABERLAND MICHAEL J & LINDSEY G: 223 AIRPORT RD; CONCORD, NH 03301"			
31	7822 / 1	"CHUVALA SUSAN A: 219 AIRPORT RD; CONCORD, NH 03301"			
32	7822 / 14	"BURNHAM EVA M & TOMSIC EDWARD F: 216 AIRPORT RD; CONCORD, NH 03301"			
33	7822 / 15	"OLIVEIRA ANTHONY & OLIVEIRA ALBERT A: 214 AIRPORT RD; CONCORD, NH 03301"			
34	7822 / 16	"BIRON TRACEY A & WILLIAM M: 212 AIRPORT RD; CONCORD, NH 03301"			
35	7822 / 17	"FANNY MARK & DREW-FANNY DONNA: 210 AIRPORT RD; CONCORD, NH 03301"			
36	7822 / 18	"FERRIS FAMILY REVOCABLE TRUST: 208 AIRPORT RD; CONCORD, NH 03301"			
37	7822 / 19	"CITY OF CONCORD: 41 GREEN ST; CONCORD, NH 03301"			
38	7822 / 20	"HEDDERIG DEVIN: 206 AIRPORT RD; CONCORD, NH 03301"			
39	7822 / 21	"HANNON RYAN M: 204 AIRPORT RD; CONCORD, NH 03301"			
40	7822 / 22	"DRESSER MONICA L TRUST: 202 AIRPORT RD; CONCORD, NH 03301"			
41	7822 / 23	"LEVESQUE DAVID R & SHARON L: 192 AIRPORT RD; CONCORD, NH 03301"			
42	7822 / 24	"THOMPSON DAVID G & ROBERTA: 190 AIRPORT RD; CONCORD, NH 03301"			
43	7822 / 25	"NOEL DONALD: 188 AIRPORT RD; CONCORD, NH 03301"			
44	7532 / 8	"PAUL RONALD D & SALLY A: 186 AIRPORT RD; CONCORD, NH 03301"			
45	7532 / 9	"LETOURNEAU PENNY A REVOCABLE TRUST: 184 AIRPORT RD; CONCORD, NH 03301"			
46	7532 / 10	"SWENSON JOHN H: 38 HUTCHINS ST; CONCORD, NH 03301"			
47	7532 / 11	"ARMENTROUT BEVERLY S: 180 AIRPORT RD; CONCORD, NH 03301"			
48	7532 / 12	"QUINN MICHAEL J: 178 AIRPORT RD; CONCORD, NH 03301"			
49	7532 / 13	"FONTAINE WILLIAM & CLAUDETTE IRREV TRUST: 176 AIRPORT RD; CONCORD, NH 03301"			
50	7532 / 14	"BOULET CLOVIS J JR: 174 AIRPORT RD; CONCORD, NH 03301"			
51	7532 / 31	"VINCENT RANDY & TIDAWAN: 170 AIRPORT RD; CONCORD, NH 03301"			
52	7532 / 32	"MCGUIRE MARY J: 168 AIRPORT RD; CONCORD, NH 03301"			
53	7532 / 33	"MARTIN JEFFREY & HUGHES JOSEPH: 166 AIRPORT RD; CONCORD, NH 03301"			
54	7532 / 34	"LASSONDE TIMOTHY K & LINDA C: 45 CARNegie ST; MANCHESTER, NH 03104"			
55	7532 / 49	"RUNKEL KEVIN: 160 AIRPORT RD; CONCORD, NH 03301"			
56	7532 / 50	"FRENCH DANIEL W & CURTIN DIANE: 156 AIRPORT RD; CONCORD, NH 03301"			
57	7532 / 7	"CRONIN BRIGGETTE & DUCHESNE STEVEN P: 153 AIRPORT RD; CONCORD, NH 03301"			
58	7532 / 6	"MERRY HARLEY: 151 AIRPORT RD; CONCORD, NH 03301"			
59	7532 / 5	"DANDY MICHAEL R: 147 AIRPORT RD; CONCORD, NH 03301"			
60	7532 / 4	"JASUS MANUEL A & KARI L: 145 AIRPORT RD; CONCORD, NH 03301"			
61	7532 / 3	"MCDONALD & MCCULLOCH ASSOC LLC: 143 AIRPORT RD; CONCORD, NH 03301"			
62	7532 / 2	"THOMPSON FAMILY REVOCABLE TRUST OF 2019: PO BOX 302; WILMOT, NH 03287"			
63	7532 / 1	"DESHAIRES MARK G & VALERIE L: 135 AIRPORT RD; CONCORD, NH 03301"			
64	7522 / 7	"BRIGHT DENIS M: 133 AIRPORT RD; CONCORD, NH 03301"			
65	7522 / 6	"NH HOSPITAL ASSOCIATION: 125 AIRPORT RD; CONCORD, NH 03301"			
66	7522 / 5	"HBRANH HOUSE INC: 136 AIRPORT RD; CONCORD, NH 03301"			
67	7522 / 4	"115A AIRPORT ROAD LLC: PO BOX 1260; CONCORD, NH 03302"			
68	7522 / 3	"DAVIS & TOWLE INVESTMENT GROUP INC: PO BOX 1260; CONCORD, NH 03302"			
69	7522 / 2	"JMC AIRPORT PROPERTIES LLC: 5 LEHOUX; HOOKSETT, NH 03106"			
70	7522 / 1	"CITY OF CONCORD COOWNER FINANCE DEPT: 311 N STATE ST; CONCORD, NH 03301"			
71	7512 / 10	"RATTIGAN FAMILY REALTY TRUST: PO BOX 10752; BEDFORD, NH 03110"			
72	7512 / 11	"RIPLEY STREET MANAGEMENT LLC: PO BOX 1481; CONCORD, NH 03302"			
73	6342 / 7	"EAMES REVOCABLE FAMILY TRUST OF 2020: 35 HOWARDS LN; EPSOM, NH 03234"			
74	6342 / 8	"KAPOS GEORGE: 44 CANTERBURY RD; CONCORD, NH 03301"			
75	6342 / 10	"NH FEDERAL CREDIT UNION: 70 AIRPORT RD; CONCORD, NH 03301"			
76	6342 / 9	"FLATLANDER PROPERTIES LLC: 179 WALKER RD; GRANTHAM, NH 03753"			
77	6342 / 15	"GREGOIRE GEORGE R & PHYLLIS C: 62 AIRPORT RD; CONCORD, NH 03301"			

OVERVIEW PLAN

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR

PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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REVISIONS:		
NO.	DATE	DESCRIPTION
1	03/19/25	REVISED PER CITY COMMENTS

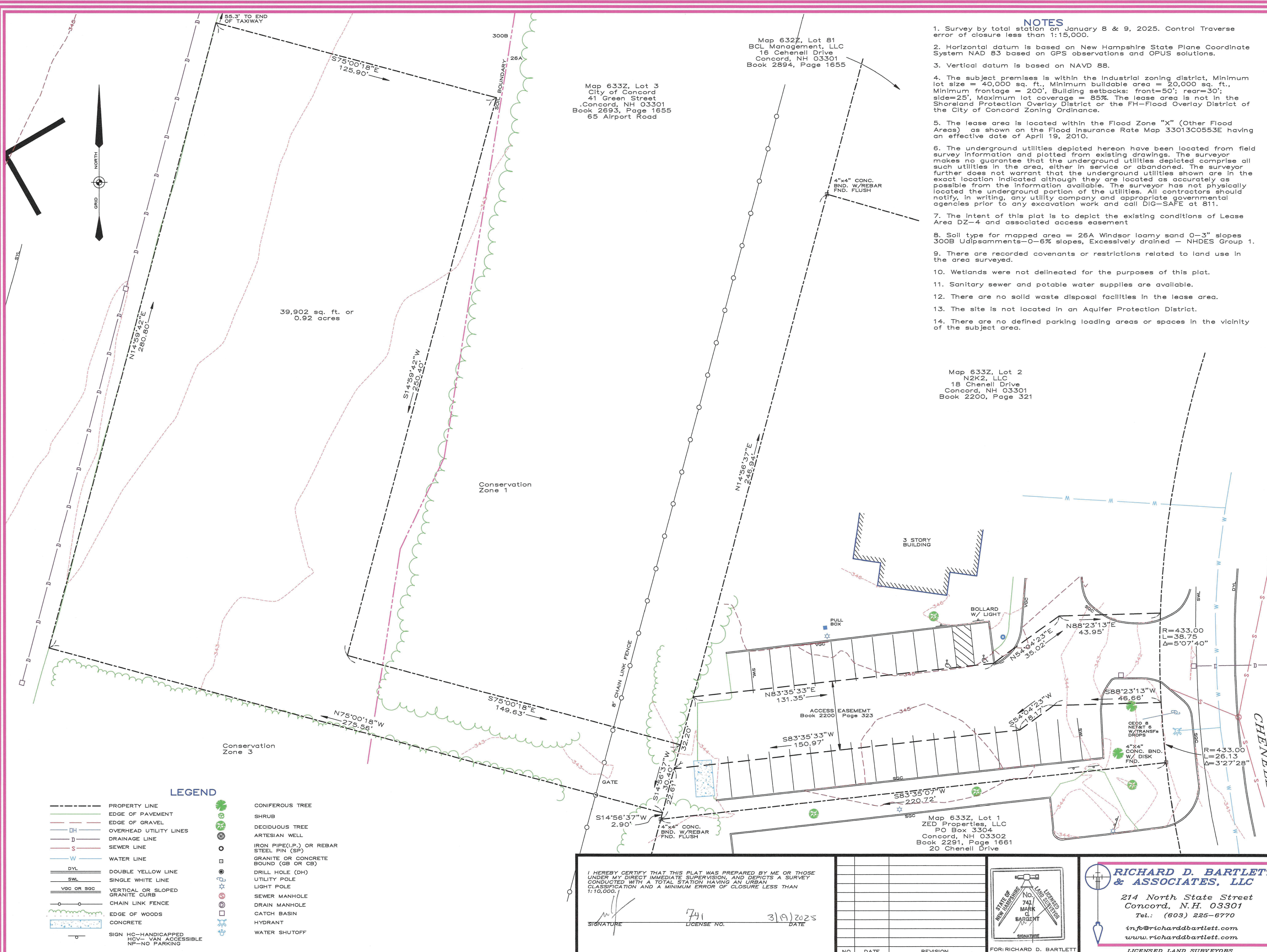
NORTHPOINT ENGINEERING, LLC
Civil Engineering Land Planning Construction Services

119 Storr's St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: FEB. 2025
PROJ.: 24063
SCALE: 1"=500'
SHEET: 1 OF 13

FILE: G:\PROJECTS\24063\HW\24063_COVER.dwg BY: JLF DATE: 19 Feb 2025 - 3:28pm

FILE: G:\PROJECTS\24083\Map\24083_DESIGN.dwg BY: JRF DATE: 19 Mar 2025 - 3:28pm



- NOTES**
1. Survey by total station on January 8 & 9, 2025. Control Traverse error of closure less than 1:15,000.
 2. Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83 based on GPS observations and OPUS solutions.
 3. Vertical datum is based on NAVD 88.
 4. The subject premises is within the Industrial zoning district, Minimum lot size = 40,000 sq. ft., Minimum buildable area = 20,000 sq. ft., Minimum frontage = 200', Building setbacks: front=50'; rear=30'; side=25'. Maximum lot coverage = 85%. The lease area is not in the Shoreland Protection Overlay District or the FH-Flood Overlay District of the City of Concord Zoning Ordinance.
 5. The lease area is located within the Flood Zone "X" (Other Flood Areas) as shown on the Flood Insurance Rate Map 33013C0553E having an effective date of April 19, 2010.
 6. The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 811.
 7. The intent of this plat is to depict the existing conditions of Lease Area DZ-4 and associated access easement
 8. Soil type for mapped area = 26A Windsor loamy sand 0-3" slopes 300B Udipsamments-0-6% slopes, Excessively drained - NHDES Group 1.
 9. There are recorded covenants or restrictions related to land use in the area surveyed.
 10. Wetlands were not delineated for the purposes of this plat.
 11. Sanitary sewer and potable water supplies are available.
 12. There are no solid waste disposal facilities in the lease area.
 13. The site is not located in an Aquifer Protection District.
 14. There are no defined parking loading areas or spaces in the vicinity of the subject area.



Map 633Z, Lot 3
City of Concord
41 Green Street
Concord, NH 03301
Book 2693, Page 1655
65 Airport Road

Map 632Z, Lot 81
BCL Management, LLC
16 Chenell Drive
Concord, NH 03301
Book 2894, Page 1655

Map 633Z, Lot 2
N2K2, LLC
18 Chenell Drive
Concord, NH 03301
Book 2200, Page 321

Map 621Z, Lot 35
13-19 Chenell Drive Business
Concord, NH 03302
Book 3088, Page 844

Map 624Z, Lot 8
Granite State independent
Living Foundation
21 Chenell Drive
Concord, NH 03302
Book 2071, Page 444

LEGEND

- PROPERTY LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- OVERHEAD UTILITY LINES
- DRAINAGE LINE
- SEWER LINE
- WATER LINE
- DOUBLE YELLOW LINE
- SINGLE WHITE LINE
- VERTICAL OR SLOPED GRANITE CURB
- CHAIN LINK FENCE
- EDGE OF WOODS
- CONCRETE
- SIGN HC-HANDICAPPED
HOV-VAN ACCESSIBLE
NP-NO PARKING
- CONIFEROUS TREE
- SHRUB
- DECIDUOUS TREE
- ARTESIAN WELL
- IRON PIPE (I.P.) OR REBAR STEEL PIN (SP)
- GRANITE OR CONCRETE BOUND (GB OR CB)
- DRILL HOLE (DH)
- UTILITY POLE
- LIGHT POLE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- HYDRANT
- WATER SHUTOFF

I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE: [Signature] LICENSE NO. 741 DATE: 3/9/2025

NO.	DATE	REVISION

FOR: RICHARD D. BARTLETT & ASSOCIATES, LLC

RICHARD D. BARTLETT & ASSOCIATES, LLC
 214 North State Street
 Concord, N.H. 03301
 Tel.: (603) 225-6770
 info@richardbartlett.com
 www.richardbartlett.com
 LICENSED LAND SURVEYORS

**EXISTING CONDITIONS PLAT
LEASE AREA DZ-4
CONCORD AIRPORT**

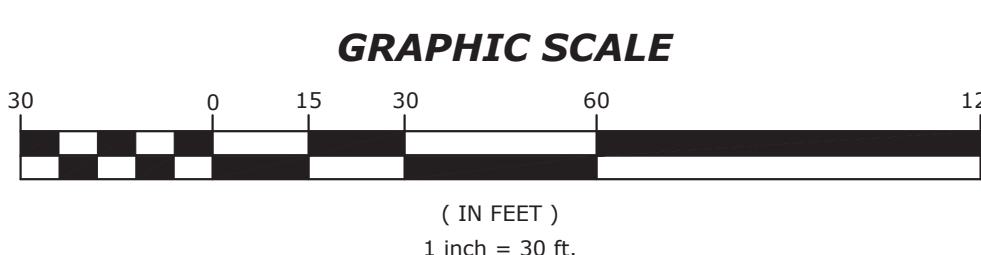
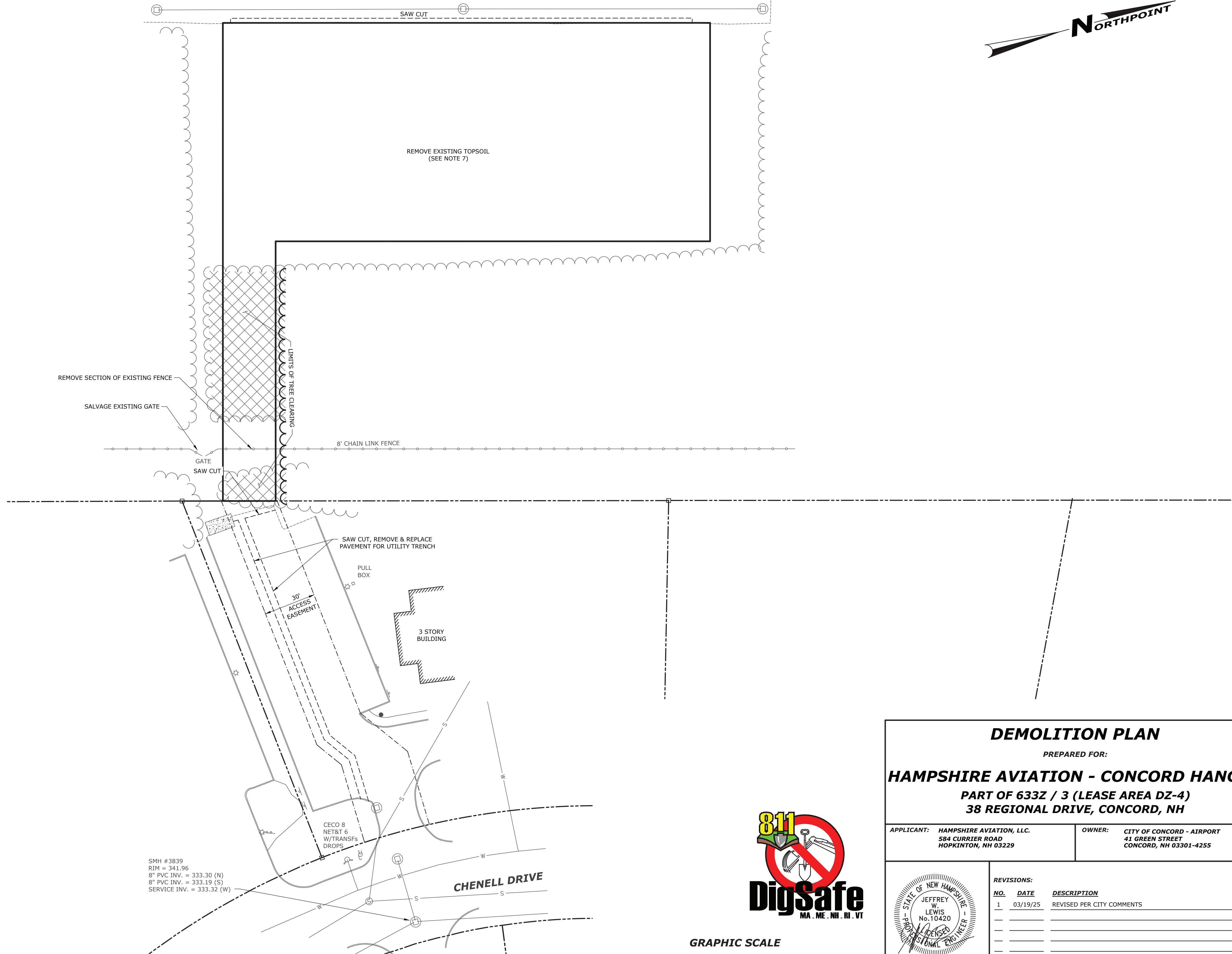
PROJECT: CONCORD AIRPORT CONCORD, NH
LOCATION: MAP 633Z, LOT 3

GRAPHIC SCALE: 0' 20' 40'
SCALE: 1" = 20'

DATE: FEB., 2025
JOB NO.: 1224.214
SHEET 1 OF 1

CONSTRUCTION NOTES:

1. PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 811. NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
2. LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2020 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. CONSTRUCTION ON CITY PROPERTY SHALL FOLLOW THE RIGHT-OF-WAY CONSTRUCTION STANDARDS FROM THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS. PRIVATE PROPERTY CONSTRUCTION STANDARDS WILL NOT APPLY.
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6. PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CONCORD, ENGINEERING SERVICES DIVISION.
7. NO LOAM SHALL BE IMPORTED OR REMOVED FOR CONSTRUCTION AND ANY EXTRA TOPSOIL WILL NEED TO BE STOCKPILED ON AIRPORT PROPERTY AT A LOCATION IDENTIFIED BY THE CITY. STOCKPILED MATERIALS SHALL BE STABILIZED IN ACCORDANCE WITH CONCORD CONSTRUCTION STANDARDS AND DETAILS, TO PREVENT DUST AND EROSION.
8. PRIOR TO THE START OF CONSTRUCTION THE LIMITS OF CLEARING SHALL BE STAKED OUT. NO TREES SHALL BE CUT BEYOND THE LIMITS SHOWN ON THIS PLAN AND TEMPORARY FENCING SHALL BE INSTALLED AROUND THE LIMITS OF CLEARING PRIOR TO CLEARING TO ENSURE THAT NO ADDITIONAL TREES ARE DAMAGED DURING CONSTRUCTION. IMMEDIATELY AFTER CLEARING HAS OCCURRED, ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN SHALL BE INSTALLED AND SHALL REMAIN IN PLACE AT ALL TIMES DURING CONSTRUCTION, AND UNTIL FINAL STABILIZATION HAS OCCURRED.
9. ALL CONSTRUCTION DEBRIS, INCLUDING STUMPS, SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY OFFSITE, UNLESS OTHERWISE APPROVED.



DEMOLITION PLAN

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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	REVISIONS: <table border="1" style="width: 100%;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DATE</th> <th style="width: 80%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03/19/25</td> <td>REVISED PER CITY COMMENTS</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	03/19/25	REVISED PER CITY COMMENTS												
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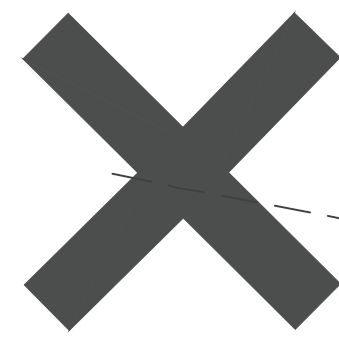
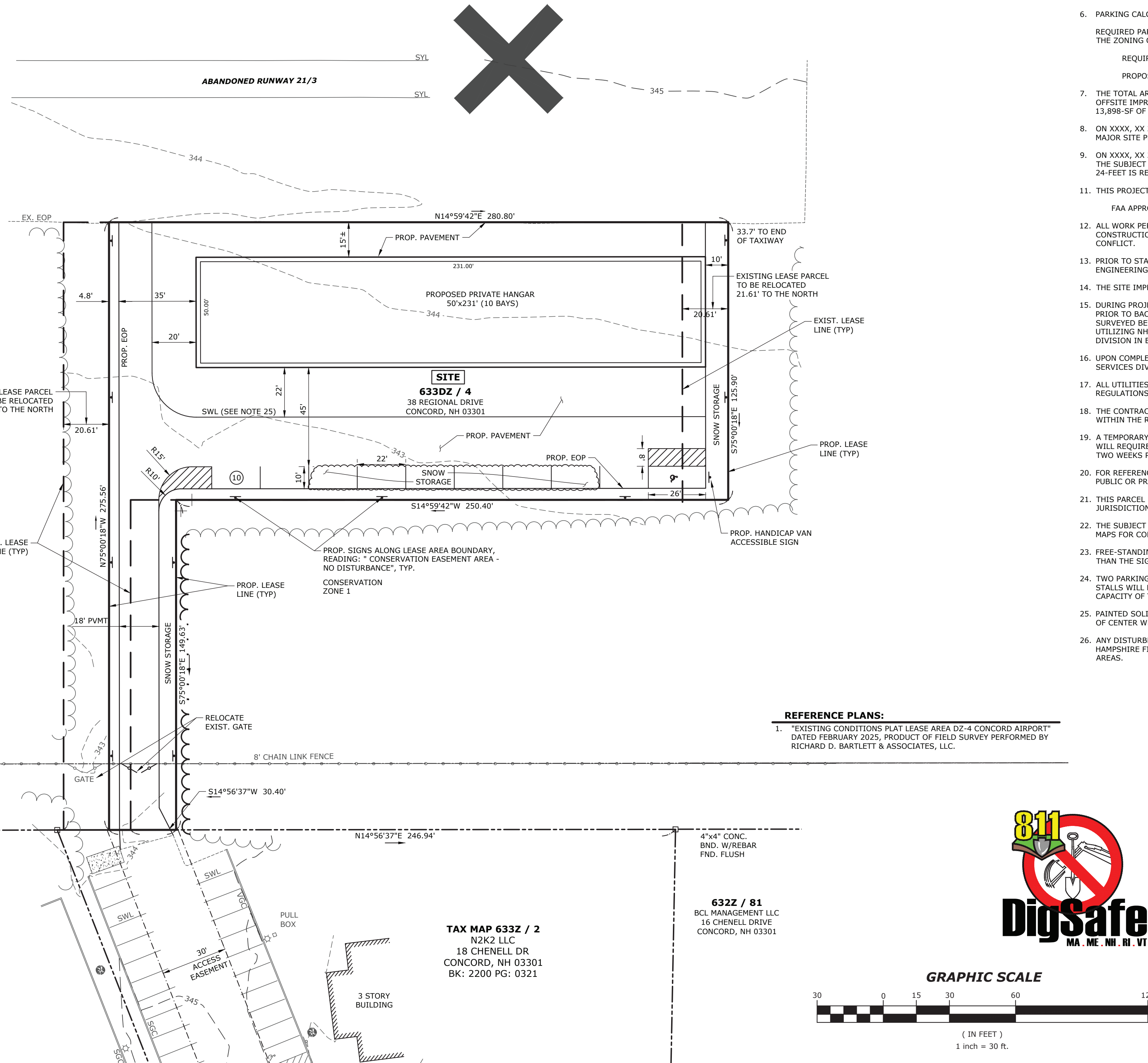
Civil Engineering / Land Planning / Construction Services	119 Storrs St, Ste 201 Concord, NH 03301 Tel 603-226-1166 Fax 603-226-1160 www.northpointeng.com
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DATE: FEB. 2025
 PROJ.: 24063
 SCALE: 1"=30'
 SHEET: 3 OF 13

