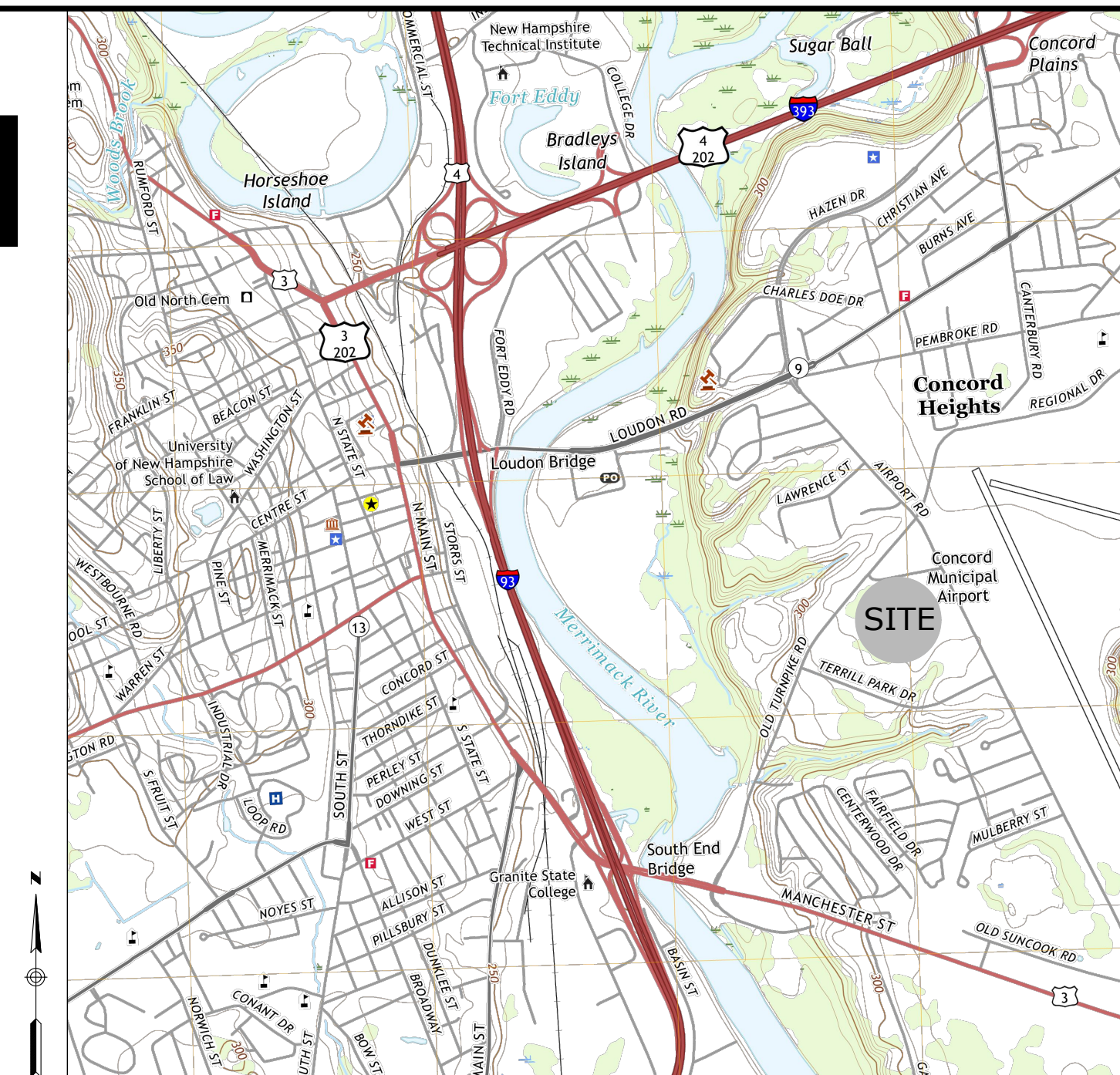


# GSA FACILITY GUT RENOVATION

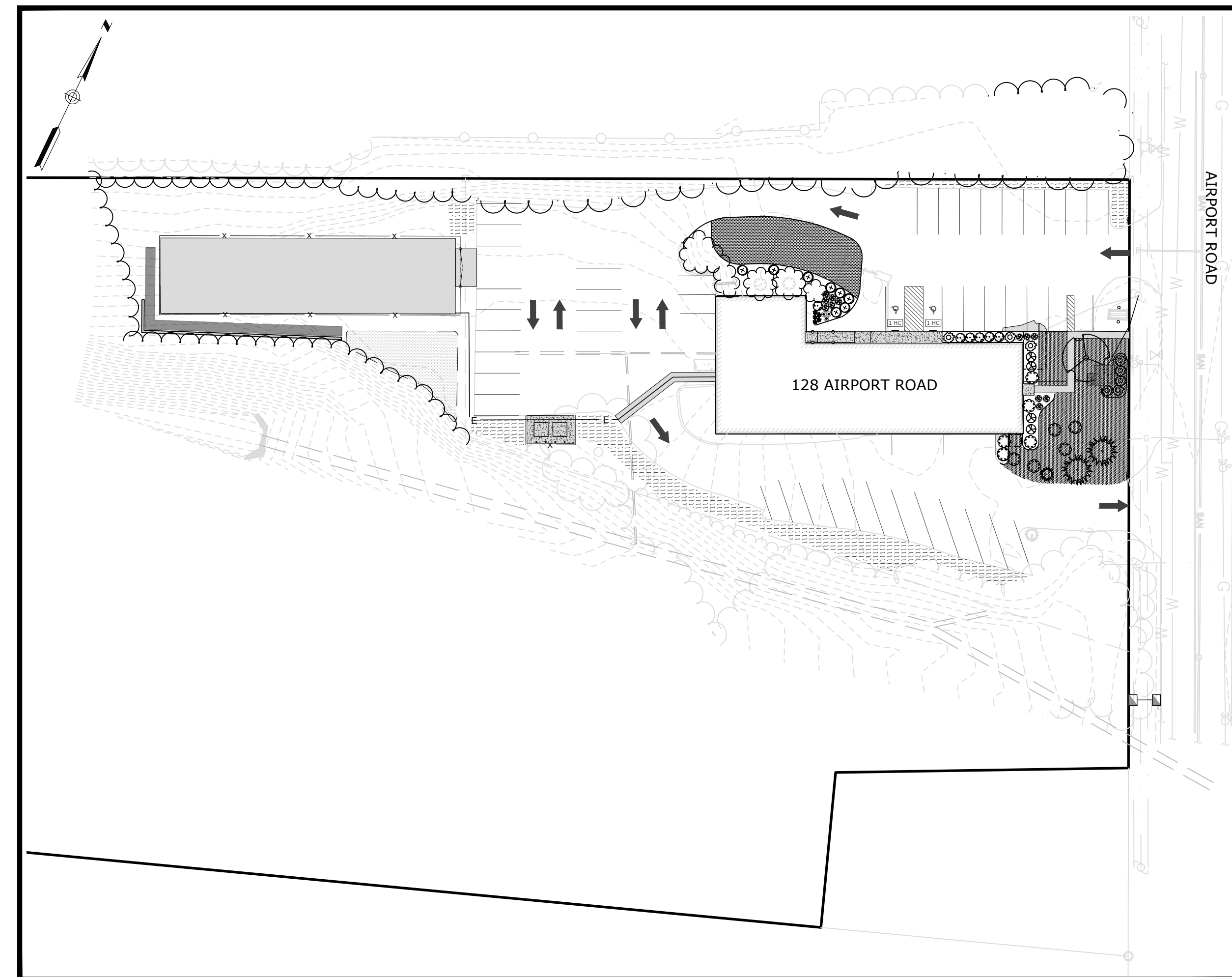
## MINOR SITE PLAN APPLICATION

128 AIRPORT RD  
CONCORD, NH 03301

OCTOBER 16, 2024  
REVISED: OCTOBER 29, 2024  
REVISED: NOVEMBER 1, 2024  
REVISED: NOVEMBER 25, 2024



VICINITY MAP  
SCALE: 1"=1,000'±



MAP  
SCALE: 1"=40'

| DRAWING INDEX |         |                                       |
|---------------|---------|---------------------------------------|
| Sheet Number  | Drawing | TITLE                                 |
| 0             | --      | COVER                                 |
| 1             | 1 OF 1  | EXISTING CONDITIONS PLAN              |
| 1.1           | ECP-1   | EXISTING CONDITIONS PLAN TABULATIONS  |
| 2             | C-1     | INDEX AND LEGEND                      |
| 3             | C-2     | SITE PREPARATION PLAN                 |
| 4             | C-3     | SITE PLAN                             |
| 5             | C-4     | GRADING & DRAINAGE PLAN               |
| 6             | C-5     | SOIL EROSION SEDIMENT CONTROL PLAN    |
| 7             | C-6     | SOIL EROSION SEDIMENT CONTROL DETAILS |
| 8             | C-7     | DETAILS                               |
| 9             | C-8     | DETAILS                               |
| 10            | L-1     | LANDSCAPE PLAN                        |
| 11            | L-2     | LANDSCAPING DETAILS                   |
| 12            | E-1     | UTILITY PLAN                          |
| 13            | E-2     | PHOTOMETRICS PLAN                     |

APPLICANTS: CASTAGNA CONSULTING GROUP  
13 BUCKSKIN LANE  
NORTH HAMPTON, NH 03301

LOUREIRO ENGINEERING ASSOCIATES, INC.  
100 NORTHWEST DRIVE  
PLAINVILLE, CT 06062

OWNER: 128 AIRPORT RD LLC  
334 COLLEGE HILL RD  
HOPKINTON, NH 03229-3404

Prepared By:

Engineer:



Loureiro Engineering Associates, Inc.  
100 Northwest Drive · Plainville, Connecticut 06062  
Phone: 860-747-6181 · Fax: 860-747-8822  
An Employee Owned Company · www.Loureiro.com

Engineering • Construction • EH&S • Energy  
Waste • Facility Services • Laboratory

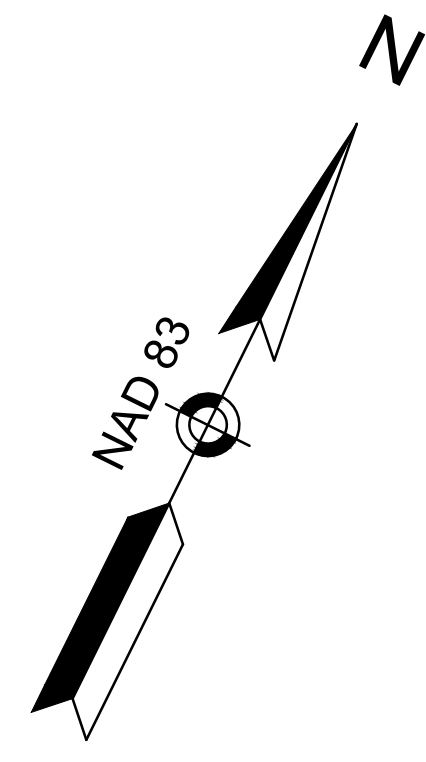




**LOCATION MAP**  
(NOT TO SCALE)

**LEGEND**

- DSLY DOUBLE SOLID LINE YELLOW
- G GAS LINE
- W WATER LINE
- CHAIN LINK FENCE
- CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SPOT ELEVATION
- CATCH BASIN
- SEWER MANHOLE
- GAS SHUT OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- GAS METER
- UNDERGROUND COMM
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- ZONE LINE



**GPI** Engineering  
Design  
Planning  
Construction Inspection  
603.893.0720 GPINET.COM  
Greenman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

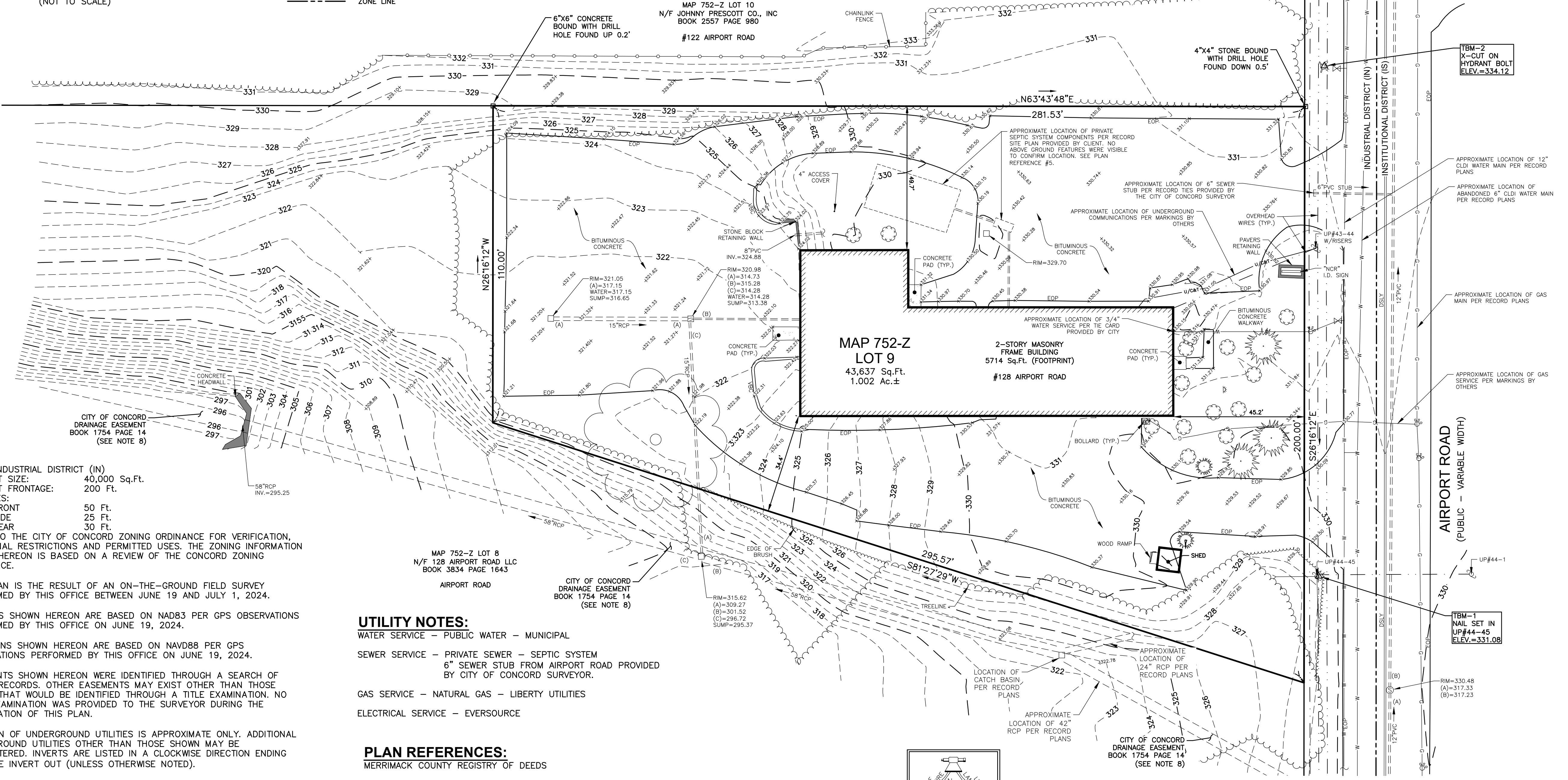
PREPARED FOR  
**LOURIERO ENGINEERING ASSOCIATES, INC.**  
100 NORTHWEST DR.  
PLAINVILLE, CT

**GSA FACILITY GUT RENOVATION ASSESSOR MAP 752-Z LOT 9**  
**128 AIRPORT ROAD CONCORD, NEW HAMPSHIRE**

**OWNER:**  
128 AIRPORT ROAD LLC  
334 COLLEGE HILL ROAD  
HOPKINTON, NH 03229  
**APPLICANT:**  
CASTAGNA CONSULTING GROUP & LOUREIRO ENGINEERING ASSOCIATES, INC.

| REVISIONS       |                                  |            |
|-----------------|----------------------------------|------------|
| NO.             | REVISION                         | DATE       |
| 3               | MISC REVISIONS                   | 11/22/24   |
| 2               | ADDED DRAINAGE EASEMENT          | 10/15/24   |
| 1               | UPDATE SEPTIC SYSTEM INFORMATION | 9/11/24    |
| JULY 23, 2024   |                                  |            |
| DRAWN/DESIGN BY | CSS                              | CHECKED BY |
|                 |                                  | AKC/SML    |

**EXISTING CONDITIONS PLAN**  
SCALE: 1"=20'  
NEX-2400167  
1 OF 1

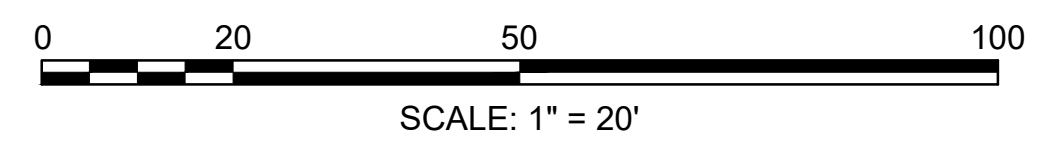
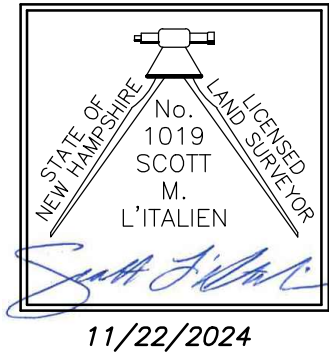


- NOTES:**
- ZONE: INDUSTRIAL DISTRICT (IN)  
MIN. LOT SIZE: 40,000 Sq.Ft.  
MIN. LOT FRONTAGE: 200 Ft.  
SETBACKS:  
FRONT 50 Ft.  
SIDE 25 Ft.  
REAR 30 Ft.  
REFER TO THE CITY OF CONCORD ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE CONCORD ZONING ORDINANCE.
  - THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JUNE 19 AND JULY 1, 2024.
  - BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JUNE 19, 2024.
  - ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JUNE 19, 2024.
  - EASEMENTS SHOWN HEREON WERE IDENTIFIED THROUGH A SEARCH OF PUBLIC RECORDS. OTHER EASEMENTS MAY EXIST OTHER THAN THOSE SHOWN THAT WOULD BE IDENTIFIED THROUGH A TITLE EXAMINATION. NO TITLE EXAMINATION WAS PROVIDED TO THE SURVEYOR DURING THE PREPARATION OF THIS PLAN.
  - LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
  - THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33013C0534E, WITH AN EFFECTIVE DATE OF APRIL 19, 2010.
  - THE CITY OF CONCORD RESERVES A PERPETUAL RIGHT AND EASEMENT FOR DRAINAGE PURPOSES OVER MAP 752-Z LOT 8. SEE DEED BOOK 1754 PAGE 15 FOR RIGHTS RESERVED.

- UTILITY NOTES:**
- WATER SERVICE - PUBLIC WATER - MUNICIPAL
  - SEWER SERVICE - PRIVATE SEWER - SEPTIC SYSTEM  
6" SEWER STUB FROM AIRPORT ROAD PROVIDED BY CITY OF CONCORD SURVEYOR.
  - GAS SERVICE - NATURAL GAS - LIBERTY UTILITIES
  - ELECTRICAL SERVICE - EVERSOURCE

- PLAN REFERENCES:**  
MERRIMACK COUNTY REGISTRY OF DEEDS
- PLAN 2210
  - PLAN 5745
  - PLAN 9113
  - PLAN 14432
  - PLAN 14432  
PLAN ENTITLED "CAPITOL CASH REGISTER COMPANY, SITE PLAN" DATED SEPTEMBER 12, 1988. FILED WITH THE CITY OF CONCORD PUBLIC WORKS DEPARTMENT AS PLAN No. 4110-1.

**OWNER OF RECORD:**  
MAP 752-Z LOT 9  
128 AIRPORT RD LLC  
334 COLLEGE HILL RD  
HOPKINTON, NH 03229  
BOOK 3834 PAGE 1643





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V:\NH\CONCORD\AIRPORT RD-128\GSA BUILDING IMPROVEMENTS\EXISTING CONDITIONS TABULATIONS.DWG Tab: ECP TABS\_Saved: 11/25/2024 1:01 PM by: CEGEAY Printed: 11/25/2024 4:10 PM

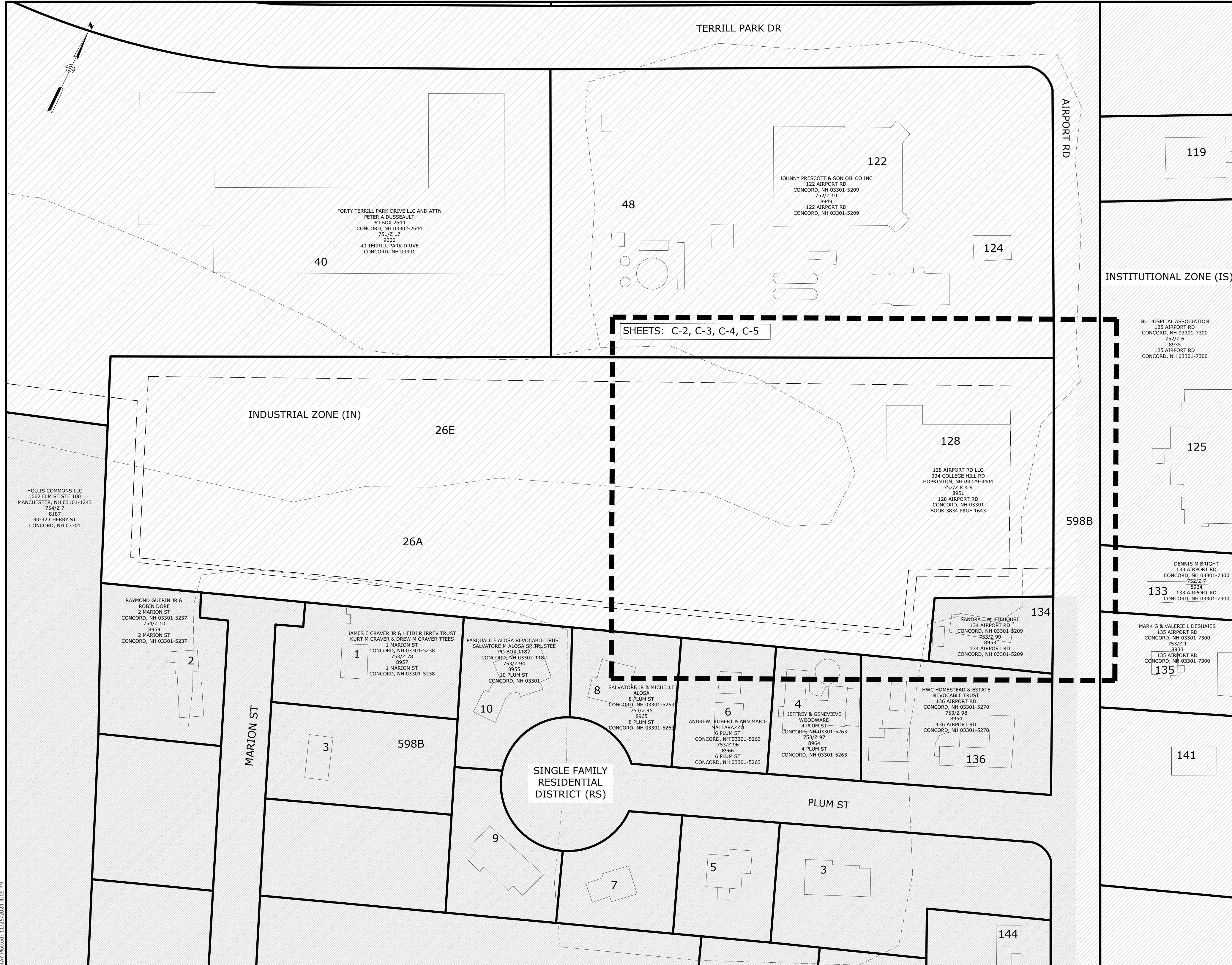
| TABULATIONS: EXISTING CONDITIONS PLAN   |   |
|---|---|
| GROSS ACREAGE IN SQUARE FEET AND ACRES  | 271,650 SF (6.24 AC)  |
| SQUARE FEET OR ACRES DEVOTED TO EXISTING AND PROPOSED LAND USES   | <ul style="list-style-type: none"> <li>EXISTING: 35,938 SF (0.83 AC)</li> <li>PROPOSED: 43,834 SF (1.00 AC)</li> </ul>  |
| SQUARE FEET OF EACH EXISTING BUILDING BROKEN DOWN BY FLOOR AND USE CATEGORY   | 5,714 SF FOOTPRINT<br>11,400 SF TOTAL FLOOR SPACE<br><ul style="list-style-type: none"> <li>FIRST FLOOR</li> <li>50% OFFICE (5400 SF)</li> <li>LOWER LEVEL</li> <li>25% WAREHOUSE (2,850 SF)</li> <li>25% LAB (2,850 SF)</li> </ul> |
| IMPERVIOUS SURFACE COVERAGE IN SQUARE FOOT AND PERCENT  | 18.12% (49,219 SF)  |
| PARKING REQUIRED FOR EXISTING AND PROPOSED USES   | SEE PARKING SCHEDULE ON SITE LAYOUT PLAN  |
| USEABLE LAND AREA CALCULATIONS FOR RESIDENTIAL DEVELOPMENT AND NET LAND AREA CALCULATIONS FOR NON-RESIDENTIAL DEVELOPMENT | <ul style="list-style-type: none"> <li>RESIDENTIAL DEVELOPMENT = N/A</li> <li>NON-RESIDENTIAL DEVELOPMENT = 7,896 SF</li> </ul>   |

**FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION**

|   |     |  |                                       |   |
|---|-----|--|---------------------------------------|---|
| <b>EXISTING CONDITIONS PLAN TABULATIONS</b><br><br><b>GSA FACILITY GUT RENOVATION</b><br>128 AIRPORT RD, CONCORD, NH 03301<br><b>128 AIRPORT ROAD LLC</b><br>334 COLLEGE HILL RD, HOPKINTON, NH 03229 |     | SCALE<br>NOT TO SCALE<br>DRAWING NO.<br>015CG4.01                                      | DATE<br>10/16/2024<br>DRAWN BY<br>CEG | DATE<br>10/16/2024<br>APPROVED BY<br>ECK  |
|   |     | APPLICANTS:<br>CASTAGNA CONSULTING GROUP<br>& LOUREIRO ENGINEERING<br>ASSOCIATES, INC. |                                       |   |
|    |     |     |                                       | STAMP<br>REVISIONS PER CITY COMMENTS<br>3 REVISIONS PER CITY COMMENTS<br>2 USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING<br>1 REVISIONS PER CITY COMMENTS<br>REV. DESCRIPTION OF REVISION<br>DATE<br>11/25/2024<br>11/7/2024<br>10/28/2024<br>CEG<br>CEG<br>APPR. |
| SHEET NO.   | 1.1 | NO. OF SHEETS  | 13                                    |   |



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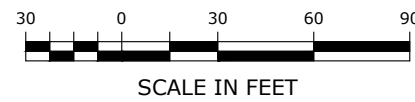


**LEGEND & ABBREVIATIONS**

|  |                    |
|--|--------------------|
| APPROXIMATE                                | APPROX             |
| INVERT                                     | INV                |
| SANITARY                                   | SAN                |
| SLOPE                                      | S                  |
| LINEAR FEET                                | LF                 |
| DISTANCE                                   | DIST               |
| ELEVATION                                  | ELEV               |
| EXISTING                                   | EX                 |
| MINIMUM                                    | MIN                |
| MAXIMUM                                    | MAX                |
| TYPICAL                                    | TYP                |
| WITH                                       | W/                 |
| NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION | NHDOT              |
| NRCS SOIL TYPE                             | SOIL TYPE          |
| INDUSTRIAL ZONE (IN)                       | [Hatched Pattern]  |
| SINGLE FAMILY RESIDENTIAL DISTRICT (RS)    | [White]            |
| INSTITUTIONAL ZONE (IS)                    | [Diagonal Hatched] |
| CONCRETE                                   | [Stippled]         |
| BITUMINOUS CONCRETE                        | [Cross-hatched]    |
| GRASS SWALE                                | [Wavy Lines]       |
| RETENTION BASIN                            | [Dotted]           |
| ENTRANCE PAD                               | [Wavy Lines]       |
| SAWCUT PAVEMENT                            | [Dashed]           |
| CLEAR VEGETATION                           | [Cross-hatched]    |
| BUILDING SETBACK                           | [Dashed]           |
| PROPERTY LINE                              | [Solid]            |
| LIMIT OF TREE CLEARING                     | [Wavy]             |
| LIMIT OF DISTURBANCE                       | [Dashed]           |
| TEMPORARY SILT FENCE                       | [Dashed]           |
| CONSTRUCTION FENCE                         | [Wavy]             |
| STOCKPILE AREA                             | [Dotted]           |
| CHAIN LINK FENCE                           | [X]                |
| ELECTRICAL CONDUIT                         | [E]                |
| TRENCH DRAIN                               | [Dashed]           |
| RETAINING WALL                             | [Solid]            |
| NEW INDEX CONTOUR                          | [Dashed]           |
| NEW CONTOUR                                | [Solid]            |
| DUMPSTERS                                  | [Square]           |
| BOLLARDS                                   | [Circle]           |
| TREE PROTECTION                            | [Circle]           |

NOTE: PARCELS AND BUILDING FOOTPRINTS ARE APPROXIMATE.