FILE: G:\PROJECTS\24063\24063_DESIGN.dwg BY: JHF DATE: 19 Mar 2025 - 3:28pm

PART OF
TAX MAP 633Z LOT 3
LEASE AREA DZ-3D
34 REGIONAL DRIVE
CONCORD, NH 03301
125,347 S.F.±
2.878 ACRES±

TAX MAP 633Z LOT 4-1
LEASE AREA DZ-3C
CONCORD NORTH RAMP HANGARS
CONDOMINIUM UNIT OWNERS ASSOCIATION
36 REGIONAL DRIVE
CONCORD, NH 03301
BK: 3011 PG: 1315



GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SITE IMPROVEMENTS ASSOCIATED WITH THE CONSTRUCTION OF A NEW MULTI-BAY AIRCRAFT HANGAR ON THE SUBJECT PARCEL OF LAND.
- REFERENCE THE SUBJECT PARCEL OF LAND AS A PORTION OF THE LOT OF RECORD KNOWN AS CITY OF CONCORD TAX MAP 633Z / 3 (OVERALL TRACT) WHICH IS THE CONCORD MUNICIPAL AIRPORT. THE SUBJECT PARCEL IS ALSO KNOWN AS LEASE AREA DZ-4 AND IS LOCATED OFF REGIONAL DRIVE.
- THE SUBJECT PARCEL CONTAINS APPROXIMATELY 39,900-SF (0.916-ACRES) OF LAND. THE OVERALL TRACT CONTAINS APPROXIMATELY 550 ACRES OF LAND.
- OWNER OF RECORD: 633Z / 3
CITY OF CONCORD
41 GREEN STREET
CONCORD, NH 03301
(BK. 758 PG. 361 MCRD)
(BK. 965 PG. 423 MCRD)
(BK. 1865 PG. 1646 MCRD)
- THE SUBJECT PARCEL IS SITUATED WITHIN THE 'IND' INDUSTRIAL ZONING DISTRICT. THE OVERALL TRACT OF LAND, WHICH INCLUDES THE SUBJECT PARCEL OF LAND, IS SUBJECT TO THE FOLLOWING DIMENSIONAL REQUIREMENTS OF THE ZONING ORDINANCE:

MIN. LOT AREA:	40,000 SF
MIN. BUILDBLE AREA:	20,000 SF
MIN. LOT FRONTAGE:	200 FT
MIN. SETBACKS (FRONT):	50 FT
(REAR):	30 FT
(SIDE):	25 FT
MAX. LOT COVERAGE:	85%
MAX. BUILDING HEIGHT:	45 FT
- PARKING CALCULATIONS:
REQUIRED PARKING AS DETERMINED FROM THE "TABLE OF OFF-STREET PARKING REQUIREMENTS" OF SECTION 28-7-2 OF THE ZONING ORDINANCE.
REQUIRED PARKING: 10 AIRCRAFT TIE-DOWNS @ 1 SPACE PER 5 TIE-DOWNS = 2 SPACE REQUIRED
PROPOSED PARKING: 10 TOTAL SPACES PROPOSED; INCLUDING ONE HANDICAP ACCESSIBLE SPACE
- THE TOTAL AREA OF LAND DISTURBANCE PROPOSED BY THIS PROJECT IS APPROXIMATELY 13,931-SF, WHICH INCLUDES OFFSITE IMPROVEMENTS ON THE ADJUTING PARCEL FOR SITE AND UTILITY ACCESS. THE PROJECT WILL RESULT IN 13,898-SF OF NEW IMPERVIOUS SURFACE AREA ON THE PARCEL.
- ON XXXX, XX 20XX THE CITY OF CONCORD PLANNING BOARD GRANTED ARCHITECTURAL DESIGN REVIEW APPROVAL AND MAJOR SITE PLAN APPROVAL FOR THIS PROJECT, SUBJECT TO CONDITIONS.
- ON XXXX, XX 20XX THE CITY OF CONCORD PLANNING BOARD GRANTED THE FOLLOWING CONDITIONAL USE PERMIT(S) ON THE SUBJECT PARCEL: SECTION 28-7-11 (g) OF THE ZONING ORDINANCE TO ALLOW AN 18-FOOT WIDE DRIVEWAY WHERE 24-FEET IS REQUIRED.
- THIS PROJECT REQUIRES THE FOLLOWING STATE AND FEDERAL PERMITS:
FAA APPROVAL:
- ALL WORK PERFORMED SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE CITY OF CONCORD CONSTRUCTION STANDARDS, AND CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
- PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION.
- THE SITE IMPROVEMENTS FOR THIS PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE.
- DURING PROJECT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AS-BUILT SKETCHES OF ALL UNDERGROUND UTILITIES PRIOR TO BACKFILL AND PROVIDE TO ENGINEER OF RECORD. ALL INVERTS AND ELEVATIONS SHALL BE BASED ON A SURVEYED BENCHMARK PROVIDED BY THE SURVEYOR OF RECORD. THE SURVEYOR SHALL PROVIDE AN AS-BUILT OF THE SITE UTILIZING NH STATE PLANE GRID COORDINATES AND N.A.V.D. 88 DATUM AND SUBMIT TO THE ENGINEERING SERVICES DIVISION IN ELECTRONIC FORMAT FOR INCLUSION IN THE CITY GIS DATABASE.
- UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 25.02(1) OF THE SITE PLAN REGULATIONS.
- THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR ALL WORK WITHIN THE RIGHT-OF-WAY AND ON CITY-OWNED PROPERTY.
- A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) WILL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHALL BE SUBMITTED TO THE ESD FOR REVIEW AN APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE THE LANE CLOSURE(S).
- FOR REFERENCE TO ALL KNOWN PRIOR SUBDIVISIONS & SURVEYS, EXISTING COVENANTS & RESTRICTIONS, AND ANY PUBLIC OR PRIVATE EASEMENTS ENCUMBERING THE SUBJECT PARCEL SEE REFERENCE PLAN 1.
- THIS PARCEL DOES NOT LIE WITHIN THE SHORELAND PROTECTION DISTRICT (SP). THIS SITE DOES NOT CONTAIN ANY JURISDICTIONAL WETLANDS, BLUFFS, OR STEEP SLOPES GREATER THAN 15% OR GREATER THAN 25%.
- THE SUBJECT PARCEL IS NOT LOCATED IN ANY SPECIAL FLOOD HAZARD AREAS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR CONCORD, NH, NUMBER 33013C0534E AND 33013C0553E HAVING AN EFFECTIVE DATE OF APRIL 19, 2010.
- FREE-STANDING AND STRUCTURE AFFIXED SIGNAGE IS NOT PROPOSED WITH CONSTRUCTION OF THIS PROJECT OTHER THAN THE SIGNAGE ASSOCIATED WITH PARKING AND THE CONSERVATION BOUNDARY.
- TWO PARKING SPACES SHALL REMAIN ACCESSIBLE AT ALL TIMES DURING WINTER OPERATIONS ALL REMAINING PARKING STALLS WILL BE USED AS SNOW STORAGE LOCATIONS. IN THE EVENT THAT ACCUMULATED SNOW STORAGE EXCEEDS THE CAPACITY OF THE SITE, EXCESS SNOW SHALL BE REMOVED FROM THE SITE.
- PAINTED SOLID WHITE LINE (SWL) ON PAVEMENT IS FOR USE BY TAXING AIRCRAFT TO SHOW LOCATION PROPER LOCATION OF CENTER WHEEL ON AIRCRAFT DURING TAXIING. THE SWL DOES NOT AFFECT CAR CIRCULATION AROUND PARKING AREA.
- ANY DISTURBED LAND SHALL BE RECOVERED WITH LOAM AND SEEDED WITH A SPECIFIED MIX CONSISTENT WITH NEW HAMPSHIRE FISH AND GAME AND NEW HAMPSHIRE WILDLIFE SERVICES REQUIREMENTS FOR PROXIMITY TO CONSERVATION AREAS.

REFERENCE PLANS:

- "EXISTING CONDITIONS PLAT LEASE AREA DZ-4 CONCORD AIRPORT" DATED FEBRUARY 2025, PRODUCT OF FIELD SURVEY PERFORMED BY RICHARD D. BARTLETT & ASSOCIATES, LLC.

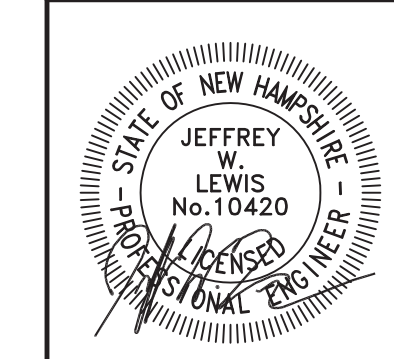
SITE PLAN

PREPARED FOR:

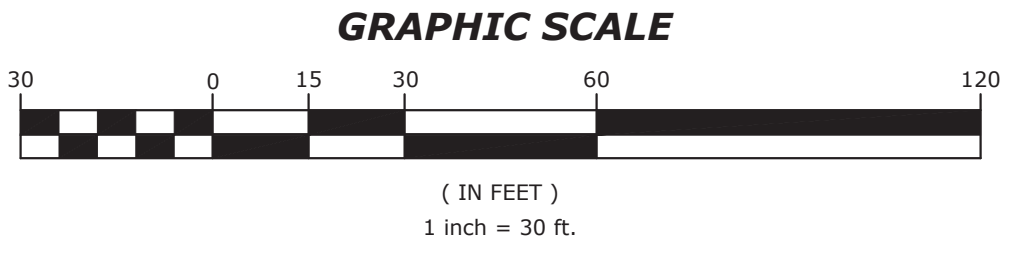
HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC.
584 CURRIER ROAD
HOPKINTON, NH 03229

OWNER: CITY OF CONCORD - AIRPORT
41 GREEN STREET
CONCORD, NH 03301-4255



REVISIONS:		
NO.	DATE	DESCRIPTION
1	03/19/25	REVISED PER CITY COMMENTS



633Z / 1
ZED PROPERTIES LLC
ATTN SCOTT LAWSON GROUP LTD
20 CHENELL DRIVE
CONCORD, NH 03302

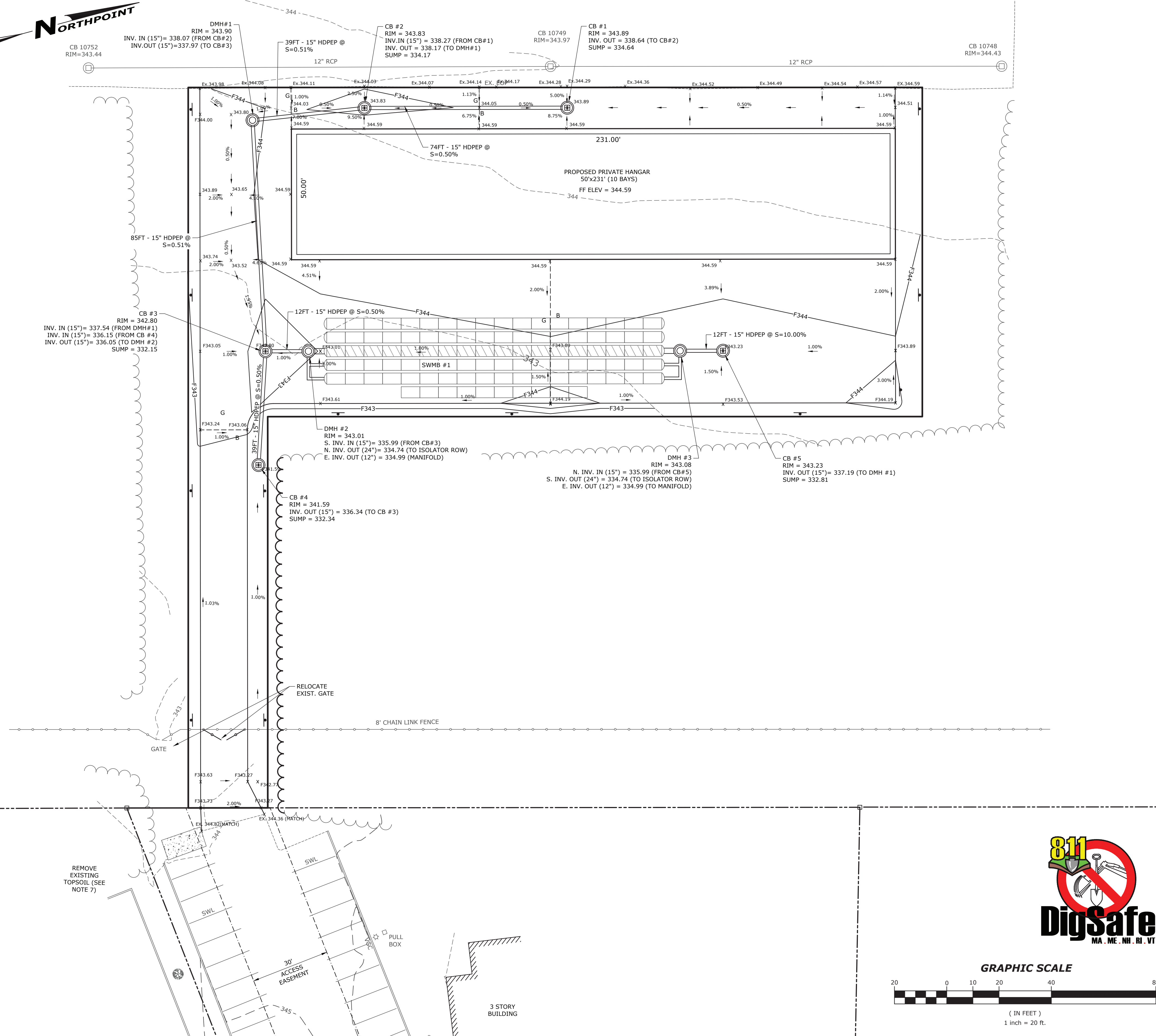
TAX MAP 633Z / 2
N2K2 LLC
18 CHENELL DR
CONCORD, NH 03301
BK: 2200 PG: 0321

632Z / 81
BCL MANAGEMENT LLC
16 CHENELL DRIVE
CONCORD, NH 03301

FILE: G:\PROJECTS\24063\24063_DESIGN.dwg BY: JHR DATE: 19 Mar 2025 - 3:28pm

NORTHPOINT

- CONSTRUCTION NOTES:**
- PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 811. NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
 - LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
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 - PRIOR TO THE START OF CONSTRUCTION THE LIMITS OF CLEARING SHALL BE STAKED OUT. NO TREES SHALL BE CUT BEYOND THE LIMITS SHOWN ON THIS PLAN AND TEMPORARY FENCING SHALL BE INSTALLED AROUND THE LIMITS OF CLEARING PRIOR TO CLEARING TO ENSURE THAT NO ADDITIONAL TREES ARE DAMAGED DURING CONSTRUCTION. IMMEDIATELY AFTER CLEARING HAS OCCURRED, ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN SHALL BE INSTALLED AND SHALL REMAIN IN PLACE AT ALL TIMES DURING CONSTRUCTION, AND UNTIL FINAL STABILIZATION HAS OCCURRED.
 - STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL BE ADS N-12 DUAL WALL PIPE (OR APPROVED EQUAL) UNLESS OTHERWISE NOTED ON PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS.
 - STORMWATER MANAGEMENT BASIN SWMB #1 IS A SUBSURFACE INFILTRATION BASIN. THE SUBSURFACE BASIN SHALL BE COMPRISED OF TOTAL 95 STORMTECH SC-740 CHAMBERS, AS SHOWN, WITHIN A STONE EXFILTRATION BED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS AND CROSS-SECTIONS ON THE CONSTRUCTION DETAIL SHEETS. THE FIRST ROW OF CHAMBERS SHALL BE INSTALLED AS AN ISOLATOR ROW PER MANUFACTURER RECOMMENDATIONS.
 - ALL CONSTRUCTION DEBRIS, INCLUDING STUMPS, SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY OFFSITE, UNLESS OTHERWISE APPROVED.
 - THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT, A DRIVEWAY PERMIT, AND A UTILITY CONNECTION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMITS.
 - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE PERMANENTLY STABILIZED WITH 6" OF LOAM AND SEED, PER THE TURF ESTABLISHMENT SCHEDULE. REFER TO THE EROSION CONTROL PLANS FOR ADDITIONAL REQUIREMENTS FOR TEMPORARY AND PERMANENT STABILIZATION PRACTICES IN CERTAIN AREAS OF THE SITE AS MAY BE APPLICABLE.
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 - ALL STORMWATER IMPROVEMENTS BUILT WILL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY IN ACCORDANCE WITH:
 - LOCAL, STATE, FEDERAL REGULATIONS.
 - NHDES STORMWATER MANUAL RECOMMENDATIONS.
 - STORMWATER MAINTENANCE AND OPERATIONS PLAN.
 - ANY MANUFACTURER SPECIFICATIONS.



GRADING AND DRAINAGE PLAN

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR
 PART OF 633Z / 3 (LEASE AREA DZ-4)
 38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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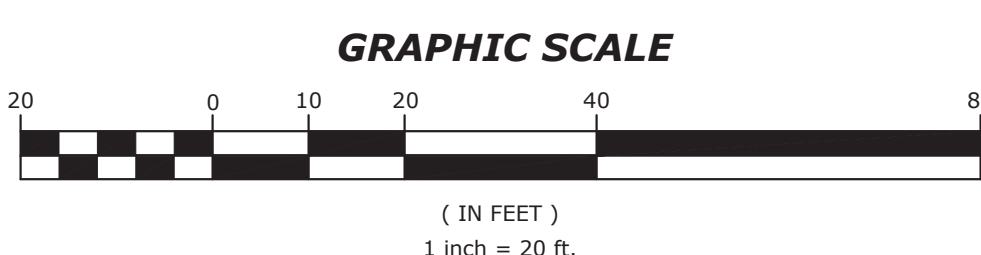
NO.	DATE	DESCRIPTION
1	03/19/25	REVISED PER CITY COMMENTS

REVISIONS:

STATE OF NEW HAMPSHIRE
 JEFFREY W. LEWIS
 No. 10420
 REGISTERED PROFESSIONAL ENGINEER

NORTHPOINT ENGINEERING, LLC
 Civil Engineering Land Planning Construction Services
 119 Storrs St, Ste 201
 Concord, NH 03301
 Tel 603-226-1166
 Fax 603-226-1160
 www.northpointeng.com

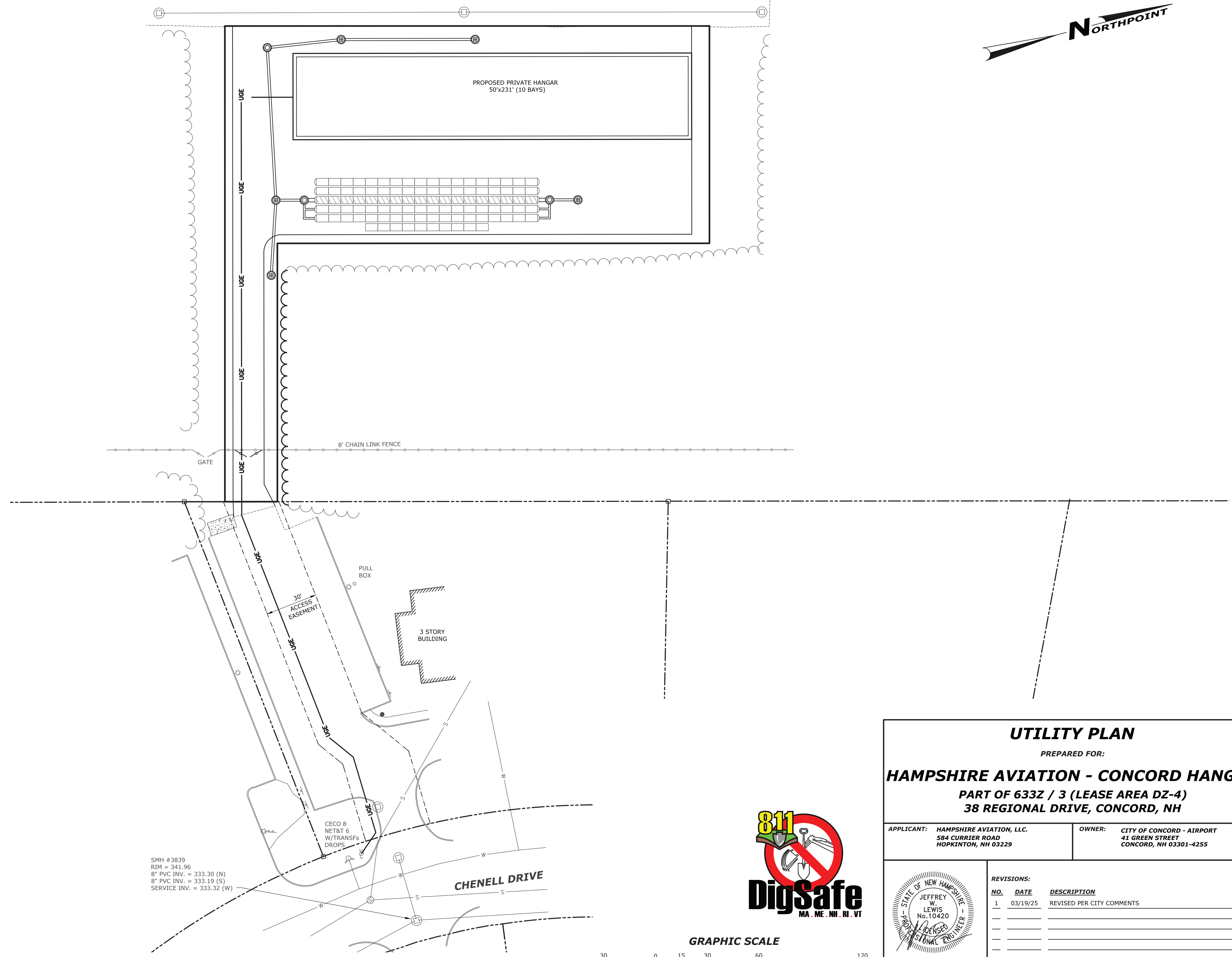
DATE: FEB. 2025
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 SCALE: 1"=20'
 SHEET: 5 OF 13



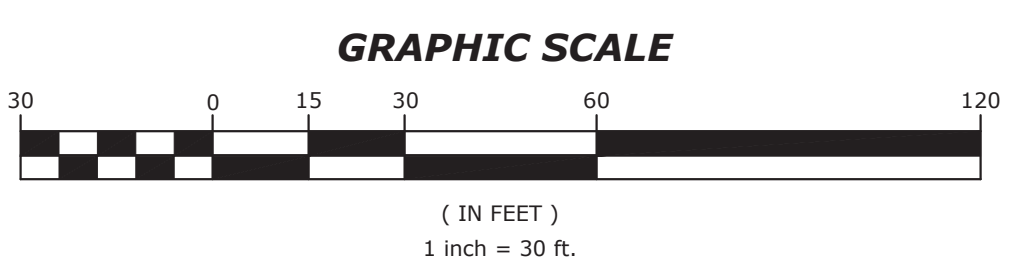
FILE: G:\PROJECTS\24063\24063_DESIGN.dwg BY: JHR DATE: 19 Mar 2025 - 3:28pm

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6. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
7. PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE CITY OF CONCORD, ENGINEERING SERVICES DIVISION.
8. DURING PROJECT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AS-BUILT SKETCHES OF ALL UNDERGROUND UTILITIES PRIOR TO BACKFILL AND PROVIDE TO ENGINEER OR RECORD. ALL INVERTS AND ELEVATIONS SHALL BE BASED ON A SURVEYED BENCHMARK PROVIDED BY THE SURVEYOR OF RECORD THE SURVEYOR SHALL PROVIDE AN AS-BUILT OF THE SITE UTILIZING NH STATE PLANE GRID COORDINATES AND N.A.V.D. 88 DATUM AND SUBMIT TO THE ENGINEERING SERVICES DIVISION IN ELECTRONIC FORMAT FOR INCLUSION IN THE CITY GIS DATABASE.
9. ALL ONSITE UTILITIES (ELEC/TELE) SHALL BE INSTALLED UNDERGROUND. THE PROPOSED LOCATIONS OF ALL UNDERGROUND UTILITIES (UGE/UGT) SHALL BE COORDINATED WITH APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE EXACT LOCATIONS OF PROPOSED UNDERGROUND UTILITIES, INCLUDING THE METHOD OF CONNECTION TO THE EXISTING SOURCE UTILITY, AND THE NUMBER AND LOCATION OF ALL APPURTENANT STRUCTURES (TRANSFORMERS, PULL BOXES, CABINETS, ETC.) WITH THE OWNING UTILITY COMPANIES. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING POINT CONNECTIONS.
10. PROPOSED ELECTRICAL TRANSFORMER AND MANHOLE LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE IN NATURE. FINAL LOCATION SHALL BE DETERMINED BETWEEN THE OWNER/CONTRACTOR AND UNTIL. CONTRACTOR SHALL COORDINATE DIRECTLY WITH UNTIL FOR FINAL DETERMINATION ON ACCESS POINT FOR EXTENSION OF UNDERGROUND ELECTRIC SERVICE TO THE SITE.

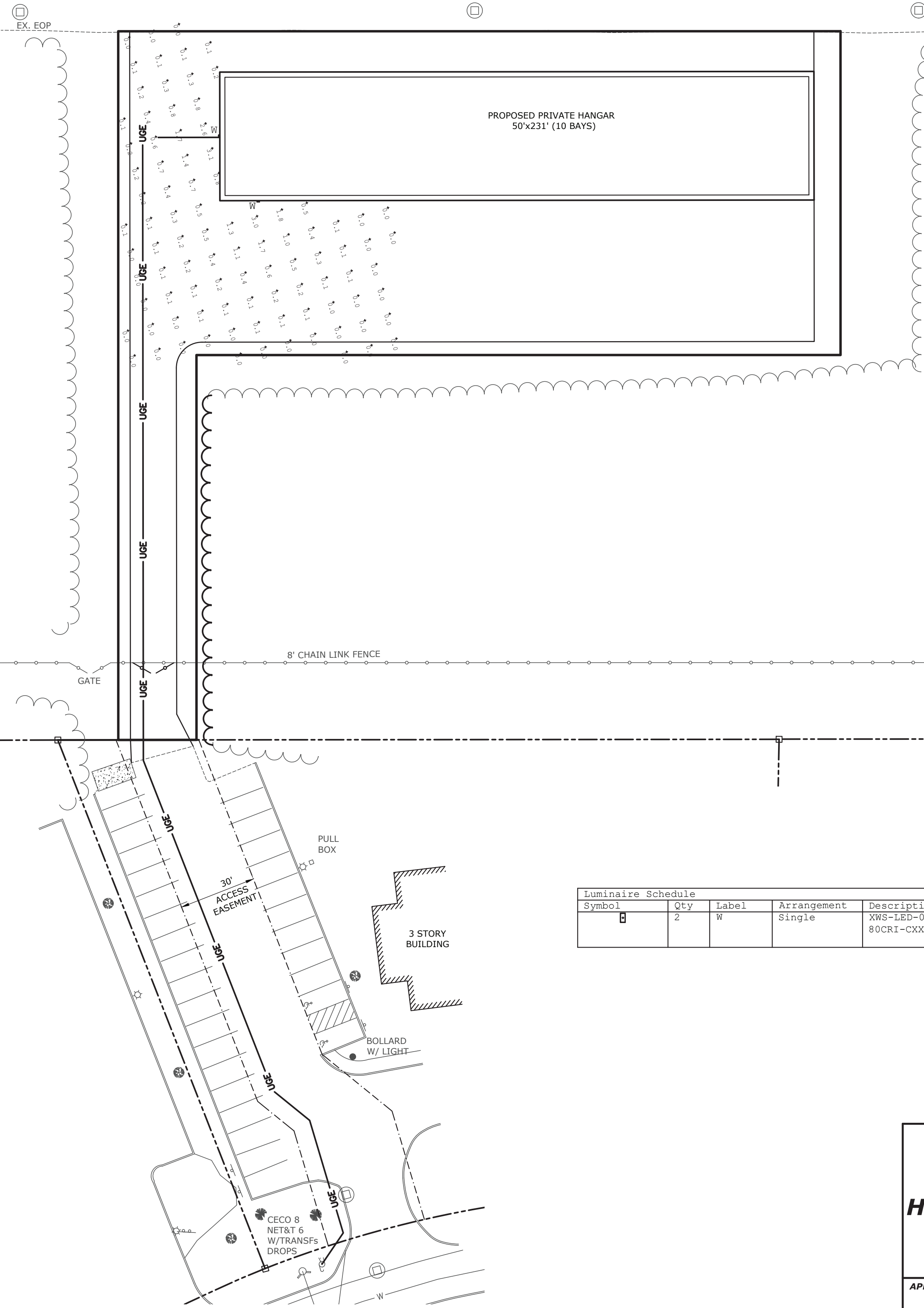


SMH #3839
 RIM = 341.96
 8" PVC INV. = 333.30 (N)
 8" PVC INV. = 333.19 (S)
 SERVICE INV. = 333.32 (W)



UTILITY PLAN																		
PREPARED FOR:																		
HAMPSHIRE AVIATION - CONCORD HANGAR																		
PART OF 633Z / 3 (LEASE AREA DZ-4)																		
38 REGIONAL DRIVE, CONCORD, NH																		
APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255																	
	REVISIONS:																	
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	119 Storrs St, Ste 201 Concord, NH 03301 Tel 603-226-1166 Fax 603-226-1160 www.northpointeng.com																	
DATE: FEB. 2025	PROJ.: 24063																	
SCALE: 1"=30'	SHEET: 6 OF 13																	

FILE: C:\PROJECTS\24063\24063_DESIGN.dwg BY: JHF DATE: 19 Mar 2025 - 3:28pm



LIGHTING NOTES:

1. ALL LIGHT FIXTURES SHALL BE FULL-CUTOFF.
2. PROPOSED LIGHTING SHALL BE DIRECTED ONTO THE SITE AND AWAY FROM THE ROADWAY AND ADJACENT PROPERTIES.
3. ELECTRICAL CONDUIT, IF SHOWN, IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR TO VERIFY EXISTING UNDERGROUND ELECTRICAL FOR LIGHTING IN FIELD.



Mirada Small Wall Sconce (XWS)
Outdoor LED Wall Light

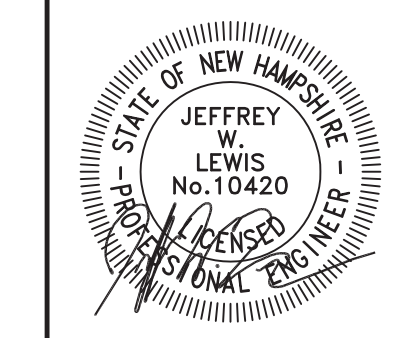
OVERVIEW	
Lumen Output Range	2,000 - 6,000
Wattage Range	15 - 52
Efficacy Range (LPW)	119 - 151
Luminaire Weight lbs (kg)	8 (3.6)

Illuminance (Fc)
 Average = 0.51
 Maximum = 3.1
 Minimum = 0.0
 Avg/Min Ratio = N.A.
 Max/Min Ratio = N.A.

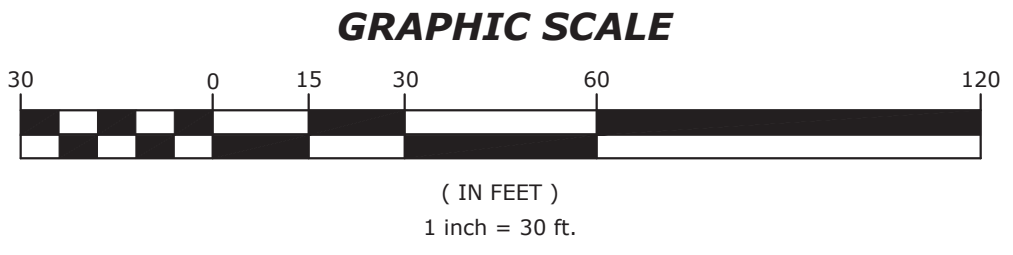
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Tag	(MANUFAC)
☐	2	W	Single	XWS-LED-02L-FTW-UNV-DIM-30-80CRI-CXX	WALL MOUNTED 14' AFG	LSI INDUSTRIES, INC.

LIGHTING PLAN
 PREPARED FOR:
HAMPSHIRE AVIATION - CONCORD HANGAR
 PART OF 633Z / 3 (LEASE AREA DZ-4)
 38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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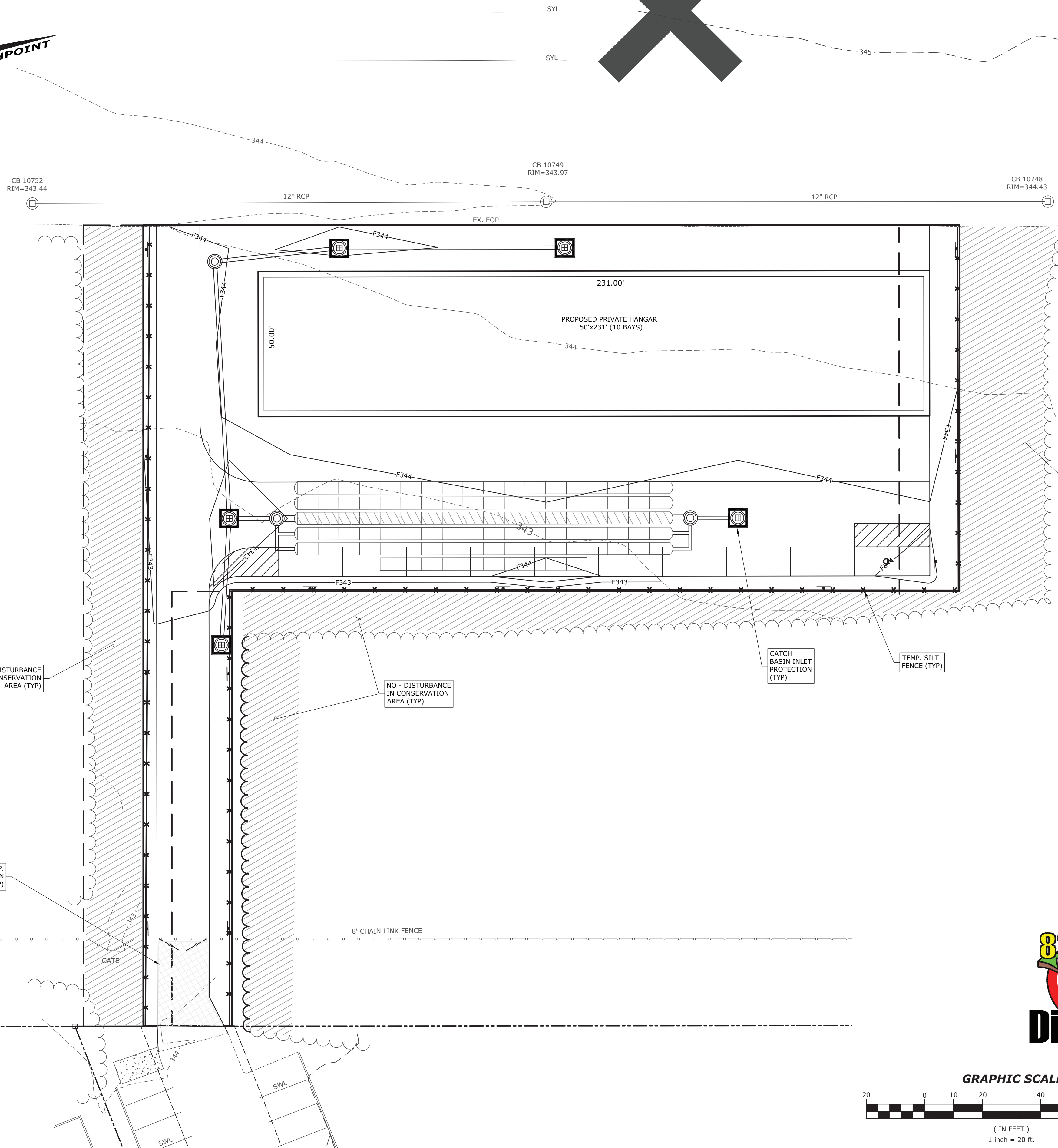
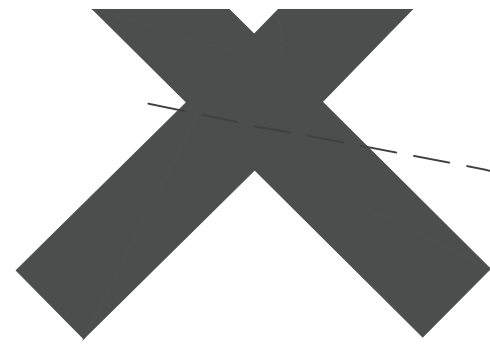


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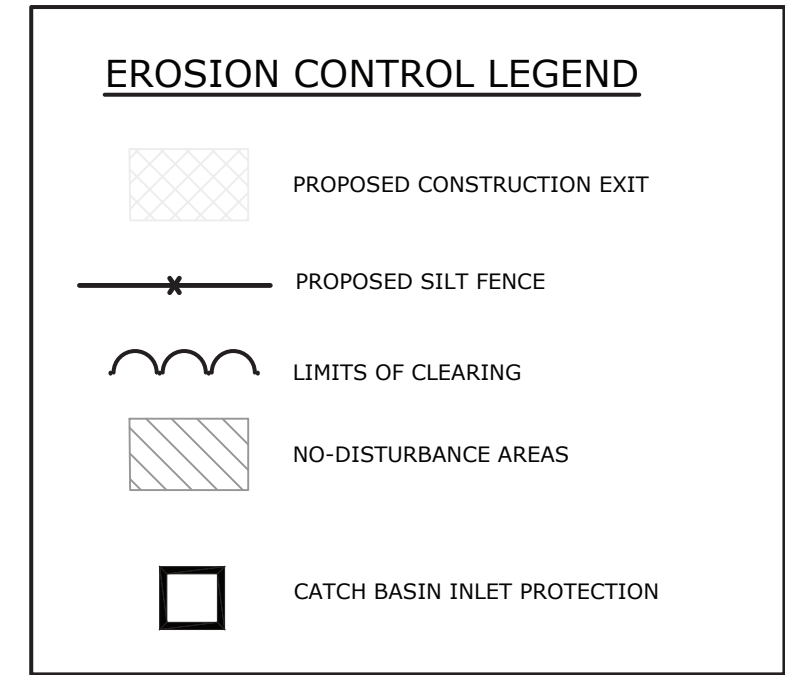


FILE: C:\PROJECTS\24063\24063_DESIGN.dwg BY: JHF DATE: 19 Mar 2025 - 3:28pm





- CONSTRUCTION NOTES**
- DIG SAFE SHALL BE CONTACTED 72 HOURS PRIOR TO CONSTRUCTION COMMENCING (1-888-344-7233).
 - TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCE WHERE SHOWN, SHALL BE IN PLACE PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED.
 - INLET FILTER BASKETS SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS THAT WILL RECEIVE RUNOFF DURING CONSTRUCTION.
 - ALL TEMPORARY EROSION CONTROL MATS/BANKETS USED ON THIS SITE SHALL BE CURLEX NET FREE EROSION CONTROL BANKETS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL. WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING OR THREAD IN MATTING IS SPECIFICALLY NOT ALLOWED ON THIS SITE.
 - SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.
 - EXISTING "CONSERVATION MANAGEMENT" SIGNS SHALL BE RELOCATED AND REINSTALLED AT A LOCATION DETERMINED BY THE CITY OF CONCORD.
 - NO LOAM SHALL BE IMPORTED OR REMOVED FOR CONSTRUCTION AND ANY EXTRA TOPSOIL WILL NEED TO BE STOCKPILED ON AIRPORT PROPERTY AT A LOCATION IDENTIFIED BY THE CITY. STOCKPILED MATERIALS SHALL BE STABILIZED IN ACCORDANCE WITH CONCORD CONSTRUCTION STANDARDS AND DETAILS, TO PREVENT DUST AND EROSION.
 - ANY DISTURBED LAND SHALL BE RECOVERED WITH LOAM AND SEEDING WITH A SPECIFIED MIX CONSISTENT WITH NEW HAMPSHIRE FISH AND GAME AND NEW HAMPSHIRE WILDLIFE SERVICES REQUIREMENTS FOR PROXIMITY TO CONSERVATION AREAS.



EROSION CONTROL PLAN

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 534 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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NO.	DATE	DESCRIPTION
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811 DigSafe
MA . ME . NH . RI . VT