INDEX  
SCALE: 1"=60'



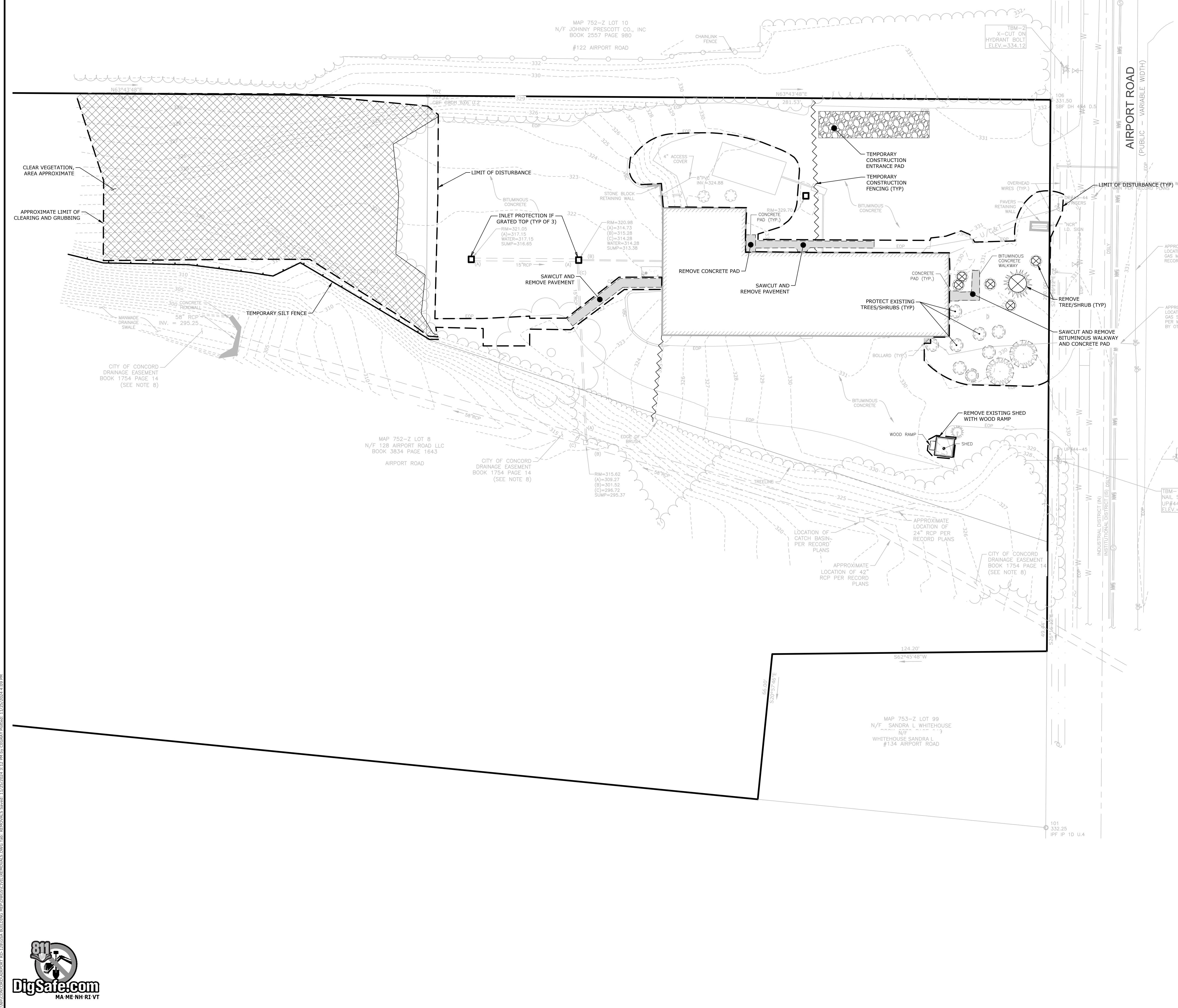
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|---|---|--|-------|
| DATE  |   | 11/25/2024   | CEG   |
| REVISIONS PER CITY COMMENTS                                     |   | 11/27/2024   | CEG   |
| USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING |   | 10/28/2024   | CEG   |
| REVISIONS PER CITY COMMENTS                                     |   |  | APPR. |
| DESCRIPTION OF REVISION   |   |  |       |
| REV.  |   | 1  |       |
| REV.  |   | 2  |       |
| REV.  |   | 3  |       |
| STAMP   |   |  |       |
| SCALE   |   | 1"=60'   |       |
| DRAWN BY  |   | CEG  |       |
| DATE  |   | 10/16/2024   |       |
| APPROVED BY   |   | ECK  |       |
| DATE  |   | 10/16/2024   |       |
| INDEX AND LEGEND  |   | <p><b>GSA FACILITY GUT RENOVATION</b><br/>128 AIRPORT RD, CONCORD, NH 03301<br/><b>128 AIRPORT ROAD LLC</b><br/>334 COLLEGE HILL RD, HOPKINTON, NH 03229</p> |       |
| DRAWING   |   | <p><b>C-1</b></p>  |       |
| SHEET NO.   | 2 | NO. OF SHEETS  | 13    |

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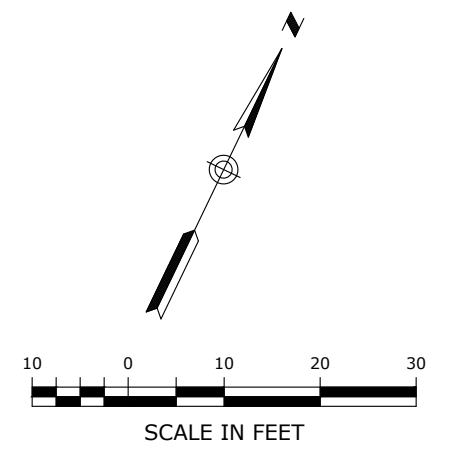
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- SITE PREPARATION PLAN NOTES**
- CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
  - NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
  - THE LIMITS OF CLEARING AND/OR CLEARING AND GRUBBING SHOULD BE CONSIDERED APPROXIMATE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING THE ACTUAL LIMITS/EXTENT OF ACTUAL CLEARING AND/OR CLEARING AND GRUBBING REQUIRED TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THE DRAWINGS. ANY CLEARING AND/OR CLEARING AND GRUBBING PROPOSED BY CONTRACTOR SOLELY FOR ACCESS OR STAGING SHALL BE APPROVED BY THE ENGINEER.
  - THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
  - THE FACILITY WILL BE OCCUPIED AND IN USE DURING THE COURSE OF THE WORK. PROVIDE SAFETY BARRIERS, INCLUDING BUT NOT LIMITED TO, FENCING, BARRICADES, AND SIGNAGE AS REQUIRED TO PREVENT UNAUTHORIZED ENTRY TO THE WORK AREA AT ALL TIMES.
  - ALL CONSTRUCTION FENCING AND WARNING SIGNS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. INSTALL CONSTRUCTION FENCING AT THE LIMIT OF WORK.
  - PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
  - PROTECT ALL IMPROVEMENTS NOT INCLUDED IN THE SCOPE OF SITE DEMOLITION. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION.
  - ALL EXCESS TOPSOIL SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS EXPRESSLY INDICATED OTHERWISE. ALL EXCESS TOPSOIL SHALL BE PROMPTLY REMOVED FROM THE PROJECT SITE FOLLOWING EXCAVATION/REMOVAL. ANY TOPSOIL EXCAVATED/REMOVED DURING THE COURSE OF THE WORK SHALL BE REUSED AT THE PROJECT ONLY WITH THE EXPRESS PERMISSION OF THE OWNER. OBTAIN THE OWNER'S PERMISSION TO STOCKPILE ANY TOPSOIL MATERIAL ON THE PROJECT SITE THAT IS APPROVED FOR REUSE.
  - UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.



|   |  |
|---|--|
| <p><b>STATE OF NEW HAMPSHIRE</b><br/>Professional Engineer<br/>No. 17705<br/>Loureiro</p>   |  |
| <p><b>Loureiro Engineering Associates, Inc.</b><br/>Water &amp; Utility Services &amp; Laboratory<br/>1000 North Main Street, Suite 100<br/>Concord, NH 03301<br/>Phone: 860-747-6181 • Fax: 860-747-6822<br/>An Employee-Owned Company • www.loureiro.com<br/>© Loureiro Engineering Associates, Inc. All Rights Reserved 2024</p> | <p><b>CASTAGNA CONSULTING GROUP &amp; LOUREIRO ENGINEERING ASSOCIATES, INC.</b></p>  |
| <p>SCALE: 1" = 20'<br/>CONTRACT NO. 015C64.01</p>   | <p>DATE: 10/16/2024<br/>DRAWN BY: CEG<br/>APPROVED BY: ECK</p>   |
| <p><b>SITE PREPARATION PLAN</b></p>   | <p><b>GSA FACILITY GUT RENOVATION</b><br/>128 AIRPORT RD., CONCORD, NH 03301<br/><b>128 AIRPORT ROAD LLC</b><br/>334 COLLEGE HILL RD., HOPKINTON, NH 03229</p> |
| <p>DRAWING: <b>C-2</b></p>  | <p>SHEET NO. 3 NO. OF SHEETS 13</p>  |

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**MINOR SITE PLAN APPLICATION NOTES**

- SEE SHEET C-1, INDEX AND LEGEND, FOR THE LOCATION PLAN.
- THE EXISTING BUILDING FOOTPRINT WILL REMAIN.
- THE EXISTING PARKING LOT AND DRIVEWAYS WILL REMAIN.
- THERE ARE NO VARIANCES, WAIVERS, AND CONDITIONAL USE PERMITS.
- A VOLUNTARY LOT MERGER APPLICATION WAS SUBMITTED ON AUGUST 20, 2024 AND IS ON RECORD WITH THE CITY. THIS APPLICATION HAS BEEN COMPLETED UNDER THE ASSUMPTION THAT THE VOLUNTARY LOT MERGER HAS BEEN APPROVED IN 2025.
- EXISTING CONDITIONS PLAN: A SURVEY WAS CONDUCTED BY GREENMAN-PEDERSEN, INC. (GPI) ON JULY 23, 2024 AND REVISED SEPTEMBER 11, 2024 AND OCTOBER 15, 2024. SEE THE EXISTING CONDITIONS PLAN FOR PROPERTY LINE BEARINGS AND DIMENSIONS.
- PLAN REFERENCES: MERRIMACK COUNTY REGISTRY OF DEEDS
  - PLAN 2210
  - PLAN 5745
  - PLAN 9113
  - PLAN 14432
  - PLAN ENTITLED "CAPITOL CASH REGISTER COMPANY, SITE PLAN" DATED SEPTEMBER 12, 1988. FILED WITH THE CITY OF CONCORD PUBLIC WORKS DEPARTMENT AS PLAN NO. 4110-1.
- LARGE PARCEL: A VOLUNTARY LOT MERGER APPLICATION FOR THE MERGE OF 128 AIRPORT ROAD AND AIRPORT ROAD IS ON RECORD WITH THE CITY. THE NEW WORK WILL BE COMPLETED IN THE NORTHEAST CORNER OF THE COMBINED PARCEL.

SEE SHEET C-1, INDEX AND LEGEND, FOR LOCATION MAP AT 60-SCALE INCLUDING THE NEW FULL 128 AIRPORT ROAD; LINES; ABUTTERS; PROPERTY LINES; NRCS SOIL TYPES; NAMES AND LOCATIONS OF NEARBY AND ADJACENT CITY STREETS; THE NEAREST STREET INTERSECTIONS; THE TAX ASSESSOR'S ADDRESS, MAP, BLOCK AND LOT NUMBER FOR ABUTTERS; AND ZONING DISTRICT DESIGNATIONS AND BOUNDARIES.

- WETLANDS: A WETLAND DELINEATION WAS NOT PERFORMED BY A NEW HAMPSHIRE CERTIFIED WETLAND SCIENTIST. NO INLAND WETLANDS OR OTHER BODIES OF WATER ARE LOCATED ON OR IN THE VICINITY OF THE PROJECT AREA. A MANMADE DITCH IS LOCATED TO THE SOUTHWEST OF THE DEVELOPED PORTION OF THE SITE. DRAINAGE FROM THE MANMADE DITCH ULTIMATELY ENTERS THE MERRIMACK RIVER. THIS AREA WILL NOT BE DISTURBED DURING THE NEW SITE MODIFICATIONS.
- SOILS: ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS), THERE ARE 3 SOIL TYPES PRESENT:
  - 26A - WINDSOR LOAMY SAND, 0 TO 3 PERCENT SLOPES
  - 26E - WINDSOR LOAMY SAND, 15 TO 60 PERCENT SLOPES
  - 598B - WINDSOR-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES

NATURAL FEATURES: THERE ARE NO LEDGE OUTCROPPINGS, STREAMS, WATER BODIES, WETLANDS, BLUFFS OR RAVERS ON THE SITE. THERE ARE STEEP SLOPES IN EXCESS OF 15% AND 25% TO THE SOUTHWEST OF THE DEVELOPED SITE. THIS AREA WILL NOT BE IMPACTED BY NEW SITE IMPROVEMENTS.

COMMUNITY FEATURES: THE SITE IS NOT ADJACENT TO ANY PUBLIC BUILDINGS, PARKS OR OPEN SPACE, OR ANY HISTORIC STRUCTURES OR FEATURES.

EASEMENTS/RESTRICTIONS: THERE IS ONE DRAINAGE EASEMENT ALONG THE 52-INCH RCP (BOOK 1754 PAGE 14). SEE THE EXISTING CONDITIONS PLAN FOR EASEMENTS INFORMATION.

PER THE WARRANTED DEED (BOOK 3834 PAGE 1644), THE LOT WAS PREVIOUSLY CONVEYED BY THE CITY OF CONCORD SUBJECT TO THE FOLLOWING CONDITIONS:

- PRIOR TO THE FILING OF THE SUBJECT PROPERTY ALL OBJECTS, TREE STUMPS, TIRES, ETC., USED TO STABILIZE EMBANKMENTS BE REMOVED.
- A SUITABLE STRUCTURE BE USED TO COMBINE THE TWO OUTLET PIPES CURRENTLY USED TO DRAIN THE AIRPORT, AND TAT THE PIPE OF SUITABLE SIZE BE USED TO DRAIN THAT STRUCTURE.
- THE AMOUNT OF THE RAVINE FILLED SHALL BE KEPT AT THE MINIMUM REQUIRED TO ADEQUATELY PROTECT THE ABUTTING PROPERTY OF THE GRANTEE AS IT EXISTED ON AUGUST 7, 1988.
- ANY LAND CREATED BY FILLING IN THE RAVINE BE LANDSCAPED AND USED SOLELY FOR A PARKING LOT AND THAT NO STRUCTURES BE BUILT ON THE FILL IN THE FUTURE.

THERE IS MINIMUM EARTHWORK REQUIRED TO CONSTRUCT THE WARE YARD AND NEW DRAINAGE FEATURES INCLUDING A GRASS SWALE, RETENTION BASIN, AND 3.2 FOOT TALL RETAINING WALL. THE DISTURBED AREAS WILL BE LANDSCAPED.

MUNICIPAL UTILITIES: UTILITY NOTES ARE INCLUDED ON THE EXISTING CONDITIONS PLAN:
 

- WATER SERVICE - PUBLIC WATER - MUNICIPAL
- SEWER SERVICE - 6" SEWER STUB FROM AIRPORT ROAD

NON-MUNICIPAL UTILITIES: UTILITY NOTES ARE INCLUDED ON THE EXISTING CONDITIONS PLAN:
 

- GAS SERVICE - PUBLIC WATER - MUNICIPAL
- ELECTRICAL SERVICE - EVERSOURCE

WELLS AND SEPTIC SYSTEMS: THERE ARE PRIVATE SEPTIC SYSTEM COMPONENTS PER RECORD SITE PLAN PROVIDED BY THE CITY. SEE THE EXISTING CONDITIONS PLAN. NO GROUND FEATURES WERE VISIBLE DURING THE SURVEY TO CONFIRM LOCATION.

FLOOD HAZARD: THE SITE IS NOT LOCATED IN A FLOOD HAZARD ZONING OVERLAY DISTRICT.

AQUIFERS: THE SITE IS NOT LOCATED IN AN AQUIFER PROTECTION OVERLAY DISTRICT.

SHORELAND PROTECTION: THE SITE IS NOT LOCATED IN A SHORELAND PROTECTION OVERLAY DISTRICT.

SIGNS: THERE IS 1 EXISTING (78" WIDE X 148" TALL X 14" THICK) SIGN AT THE FRONT OF THE EXISTING BUILDING NEAR AIRPORT ROAD. THIS SIGN WILL REMAIN AS-IS.

SOLID WASTE AND OUTSIDE STORAGE: A NEW MULTIPLE DUMPSTER PAD FOR 2 NEW 8-YARD DUMPSTERS (6' WIDE, 6' LONG, 7' HIGH) WILL BE CONSTRUCTED AT THE NORTHWEST CORNER OF THE PARKING LOT. PER THE CITY OF CONCORD ENGINEERING SERVICES DIVISION'S DETAIL, THE DUMPSTER PAD WILL BE 6" THICK, 20' WIDE AND 12' LONG.

THE WARE YARD WILL BE USED TO STORE ATVS, BOATS, CAGE TRAPS, DUCK TRAPS, BEAR TRAPS AND TRAILERS, FIELD EQUIPMENT AND SUPPLIES (PVC PIPE, FENCING, PROPANE TANKS (3-#20)), STORAGE SHED, AND A PICKUP TRUCK.

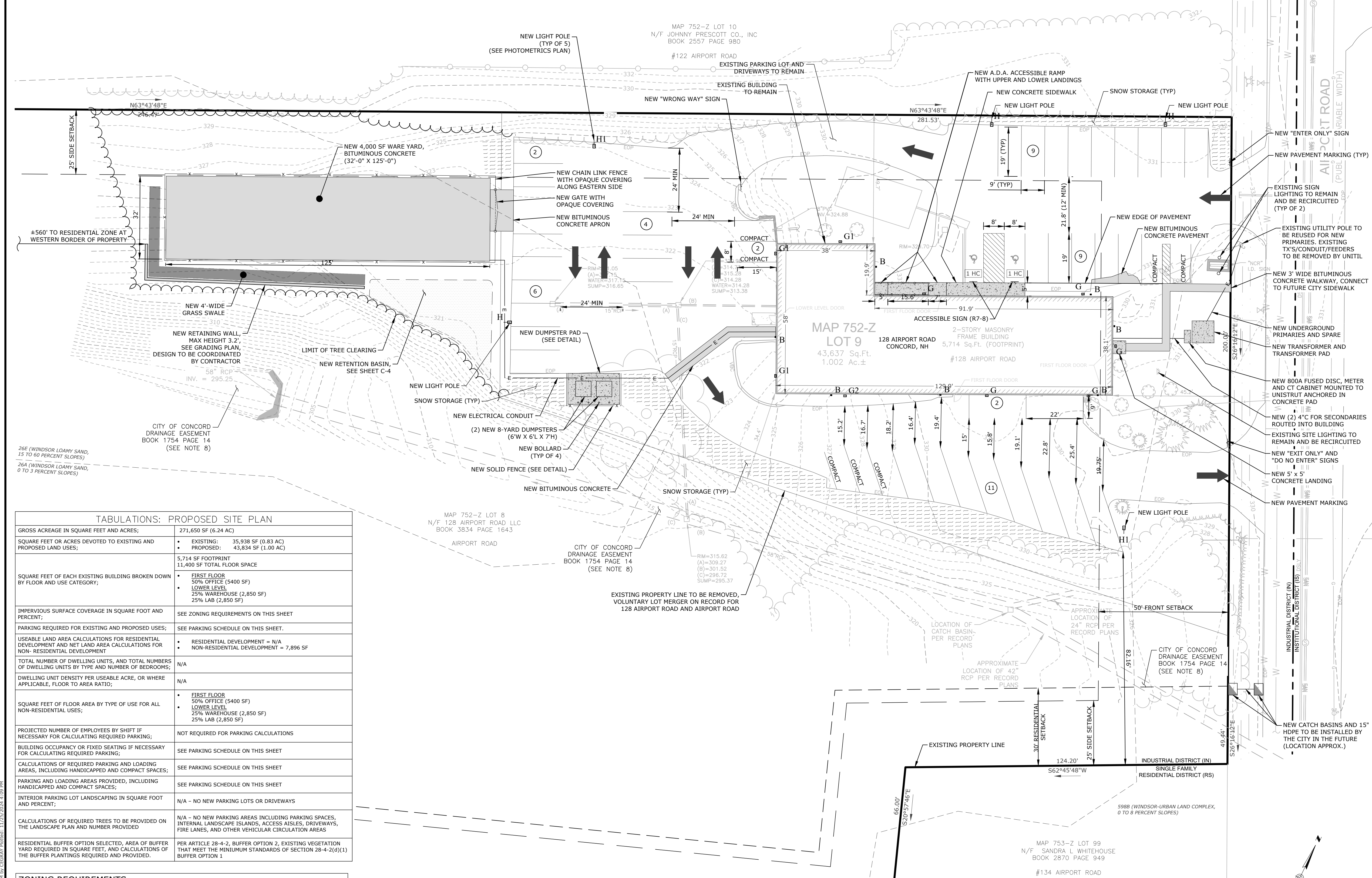
LIGHTING: THE EXTERIOR OF THE EXISTING BUILDING HAS: 1 WALL LIGHT ON THE EASTERN (FRONT) SIDE TO THE UPPER RIGHT OF THE MAIN ENTRANCE; 2 WALL PACK LIGHTS ON THE WESTERN (REAR) SIDE OF THE BUILDING; 3 WALL LIGHTS, 2 SPOT LIGHTS AND 1 WALLPACK ON THE SOUTHERN SIDE; AND 2 WALL LIGHTS, 1 WALLPACK LIGHT, AND 1 SPOT LIGHT ON THE NORTHERN SIDE OF THE BUILDING. THE EXISTING SIGN LIGHTING WILL REMAIN AND BE RECIRCUITED. THERE ARE 5 NEW 15' HIGH LIGHT FIXTURES IN THE PARKING LOT TO MEET THE FOOT CANDLE REQUIREMENTS AND NEW WALLPACKS ON THE BUILDING (SEE THE PHOTOMETRICS PLAN).

ZONING: THE SITE IS LOCATED IN THE INDUSTRIAL ZONE (IN). SEE SHEET C-1, INDEX AND LEGEND, FOR ZONING DISTRICT BOUNDARY LINES. THERE ARE NO OVERLAY DISTRICTS NEARBY.

HISTORIC STRUCTURES OR SITES: THERE ARE NO HISTORIC STRUCTURES OR SITES LISTED OR ELIGIBLE FOR THE NATIONAL OR STATE REGISTERS OF HISTORIC PLACES OR ANY HISTORIC MARKERS ON THE SITE OR ABUTTING PROPERTIES OR RIGHTS OF WAY.

BUILDING USE: BUILDING USE WILL NOT CHANGE. SEE THE ZONING REQUIREMENTS TABLE FOR TOTAL AREAS OF EACH BUILDING USE WITHIN THE BUILDING.

SCREENING: OPAQUE SCREENING WILL BE USED ALONG THE EASTERN SIDE OF THE CHAIN LINK FENCE SURROUNDING THE WARE YARD. NOTE THAT THE WARE YARD IS 8 FEET LOWER THAN EXISTING GRADE AT AIRPORT ROAD; THE FENCE WILL NOT BE VISIBLE FROM THE ROAD. SCREENING TO THE NORTH OF THE WARE YARD IS NOT REQUIRED DUE TO TREE COVERAGE BETWEEN 122 AIRPORT ROAD AND 128 AIRPORT ROAD.



**TABULATIONS: PROPOSED SITE PLAN**

|  |   |
|--|---|
| GROSS ACREAGE IN SQUARE FEET AND ACRES:  | 271,650 SF (6.24 AC)  |
| SQUARE FEET OR ACRES DEVOTED TO EXISTING AND PROPOSED LAND USES:   | <ul style="list-style-type: none"> <li>EXISTING: 35,938 SF (0.83 AC)</li> <li>PROPOSED: 43,834 SF (1.00 AC)</li> </ul>  |
| SQUARE FEET OF EACH EXISTING BUILDING BROKEN DOWN BY FLOOR AND USE CATEGORY:   | <ul style="list-style-type: none"> <li>5,714 SF FOOTPRINT</li> <li>11,400 SF TOTAL FLOOR SPACE</li> </ul>   |
| IMPERVIOUS SURFACE COVERAGE IN SQUARE FOOT AND PERCENT:  | SEE ZONING REQUIREMENTS ON THIS SHEET   |
| PARKING REQUIRED FOR EXISTING AND PROPOSED USES:   | SEE PARKING SCHEDULE ON THIS SHEET  |
| USEABLE LAND AREA CALCULATIONS FOR RESIDENTIAL DEVELOPMENT AND NET LAND AREA CALCULATIONS FOR NON-RESIDENTIAL DEVELOPMENT:                       | <ul style="list-style-type: none"> <li>RESIDENTIAL DEVELOPMENT = N/A</li> <li>NON-RESIDENTIAL DEVELOPMENT = 7,896 SF</li> </ul>                                 |
| TOTAL NUMBER OF DWELLING UNITS, AND TOTAL NUMBERS OF DWELLING UNITS BY TYPE AND NUMBER OF BEDROOMS:  | N/A   |
| DWELLING UNIT DENSITY PER USEABLE ACRE, OR WHERE APPLICABLE, FLOOR TO AREA RATIO:  | N/A   |
| SQUARE FEET OF FLOOR AREA BY TYPE OF USE FOR ALL NON-RESIDENTIAL USES:   | <ul style="list-style-type: none"> <li>FIRST FLOOR: 50% OFFICE (5,400 SF)</li> <li>LOWER LEVEL: 25% WAREHOUSE (2,850 SF)</li> <li>25% LAB (2,850 SF)</li> </ul> |
| PROJECTED NUMBER OF EMPLOYEES BY SHIFT IF NECESSARY FOR CALCULATING REQUIRED PARKING:  | NOT REQUIRED FOR PARKING CALCULATIONS   |
| BUILDING OCCUPANCY OR FIXED SEATING IF NECESSARY FOR CALCULATING REQUIRED PARKING:   | SEE PARKING SCHEDULE ON THIS SHEET  |
| CALCULATIONS OF REQUIRED PARKING AND LOADING AREAS, INCLUDING HANDICAPPED AND COMPACT SPACES:  | SEE PARKING SCHEDULE ON THIS SHEET  |
| PARKING AND LOADING AREAS PROVIDED, INCLUDING HANDICAPPED AND COMPACT SPACES:  | SEE PARKING SCHEDULE ON THIS SHEET  |
| INTERIOR PARKING LOT LANDSCAPING IN SQUARE FOOT AND PERCENT:   | N/A - NO NEW PARKING LOTS OR DRIVEWAYS  |
| CALCULATIONS OF REQUIRED TREES TO BE PROVIDED ON THE LANDSCAPE PLAN AND NUMBER PROVIDED:   | N/A - NO NEW PARKING AREAS INCLUDING PARKING SPACES, INTERNAL LANDSCAPE ISLANDS, ACCESS AISLES, DRIVEWAYS, FIRE LANES, AND OTHER VEHICULAR CIRCULATION AREAS    |
| RESIDENTIAL BUFFER OPTION SELECTED, AREA OF BUFFER YARD REQUIRED IN SQUARE FEET, AND CALCULATIONS OF THE BUFFER PLANTINGS REQUIRED AND PROVIDED: | PER ARTICLE 28-4-2, BUFFER OPTION 2, EXISTING VEGETATION THAT MEET THE MINIMUM STANDARDS OF SECTION 28-4-2(d)(1) BUFFER OPTION 1                                |

**ZONING REQUIREMENTS**

| ZONE                          | INDUSTRIAL DISTRICT (IN)   |
|-------------------------------|--|
| USE CODE                      | 3400   |
| REQUIRED MINIMUM              |  |
| SETBACKS                      | FRONT = 50'<br>SIDE = 25'<br>REAR = 30'  |
| LOT SIZE                      | 271,650 SF (6.24 AC)   |
| REQUIRED                      |  |
| EXISTING                      |  |
| NEW                           |  |
| MAXIMUM COVERAGE              | 85% LOT (230,903 SF) 18.12% (49,219 SF) 23.38% (53,977 SF)   |
| MAXIMUM HEIGHT                | 45'  |
| REQUIRED                      |  |
| EXISTING                      |  |
| NEW                           |  |
| REQUIRED PARKING SPACES       |  |
| BUILDING USE                  |  |
| CALCULATION                   |  |
| EXISTING BUILDING (11,400 SF) | <ul style="list-style-type: none"> <li>50% OFFICE</li> <li>25% WAREHOUSE</li> <li>25% LAB</li> </ul>                                       |
| TOTAL REQUIRED PARKING SPACES | <ul style="list-style-type: none"> <li>14.25 + 7.13 + 3.56 = 24.94, ROUNDED UP TO 25 TOTAL SPACES</li> <li>2 ADA PARKING SPACES</li> </ul> |
| PROVIDED NEW PARKING SPACES   | <ul style="list-style-type: none"> <li>36 REGULAR SPACES</li> <li>2 ADA PARKING SPACES</li> <li>7 COMPACT VEHICLE SPACES</li> </ul>        |

**PARKING SCHEDULE**

| PRINCIPAL USE                 | OFFICE/WAREHOUSING/INDUSTRIAL FLEX USE   |
|-------------------------------|--|
| REQUIREMENT                   | PER THE TABLE OF MINIMUM OFF-STREET PARKING REQUIREMENTS IN CODE OF ORDINANCES CITY OF CONCORD, NH ARTICLE 28-7-2:   |
|                               | <ul style="list-style-type: none"> <li>1 PARKING SPACE PER 400 SQ. FT. OF OFFICE SPACE GROSS FLOOR AREA</li> <li>1 PARKING SPACE PER 400 SQ. FT. OF WAREHOUSE SPACE GROSS FLOOR AREA</li> <li>1 PARKING SPACE PER 800 SQ. FT. OF LAB SPACE GROSS FLOOR AREA</li> </ul>                                   |
| REQUIRED PARKING SPACES       |  |
| BUILDING USE                  |  |
| CALCULATION                   |  |
| EXISTING BUILDING (11,400 SF) | <ul style="list-style-type: none"> <li>50% OF 11,400 SF = 5700 SF</li> <li>1 SPACE/400 SF = 5700/400 = 14.25 SPACES</li> <li>25% OF 11,400 SF = 2850 SF</li> <li>1 SPACE/400 SF = 2850/400 = 7.13 SPACES</li> <li>25% OF 11,400 SF = 2850 SF</li> <li>1 SPACE/800 SF = 2850/800 = 3.56 SPACES</li> </ul> |
| TOTAL REQUIRED PARKING SPACES | <ul style="list-style-type: none"> <li>14.25 + 7.13 + 3.56 = 24.94, ROUNDED UP TO 25 TOTAL SPACES</li> <li>2 ADA PARKING SPACES</li> </ul>   |
| PROVIDED NEW PARKING SPACES   | <ul style="list-style-type: none"> <li>36 REGULAR SPACES</li> <li>2 ADA PARKING SPACES</li> <li>7 COMPACT VEHICLE SPACES</li> </ul>  |

- SITE LAYOUT PLAN**
- NOTIFY "DIG SAFE" (811) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
  - NOTIFY THE ENGINEER OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
  - THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - ENGAGE A NEW HAMPSHIRE-LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF PROPOSED IMPROVEMENTS, DIMENSIONS, AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
  - IMPLEMENTING WORKER SAFETY AND/OR HEALTH PROTOCOLS THAT ADDRESS COMPLIANCE WITH RULES, LAWS, AND REGULATIONS PERTAINING TO CONSTRUCTION SAFETY AND/OR THE POTENTIAL AND/OR ACTUAL RISK OF EXPOSURE TO SITE-SPECIFIC PHYSICAL OR CHEMICAL HAZARDS IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
  - THIS DRAWING IS INTENDED TO DEPICT THE LOCATION AND LAYOUT OF CONSTRUCTION AND IS INTENDED TO BE USED IN CONJUNCTION WITH THE DETAILS AND APPLICABLE SPECIFICATION SECTIONS.
  - ALL NON-ACCESSIBLE PARKING SPACES ARE 8' X 10'. HANDICAPPED PARKING SPACES ARE AS INDICATED IN THE DETAILS. VERIFY OVERALL LAYOUT DIMENSIONS BASED ON THESE DIMENSIONS AND THE NUMBER OF SPACES INDICATED. FIELD-ADJUST OVERALL LAYOUT DIMENSION IN CONCERT WITH THE ENGINEER IF REQUIRED.
  - DIMENSIONS INDICATED ARE TO FACE OF CURB, PAVEMENT EDGE, EDGE OF IMPROVEMENT, OR AS OTHER NOTED. NOTIFY THE ENGINEER OF ANY AND ALL DIMENSIONAL DISCREPANCIES BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - UNLESS OTHERWISE INDICATED, PARKING STRIPING LINES ARE PARALLEL OR PERPENDICULAR TO LINE FROM WHICH THEY ARE MEASURED. ANGLED PARKING SPACES ARE AT A 90-DEGREE ANGLE.
  - SEE LANDSCAPING PLAN FOR LANDSCAPED AREAS AT THE FRONT AND NORTHWEST SIDE OF THE BUILDING.