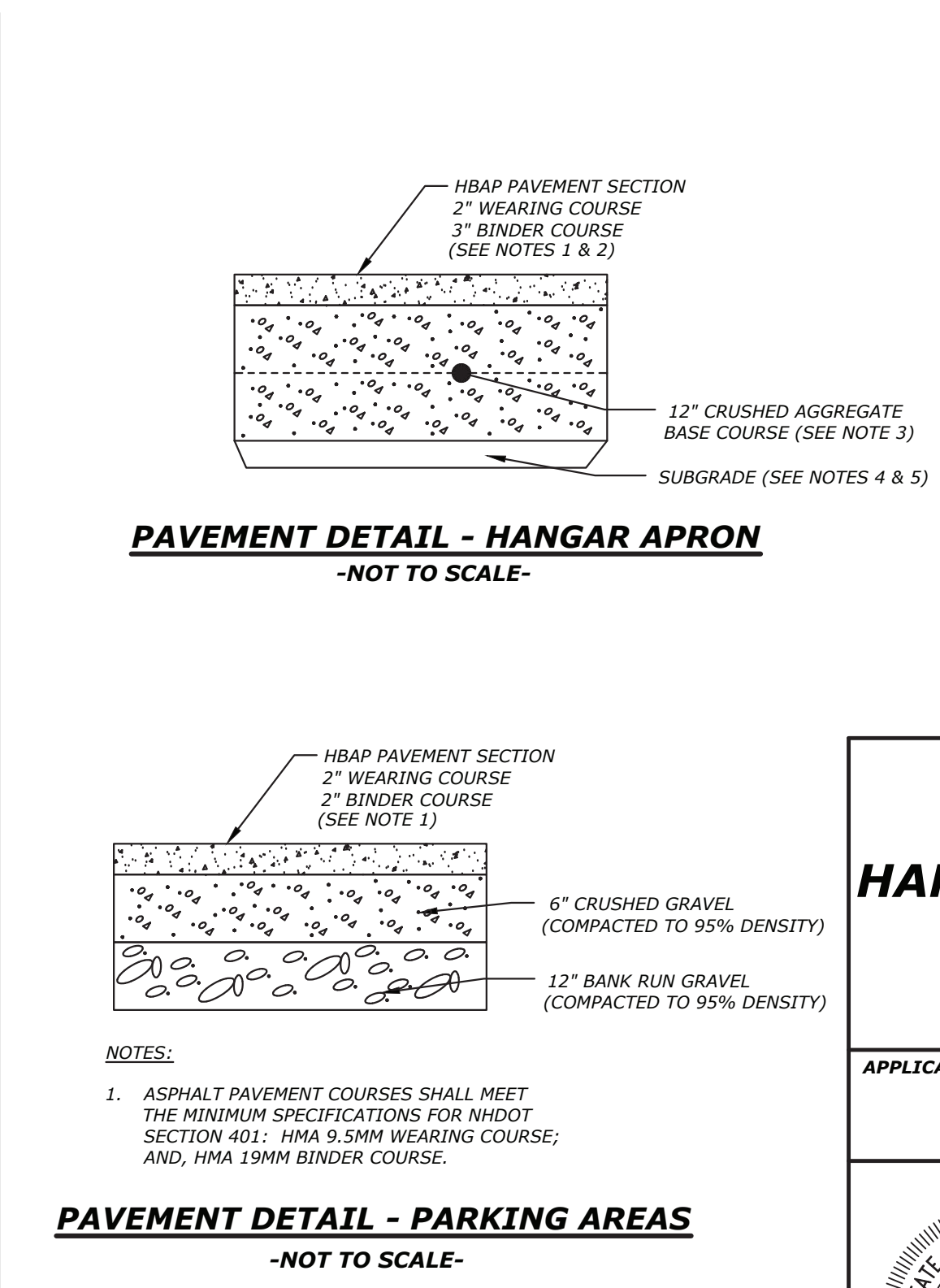
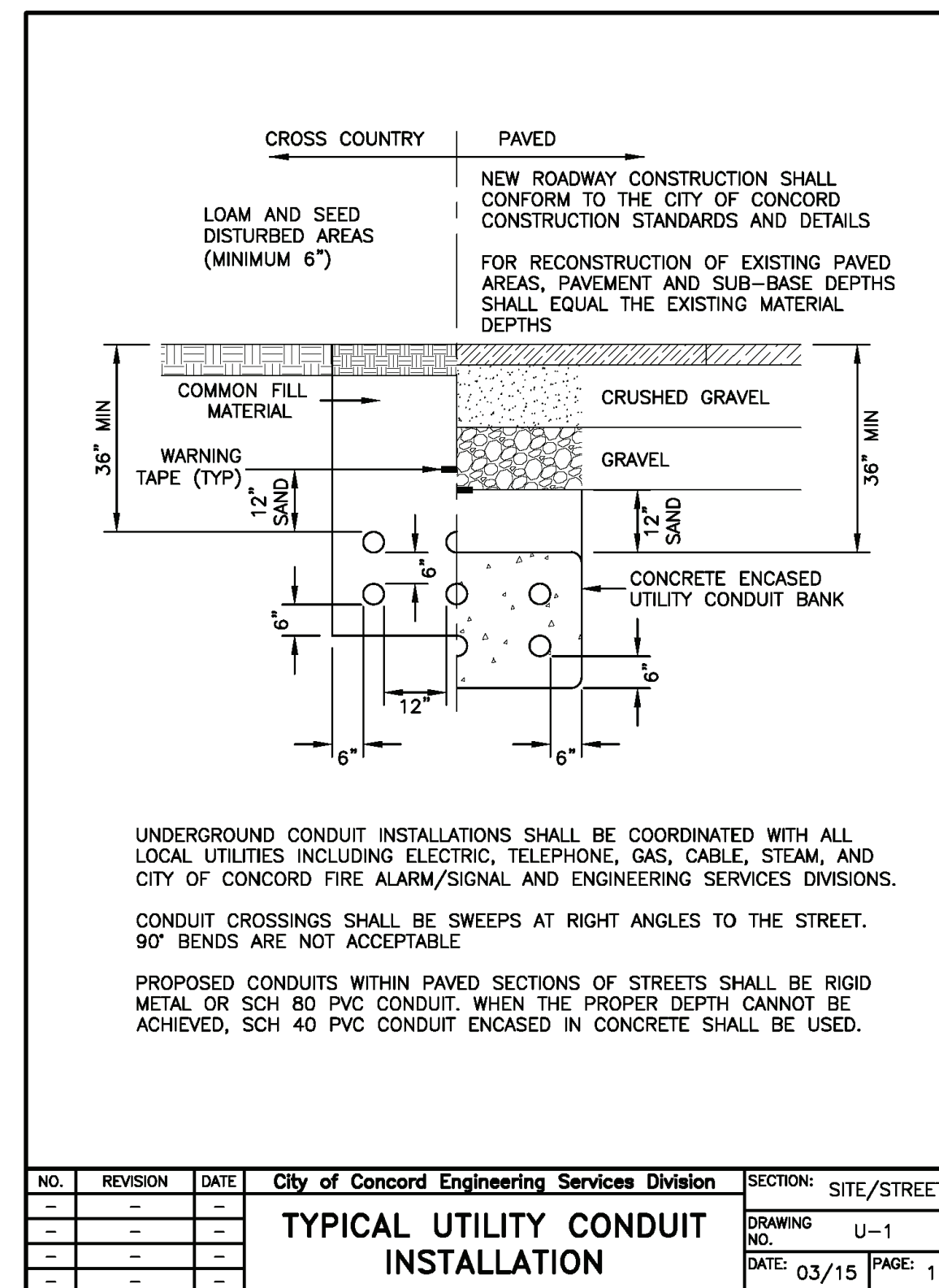
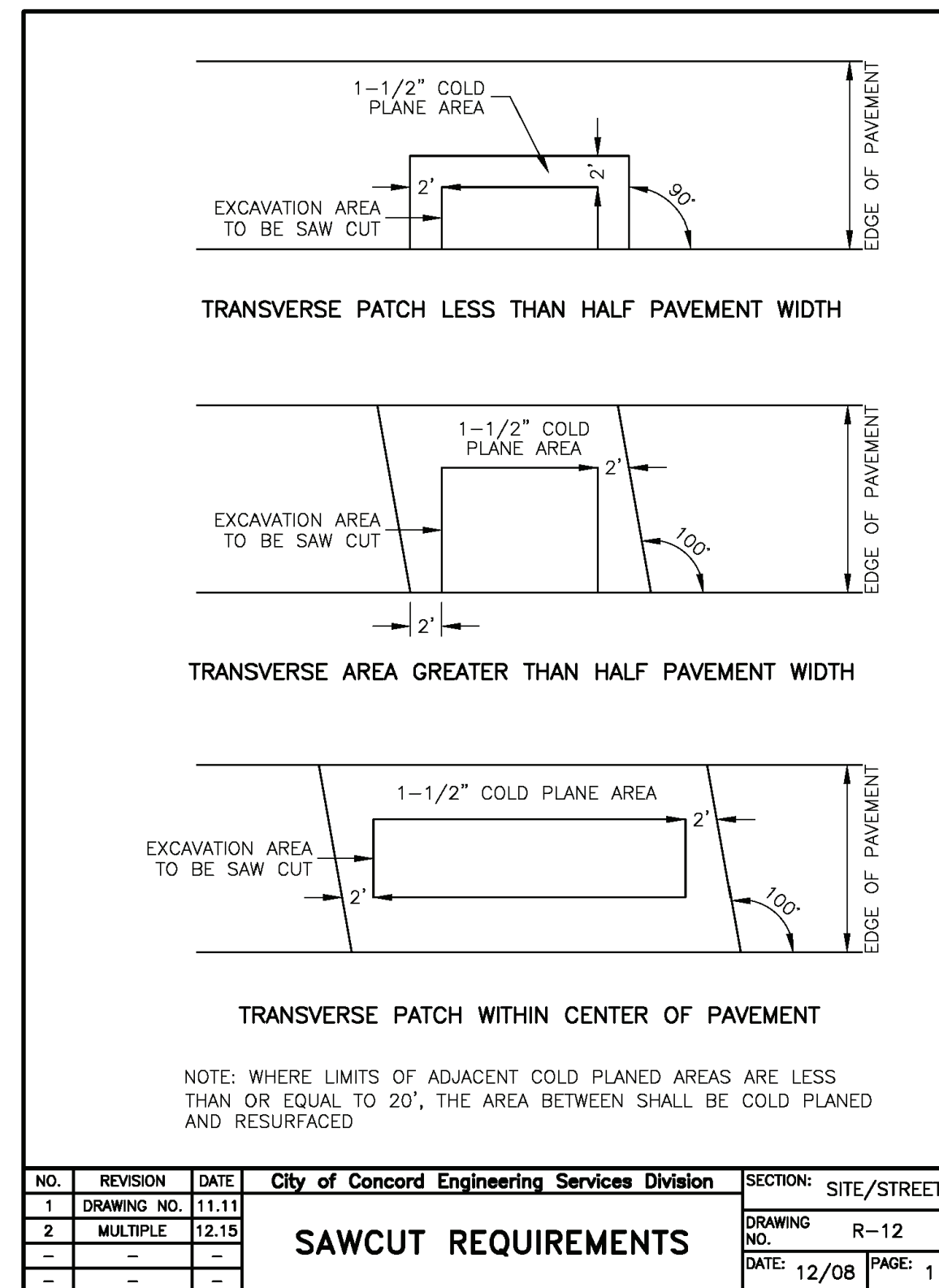
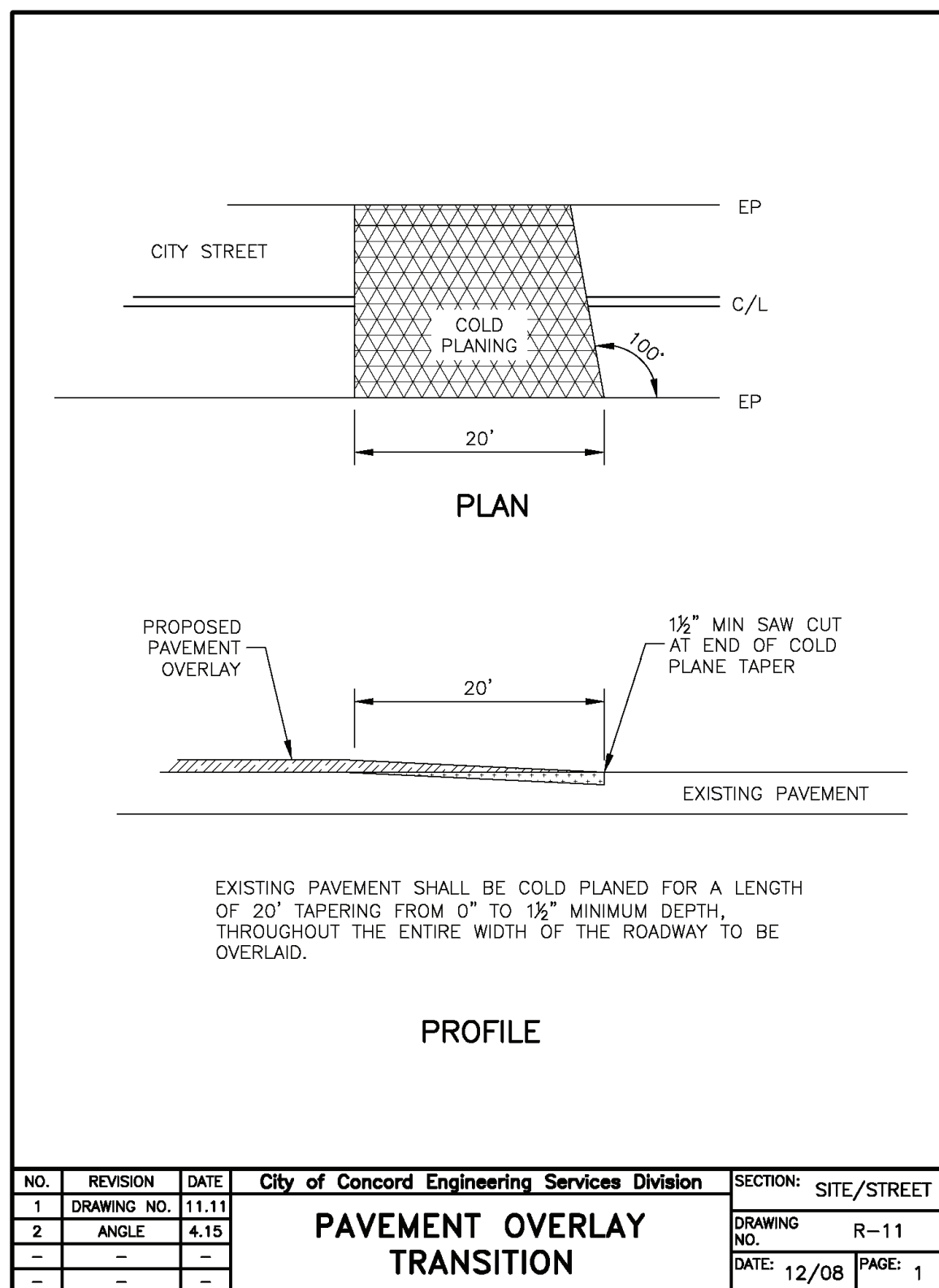
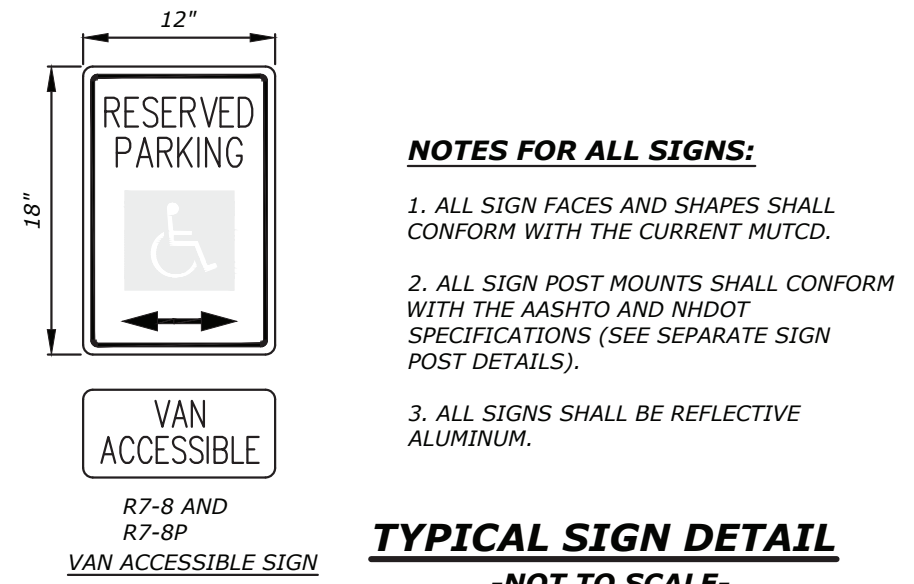
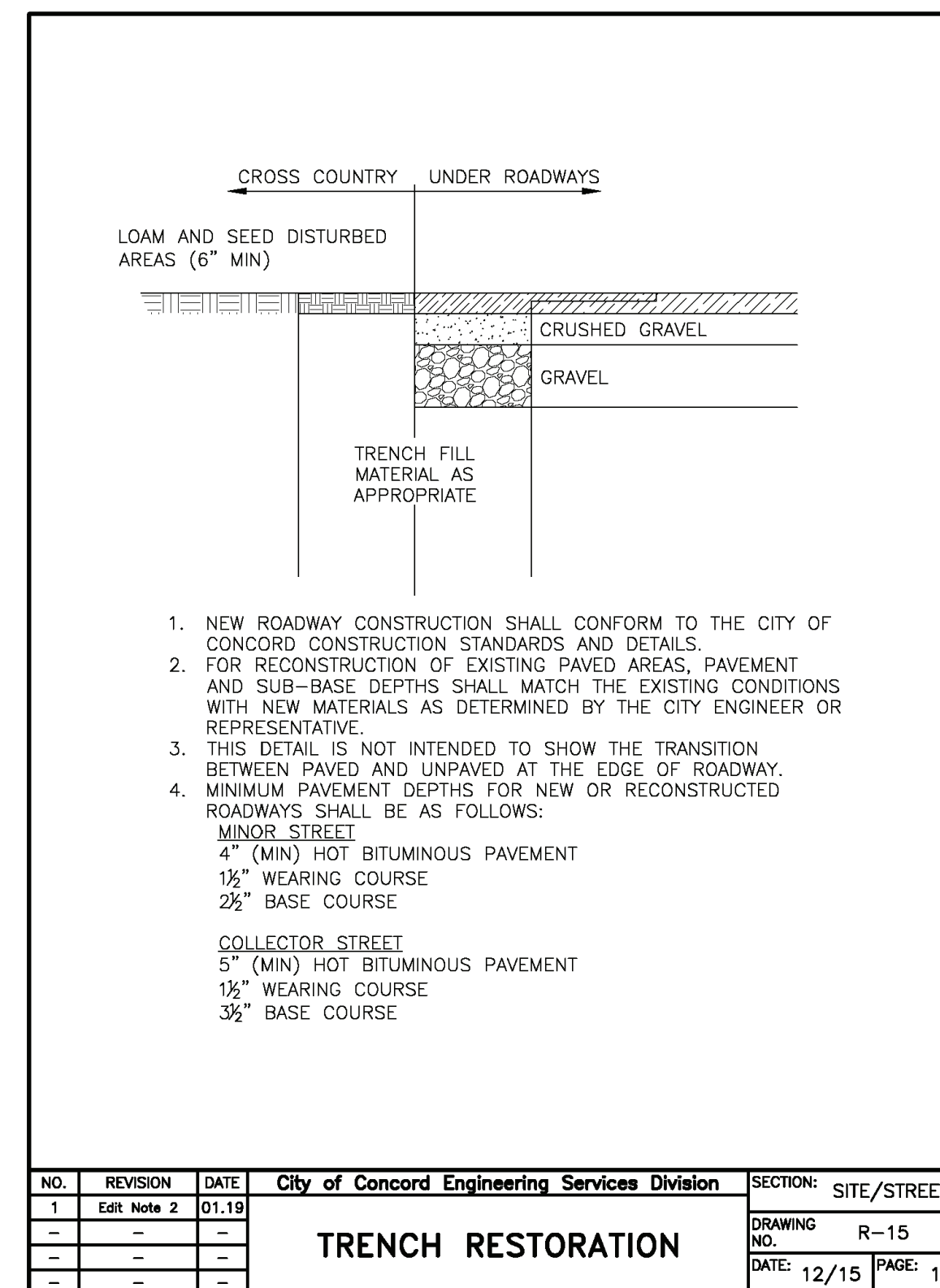
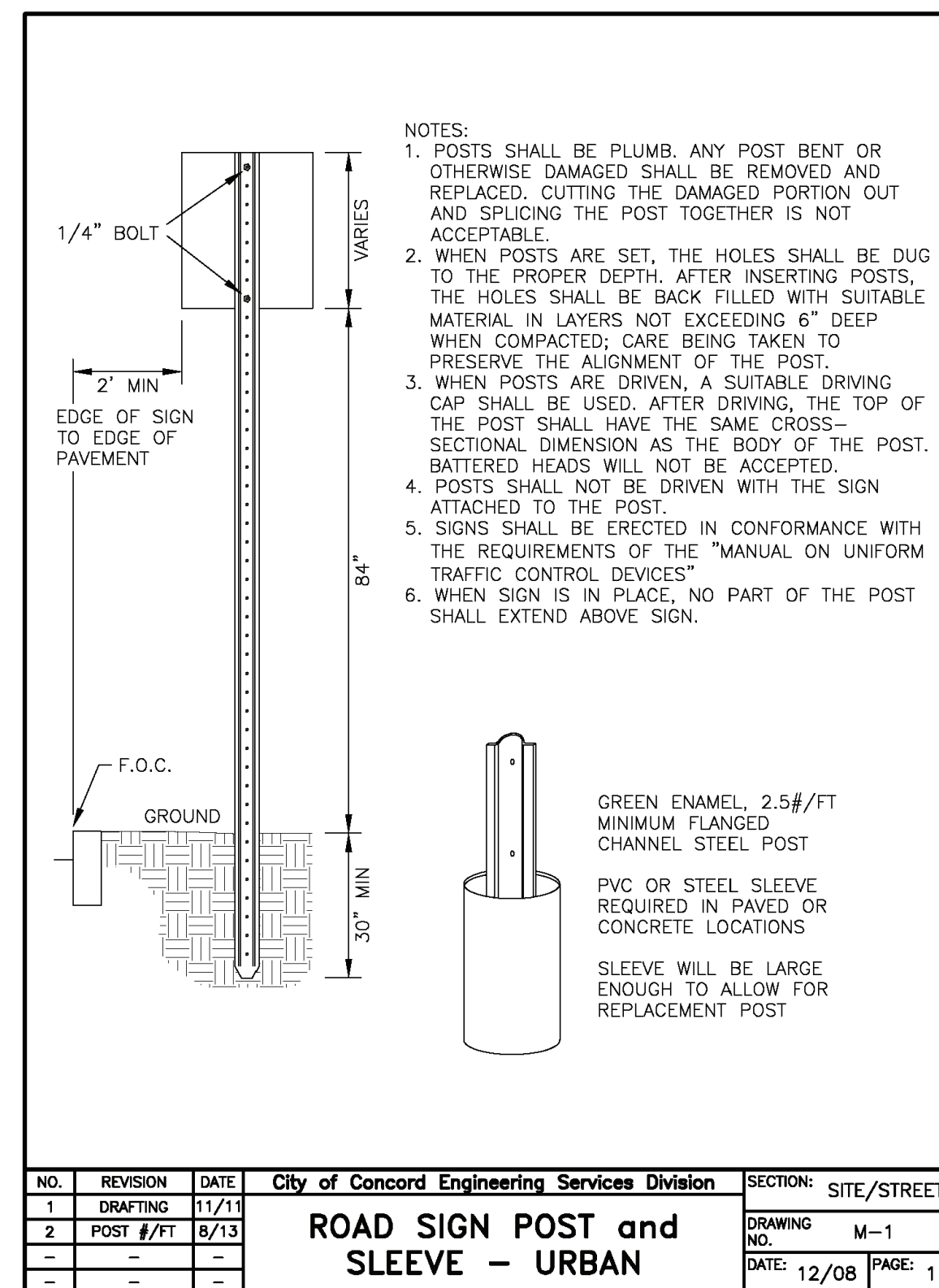
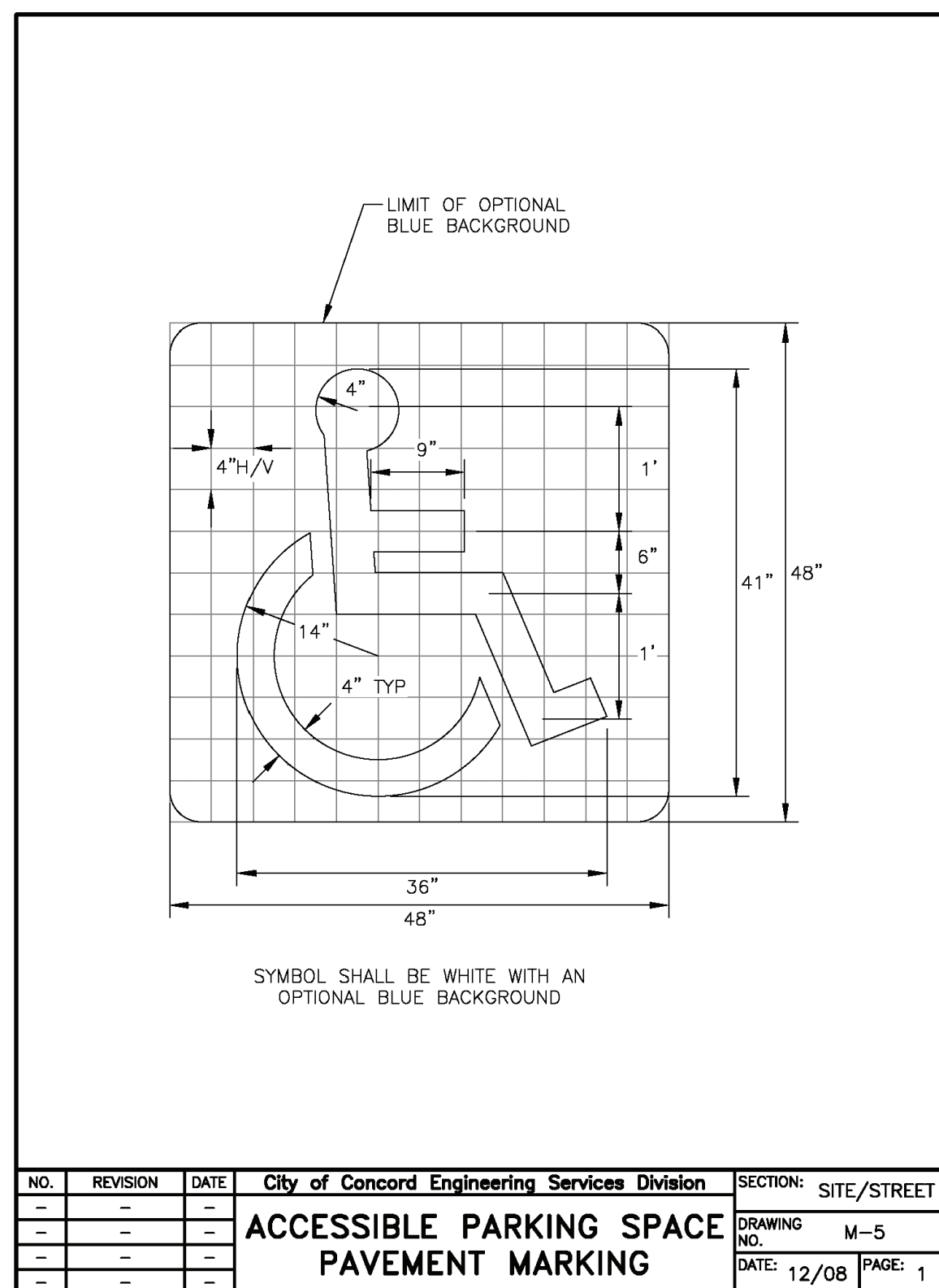
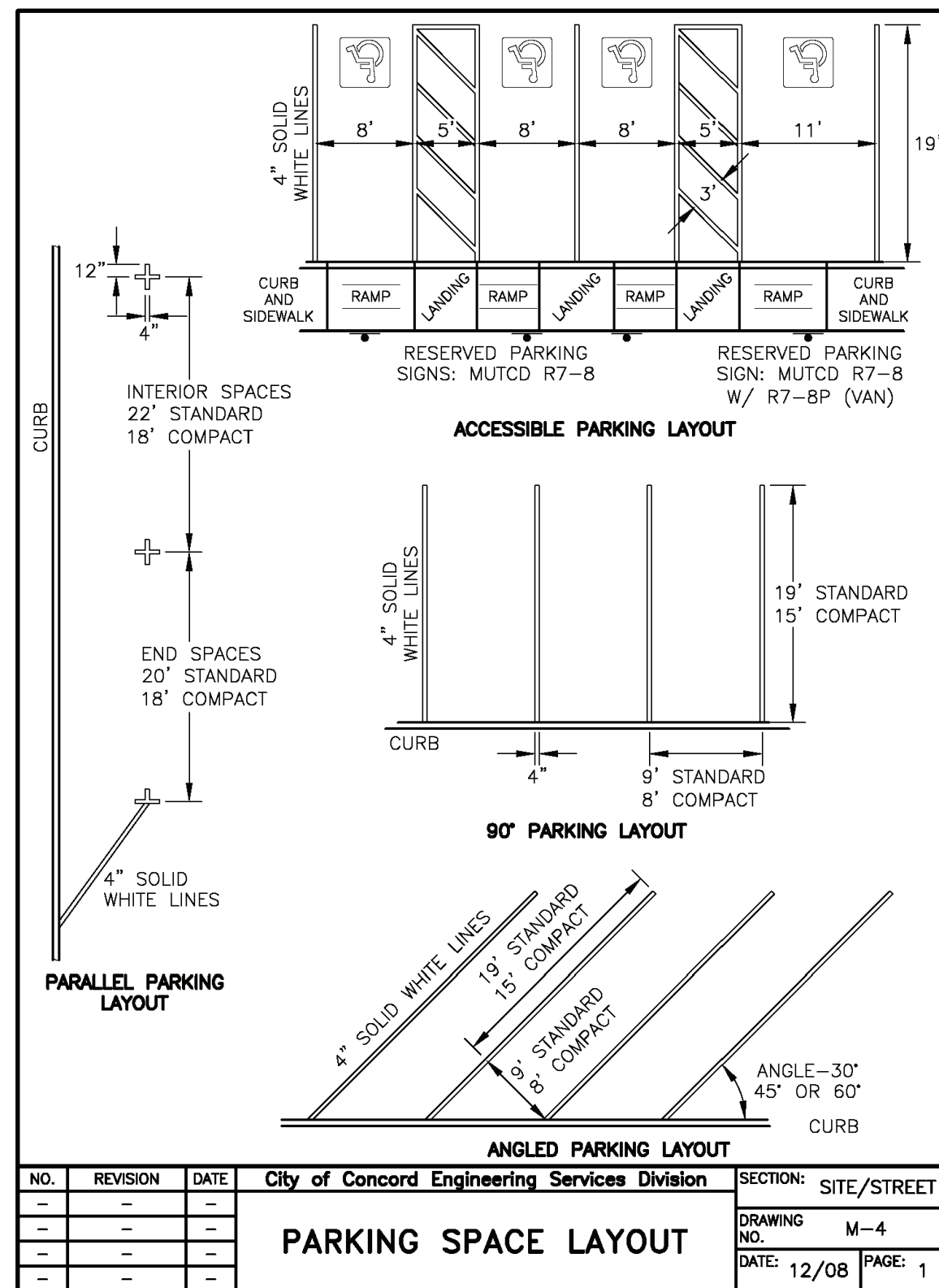
GRAPHIC SCALE
1 inch = 20 feet

NORTHPOINT ENGINEERING, LLC
Civil Engineering / Land Planning / Construction Services

119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: FEB. 2025
PROJ.: 24063
SCALE: 1"=20'
SHEET: 8 OF 13

FILE: G:\PROJECTS\24063\24063_24063_DESIGN.dwg BY: JHF DATE: 19 Mar 2025 - 3:28pm



- NOTES:**
- ASPHALT PAVEMENT COURSES SHALL MEET THE MINIMUM SPECIFICATIONS FOR FAA ITEMS P-401 (WEARING COURSE) AND P-403 (BINDER COURSE), AND SHALL BE INSTALLED IN A MINIMUM OF TWO (2) LIFTS, IN ACCORDANCE WITH THE GUIDELINES AND REQUIREMENTS OF THE SPECIFICATIONS FOR FAA ITEMS P-401 AND P-403
 - AN EMULSIFIED ASPHALT TACK COAT, FAA ITEM P-603 SHALL BE APPLIED BETWEEN WEARING COURSE (P-401) AND THE BINDER COURSE (P-403) PAVEMENTS IN ACCORDANCE WITH THE GUIDELINES AND REQUIREMENTS OF FAA ITEM P-603. THE ASPHALT TACK COAT SHALL BE APPLIED AT A RATE OF 0.03 TO 0.07 GALLONS PER SQUARE YARD OF PAVEMENT SURFACE, AS REQUIRED FOR NEW ASPHALT SURFACES USING AN EMULSION APPLICATION BAR.
 - CRUSHED AGGREGATE BASE COURSE SHALL MEET THE MINIMUM SPECIFICATIONS FOR FAA ITEM P-209 AND SHOULD BE INSTALLED IN TWO SEPARATE LIFTS AT THE MINIMUM THICKNESSES SHOWN. LIFTS SHALL BE STEPPED INTO EXISTING TAXIWAY GRAVEL SECTION AS SHOWN. BASE COURSE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM METHOD D1557.
 - IN THE EVENT LOOSE SAND SUBGRADE ARE ENCOUNTERED IN THE SUBGRADE, WHICH MAY CREATE UNSTABLE CONDITIONS, THE UNSTABLE AREAS SHOULD BE OVER-EXCAVATED BY A MINIMUM OF 12-INCHES AND BE REPLACED WITH 3/4-INCH CRUSHED STONE, COMPLETELY WRAPPED IN FILTER FABRIC (MIRAFI 140N, OR EQUAL). THE CRUSHED STONE AND FABRIC SHOULD BE KEVED INTO THE SUBGRADE USING THE EFFORT OF FOUR (4) PASSES OF A 700-POUND VIBRATORY PLATE COMPACTOR.
 - THE EXPOSED SAND SUBGRADE SHOULD BE GRADED AND PROOFROLLED TO DENSIFY ANY DISTURBED AREAS OR NATURALLY OCCURRING LOOSE ZONES THAT DEVELOPED DURING EXCAVATION. PROOFROLLING SHOULD CONSIST OF A MINIMUM OF 4-PASSES OF A 10-TON VIBRATORY, OR EQUIVALENT EFFORTS. SHOULD UNSTABLE AREAS DEVELOP DURING PROOFROLLING, VIBRATORY EFFORTS SHOULD BE HALTED AND STATIC PROOFROLLING SHOULD BE EMPLOYED.

CONSTRUCTION DETAILS

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC.
584 CURRIER ROAD
HOPKINTON, NH 03229

OWNER: CITY OF CONCORD - AIRPORT
41 GREEN STREET
CONCORD, NH 03301-4255

REVISIONS:

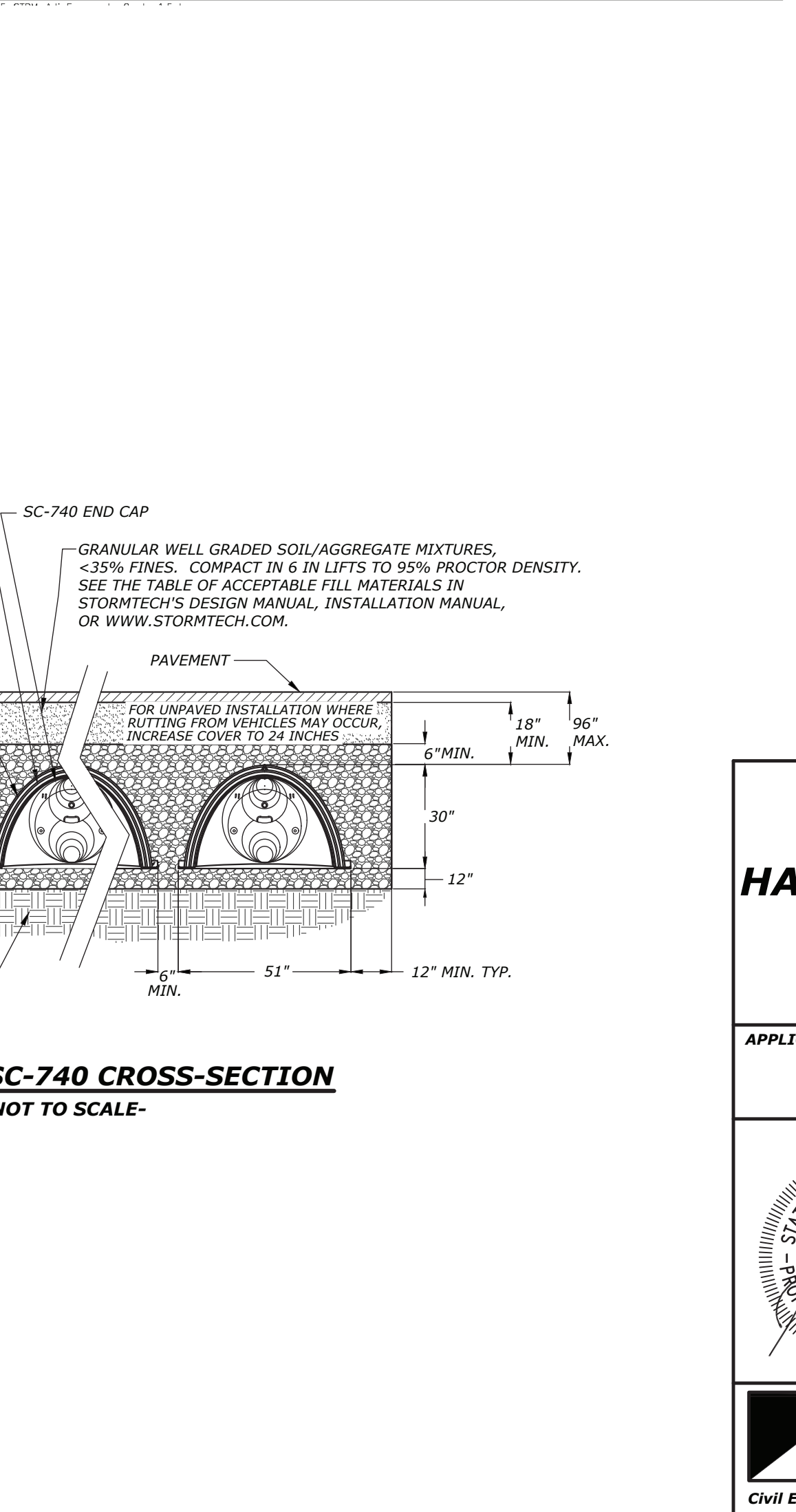
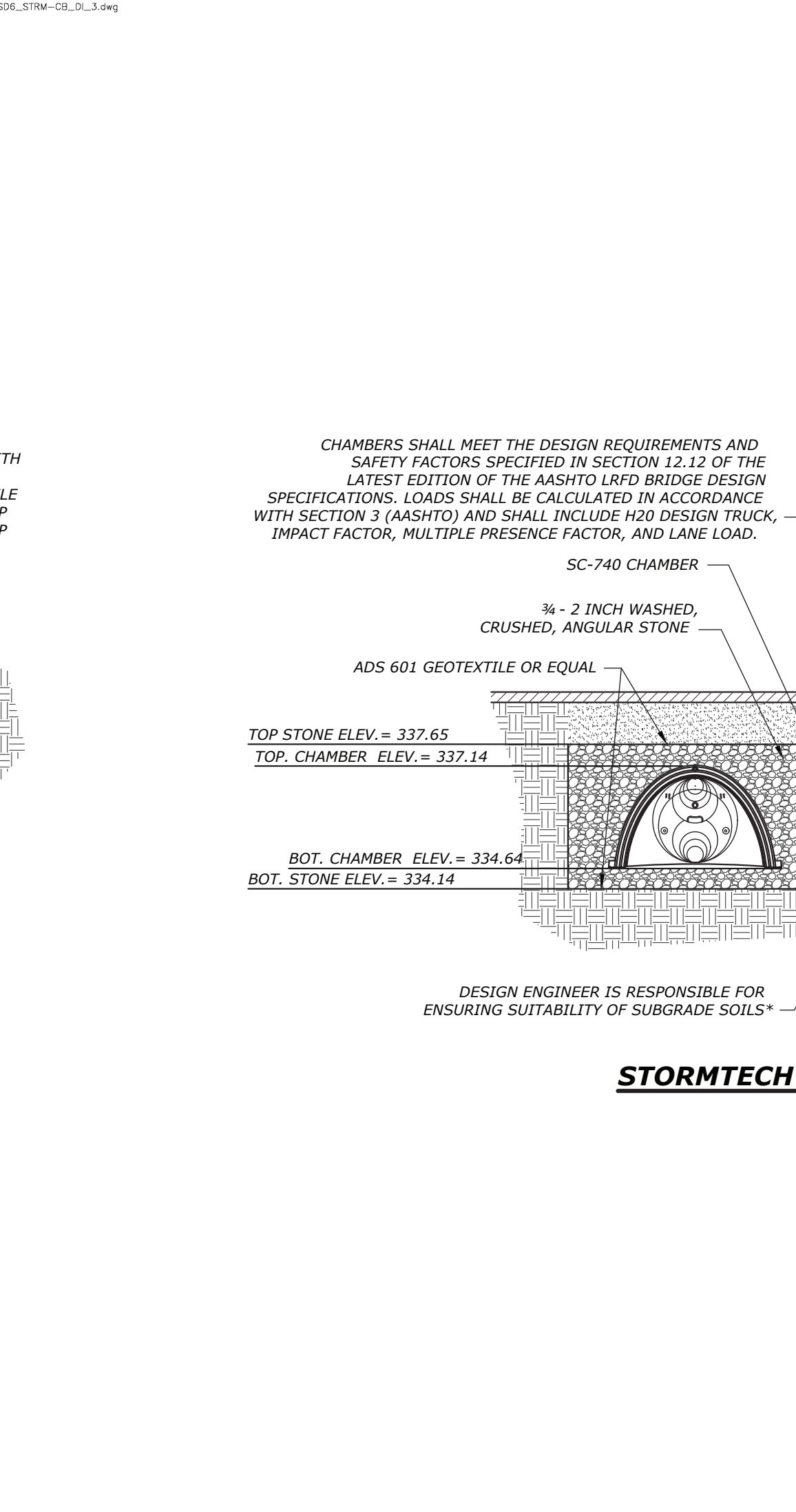
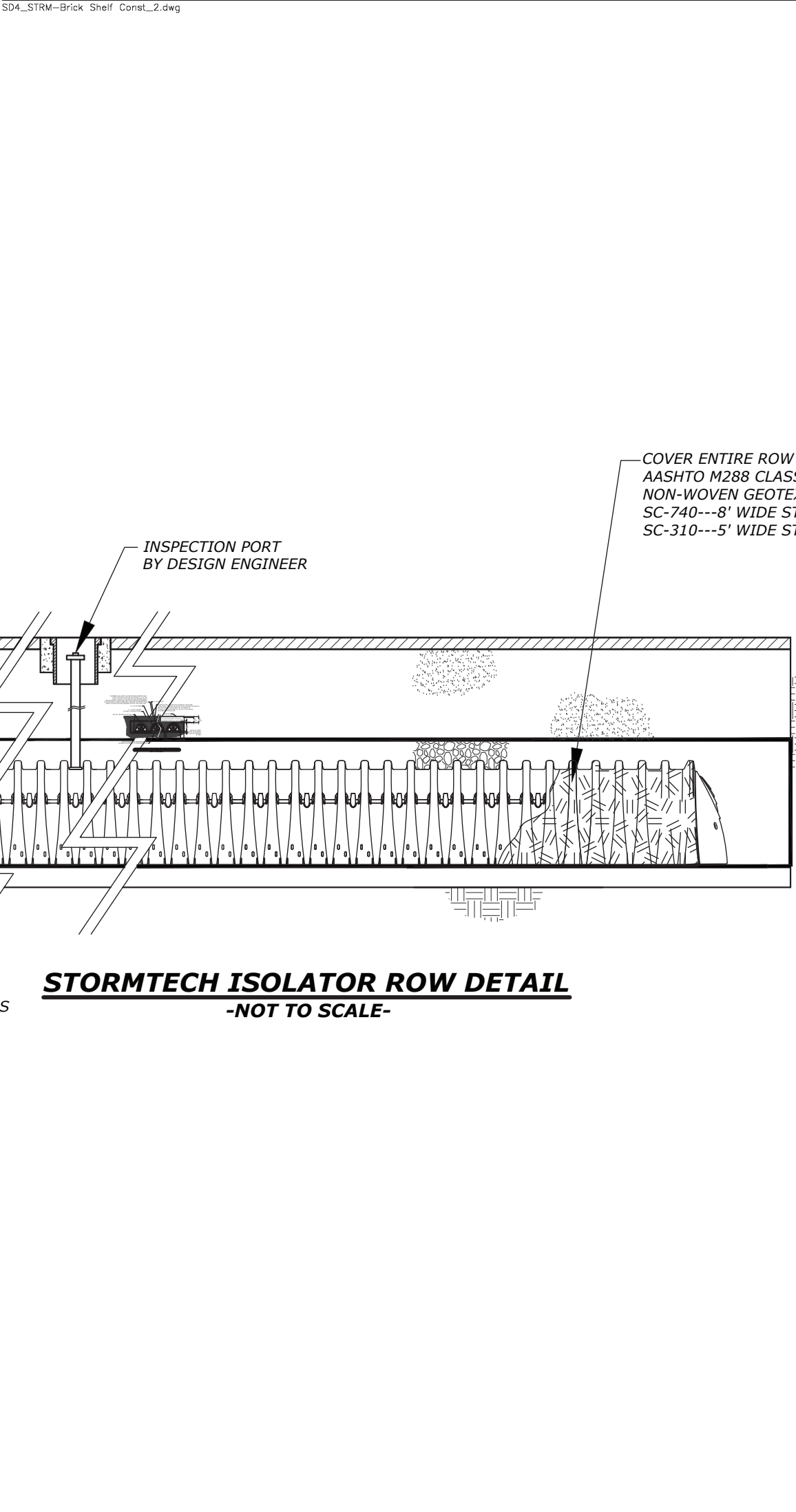
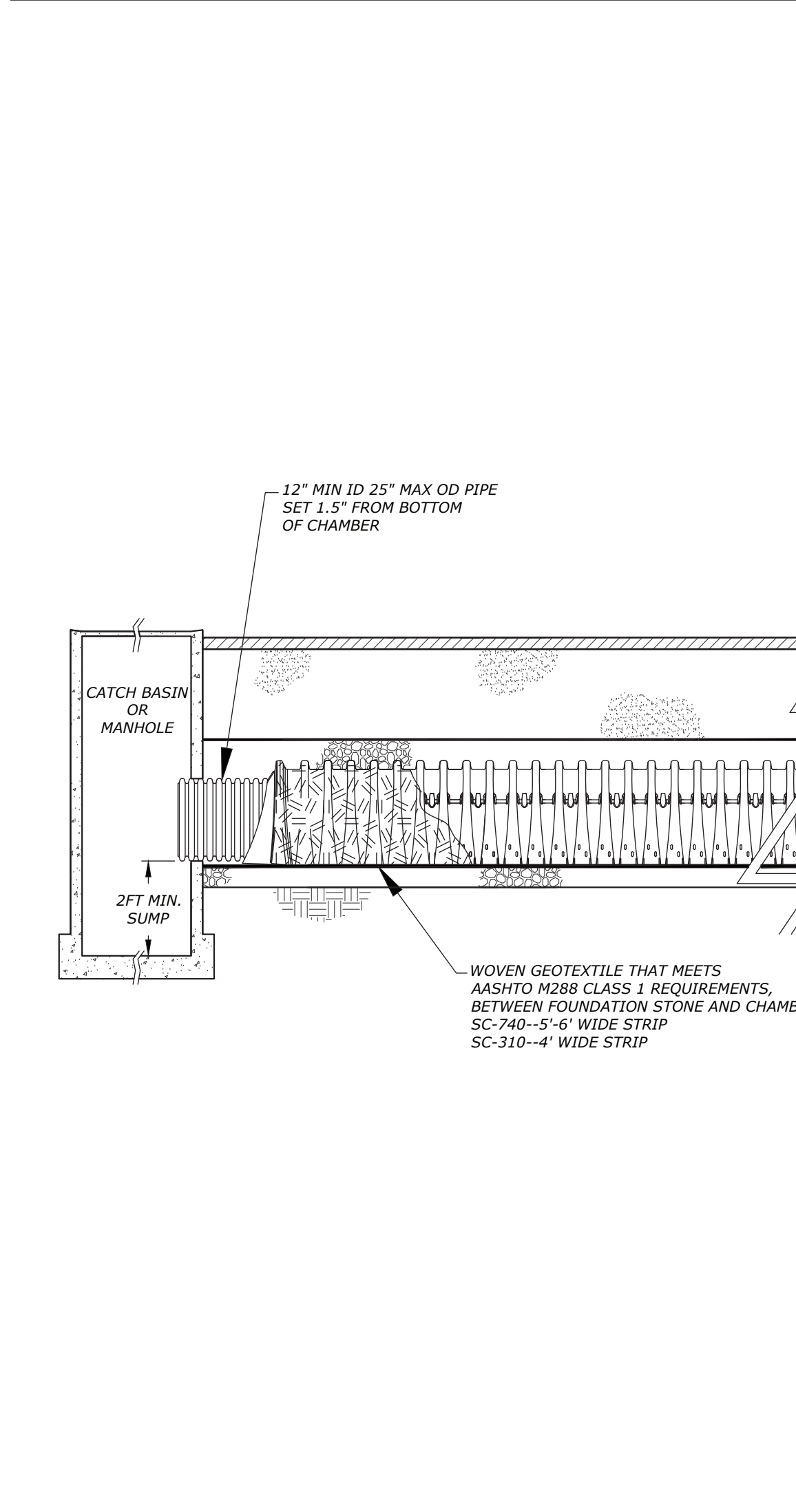
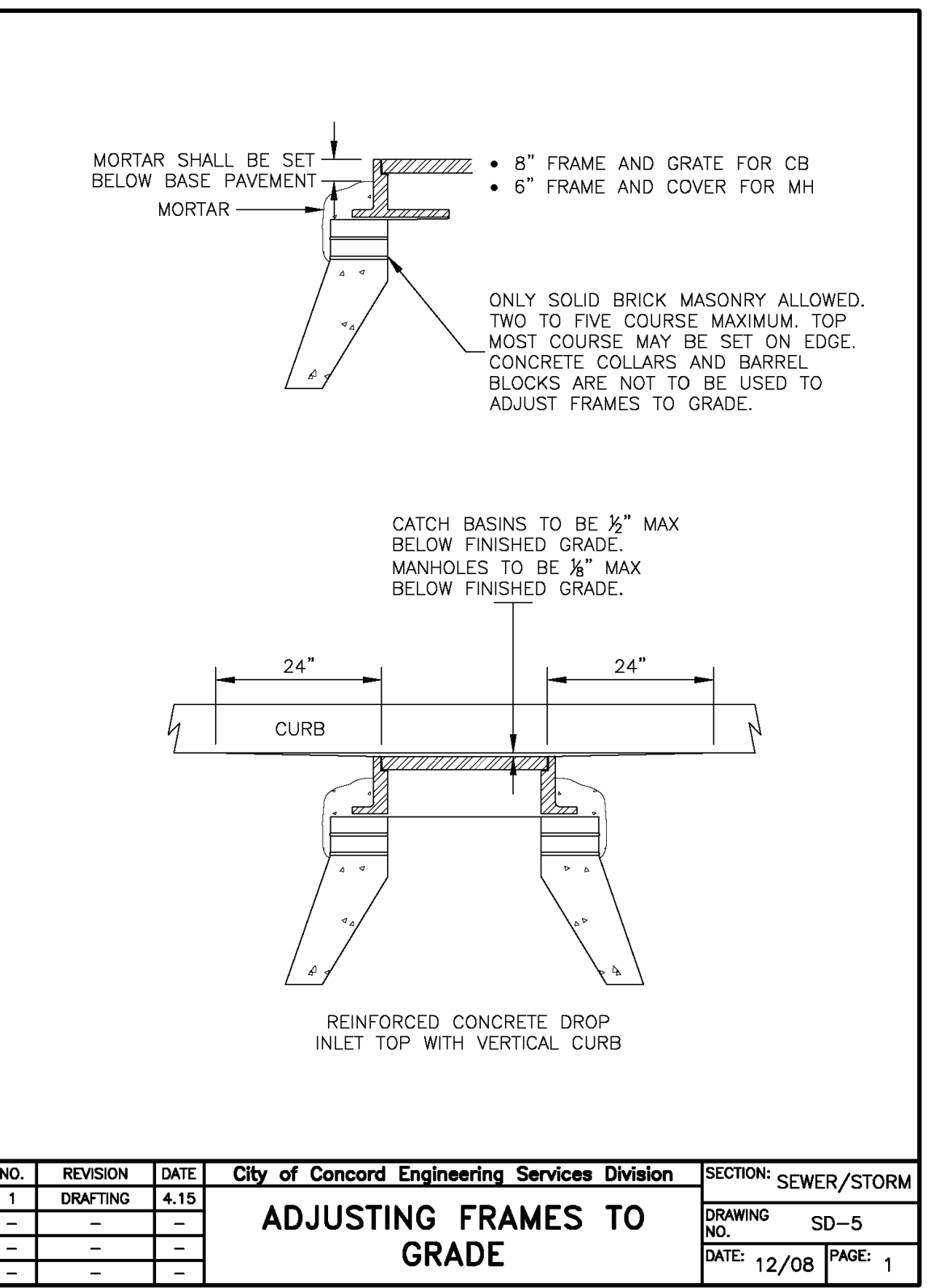
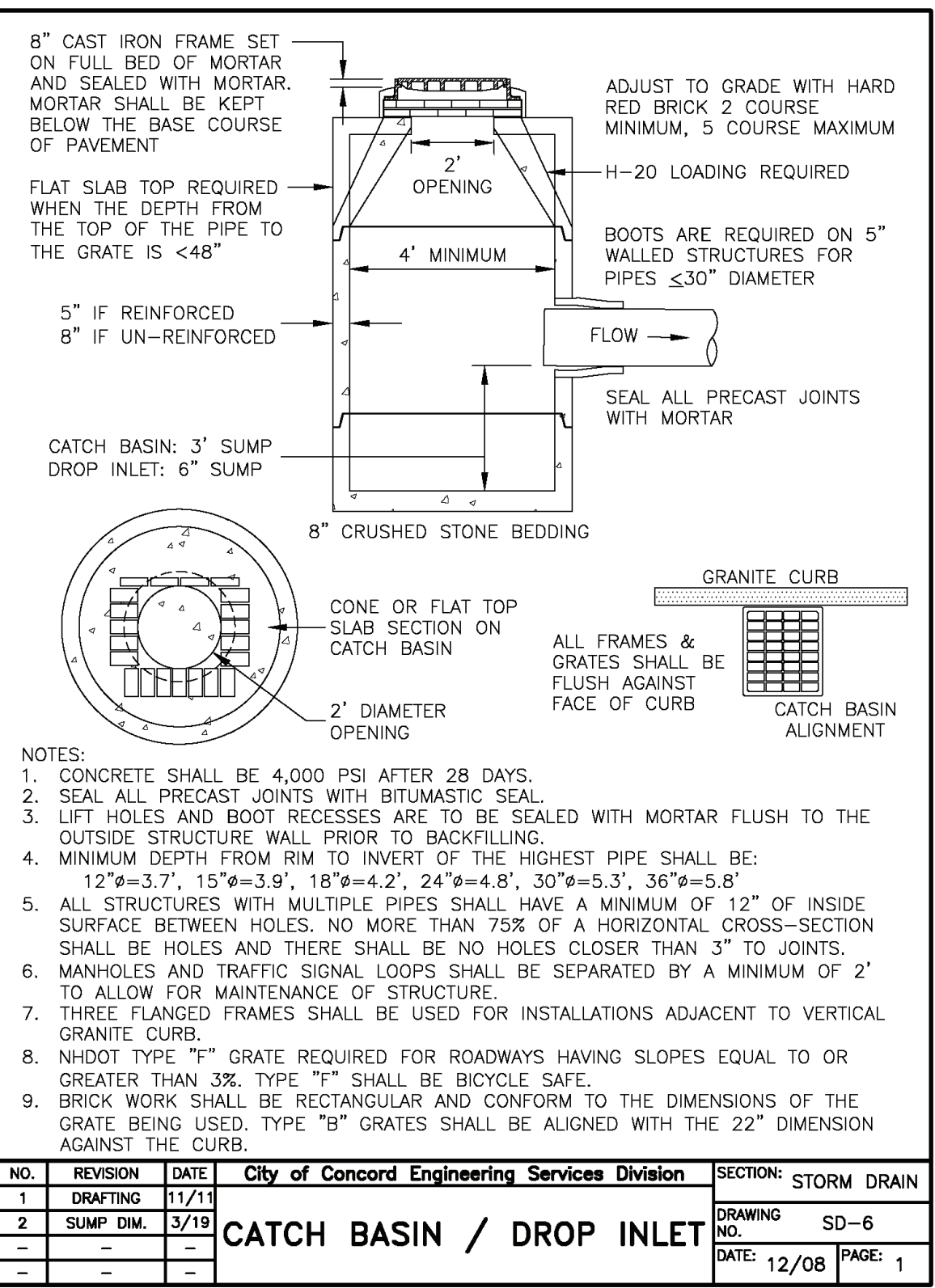
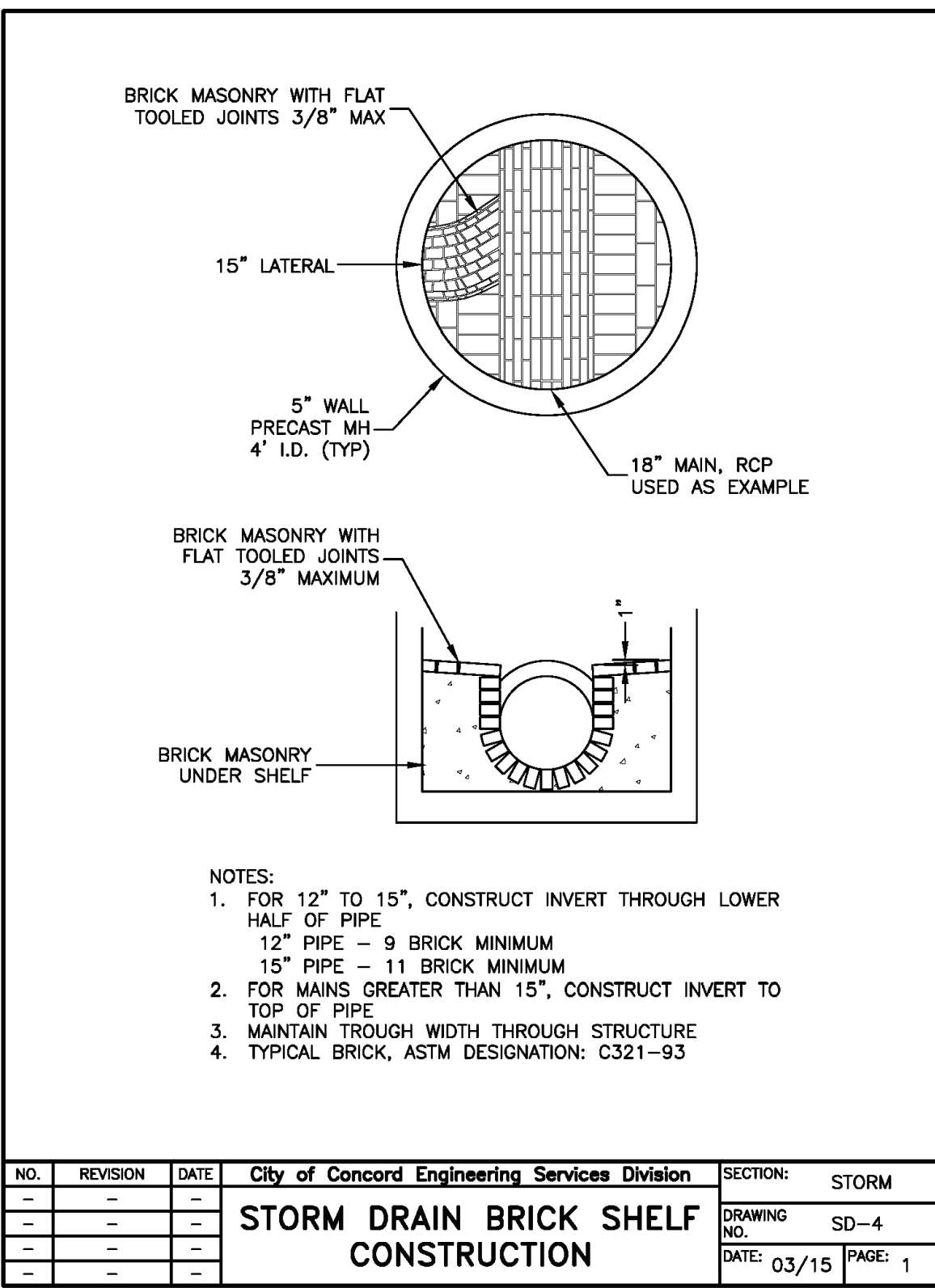
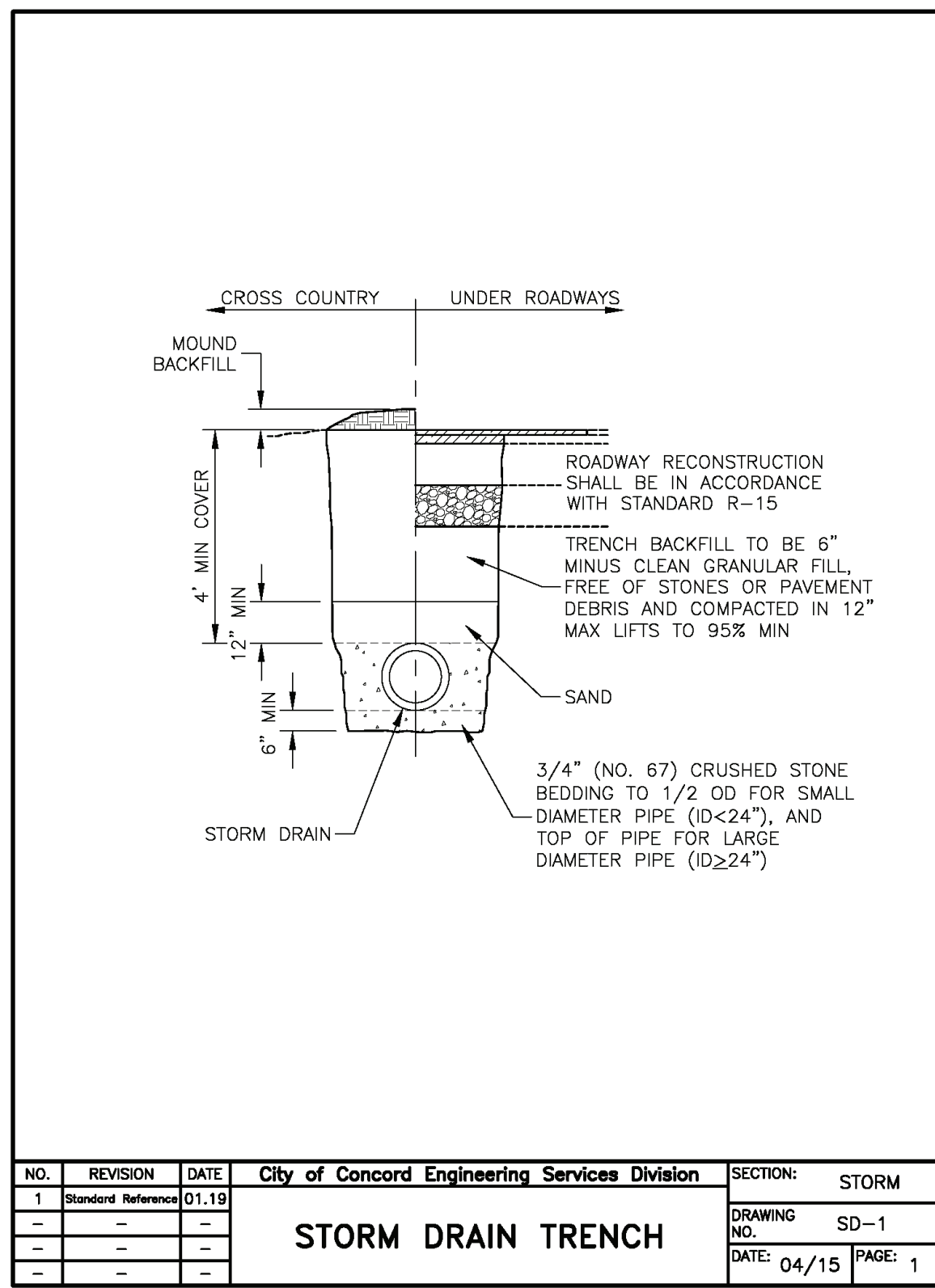
NO.	DATE	DESCRIPTION
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STATE OF NEW HAMPSHIRE
JEFFREY W. LEWIS
No. 10420
LICENSED CIVIL ENGINEER