| DATE       | DESCRIPTION OF REVISION   |
|------------|---|
| 11/29/2024 | CEG   |
| 11/29/2024 | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING |
| 10/28/2024 | CEG   |
| 10/28/2024 | REVISIONS PER CITY COMMENTS                                     |
|            | REV.  |
|            | DATE  |



**Loureiro Engineering Associates, Inc.**  
Water & Utility Services • EIR • EIR • EIR  
128 AIRPORT ROAD, CONCORD, NH 03301  
Phone: 603-272-6118 • Fax: 603-272-6822  
An Employee-Owned Company • www.loureiro.com  
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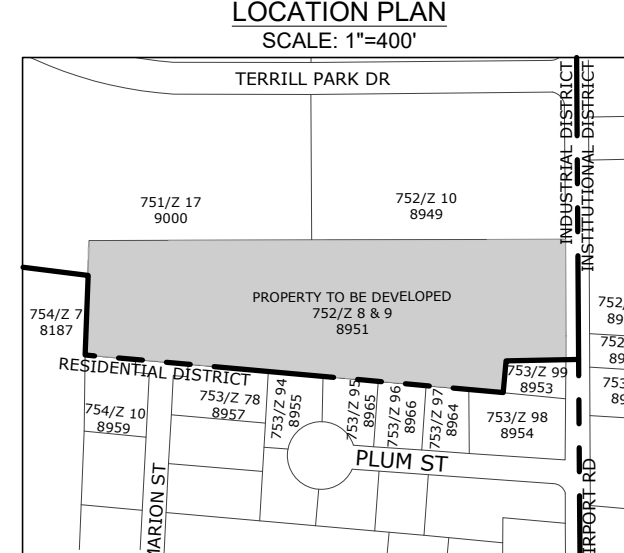
| SCALE    | DATE       |
|----------|------------|
| 1" = 20' | 10/16/2024 |
| DATE     | 10/15/2024 |
| DATE     | 10/15/2024 |

APPLICANTS:  
CASTAGNA CONSULTING GROUP  
& LOUREIRO ENGINEERING ASSOCIATES, INC.

**GSA FACILITY GUT RENOVATION**  
128 AIRPORT ROAD, CONCORD, NH 03301  
**128 AIRPORT ROAD LLC**  
334 COLLEGE HILL RD, HOPKINTON, NH 03229

**SITE PLAN**

| NO. OF SHEETS | NO. OF SHEETS |
|---------------|---------------|
| 4             | 13            |

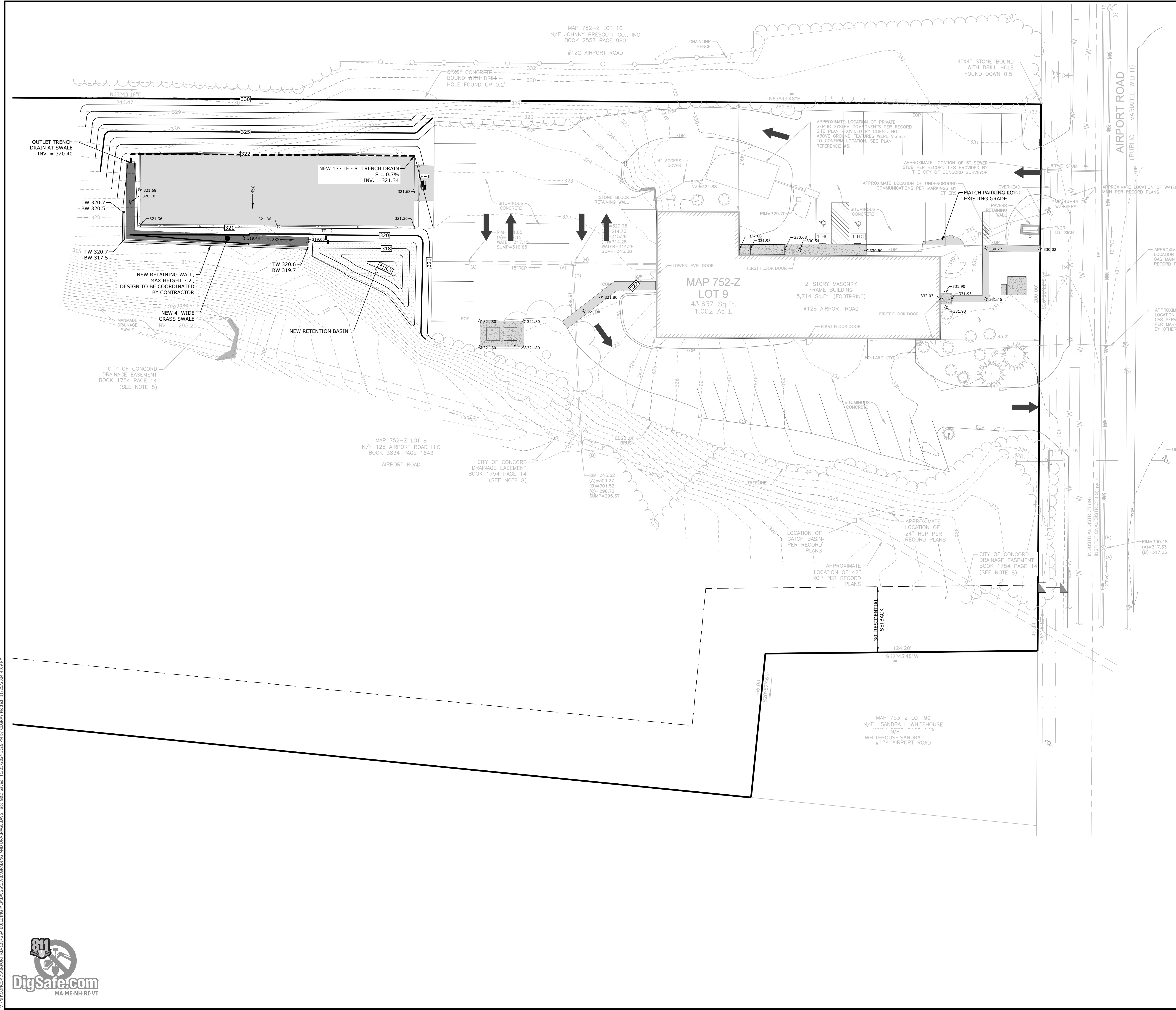


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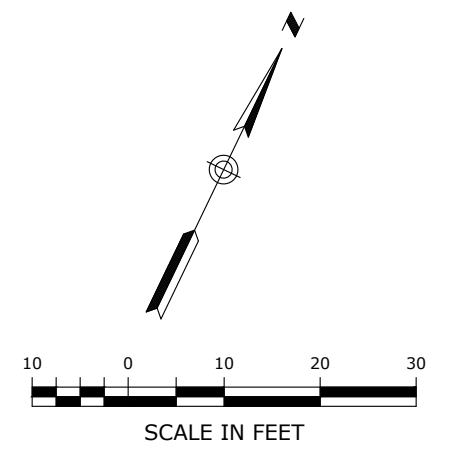
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NOT FOR CONSTRUCTION**

- GRADING AND DRAINAGE NOTES**
- CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AND VERIFY UTILITY MARK-OUT WITH THE OWNER PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE.
  - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND NATURE OF ALL SUBSURFACE UTILITIES AT THE PROJECT WHICH MAY BE AFFECTED BY THE WORK. COORDINATE WITH RESPECTIVE UTILITY OWNERS AND PERFORM VERIFICATION OF TYPE, LOCATION AND INVERTS AS REQUIRED.
  - THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
  - THE LOCATIONS OF EXISTING SITE FEATURES AS SHOWN HAVE BEEN OBTAINED FROM MAPS, SURVEYS, FIELD INSPECTIONS, AND OTHER AVAILABLE INFORMATION. THEY MUST BE CONSIDERED APPROXIMATE BOTH TO LOCATION, SIZE, AND AS-BUILT CONDITION AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL FIELD CONDITIONS.
  - THE DIMENSIONS SHOWN ON THE PLANS, INCLUDING THE INTENDED DIMENSIONS OF THE WORK, MAY VARY FROM ACTUAL EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASUREMENTS TO VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS AS WELL AS OTHER DIMENSIONS HE MAY DEEM APPROPRIATE TO FACILITATE THE COMPLETION OF THE WORK. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER. ENSURE COMPLIANCE WITH NEW HAMPSHIRE BUILDING CODE FOR ALL NEW CONSTRUCTION.
  - ENGAGE A NEW HAMPSHIRE-LICENSED LAND SURVEYOR TO PERFORM LAND-SURVEYING SERVICES REQUIRED, INCLUDING, BUT NOT LIMITED TO VERIFICATION AND LAYOUT OF PROPOSED IMPROVEMENTS, DIMENSIONS, AND ELEVATIONS. REPORT DISCREPANCIES TO THE ENGINEER.
  - UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED. BLEND RESTORED AREAS INTO ADJACENT UNDISTURBED AREAS.
  - PROPOSED GRADES INDICATE DESIGN INTENT. VERIFY ELEVATIONS AND MAKE ADJUSTMENTS TO MEET FIELD CONDITIONS. DO NOT PROCEED WITH ANY ADJUSTMENT OR FIELD MODIFICATION UNTIL APPROVED BY THE ENGINEER.
  - VERIFY ALL GRADES AND SLOPES PRIOR TO CONCRETE PLACEMENT. REPORT DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
  - COMPLY WITH NEW HAMPSHIRE AND FEDERAL BUILDING CODE FOR ALL SITE CONSTRUCTION, INCLUDING HANDICAPPED ACCESSIBILITY.
  - THE CROSS-SLOPE OF ANY SIDEWALK, WALKWAY, OR OTHER PEDESTRIAN SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%).
  - ACCESSIBLE ROUTES SHALL COMPLY WITH NEW HAMPSHIRE AND FEDERAL BUILDING CODE. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1:48 (2%). GRADING CONTOURS AND SPOT GRADES INDICATE DESIGN INTENT. CONFIRM THE GRADE AND SLOPE OF NEW WORK BASED ON ACTUAL FIELD CONDITIONS BEFORE PROCEEDING WITH INSTALLATION. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING.
  - RAMPS SHALL COMPLY WITH NH BUILDING CODE. GRADING CONTOURS AND SPOT GRADES INDICATE DESIGN INTENT. CONFIRM THE GRADE AND SLOPE OF NEW WORK BASED ON ACTUAL FIELD CONDITIONS BEFORE PROCEEDING WITH INSTALLATION. BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING.
  - GRADE TRANSITION BETWEEN TOPOGRAPHIC LINES AND SPOT GRADES SHALL BE UNIFORM UNLESS OTHERWISE INDICATED.
  - UNLESS OTHERWISE INDICATED, BLEND TRANSITIONS IN ELEVATION BETWEEN NEW WORK AND AREAS TO REMAIN AT A MAXIMUM SLOPE OF 1V:2H AND RESTORE WITH SIX (6) INCHES OF LOAM AND SEED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED. COORDINATE WITH ENGINEER IF DIMENSIONAL CONSTRAINTS REQUIRE STEEPER SLOPES.
  - UPON REACHING PROPOSED SUBGRADE ELEVATIONS WITHIN THE FIELD, ENGINEER WILL REVIEW SUBGRADE PRIOR TO INSTALLATION OF DRAINAGE SYSTEM.
  - AT THE CONCLUSION OF THE WORK, CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT MATERIAL FROM ALL PORTIONS OF THE STORM DRAINAGE SYSTEM, INCLUDING NEW WORK AND EXISTING WORK THAT REMAINS OR IS INCORPORATED INTO THE NEW SYSTEM.



|  |  |   |
|--|--|---|
| <p><b>GRADING &amp; DRAINAGE PLAN</b></p> <p><b>GSA FACILITY GUT RENOVATION</b><br/>128 AIRPORT RD., CONCORD, NH 03301<br/><b>128 AIRPORT ROAD LLC</b><br/>334 COLLEGE HILL RD., HOPKINTON, NH 03229</p> |  | <p>DATE: 10/15/2024</p> <p>SCALE: 1"=20'</p> <p>CONTRACT NO.: 015CG4.01</p> |
| <p>APPLICANTS:<br/>CASTAGNA CONSULTING GROUP<br/>&amp; LOUREIRO ENGINEERING<br/>ASSOCIATES, INC.</p>   | <p>DRAWN BY: CEG</p> <p>APPROVED BY: ECK</p> | <p>DATE: 10/15/2024</p> <p>DATE: 10/15/2024</p>                             |
| <p>DRAWING: <b>C-4</b></p> <p>SHEET NO.: 5 NO. OF SHEETS: 13</p>   |  | <p>STAMP: LOUREIRO ENGINEERING ASSOCIATES, INC. PROFESSIONAL ENGINEER</p>   |

V:\NH\CONCORD\AIRPORT RD-128\GSA BUILDING REPAIRS\DWG\GRADING AND DRAINAGE DWG.Tbx: L10252024.11.26 PM by: CEBAY, Pinned: 11/20/2024 4:09 PM