NORTHPOINT ENGINEERING, LLC
Civil Engineering Land Planning Construction Services

119 Storrs St, Ste 201
Concord, NH 03301
Tel 603-226-1166
Fax 603-226-1160
www.northpointeng.com

DATE: FEB. 2025
PROJ.: 24063
SCALE: AS SHOWN
SHEET: 9 OF 13



CONSTRUCTION DETAILS
 PREPARED FOR:
HAMPSHIRE AVIATION - CONCORD HANGAR
 PART OF 633Z / 3 (LEASE AREA DZ-4)
 38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC.
 584 CURRIER ROAD
 HOPKINTON, NH 03229

OWNER: CITY OF CONCORD - AIRPORT
 41 GREEN STREET
 CONCORD, NH 03301-4255

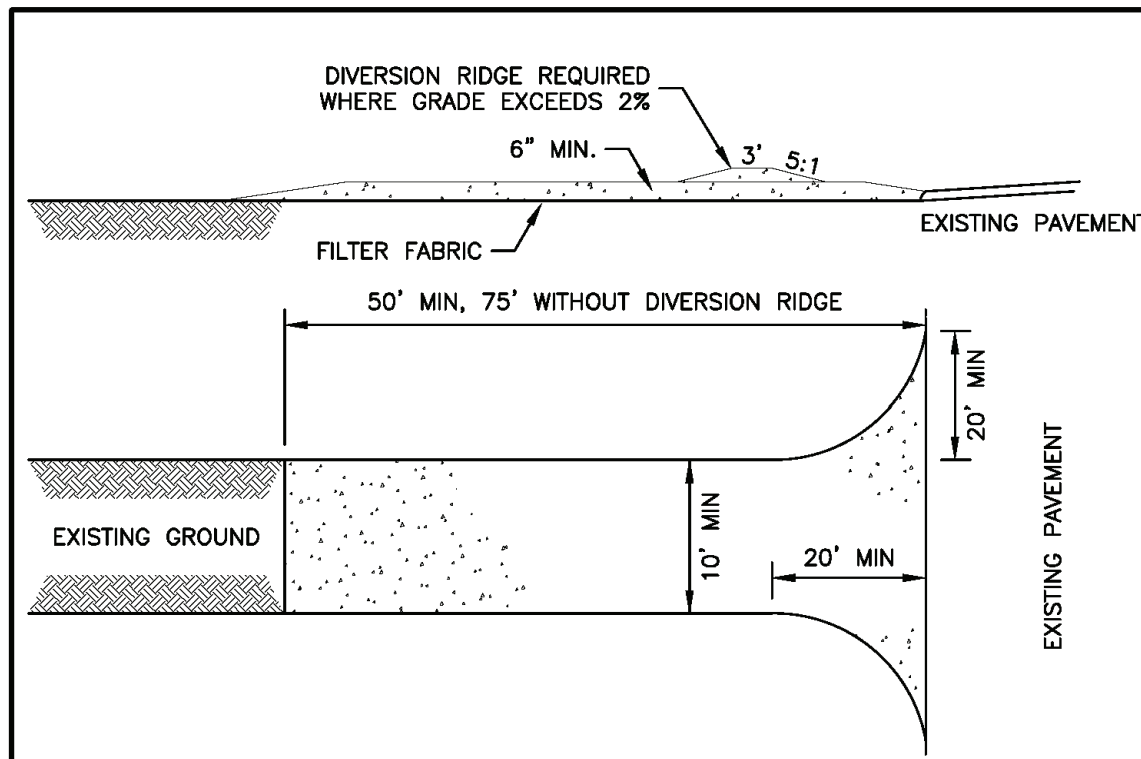
NO. DATE DESCRIPTION
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STATE OF NEW HAMPSHIRE
 JEFFREY W. LEWIS
 No. 10420
 LICENSED PROFESSIONAL ENGINEER

NORTHPOINT ENGINEERING, LLC
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 119 Storrs St, Ste 201
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DATE: FEB. 2025
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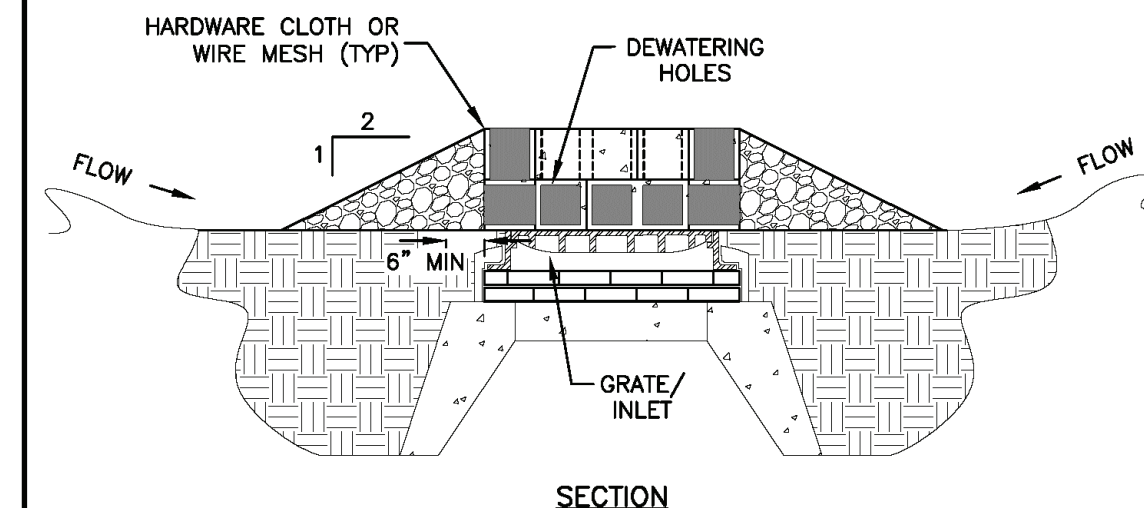
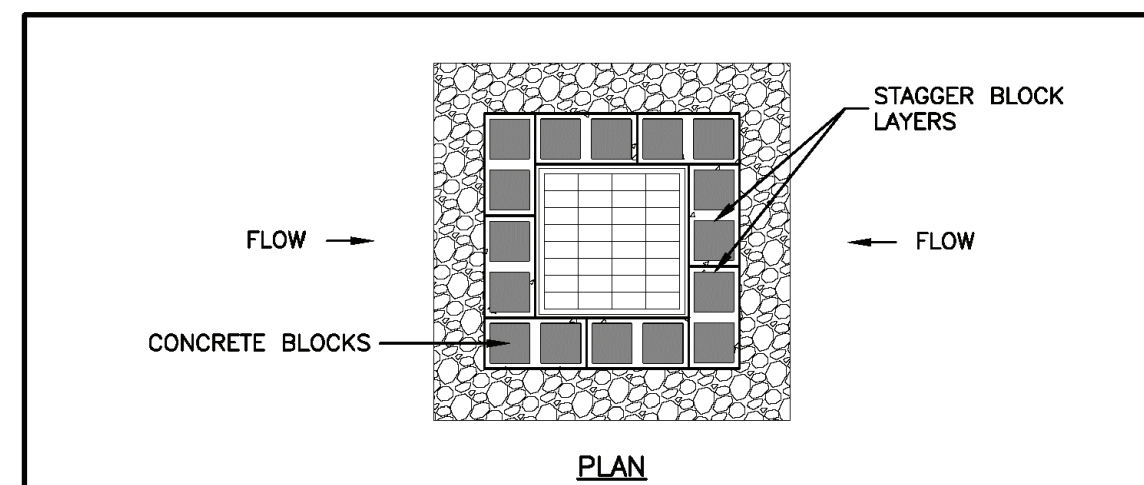
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CONSTRUCTION REQUIREMENTS

1. STONE SIZE - 3" COARSE AGGREGATE.
2. THICKNESS - 6" MIN
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. LENGTH - NOT LESS THAN 50'. EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN LENGTH WOULD APPLY.
7. WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
8. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
9. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
10. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
11. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

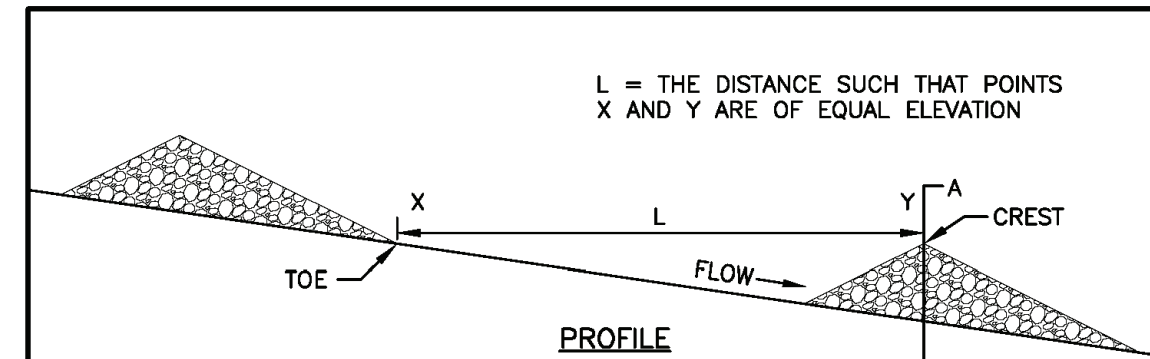
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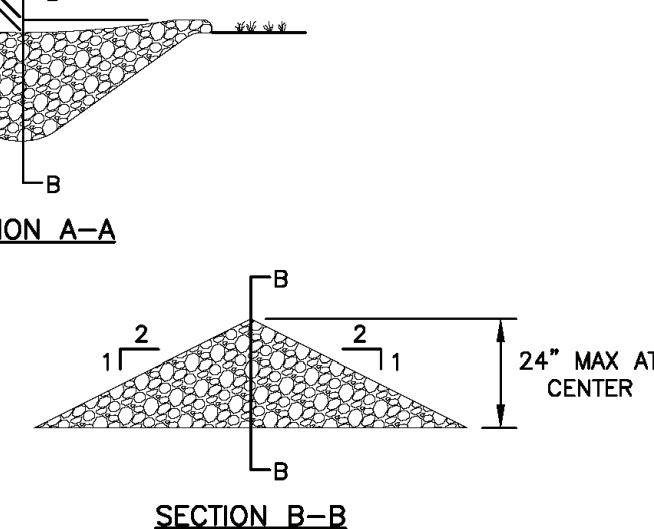
CONSTRUCTION REQUIREMENTS

1. LAY FIRST COURSE OF BLOCK ON ITS SIDE FOR DEWATERING. PLACE BLOCKS AGAINST FRAME FOR SUPPORT.
2. PLACE HARDWARE CLOTH OR WIRE MESH OVER BLOCK OPENINGS TO SUPPORT STONE.
3. PLACE STONE ON A 2:1 OR FLATTER SLOPE UP TO THE TOP OF BLOCK.
4. REMOVE STONE AND BLOCKS, AS DIRECTED, WHEN NO LONGER NEEDED. BEFORE STONE AND BLOCKS ARE REMOVED, STABILIZE ANY SEDIMENT WHICH IS PERMITTED TO STAY IN PLACE WITH VEGETATION.

NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	EPSC
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			STONE & BLOCK GRATE INLET PROTECTION DETAILS	DRAWING NO.:	E-2
				DATE:	01/09
				PAGE:	1



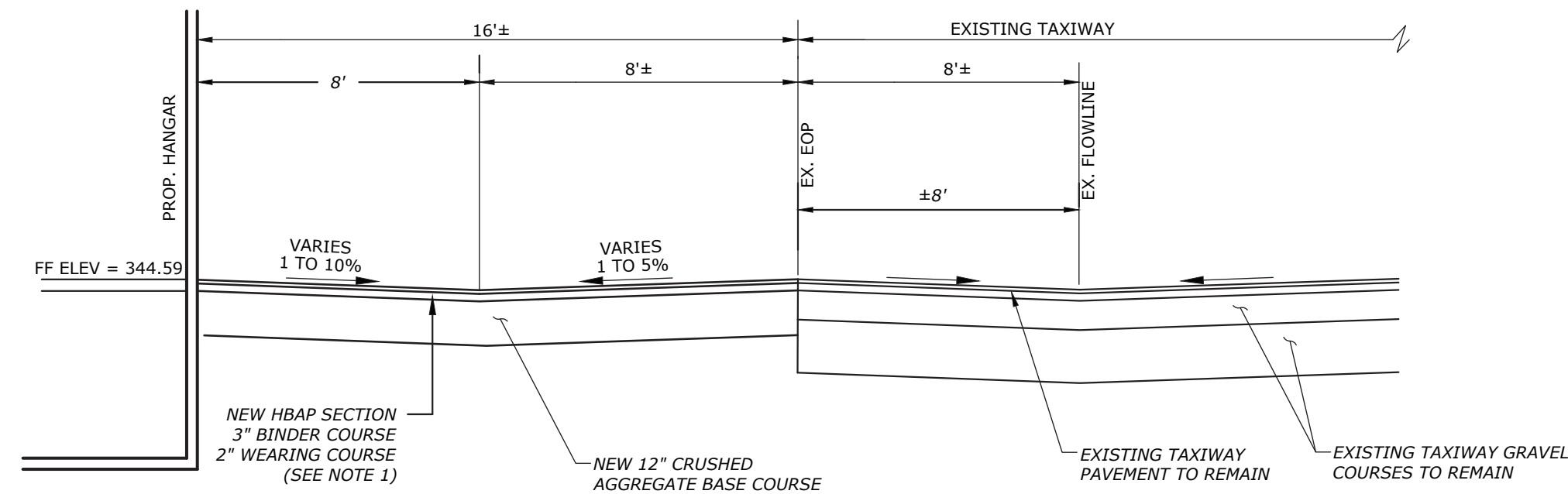
SECTION A-A



CONSTRUCTION REQUIREMENTS

1. PLACE STONE TO THE LINES, GRADES AND LOCATIONS AS SHOWN ON THE PLAN OR AS DIRECTED.
2. SET SPACING OF STONE CHECK DAMS SO THAT THE ELEVATION OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION AS THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE TO A POINT BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS NEEDED OR DIRECTED.
5. REMOVE STONE, AS DIRECTED, WHEN NO LONGER NEEDED. AFTER BARRIER IS REMOVED, STABILIZE ANY SEDIMENT WHICH IS PERMITTED TO STAY IN PLACE WITH VEGETATION.

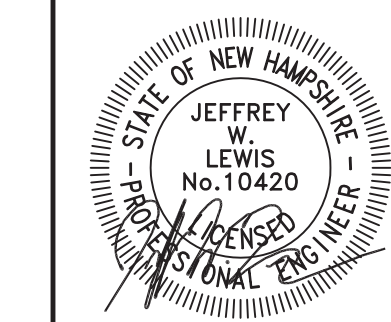
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				DATE:	01/09
				PAGE:	1



TAXIWAY APRON SECTION
-NOT TO SCALE-

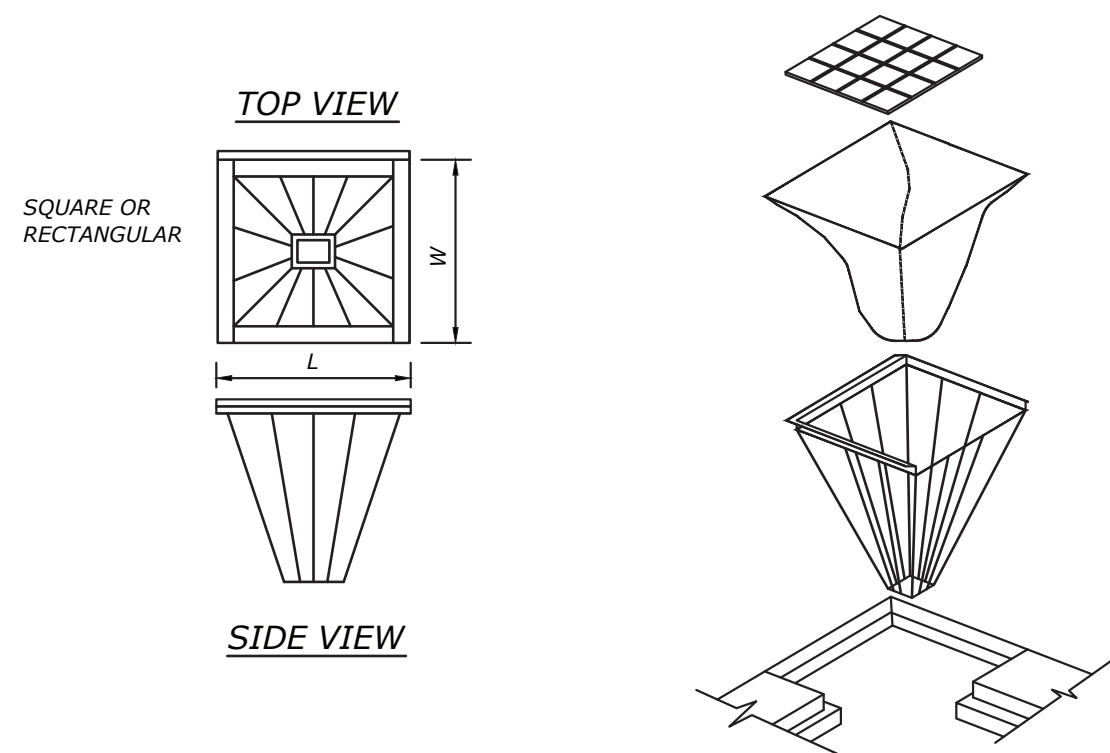
CONSTRUCTION DETAILS
PREPARED FOR:
HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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<p>NORTHPOINT ENGINEERING, LLC Civil Engineering Land Planning Construction Services</p>	119 Storrs St, Ste 201 Concord, NH 03301 Tel 603-226-1166 Fax 603-226-1160 www.northpointeng.com	DATE: FEB. 2025 PROJ.: 24063 SCALE: AS SHOWN SHEET: 11 OF 13
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NOTES:

1. INLET BASKETS SHALL BE USED AS APPLICABLE OR AS DIRECTED.
2. FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND EXTEND AT LEAST 6 INCHES PAST THE FRAME. THE INLET GRATE SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
3. THE FILTER FABRIC SHALL BE A GEO-TEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
GRAB STRENGTH: 45 lb. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D1682).
MULLEN BURST STRENGTH: MINIMUM 60 psi (ASTM D774).
4. THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND MINIMUM PERMEABILITY OF 120 gpm/sq. ft.
5. THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM ENTERING THE DRAINAGE PIPING SYSTEM AND/OR CAUSING SURFACE FLOODING.
6. INLET BASKET SHALL BE MAINTAINED IN PLACE UNTIL ALL PAVING IS COMPLETED AND ALL UNPAVED AREAS HAVE BEEN STABILIZED WITH VEGETATION.

**INLET FILTER BASKET
-NOT TO SCALE-**

DESCRIPTION & PURPOSE

A MULCH BERM, OFTEN REFERRED TO AS A FILTER BERM OR AN EROSION CONTROL MIX BERM, IS A COMPOSITE OF PRIMARILY ORGANIC MATERIAL THAT CAN BE MANUFACTURED EITHER ON OR OFF THE PROJECT SITE. A MULCH BERM MAY CONSIST OF SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. A MULCH BERM IS EFFECTIVE AS A SEDIMENT BARRIER INSTALLED ACROSS OR AT THE TOE OF A SLOPE TO INTERCEPT AND RETAIN SMALL AMOUNTS OF SEDIMENT FROM DISTURBED OR UNPROTECTED AREAS.

COMPOSITION

THE MULCH (OR EROSION CONTROL MIX) SHALL CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4" IN DIAMETER. IT MUST BE FREE OF REFUSE, PHYSICAL CONTAMINANTS, AND MATERIAL TOXIC TO PLANT GROWTH. THE MIX COMPOSITION SHALL MEET THE FOLLOWING STANDARDS:

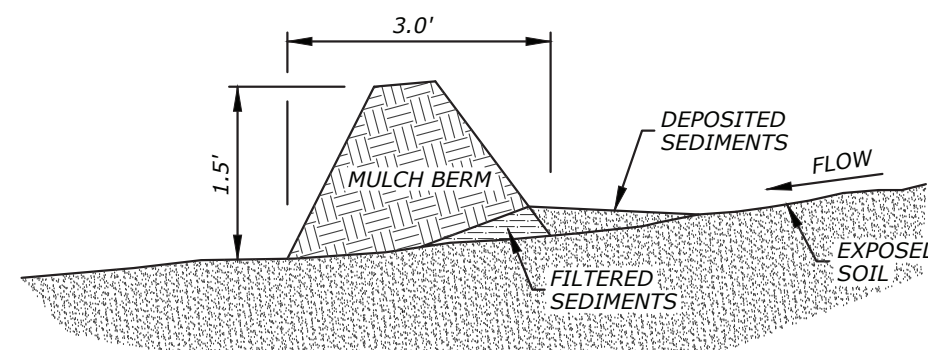
1. THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 80 AND 100%, DRY WEIGHT BASIS. PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MINIMUM OF 70% MAXIMUM BY 85%, PASSING A 0.75" SCREEN.
2. THE ORGANIC PORTION NEEDS TO BE FIBROUS AND ELONGATED.
3. LARGE PORTIONS OF SILT, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.
4. SOLUBLE SALTS CONTENT SHALL BE < 4.0 MMHOS/CM.
5. THE PH SHOULD BE BETWEEN 5.0 AND 8.0.

INSTALLATION

1. THE BERM MUST BE PLACED ALONG A RELATIVELY LEVEL CONTOUR. IT MAY BE NECESSARY TO CUT TALL GRASSES OR WOODY VEGETATION TO AVOID CREATING VOIDS AND BRIDGES THAT WOULD ENABLE FINES TO WASH UNDER THE BERM.
2. BERM MAY BE FORMED WITH A BARK BLOWER OR WITH OTHER EQUIPMENT. BERM SHALL BE A MINIMUM OF 3-FEET WIDE AT THE BASE AND SHALL BE AT LEAST 18-INCHES IN HEIGHT.
3. BERM MAY BE PLACED DIRECTLY ON GROUND, NO TRENCHING OR STAKING IS REQUIRED.

INSPECTION AND MAINTENANCE

1. MULCH BERMS SHALL BE INSPECTED WEEKLY AND/OR AFTER EACH SIGNIFICANT RAINFALL, AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EACH STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH ONE-HALF THE HEIGHT OF THE BERM.
3. THE BERM SHALL BE RESHAPED AS NECESSARY.
4. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BERM IS REMOVED SHOULD BE GRADED TO CONFORM TO THE EXISTING TOPOGRAPHY AND RE-SEEDED.



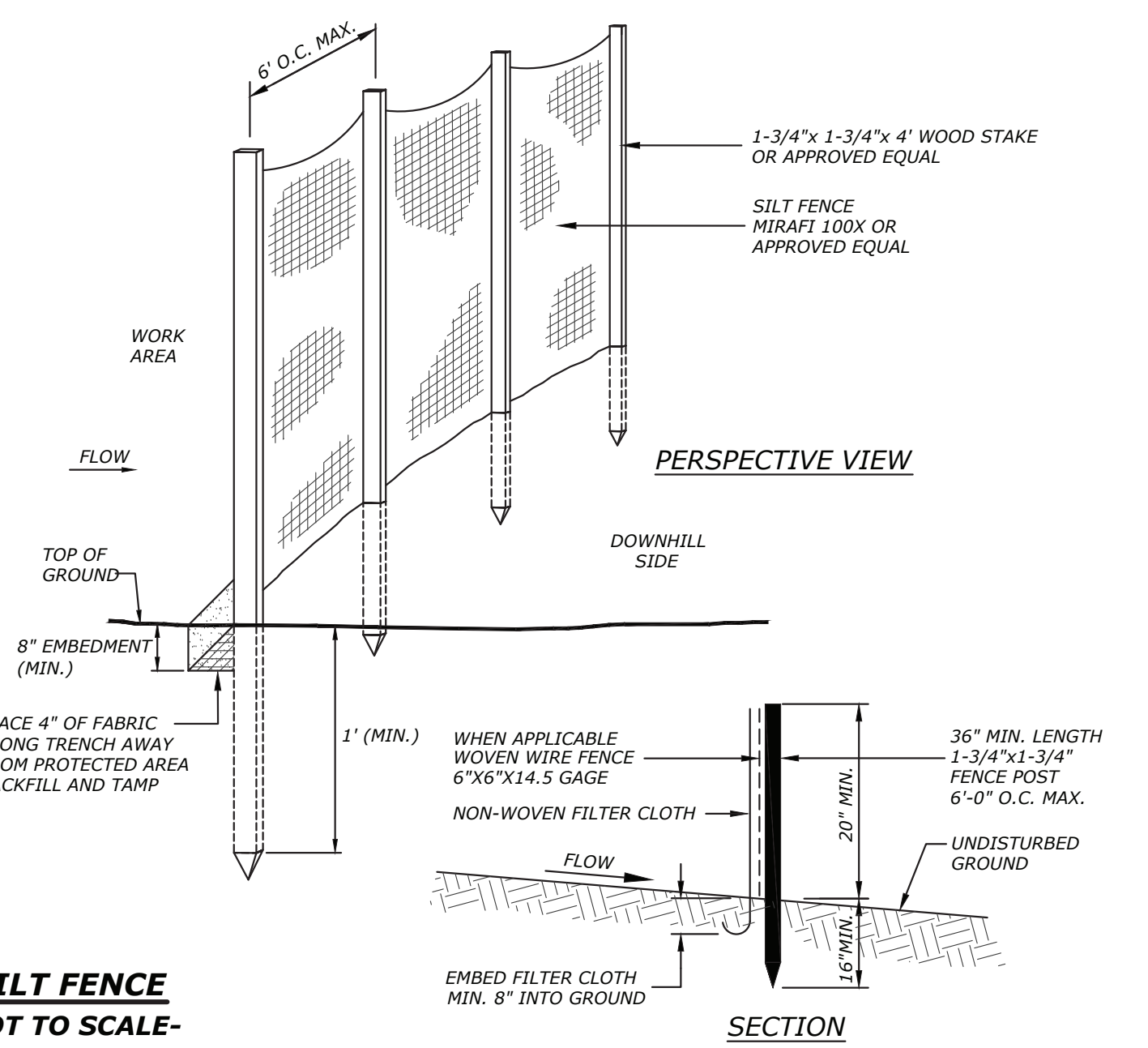
**MULCH BERM CROSS-SECTION DETAIL
-NOT TO SCALE-**

CONSTRUCTION SPECIFICATIONS

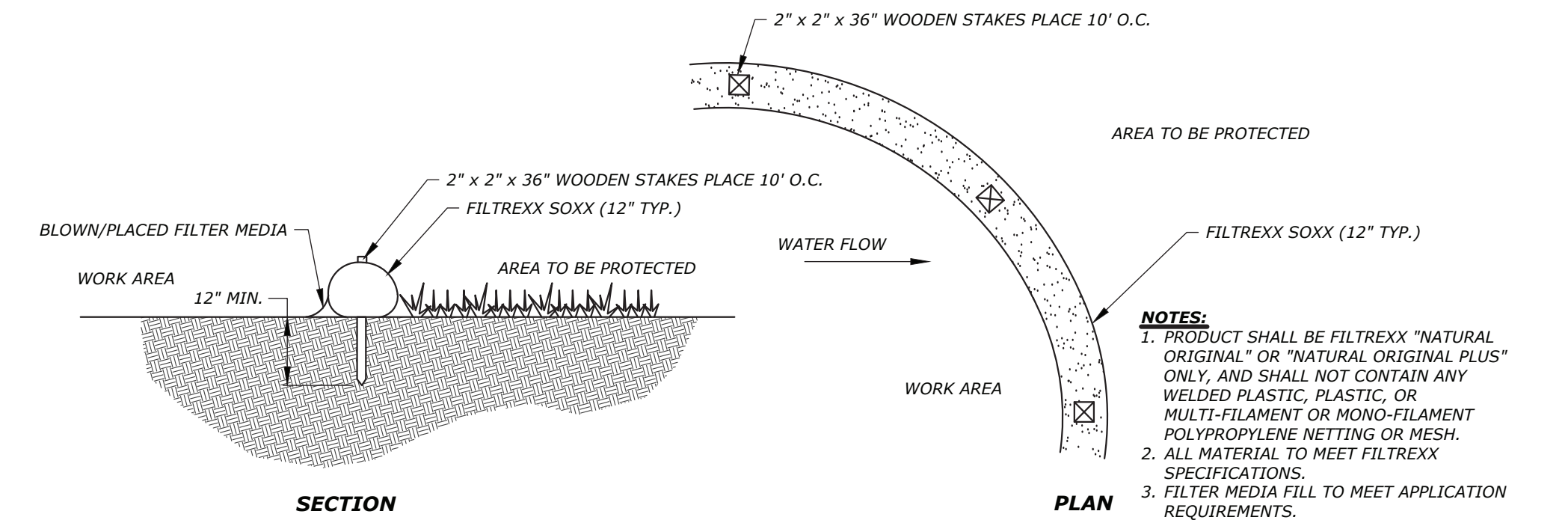
1. THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
2. THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
3. WHEN APPLICABLE, WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIE OR STAPLES. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
4. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
5. FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.

MAINTENANCE

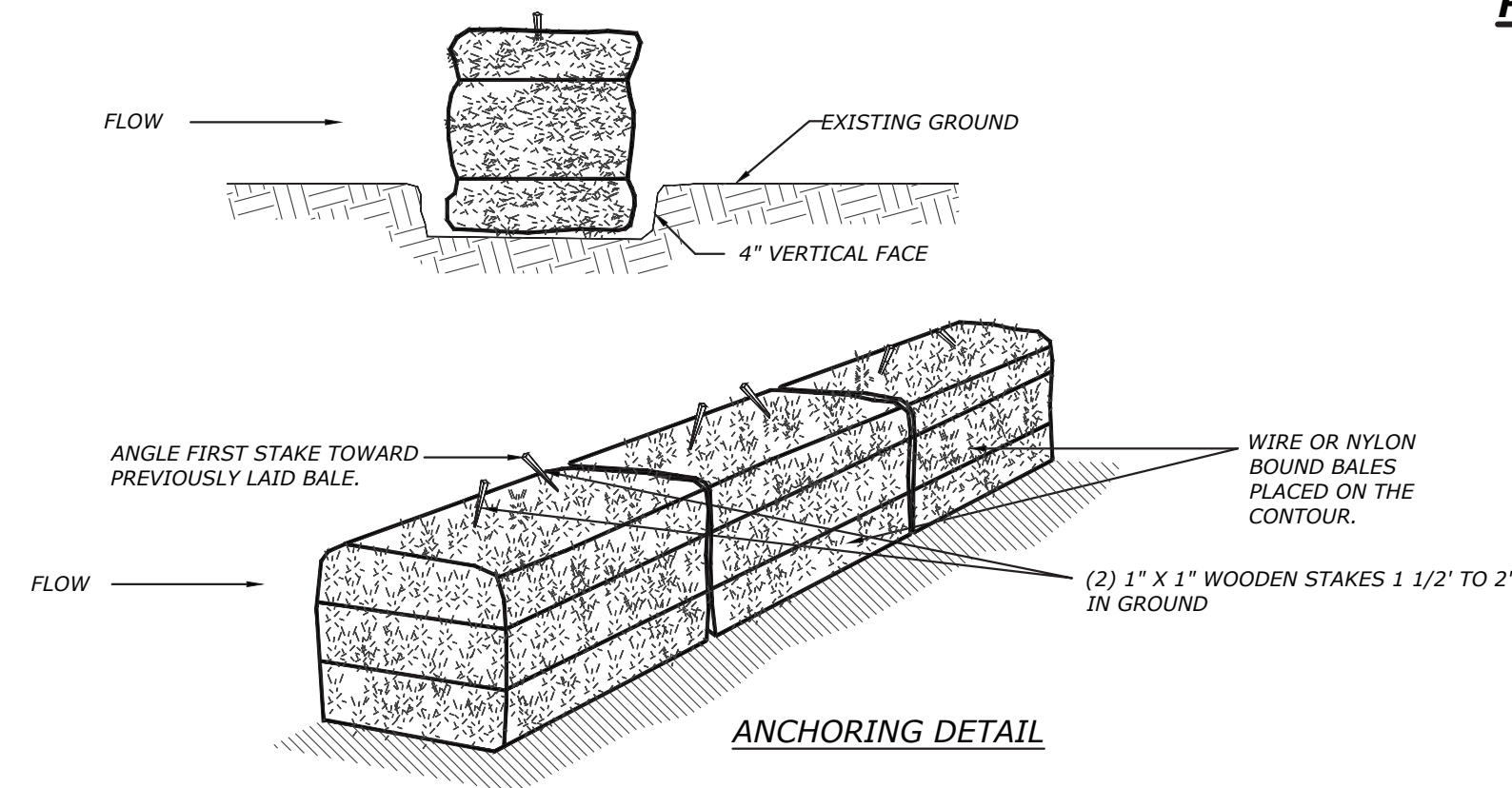
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.



**SILT FENCE
-NOT TO SCALE-**



**FILTREXX SEDIMENT CONTROL
-NOT TO SCALE-**



CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

**HAY BALE BARRIER
-NOT TO SCALE-**



**REPORT EASTERN HOGNOSE SNAKE
OBSERVATIONS**

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (call or text) anytime.

Please report promptly, noting specific location and date – Photographs strongly encouraged

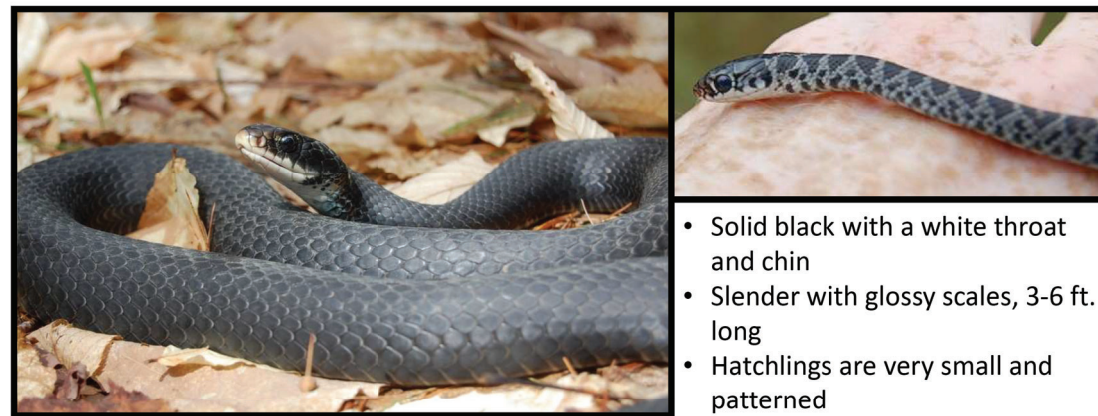
- Black, gray or patterned appearance
- upturned snout
- Adults are 2-3 ft. long
- May spread neck out or hiss
- May play dead if they feel threatened.
- Rarely bite – display is a defense strategy
- Can be found in a variety of habitats throughout the season



Northern Black Racer

(New Hampshire state threatened species)

Emerge from hibernacula in April, Basking April - August, Hatchlings emerge August - September, Return to hibernacula mid-September - mid-October



- Solid black with a white throat and chin
- Slender with glossy scales, 3-6 ft. long
- Hatchlings are very small and patterned



Immediately report sightings to NH Fish and Game Melissa Winters (603-479-1129) or Brendan Clifford (603-944-0885)

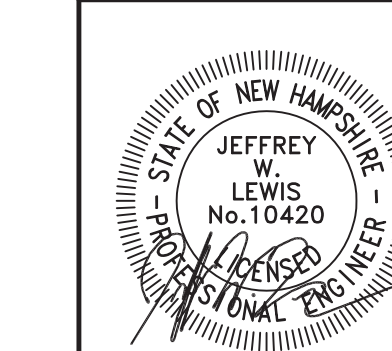
Please report promptly, noting specific location and date Photographs strongly encouraged

Fis 1401.03 (a) No person shall take or possess a black racer (Coluber constrictor)...or any egg or part thereof.



**CONSTRUCTION DETAILS
PREPARED FOR:
HAMPSHIRE AVIATION - CONCORD HANGAR
PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE
38 REGIONAL DRIVE, CONCORD, NH**

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229
OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255



NO.	DATE	DESCRIPTION
1	03/19/25	REVISED PER CITY COMMENTS

NORTHPOINT ENGINEERING, LLC
Civil Engineering Land Planning Construction Services
119 Storrs St, Ste 201 Concord, NH 03301
Tel 603-226-1166 Fax 603-226-1160 www.northpointeng.com
DATE: FEB. 2025
PROJ.: 24063
SCALE: AS SHOWN
SHEET: 12 OF 13

EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. ALL PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OPERATIONS.
3. ALL AREAS OF UNSTABILIZED SOIL SHALL BE TEMPORARILY STABILIZED AS SOON AS PRACTICAL BUT NO LATER THAN 45 DAYS OF INITIAL DISTURBANCE.
4. TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PROJECT PLANS. IN ADDITION, SIMILAR MEASURES SHALL BE INSTALLED WHERE AND WHEN THE FIELD CONDITION, OR FIELD OPERATION OF THE INDIVIDUAL SITE CONTRACTOR MAY WARRANT.
5. ALL TEMPORARY EROSION CONTROL MEASURES USED SHALL BE INSPECTED WEEKLY AND AFTER EVERY 0.5-INCH OR GREATER RAINFALL WITHIN A 24-HOUR PERIOD. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AND OTHERWISE KEPT IN AN EFFECTIVE OPERATIONS MANNER THROUGHOUT THE CONSTRUCTION PERIOD.
6. ALL ROADWAYS AND PARKING LOTS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE LOAMED AND SEEDED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
7. ALL DISTURBED AREAS DESIGNATED TO BE TURF, SHALL RECEIVE A MINIMUM APPLICATION OF 4-INCHES OF LOAM (COMPACTED THICKNESS), PRIOR TO FINAL SEEDING AND MULCHING.
8. ALL SWALES, DITCHLINES AND BASINS SHALL BE FULLY STABILIZED PRIOR TO HAVING STORMWATER DIRECTED TOWARDS THEM.
9. ALL SWALES AND DITCHLINES SHALL BE PERIODICALLY CLEANED OF DEPOSITED SEDIMENT SO AS TO MAINTAIN AN EFFECTIVE GRADE AND CROSS SECTION.
10. IN THE EVENT THAT DURING CONSTRUCTION OF ANY PORTION OF THIS PROJECT, A WINTER SHUTDOWN IS NECESSARY, THE CONTRACTOR SHALL STABILIZE ALL INCOMPLETE WORK AND PROVIDE FOR SUITABLE METHODS OF DIVERTING RUNOFF IN ORDER TO ELIMINATE SHEET FLOW ACROSS FROZEN SURFACES.
11. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE, THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS
12. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
13. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON, BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.
14. DUST SHALL BE CONTROLLED BY THE USE OF WATER AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD.
15. IN NO WAY ARE THOSE TEMPORARY EROSION CONTROL MEASURES INDICATED ON THESE PLANS TO BE CONSIDERED ALL INCLUSIVE. THE CONTRACTOR SHALL USE JUDGEMENT IN INSTALLING SUPPLEMENTARY EROSION CONTROL MEASURES WHERE AND WHEN SPECIFIC SITE CONDITIONS AND/OR CONSTRUCTION METHODOLOGIES MAY WARRANT.
16. AREAS HAVING FINISH GRADE SLOPES STEEPER THAN 3 : 1 SHALL BE STABILIZED WITH EROSION CONTROL MATS WHEN AND IF FIELD CONDITIONS WARRANT, OR IF SO ORDERED, EROSION CONTROL MATS SHALL BE INSTALLED TO CONFORM WITH THE RECOMMENDED BEST PRACTICE OUTLINED IN THE "STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".
17. IN ORDER TO PROTECT WETLAND AREAS FROM SILTATION DURING CONSTRUCTION OF HOMES ON INDIVIDUAL LOTS, SILTATION FENCE SHALL BE INSTALLED UP GRADIENT OF DESIGNATED WETLANDS WHERE EXCAVATION IS PROPOSED TO OCCUR WITHIN 30-FEET OF SAID WETLANDS.
18. ALL CONSTRUCTION WITHIN 100 FEET OF ANY WETLAND SHALL BE UNDERTAKEN WITH SPECIAL CARE TO AVOID EROSION AND SILTATION INTO THE WETLANDS.
19. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SEQUENCE

1. CONTRACTOR TO NOTIFY DIG-SAFE 72-HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CUT AND CLEAR TREES AND BRUSH ONLY WITHIN DESIGNATED LIMITS OF CLEARING AS NECESSARY TO FACILITATE PROPOSED CONSTRUCTION. ALL TREES, BRANCHES AND OTHER VEGETATIVE MATERIALS SHALL BE PROPERLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
3. PRIOR TO COMMENCEMENT OF ANY GRUBBING OR EARTHMOVING OPERATIONS, ALL SPECIFIED PERIMETER CONTROLS AND STABILIZED CONSTRUCTION EXIT SHALL BE IN PLACE AS SHOWN ON THE PROJECT PLANS.
4. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND SIMILAR ORGANIC DEBRIS SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR. NATIVE ORGANIC SOIL MATERIALS SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED WITHIN AREAS OUT OF THE WAY OF OTHER CONSTRUCTIONS ACTIVITIES AND DRAINAGE FLOW. STOCKPILES SHALL BE TEMPORARILY SEEDED WITH WINTER RYE AND BE SURROUNDED WITH HAY BALES AND/OR FABRIC SILTATION FENCE IN ORDER TO PREVENT LOSS DUE TO EROSION.
5. PRIOR TO ROUGH GRADING ANY PORTION OF THE SITE, THE PERMANENT RETENTION BASINS AND DRAINAGE SWALES SHALL BE INSTALLED FOR ANY PORTIONS OF THE SITE THAT WILL DIRECT RUNOFF TO THE BASINS OR SWALES.
6. BEGIN EARTHMOVING OPERATIONS: PERMANENT DOWNSLOPE WORK SHALL BE PROTECTED FROM UPGRADENT STORMWATER FLOW BY THE CONSTRUCTION OF TEMPORARY EARTHEN DIKES OR EXCAVATED SWALES.
7. INSTALL DRAINAGE SWALE SYSTEMS, DETENTION BASINS AND OTHER UTILITIES WORKING FROM LOW TO HIGH. INCOMPLETE WORK SHALL BE PROTECTED FROM SILTATION BY THE USE OF SILTATION BARRIERS AROUND SWALES UNTIL THE SITE HAS BECOME FULLY STABILIZED.
8. CONSTRUCT TEMPORARY CULVERTS AS NECESSARY TO FACILITATE CONSTRUCTION ACTIVITIES. ALL SUCH CROSSINGS SHALL BE PROTECTED WITH HAY BALE BARRIERS TO LIMIT EROSION.
9. CONSTRUCT CLOSED DRAINAGE SYSTEM, AND OTHER SUBSURFACE UTILITIES, AS APPLICABLE.
10. COMMENCE CONSTRUCTION OF ROADWAYS. PERFORM EXCAVATION ACTIVITIES REQUIRED TO ACHIEVE SUBGRADE ELEVATION. ALL EXCAVATED EMBANKMENTS, DITCHES, SWALES AND ROADWAY CROSS CULVERTS SHALL BE INSTALLED AND STABILIZED. ALL SWALES AND DITCHLINES SHALL BE PROTECTED FROM EROSION BY IMPLEMENTATION OF SILT FENCES AND/OR EROSION CONTROL MULCH BERMS AS SHOWN ON THE PROJECT PLANS. DIVERT STORMWATER RUNOFF THROUGH THE USE OF TEMPORARY CULVERTS, OR OTHER MEANS NECESSARY PRIOR TO THE COMPLETIONS OF A FUNCTIONAL STORM DRAINAGE SYSTEM. SLOPES AND EMBANKMENTS SHALL BE STABILIZED BY TRACKING AND TEMPORARY SEEDING WITH WINTER RYE PRIOR TO TURF ESTABLISHMENT. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
11. COMPLETE CONSTRUCTION OF ROADWAY EMBANKMENTS BY ADDING APPROPRIATE BASE MATERIALS GRADED TO PROPER ELEVATION.
12. COMPLETE EXCAVATION /STABILIZATION GRADING ACTIVITIES. WHEN COMPLETE, IMMEDIATELY BEGIN TOPSOILING PROPOSED TURF-APPLIED LOAM SUPPLEMENTED WITH BORROW LOAM, IF NECESSARY TO LEAVE A THICKNESS OF 4-INCHES OF FRIABLE LOAM.
13. APPLY TOPSOIL TO ROADWAY SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED SO AS TO BE FREE OF ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS.
14. FINE GRADE ALL FUTURE TURF AREAS AND HYDROSEED WITH THE SPECIFIED SEED MIXTURE IMMEDIATELY AFTER FINE GRADING IS COMPLETED.
15. PERFORM FINE GRADING OF ROADWAY BASE MATERIALS. INSTALL THE BINDER COURSE OF PAVEMENT OVER ALL DESIGNATED AREAS.
16. INSTALL THE SPECIFIED WEARING COURSE OF PAVEMENT OVER THE BINDER COURSE. COMPLETE INSTALLATION OF LANDSCAPING, SIGNAGE AND OTHER SITE AMENITIES.
17. CONTINUE TO MONITOR AND RECTIFY MINOR SITE AND SLOPE EROSION UNTIL ENTIRE SITE APPEARS TO BE COMPLETELY STABILIZED AND VEGETATED WITH A HEALTHY STAND OF TURF OR GROUND COVER. MAINTAIN SPECIFIED SILTATION/EROSION CONTROL MEASURES THROUGH ONE WINTER.
18. AFTER STABILIZATION REMOVE AND SUITABLY DISPOSE OF TEMPORARY EROSION CONTROL MEASURES.
19. MONITOR CONSTRUCTION ACTIVITIES ON INDIVIDUAL LOTS TO INSURE CONSTRUCTION ACTIVITIES ARE BEING PERFORMED IN SUCH A WAY AS NOT TO ENDANGER THE INTEGRITY OF ROADWAY EMBANKMENTS, STORMWATER SYSTEMS AND UTILITIES. ALL DRIVEWAYS ACROSS DITCHLINES SHALL HAVE CULVERTS INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS.
20. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED FIVE (5) ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
21. THE PROJECT SHALL BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 38000 RELATIVE TO INVASIVE SPECIES.