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NOT FOR CONSTRUCTION**

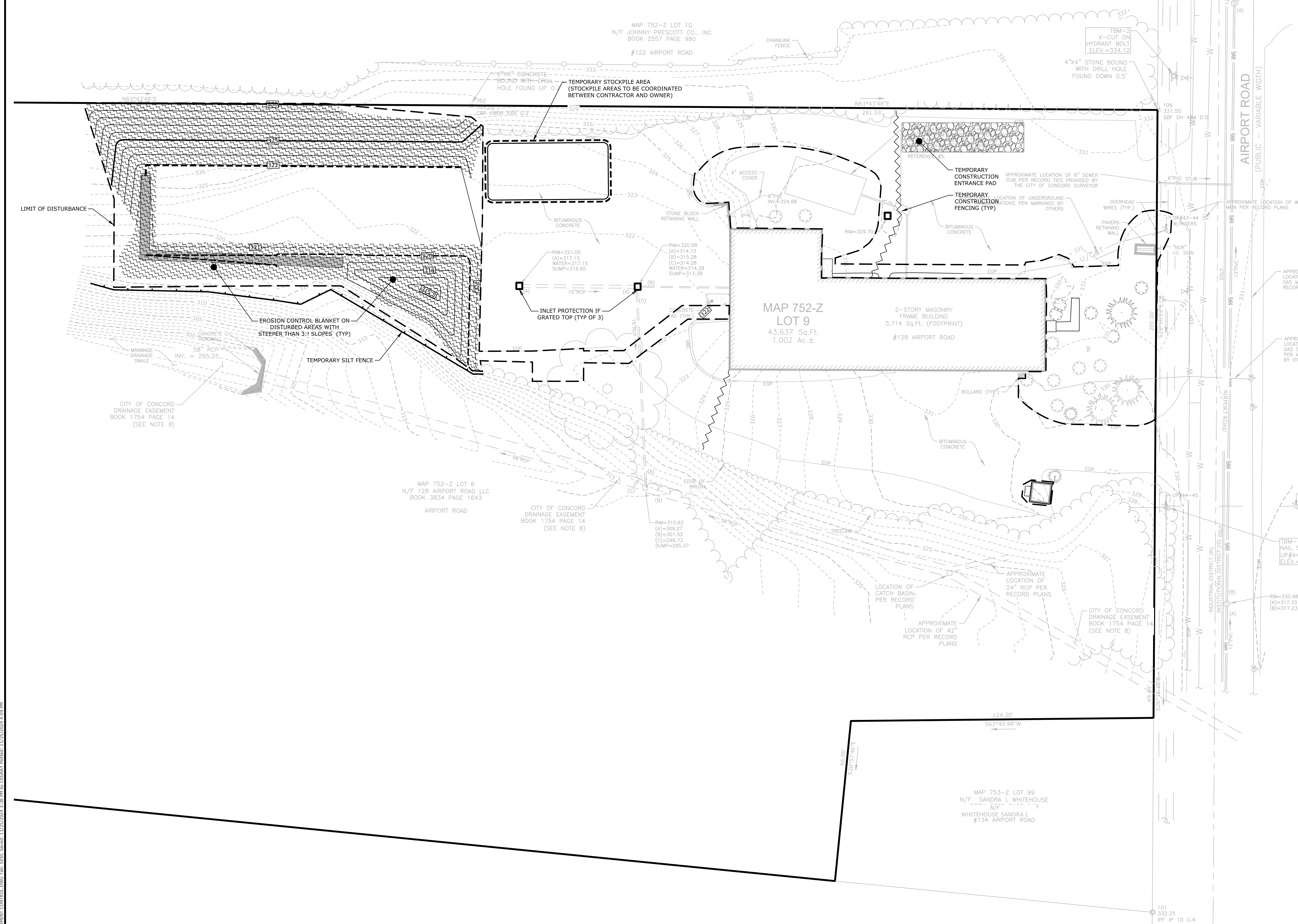
**EROSION AND SEDIMENTATION CONTROL PLAN NOTES**

- THIS PLAN IS FOR EROSION AND SEDIMENTATION (E&S) CONTROL ONLY. SEE OTHER PLANS FOR THE SCOPE OF CONSTRUCTION WORK.
- DO NOT PROCEED WITH THE WORK UNTIL ALL E&S CONTROL MEASURES ARE IN-PLACE AND HAVE BEEN INSPECTED AND APPROVED BY THE ENGINEER.
- THE MEASURES SPECIFIED HEREON ARE THE MINIMUM REQUIREMENTS FOR E&S CONTROL AND ARE SHOWN IN GENERAL SIZE AND LOCATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL E&S CONTROL MEASURES ARE CONFIGURED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS. PROVIDE ADDITIONAL E&S MEASURES AS REQUIRED TO CONTROL EROSION AND SILTATION THROUGHOUT THE DURATION OF THE CONSTRUCTION AS CONDITIONS DICTATE AND/OR AS DIRECTED BY THE OWNER OR THE ENGINEER.
- MONITOR AND INSPECT ALL E&S MEASURES IN AN ONGOING MANNER THROUGHOUT THE WORK AND TAKE CORRECTIVE MEASURES, AS REQUIRED, TO MINIMIZE EROSION OF SOILS AND PREVENT THE TRANSPORT OF SEDIMENTS AND OTHER POLLUTANTS TO ANY RESOURCE AREAS.
- ANY EROSION AND SEDIMENTATION MEASURE IMPLEMENTED BEYOND THAT SHOWN HEREON SHALL CONFORM TO APPLICABLE SECTIONS OF THE STATE OF NEW HAMPSHIRE'S "NHDOT GUIDELINES FOR TEMPORARY EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT."
- ANY STOCKPILED MATERIAL SHALL BE SUBJECT TO EROSION CONTROL MEASURES THAT INCLUDE A MINIMUM OF SILT FENCE OR HAY BALE BARRIER COVER STOCKPILES IF SIGNIFICANT RAINFALL IS PREDICTED.
- PROVIDE TEMPORARY SEEDING WITH MULCH ON ALL EXPOSED SOIL AREAS WHERE WORK WILL BE SUSPENDED FOR LONGER THAN 30 DAYS. APPLY SEED AND MULCH WITHIN THE FIRST 7 DAYS OF SUSPENDING WORK. WHEN SEEDING IS NOT POSSIBLE DUE TO SEASONAL WEATHER CONDITIONS OR OTHER FACTORS, PROVIDE TEMPORARY STRUCTURAL SOIL PROTECTION SUCH AS MULCH, WOODCHIPS, EROSION CONTROL MATTING, OR COMPOST.
- ALL TEMPORARY SLOPES IN EXCESS OF 3 (HORIZONTAL) TO 1 (VERTICAL) SHALL BE STABILIZED WITH EROSION CONTROL MATTING OR APPROVED EQUIVALENT.
- NO RUNOFF SHALL BE ALLOWED TO ENTER ANY STORMWATER SYSTEM OR EXIT THE SITE PRIOR TO TREATMENT FOR SEDIMENT REMOVAL.
- THE CONTRACTOR SHALL MAINTAIN A CLEAN CONSTRUCTION SITE AND SHALL NOT ALLOW THE ACCUMULATION OF RUBBISH OR CONSTRUCTION DEBRIS. ALL TRASH SHALL BE CLEANED ON A DAILY BASIS AND THE SITE SHALL BE LEFT IN A NEAT CONDITION AT THE END OF EACH WORK DAY.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID THE SPILLAGE OF FUEL OR OTHER POLLUTANTS AND ADHERE TO ALL APPLICABLE POLICIES AND REGULATIONS RELATED TO SPILL PREVENTION, CONTROL, AND RESPONSE.
- FOR DUST CONTROL, PERIODICALLY MOISTEN EXPOSED SOIL SURFACES WITH WATER AND MAINTAIN ADEQUATE MOISTURE LEVELS.
- SWEEP ADJACENT ROADWAYS IF MUD OR SOIL IS TRACKED ON TO THEM, OR AS DIRECTED BY THE ENGINEER. SHOULD THE CONSTRUCTION ENTRANCE FAIL TO PREVENT THE TRACKING OF SOILS OR SEDIMENT OFF OF THE PROJECT SITE, A WASHING RACK SHALL BE INSTALLED ALONG WITH APPROPRIATE MEASURES TO COLLECT RESULTING WASTEWATER.
- DRAINAGE STRUCTURE FILTER INSERTS SHALL BE INSTALLED AND CLEANED/CHANGED PER THE MANUFACTURER'S RECOMMENDATIONS. UNITS SHALL BE INSTALLED COMPLETELY AROUND INLETS OF EXISTING AND PROPOSED DRAINAGE STRUCTURES SUCH THAT NO RUNOFF IS ALLOWED TO ENTER DRAINAGE SYSTEMS WITHOUT FILTERING THROUGH THE DEVICE.

**SUGGESTED CONSTRUCTION SEQUENCE**

- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITY.
- INSTALL CONSTRUCTION ENTRANCE(S) AND PLACE FILTER INSERTS IN EXISTING CATCH BASINS.
- INSTALL PERIMETER E&S CONTROLS AND REQUEST PRE-CONSTRUCTION INSPECTION FROM THE ENGINEER.
- FOLLOWING THE ENGINEER'S APPROVAL OF INSTALLED E&S CONTROLS, COMMENCE CONSTRUCTION OPERATIONS.
- AT THE CONCLUSION OF CONSTRUCTION, COMPLETE THE INSTALLATION OF POST-CONSTRUCTION SITE STABILIZATION MEASURES AS SHOWN ON DRAWING D-03.

NOTE: THE CONTRACTOR MAY MODIFY THE SUGGESTED CONSTRUCTION SEQUENCE INDICATED ABOVE, PROVIDED A REVISED SEQUENCE IS SUBMITTED FOR REVIEW AND APPROVED BY THE OWNER AND ENGINEER.



| NO. | DATE       | DESCRIPTION OF REVISION   |
|-----|------------|---|
| 1   | 10/28/2024 | REVISIONS PER CITY COMMENTS                                     |
| 2   | 11/7/2024  | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING |
| 3   | 11/25/2024 | REVISIONS PER CITY COMMENTS                                     |



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Water & Utility Services • Laboratory  
Engineers • Constructors • E&S • Survey  
128 Airport Rd., Concord, NH 03301  
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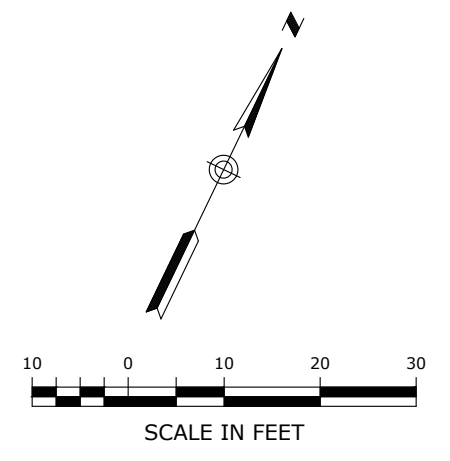
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| SCALE       | 1" = 20'   |
| COM. NO.    | 015CG4.01  |
| DRAWN BY    | CEG        |
| DATE        | 10/16/2024 |
| APPROVED BY | ECK        |
| DATE        | 10/16/2024 |

**SOIL EROSION SEDIMENT CONTROL PLAN**

**GSA FACILITY GUT RENOVATION**  
128 AIRPORT RD., CONCORD, NH 03301  
APPLICANTS:  
CASTAGNA CONSULTING GROUP  
& LOUREIRO ENGINEERING  
ASSOCIATES, INC.  
**128 AIRPORT ROAD LLC**  
334 COLLEGE HILL RD., HOPKINTON, NH 03229

|               |            |
|---------------|------------|
| DRAWING       | <b>C-5</b> |
| SHEET NO.     | 6          |
| NO. OF SHEETS | 13         |

V:\NH\CONCORD\AIRPORT RD-128\GSA BUILDING IMPROVEMENTS\EROSION AND SEDIMENT CONTROL.DWG: Thu, 11/22/2024, 3:38 PM by: CEBAY, Revise: 11/22/2024, 4:09 PM





**SOIL EROSION AND SEDIMENT CONTROL NOTES**

ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF THE STATE OF NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES) AND THE LOCAL LAND USE REQUIREMENTS SHALL BE ADHERED TO INCLUDING THE PLACEMENT OF THE PROPOSED SE&S BARRIERS AS SPECIFIED HEREIN. WHEN THE CONSTRUCTION WORK IS COMPLETED, THE CONTRACTOR SHALL CLEAN THE SE&S BARRIERS AND RESTORE THE NATURAL DRAINAGE AREAS AFFECTED BY THEIR OPERATIONS TO THEIR ORIGINAL CONDITION UNLESS OTHERWISE NOTED.

PRIOR TO CONSTRUCTION, ALL SE&S BARRIERS SHALL BE PLACED TO CONFINE SEDIMENT AS SHOWN ON DRAWINGS AND WHERE OTHERWISE REQUIRED BASED ON THE CONTRACTOR'S MEANS/METHODS AND CONSTRUCTION SEQUENCING. ALL SE&S BARRIERS SHALL BE LEFT IN PLACE AND MAINTAINED UNTIL THE WORK HAS BEEN COMPLETED AND SURFACES STABILIZED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MONITOR THE CONDITION OF THE SE&S STRUCTURES. IF THE EFFECTIVENESS OR INTEGRITY OF ANY STRUCTURES IS FOUND TO BE INSUFFICIENT OR IF THE STRUCTURES ARE DAMAGED IN ANY WAY, THE CONTRACTOR SHALL MAKE WHATEVER REPAIRS ARE NECESSARY TO ENSURE THAT PROPER EROSION CONTROL IS MAINTAINED. MONITORING OF THE EROSION CONTROL STRUCTURES IS PARTICULARLY IMPORTANT FOLLOWING PERIODS OF RAINFALL. ALL REPAIRS OF EROSION CONTROL STRUCTURES SHALL BE MADE BY THE CONTRACTOR AS SOON AS THE DAMAGE IS DISCOVERED.

IF ADDITIONAL SE&S CONTROL STRUCTURES ARE NECESSARY TO MINIMIZE EROSION AND SEDIMENTATION, AS DETERMINED IN THE FIELD, THE CONTRACTOR SHALL INSTALL SAID ADDITIONAL STRUCTURES AS REQUIRED.

IN ADDITION TO THE ABOVE GENERAL PROVISIONS, THE CONTRACTOR SHALL COMPLY WITH THE FOLLOWING SPECIAL REQUIREMENTS:

- LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM; RESTABILIZATION SHALL BE SCHEDULED AS SOON AS PRACTICABLE FOLLOWING CONSTRUCTION. PROJECT SEQUENCING WILL BE NECESSARY TO MINIMIZE SE&S CONTROL LIABILITIES. THE CONTRACTOR SHALL SEQUENCE HIS OPERATIONS SO AS TO PROVIDE MANAGEABLE WORK AREAS WITH LIMITED OPPORTUNITY FOR SOIL EROSION TO OCCUR.
- ALL GRADED AREAS ARE TO BE COVERED AS SOON AS POSSIBLE AFTER CONSTRUCTION WORK IS COMPLETED. INTERIM SEEDING, MULCHING AND/OR EROSION CONTROL BLANKETS MAY BE REQUIRED THROUGHOUT CONSTRUCTION FOR STABILIZATION OF DISTURBED AREAS. WOODCHIPS AND MULCH MAY BE USED THROUGHOUT THE ENTIRETY OF THE OPERATION.
- ALL OTHER AREAS AFFECTED BY CONSTRUCTION AND NOT TO BE FILLED ARE TO BE RESTORED TO ORIGINAL GRADE AS SHOWN ON THE DRAWINGS.
- FOR SPECIFIC DETAILS ON THE DESIGN, APPLICATION AND INSTALLATION OF THE EROSION AND SEDIMENTATION CONTROL STRUCTURES THE CONTRACTOR SHALL REFER TO THE NEW HAMPSHIRE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, DATED MAY 2002, AS AMENDED OR OTHERWISE REPLACED.
- PERIMETER SE&S BARRIERS FOR THIS SITE INCLUDE PROVISIONS FOR THE USE OF HAY BALES, STAKED SILT FENCE, FILTER SOCKS AND/OR MULCH BERM. THE CONTRACTOR SHALL INSPECT REGULARLY TO ENSURE THE PLACEMENT IS MAINTAINED.
- FABRIC FOR SILT FENCE SHALL CONSIST OF WOVEN POLYPROPYLENE, 36" IN WIDTH AND FASTENED TO HARDWOOD POSTS WITH THREE, ONE INCH WIDE CROWN STAPLES. POSTS SHALL BE OF SOUND HARDWOOD, FORTY EIGHT INCHES (48") IN LENGTH WITH A MINIMUM CROSS SECTION OF 1.125 SQUARE INCHES. STAKED HAY BALES OR MULCH SOCKS (12" MIN.) MAY BE SUBSTITUTED FOR SILT FENCE. ALL SE&S BARRIERS SHALL BE INSTALLED AS SHOWN ON THIS DRAWING AND AT THE TOE OF ALL SLOPES LOCATED DOWN GRADIENT OF THE CONSTRUCTION WORK.
- SEDIMENT REMOVED FROM SE&S BARRIERS AND STRUCTURES SHALL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH THE INTENT OF THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE EROSION AND SEDIMENT CONTROL REQUIREMENTS OF THE LOCAL REQUIREMENTS. THEIR RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF ALL REQUIRED SE&S CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFYING THE LOCAL LAND USE OFFICES OF ANY TRANSFERS OF THIS RESPONSIBILITY.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE LOCAL LAND USE AGENCY AND OTHER APPROPRIATE AUTHORITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL USE APPROVED METHODS AND MATERIALS FOR PREVENTION OF DISPERSION OF DUST INCLUDING MISTING, CHEMICAL APPLICATION AND/OR MULCH SURFACING.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES DAILY DURING CONSTRUCTION AND AFTER EACH SIGNIFICANT RAIN STORM EVENT. DAMAGE SHALL BE REPAIRED IMMEDIATELY.
- ALL DEWATERING SHALL INCORPORATE THE USE OF FILTER BAGS ON DISCHARGE ENDS.

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OWNERSHIP OF ALL SOIL EROSION AND SEDIMENT CONTROLS AS NECESSARY TO PROTECT THIS SITE. DURING THE PROGRESS OF CONSTRUCTION, INTERIM MEASURES MAY BE NECESSARY BASED ON THE CONTRACTOR'S MEANS, METHODS AND SEQUENCING. THE EROSION CONTROL MEASURES PRESENTED ON THESE PLANS REPRESENT THE MINIMUM CONTROLS DEEMED NECESSARY BASED ON THE EXPECTED FINAL PROJECT GRADES AND FEATURES. INTERIM MEASURES REQUIRED TO STABILIZE THE SITE DURING CONSTRUCTION SHALL BE INSTALLED BY THE CONTRACTOR AS NEEDED BASED UPON HIS ASSESSMENT OF THE SITE THROUGH HIS OWN SITE INSPECTIONS AND OBSERVATIONS. ALL CONTRACTOR PROVIDED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED AND INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE 2002 NEW HAMPSHIRE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL AS AMENDED OR OTHERWISE REPLACED.

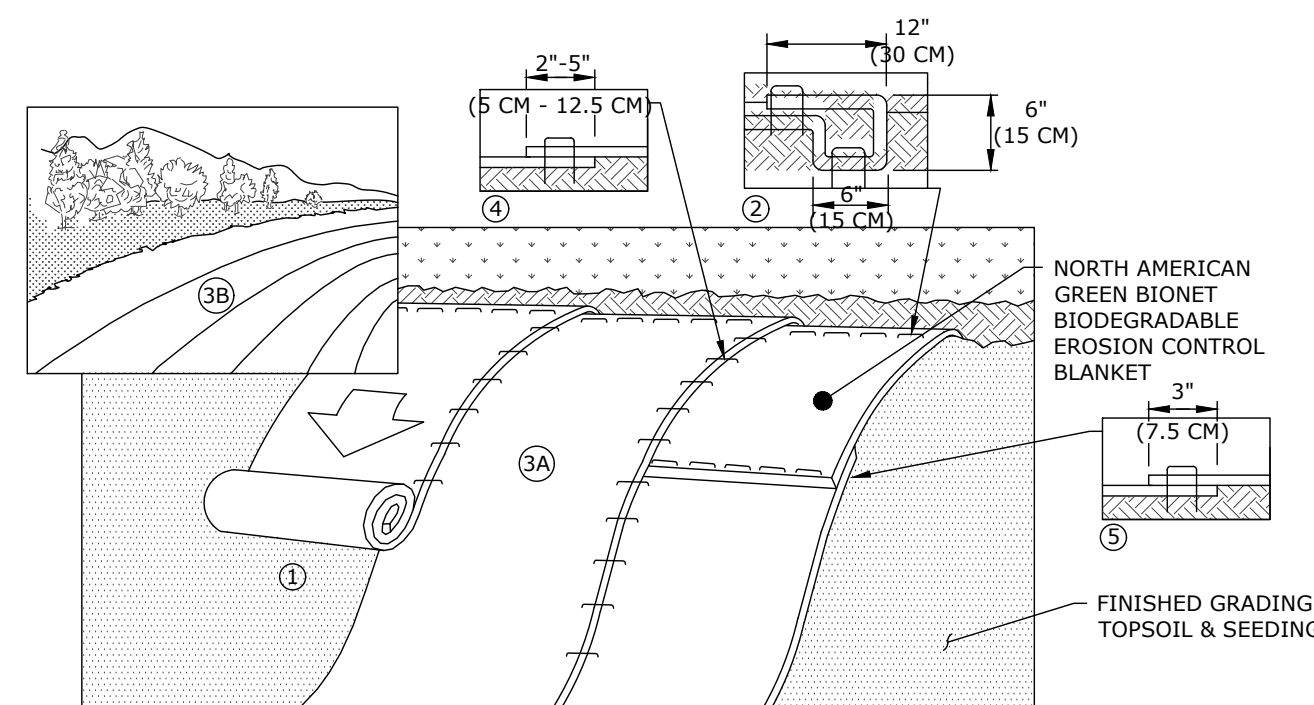
IN THE EVENT THAT A RAIN EVENT OCCURS AND THE CONTRACTOR PROVIDED SE&S CONTROLS FAIL TO MAINTAIN THE SITE IN A STABILIZED CONDITION, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL REMEDIATION, MITIGATION OR OTHER DAMAGE THAT MAY OCCUR.

**PRIMARY CONTACT FOR SE&S MATTERS:**

MAX MARINELLI  
(508) 330-2682

**STABILIZATION PRACTICES**

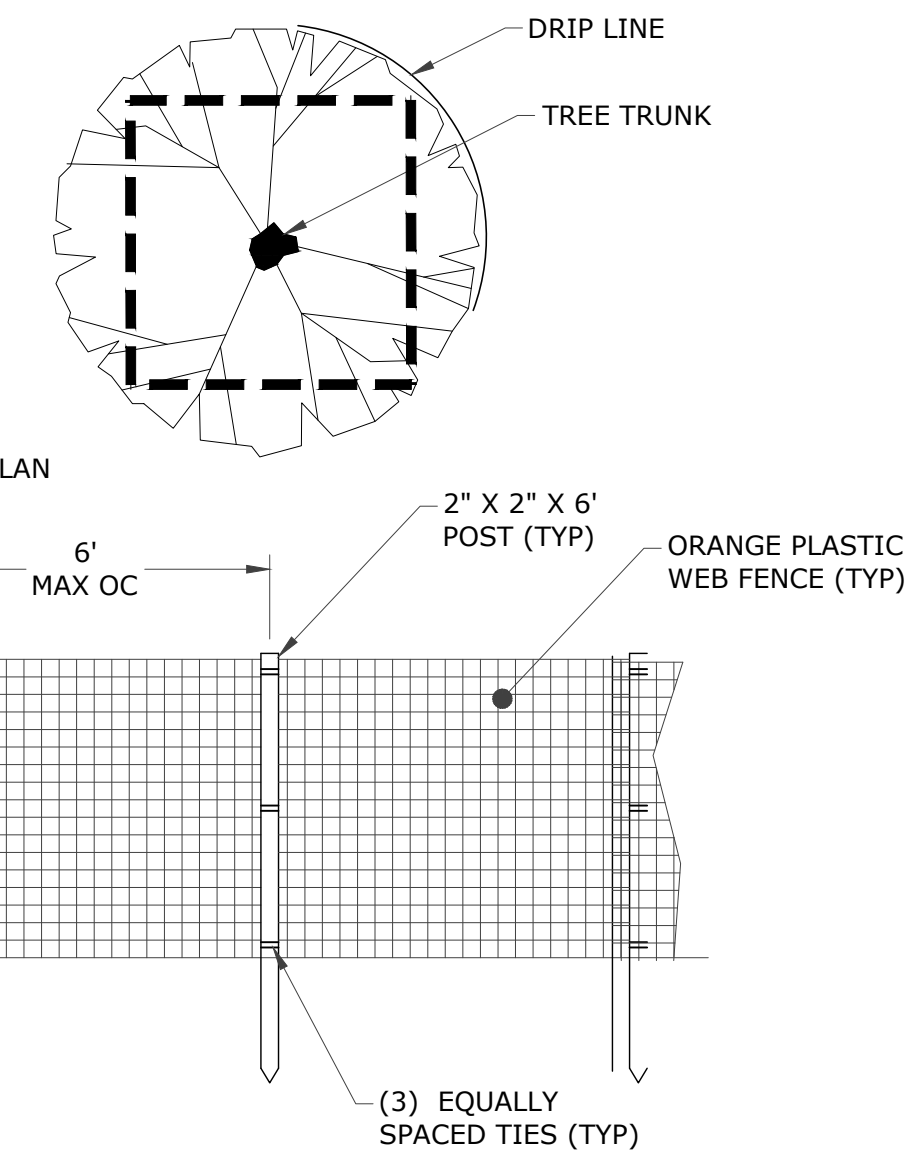
- TEMPORARY VEGETATIVE COVER**  
ALL EXPOSED AREAS THAT WILL BE INACTIVE FOR MORE THAN 30 DAYS, BUT LESS THAN ONE YEAR, AND WHICH HAVE NOT YET REACHED FINISHED GRADES SHALL RECEIVE A TEMPORARY VEGETATIVE COVER DURING THE PLANTING SEASON OF MARCH 15 TO OCTOBER 1. NOTE THAT PLANTING BETWEEN JUNE 15 AND AUGUST 1 WILL REQUIRE WATERING AS NECESSARY TO PROMOTE GROWTH. THIS TEMPORARY VEGETATIVE COVER SHALL CONSIST OF PERENNIAL RYE GRASS. THE RYE GRASS SHALL BE PLANTED AT A RATE OF 1 POUND PER 1,000 SQUARE FEET. ALSO, FERTILIZER SHALL BE APPLIED AT A RATE OF 7.5 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT AND LIMESTONE SHALL BE APPLIED AT A RATE OF 45 POUNDS PER 1,000 SQUARE FEET. SEED BED PREPARATION AND SEEDING SHALL BE CONDUCTED AS OUTLINED IN THE STATE OF NEW HAMPSHIRE SOIL EROSION AND SEDIMENT CONTROL GUIDELINES.
- TEMPORARY MULCHING**  
TEMPORARY MULCHING SHALL BE USED TO TEMPORARILY STABILIZE AREAS THAT WILL BE INACTIVE FOR 30 DAYS OR MORE, BUT LESS THAN 6 MONTHS, AND CANNOT BE SEEDED WITHIN THE RECOMMENDED PLANTING DATES. IN ADDITION, TEMPORARY MULCHING SHALL BE CONDUCTED IMMEDIATELY FOLLOWING TEMPORARY OR PERMANENT SEEDING IN ORDER TO AID THE GROWTH OF VEGETATION. TEMPORARY MULCH SHALL CONSIST OF STRAW OR HAY OVERLAY APPLIED AT A RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET (1.5 TO 2 TONS PER ACRE), OR OTHER MULCH TYPES AS APPROVED WITHIN THE STATE OF NEW HAMPSHIRE SOIL EROSION AND SEDIMENT CONTROL GUIDELINES. THIS MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MULCH BLOWER AND SHALL BE BONDED WITH A NON-ASPHALT TACKIFIER OR OTHER APPROVED METHOD IMMEDIATELY AFTER SPREADING.
- PERMANENT VEGETATIVE COVER**  
ONCE THE PLANTING SEASON BEGINS, TEMPORARY STABILIZATION MEASURES SHALL BE REMOVED AND SLOPES SHALL BE PREPARED AND SEED. SEEDING SHALL ONLY OCCUR BETWEEN APRIL 1 AND JUNE 1 AND AUGUST 15 AND OCTOBER 15.
- VEGETATIVE COVER IRRIGATION**  
IF NEEDED TO ESTABLISH VEGETATION DURING DRY SUMMER MONTHS, TEMPORARY SEED SHALL BE WATERED AS NECESSARY TO PROMOTE GROWTH. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING WATER THROUGHOUT THE DURATION OF THE PROJECT.
- PERMANENT MULCH FOR SEED**  
STRAW MULCH WILL BE INSTALLED ON ALL DISTURBED SURFACES WITH SLOPES NOT EXCEEDING 10%. AFTER PLACEMENT OF FINAL COVER, TO MINIMIZE EROSION AND ALLOW GROWTH OF PERMANENT VEGETATIVE COVER.



- NOTES:**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
  - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM), DEEP X 6" (15CM), WIDE TRENCH WITH APPROXIMATELY 12" (30CM), OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM), APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM), PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM), APART ACROSS THE WIDTH OF THE BLANKET. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM), MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5CM-12.5CM), OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH™ ON THE PREVIOUSLY INSTALLED BLANKET.
  - CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM), OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM), APART ACROSS ENTIRE BLANKET WIDTH.

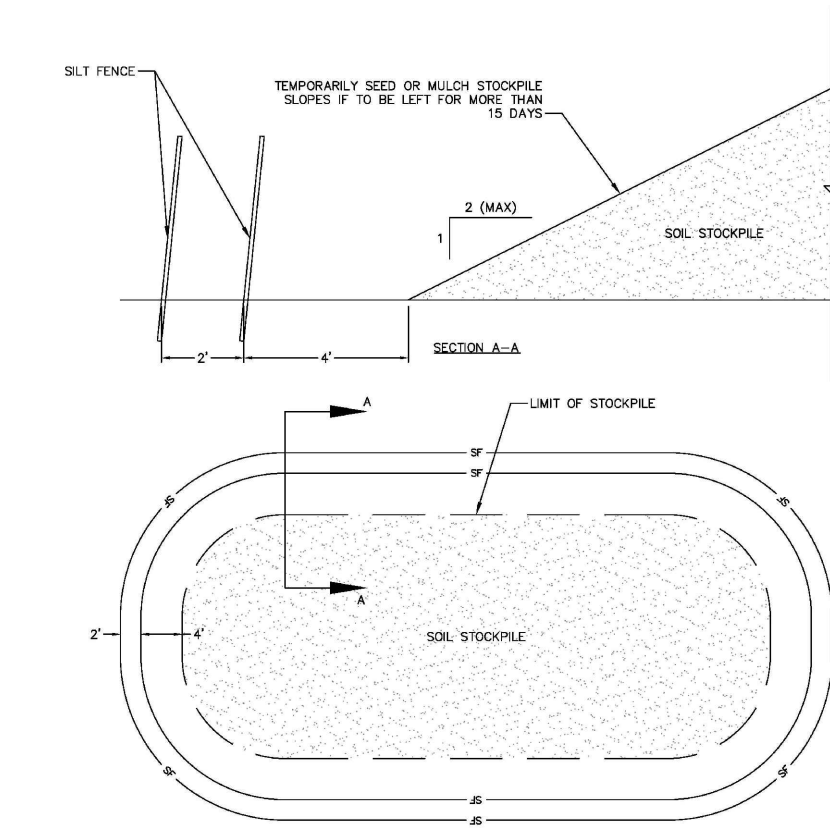
**EROSION CONTROL BLANKET DETAIL**  
NOT TO SCALE

Reference: NHDOT Guidelines For Temporary Erosion and Sediment Control and Stormwater Management, DEPARTMENT OF TRANSPORTATION Bureau of Construction, Page 23-24.