SITE PREPARATION

1. GRADE AND SHAPE AREA OF INSTALLATION.
2. REMOVE ALL ROCKS, CLODS, AND VEGETATIVE OR OTHER OBSTRUCTIONS SO THAT THE INSTALLED BLANKETS OR MATS WILL HAVE DIRECT CONTACT WITH THE SOIL.
3. PREPARE SEEDBED BY LOOSENING 2-3 INCHES OF TOPSOIL ABOVE FINAL GRADE, AND INCORPORATE AMENDMENTS, SUCH AS LIME AND FERTILIZER, INTO SOIL ACCORDING TO SOIL TEST AND THE SEEDING PLAN.
4. SEED AREA BEFORE BLANKET INSTALLATION FOR EROSION CONTROL AND RE-VEGETATION. SEEDING AFTER MAT INSTALLATION IS OFTEN SPECIFIED FOR TURF REINFORCEMENT APPLICATION.

ANCHORING

1. WHEN APPLICABLE, ANCHORING SHOULD BE DONE PER MANUFACTURERS RECOMMENDATION.
2. U-SHAPED WIRE STAPLES, METAL GEOTEXTILE STAKE PINS, OR TRIANGULAR WOODEN STAKES CAN BE USED TO ANCHOR MATS TO THE GROUND SURFACE. WIRE STAPLES SHOULD BE A MINIMUM OF 11 GAUGE. METAL STAKE PINS SHOULD BE 3/16-INCH DIAMETER STEEL WITH A 1 1/2-INCH STEEL WASHER AT THE HEAD OF THE PIN. WIRE STAPLES AND METAL STAKES SHOULD BE DRIVEN FLUSH TO THE SOIL SURFACE. ALL ANCHORS SHOULD BE 6-8 INCHES LONG AND HAVE SUFFICIENT GROUND PENETRATION TO RESIST PULLOUT. LONGER ANCHORS MAY BE REQUIRED FOR LOOSE SOILS.

INSTALLATION ON SLOPES

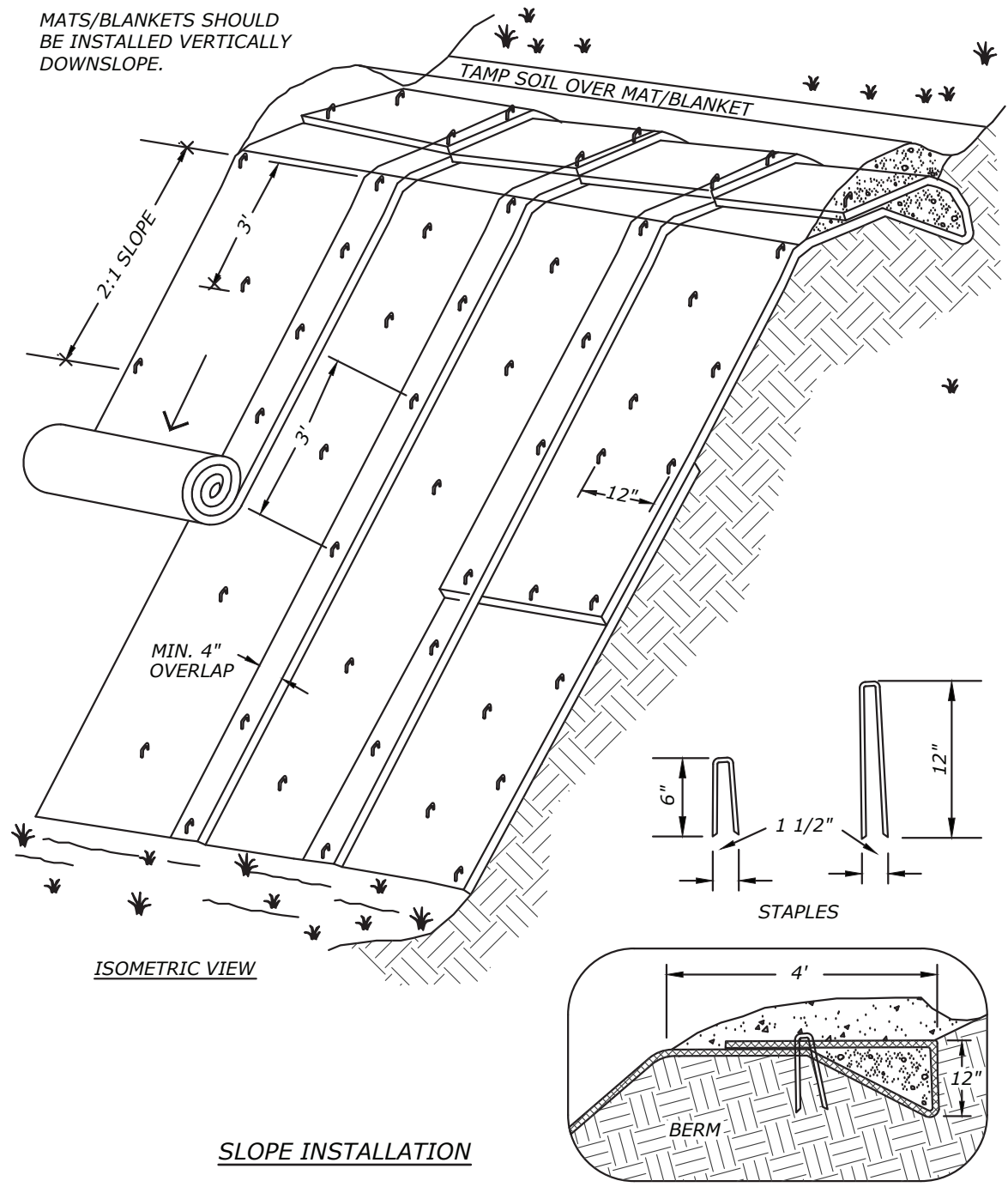
1. BEGIN AT THE TOP OF THE SLOPE AND ANCHOR ITS BLANKET IN A 6-INCH DEEP X 6-INCH WIDE TRENCH. BACKFILL TRENCH AND TAMP EARTH FIRMLY.
2. UNROLL BLANKET DOWN SLOPE IN THE DIRECTION OF THE WATER FLOW. THE EDGES OF ADJACENT PARALLEL ROLLS MUST BE OVERLAPPED 4 INCHES AND BE STAPLED EVERY 3 FEET.
3. WHEN BLANKETS MUST BE SPLICED, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH 6-INCH OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12 INCHES APART.
4. LAY BLANKETS LOOSELY AND MAINTAIN DIRECT CONTACT WITH THE SOIL - DO NOT STRETCH.
5. BLANKETS SHALL BE STAPLED SUFFICIENTLY TO ANCHOR BLANKET AND MAINTAIN CONTACT WITH THE SOIL. STAPLES SHALL BE PLACED DOWN THE CENTER AND STAGGERED ALONG THE EDGES. STEEP SLOPES, 1:1 TO 2:1, REQUIRE 2 STAPLES PER SQUARE YARD. MODERATE SLOPES, 2:1 TO 3:1, REQUIRE 1-2 STAPLES PER SQUARE YARD (1 STAPLE 3' O.C.). GENTLE SLOPES REQUIRE 1 STAPLE PER SQUARE YARD.

INSTALLATION IN CHANNELS

1. DIG INITIAL ANCHOR TRENCH 12 INCHES DEEP AND 6 INCHES WIDE ACROSS THE CHANNEL AT THE LOWER END OF THE PROJECT AREA.
2. EXCAVATE INTERMITTENT CHECK SLOTS, 6 INCHES DEEP AND 6 INCHES WIDE ACROSS THE CHANNEL AT 25-30 FOOT INTERVALS ALONG THE CHANNEL.
3. CUT LONGITUDINAL CHANNEL ANCHOR SLOTS 4 INCHES DEEP AND 4 INCHES WIDE ALONG EACH SIDE OF THE INSTALLATION TO BURY EDGES OF MATTING. WHENEVER POSSIBLE EXTEND MATTING 2-3 INCHES ABOVE THE CREST OF CHANNEL SIDE SLOPES.
4. BEGINNING AT THE DOWNSLOPE END AND IN THE CENTER OF THE CHANNEL, PLACE THE INITIAL END OF THE FIRST ROLL IN THE ANCHOR TRENCH AND SECURE WITH FASTENING DEVICES AT 1-FOOT INTERVALS. NOTE: MATTING WILL INITIALLY BE UPSIDE DOWN IN ANCHOR TRENCH.
5. IN THE SAME MANNER, POSITION ADJACENT ROLLS IN ANCHOR TRENCH, OVERLAPPING THE PRECEDING ROLL A MINIMUM OF 3 INCHES. SECURE THESE ENDS OF MATS WITH ANCHORS AT 1-FOOT INTERVALS, BACKFILL AND COMPACT SOIL.
6. UNROLL CENTER STRIP OF MATTING UPSTREAM. STOP AT NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH. UNROLL ADJACENT MATS UPSTREAM IN SIMILAR FASHION, MAINTAINING A 3-INCH OVERLAP.
7. FOLD AND SECURE ALL ROLLS OF MATTING SNUGLY INTO ALL TRANSVERSE CHECK SLOTS. LAY MAT IN THE BOTTOM OF THE SLOT THEN FOLD BACK AGAINST ITSELF. ANCHOR THROUGH BOTH LAYERS OF MAT AT 12-INCH INTERVALS, THEN BACKFILL AND COMPACT SOIL. CONTINUE ROLLING ALL MAT WIDTHS UPSTREAM TO THE NEXT CHECK SLOT OR TERMINAL ANCHOR TRENCH.

INSPECTION AND MAINTENANCE

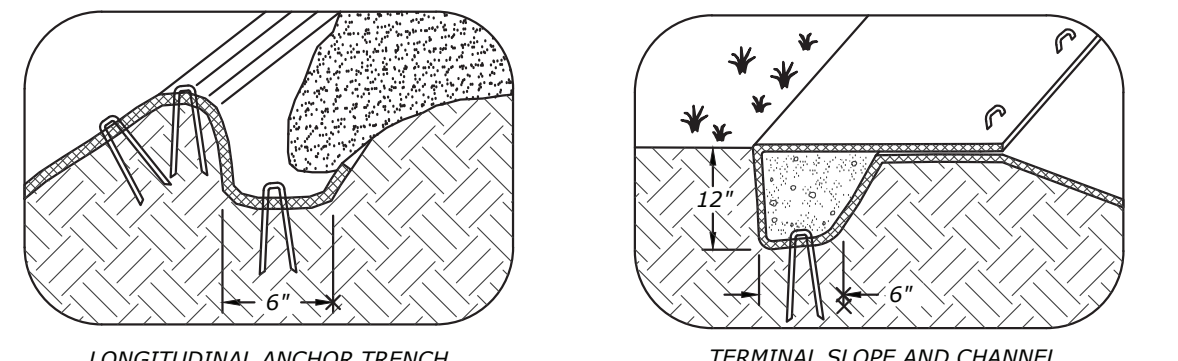
1. ALL BLANKET AND MATS SHOULD BE INSPECTED PERIODICALLY FOLLOWING INSTALLATION.
2. INSPECT INSTALLATION AFTER SIGNIFICANT RAINSTORMS TO CHECK FOR EROSION AND UNDERMINING. ANY FAILURE SHOULD BE REPAIRED IMMEDIATELY.
3. IF WASHOUT OR BREAKAGE OCCURS, RE-INSTALL THE MATERIAL AFTER REPAIRING THE DAMAGE TO THE SLOPE OR DRAINAGE WAY.



ISOMETRIC VIEW

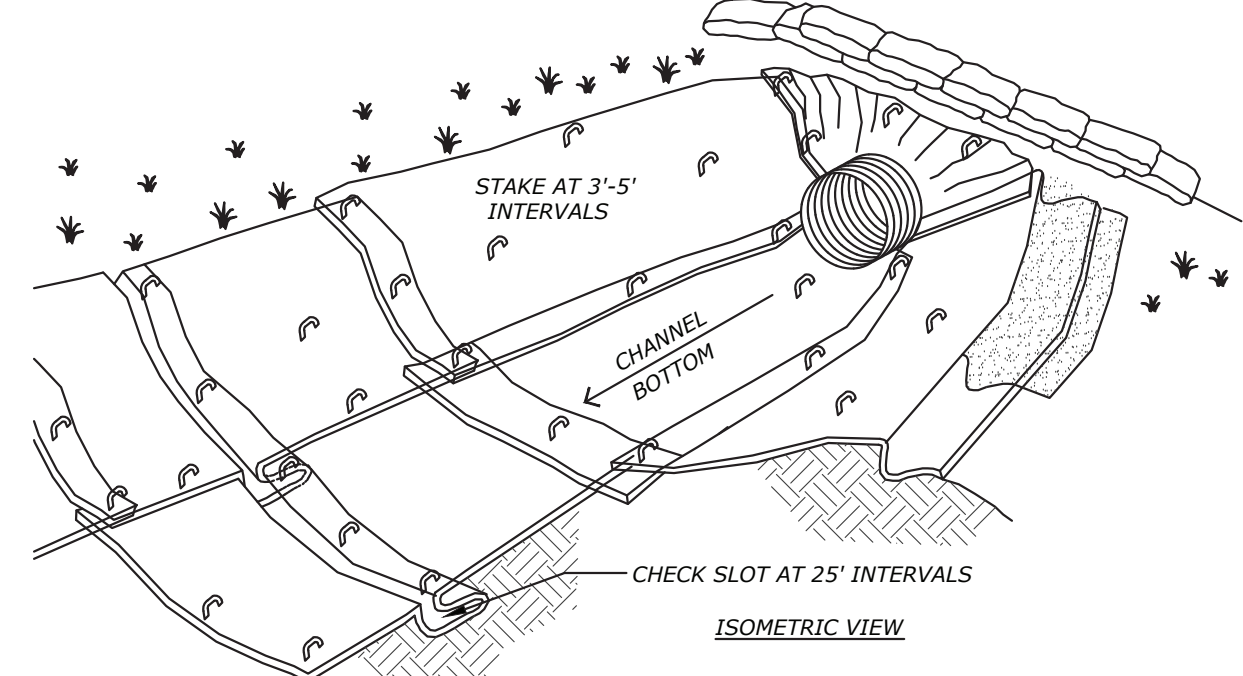
SLOPE INSTALLATION

SPECIFICATION
ALL TEMPORARY EROSION CONTROL MATS/BLANKETS USED ON THIS SITE SHALL BE CURLEY NET FREE EROSION CONTROL BLANKETS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL. THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED.

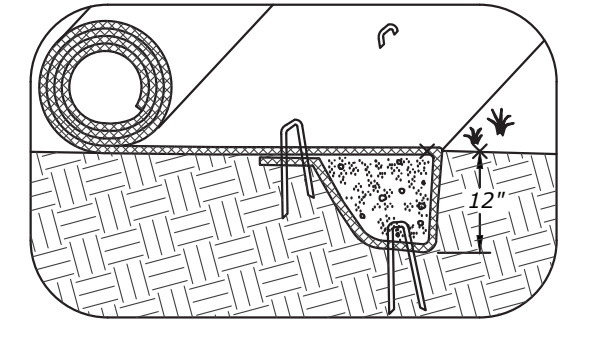


LONGITUDINAL ANCHOR TRENCH

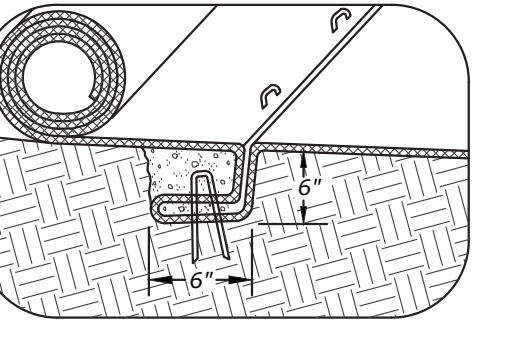
TERMINAL SLOPE AND CHANNEL ANCHOR TRENCH



ISOMETRIC VIEW



INITIAL CHANNEL ANCHOR TRENCH



INTERMITTENT CHECK SLOT

CHANNEL INSTALLATION

EROSION CONTROL MATS

-NOT TO SCALE-

TURF ESTABLISHMENT SCHEDULE:

SEED BED PREPARATION:

1. PLACE 4-INCH (MINIMUM) COMPACTED THICKNESS OF CLEAN SUITABLE LOAM.
2. RAKE OUT LOAM TO FREE SOIL OF DEBRIS AND STONES GREATER THAN 1-INCH IN DIAMETER.
3. FINE GRADE SURFACE AND SUPPLEMENT WITH LOAM WHERE NEEDED TO CREATE A UNIFORM SURFACE.
4. APPLY AGRICULTURAL LIMESTONE AT A RATE OF 12-POUNDS PER 1,000 S.F.

SEEDING SPECIFICATIONS:

1. SEED SHALL BE SPREAD UNIFORMLY BY BROADCASTING, DRILLING OR HYDROSEEDING. IF HYDROSEEDING, USE 4-TIMES THE RECOMMENDED RATE OF INOCULANT.
2. SEEDING FOR PERMANENT COVER SHALL OCCUR BETWEEN APRIL 15 AND OCTOBER 1. WHEN SEEDING BETWEEN MAY 15 AND SEPTEMBER 1, ALL AREAS SEEDED SHALL BE MULCHED WITH HAY, STRAW OR OTHER ACCEPTABLE MATERIAL AT A RATE OF 2-TONS PER ACRE.
3. SEED MIXTURE FOR LAWN AREAS SHALL CONTAIN 45% TALL FESCUE, 45% CREEPING RED FESCUE, AND 10% REDTOP APPLIED AT A RATE OF 4.5-POUNDS PER 1,000 S.F..
4. ALL STEEP SLOPE AREAS (3 : 1 OR STEEPER) SHALL BE HYDROSEEDED WITH A SEED MIXTURE CONTAINING 25% PERENNIAL RYEGRASS, 50% CROWNWETCH AND 25% WILDFLOWER MIX APPLIED AT A RATE OF 4.5 POUNDS PER 1,000 S.F.

SEEDING SPECIFICATIONS:

1. TEMPORARY SEEDING:

- A. TO ESTABLISH A QUICK VEGETATIVE COVER ON EXPOSED SOILS THAT ARE TEMPORARILY INACTIVE, APPLY WINTER RYE AT A RATE OF 50 POUNDS PER ACRE AND TOP DRESS WITH HAY MULCH OR STRAW AT A RATE OF 2 TONS PER ACRE.
- B. TO AID IN GERMINATION LIGHTLY RAKE SEED INTO SOIL TO ENSURE GOOD SEED/SOIL CONTACT PRIOR TO MULCHING.
- C. TO ANCHOR MULCH AND PREVENT DISPLACEMENT OF SEED, TRACK OVER NEWLY MULCHED AREA WITH TRACK VEHICLE TO CRIMP MULCH INTO THE SOIL.

2. PERMANENT SEEDING:

SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

SEEDBED PREPARATION

- A. AFTER FINAL SHAPING OF THE SLOPES IS ACHIEVED, APPLY A MINIMUM OF 4" OF TOPSOIL TO ALL EXPOSED SLOPES.
- B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

ESTABLISHING A STAND

A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. THE TYPE AND AMOUNT OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL FERTILITY ANALYSIS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:

AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 lbs. PER 1,000 sq.ft.
 NITROGEN (N), 50 lbs. PER ACRE OR 1.1 lbs. PER 1,000 sq.ft.
 PHOSPHATE (P2O5), 100 lbs. PER ACRE OR 2.2 lbs. PER 1,000 sq.ft.
 POTASH (K2O), 100 lbs. PER ACRE OR 2.2 lbs. PER 1,000 sq.ft.

(NOTE: THIS IS THE EQUIVALENT OF 500 lbs. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 lbs. PER ACRE OF 5-10-10..)

B. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. THE PREFERRED PLANTING SEASON IS BETWEEN MAY 1 AND JUNE 15 OR SEPTEMBER 1 TO OCTOBER 15.

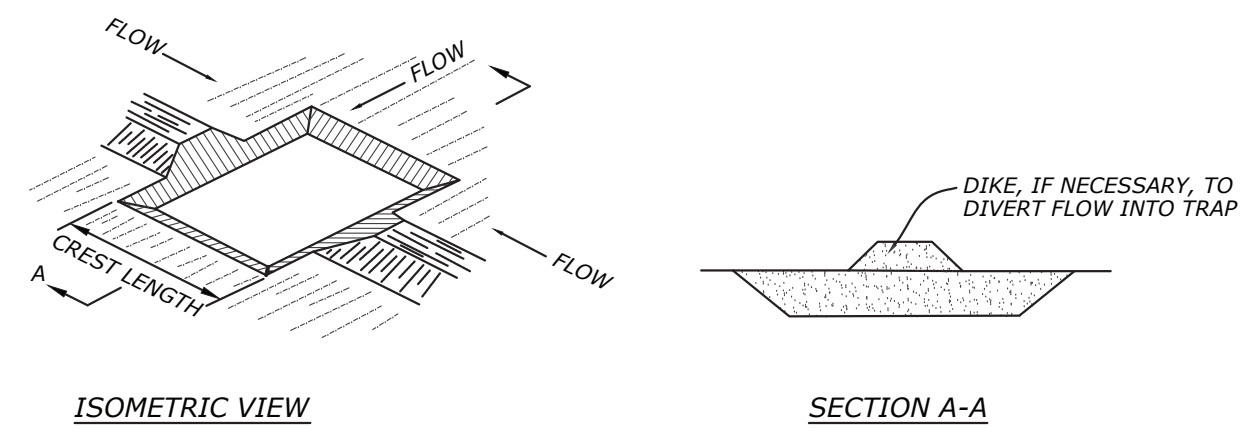
MULCH

- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
- B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE "BEST MANAGEMENT PRACTICE" FOR MULCHING.

MAINTENANCE TO ESTABLISH A STAND

PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.

SEED MIX: SEE SEED MIX TABLES FOR APPROPRIATE SEED MIX SPECIFICATION AND SEEDING RATES.



ISOMETRIC VIEW

SECTION A-A

NOTES

1. THE SEDIMENT TRAP SHALL BE INSTALLED AS CLOSE TO THE DISTURBED AREA OR SOURCE SEDIMENT AS POSSIBLE.
2. THE MAXIMUM CONTRIBUTING DRAINAGE AREA TO THE TRAP SHALL BE LESS THAN 5 ACRES.
3. THE MINIMUM VOLUME OF THE TRAP SHALL BE 3,600-CF OF STORAGE FOR EACH ACRE OF DRAINAGE.
4. THE SIDE SLOPES OF THE TRAP SHALL BE 3:1 OR FLATTER AND SHALL BE STABILIZED IMMEDIATELY AFTER THEIR CONSTRUCTION.
5. THE OUTLET OF THE TRAP SHALL BE A MINIMUM OF ONE FOOT BELOW THE CREST OF THE TRAP AN SHALL DISCHARGE TO A STABILIZED AREA.
6. THE TRAP SHALL BE CLEANED WHEN 50% OF THE ORIGINAL VOLUME IS FILLED.
7. THE MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.
8. THE TRAP SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO INSURE THAT IT IS WORKING PROPERLY AND IS NOT DAMAGED. DAMAGE TO THE TRAP SHOULD BE REPAIRED IMMEDIATELY.
9. WHEN THE DRAINAGE AREA FLOWING INTO THE BASIN HAS BEEN FULLY STABILIZED, THE SEDIMENT TRAP SHOULD BE REMOVED AND THE AREA VEGETATED USING APPROPRIATE MEASURES WITHIN 72 HOURS OF THE REMOVAL OF THE BASIN.

EXCAVATED EARTH OUTLET SEDIMENT TRAP

-NOT TO SCALE-

CONSTRUCTION DETAILS

PREPARED FOR:

HAMPSHIRE AVIATION - CONCORD HANGAR

PART OF 633Z / 3 (LEASE AREA DZ-4)
38 REGIONAL DRIVE, CONCORD, NH

APPLICANT: HAMPSHIRE AVIATION, LLC. 584 CURRIER ROAD HOPKINTON, NH 03229	OWNER: CITY OF CONCORD - AIRPORT 41 GREEN STREET CONCORD, NH 03301-4255
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REVISIONS:

NO.	DATE	DESCRIPTION
1	03/19/25	REVISED PER CITY COMMENTS

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DATE: FEB. 2025
 PROJ.: 24063
 SCALE: AS SHOWN
 SHEET: 13 OF 13