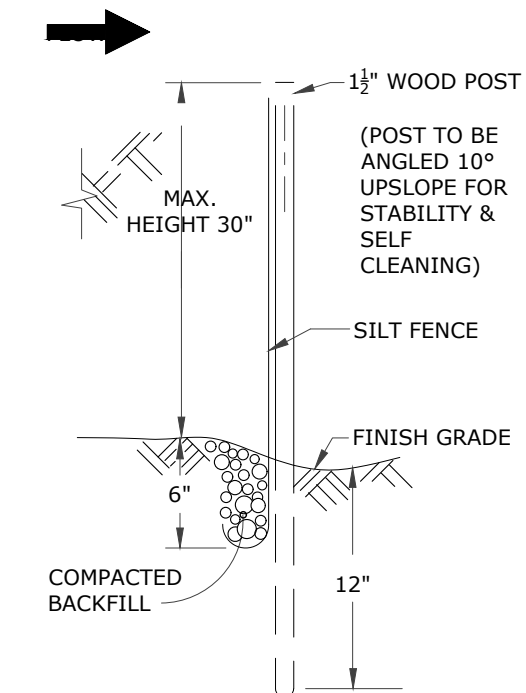


- NOTES:**
- INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN (AS INDICATED ON PLANS).
  - FENCING MAY BE INSTALLED CONTINUOUSLY AROUND GROUPS OF TREES TO REMAIN.
  - THERE SHALL BE NO STORAGE OF MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF TREES TO REMAIN OR PROTECTED EXCEPT WITHOUT APPROVAL OF LANDSCAPE ARCHITECT.

**TREE PROTECTIVE FENCE DETAIL**  
NOT TO SCALE



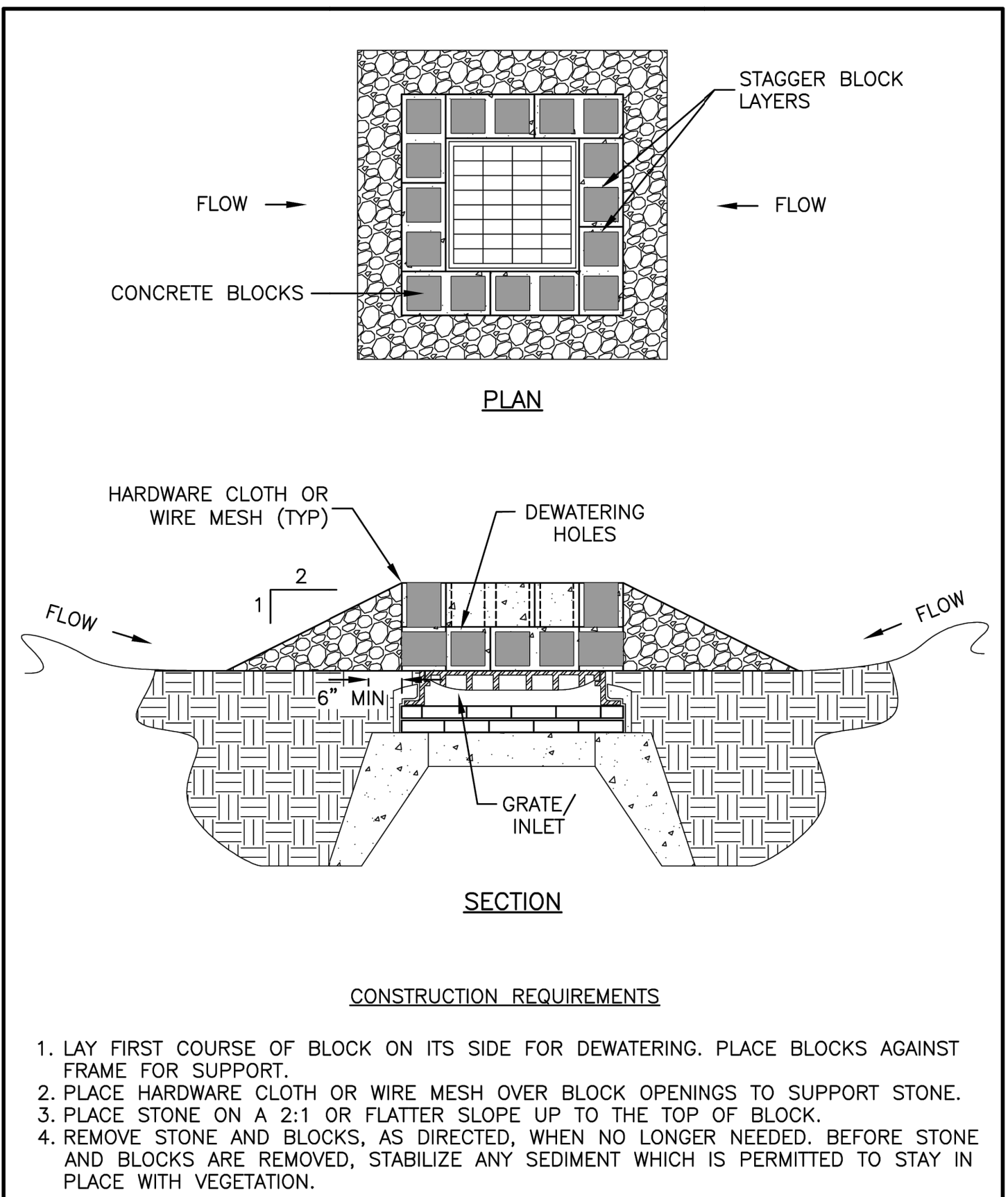
**TEMPORARY SOIL STOCKPILE AREA**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

- NOTES:**
- ALL SILT FENCES SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND CLEANED & MAINTAINED A MINIMUM OF ONCE PER MONTH OR WITHIN 48 HOURS OF A SIGNIFICANT STORM EVENT.
  - THE FILTER CLOTH SHALL BE CLEANED IN A MANNER WHICH ENSURES THAT ALL SEDIMENT COLLECTED REMAINS ON-SITE.

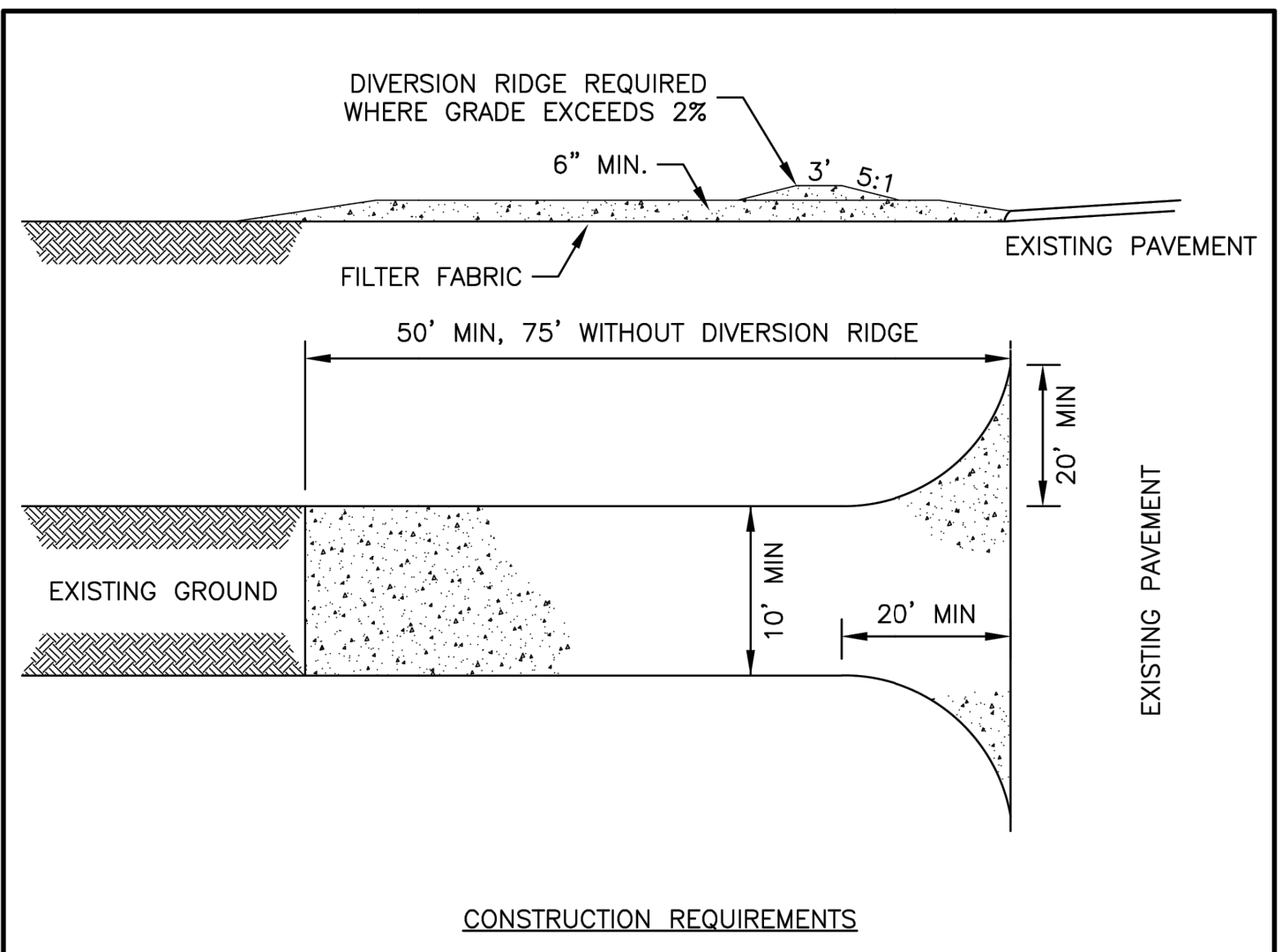
NOTE: ALL SILT FENCING & ALTERNATIVE FILTERS SHALL BE FURNISHED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH 2002 CT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROLS, AS AMENDED AND PER MANUFACTURERS INSTRUCTIONS.



- CONSTRUCTION REQUIREMENTS**
- LAY FIRST COURSE OF BLOCK ON ITS SIDE FOR DEWATERING. PLACE BLOCKS AGAINST FRAME FOR SUPPORT.
  - PLACE HARDWARE CLOTH OR WIRE MESH OVER BLOCK OPENINGS TO SUPPORT STONE.
  - PLACE STONE ON A 2:1 OR FLATTER SLOPE UP TO THE TOP OF BLOCK.
  - REMOVE STONE AND BLOCKS, AS DIRECTED, WHEN NO LONGER NEEDED. BEFORE STONE AND BLOCKS ARE REMOVED, STABILIZE ANY SEDIMENT WHICH IS PERMITTED TO STAY IN PLACE WITH VEGETATION.

| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION:    | EPSC  |
|-----|----------|------|---|-------------|-------|
| --  | --       | --   |   | DRAWING NO. | E-2   |
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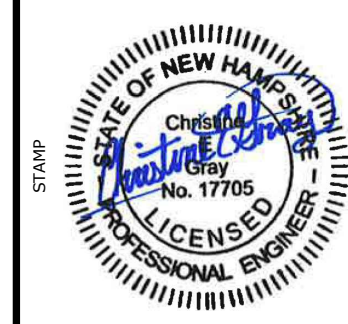
- CONSTRUCTION REQUIREMENTS**
- STONE SIZE - 3" COARSE AGGREGATE.
  - THICKNESS - 6" MIN
  - FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  - LENGTH - NOT LESS THAN 50'. EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MIN LENGTH WOULD APPLY.
  - WIDTH - 10' MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION:    | EPSC  |
|-----|----------|------|---|-------------|-------|
| --  | --       | --   |   | DRAWING NO. | E-1   |
| --  | --       | --   |   | DATE:       | 01/08 |
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**FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION**

| NO. | REVISION  | DATE       | DESCRIPTION OF REVISION |
|-----|---|------------|-------------------------|
| 3   | REVISIONS PER CITY COMMENTS                                     | 11/25/2024 |                         |
| 2   | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING | 11/7/2024  |                         |
| 1   | REVISIONS PER CITY COMMENTS                                     | 10/28/2024 |                         |
|     | REV.  |            |                         |



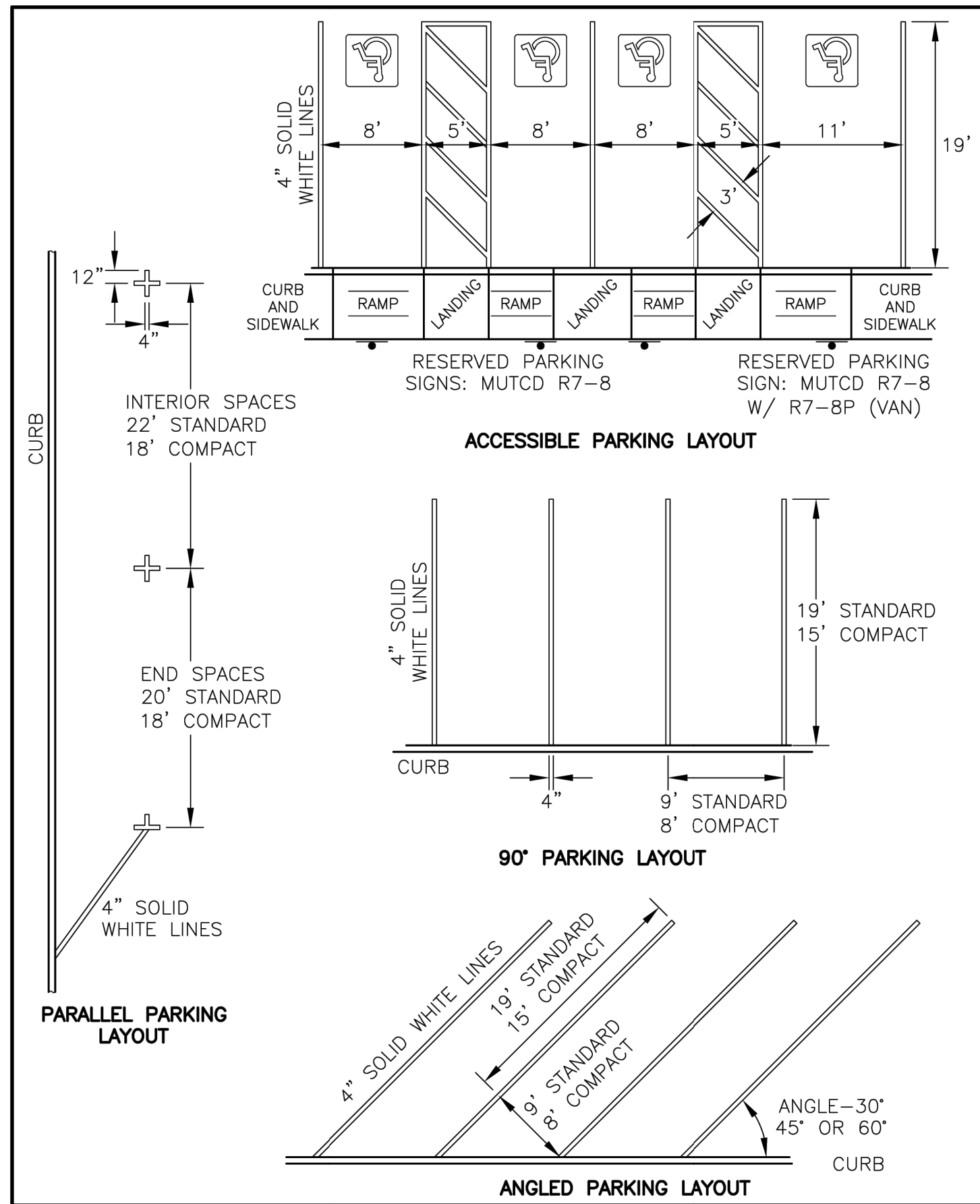
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| DATE       | BY  | SCALE        |
|------------|-----|--------------|
| 10/16/2024 | ECK | NOT TO SCALE |
| 10/16/2024 | ECK | NOT TO SCALE |

**APPLICANTS:**  
CASTAGNA CONSULTING GROUP  
& LOUREIRO ENGINEERING ASSOCIATES, INC.

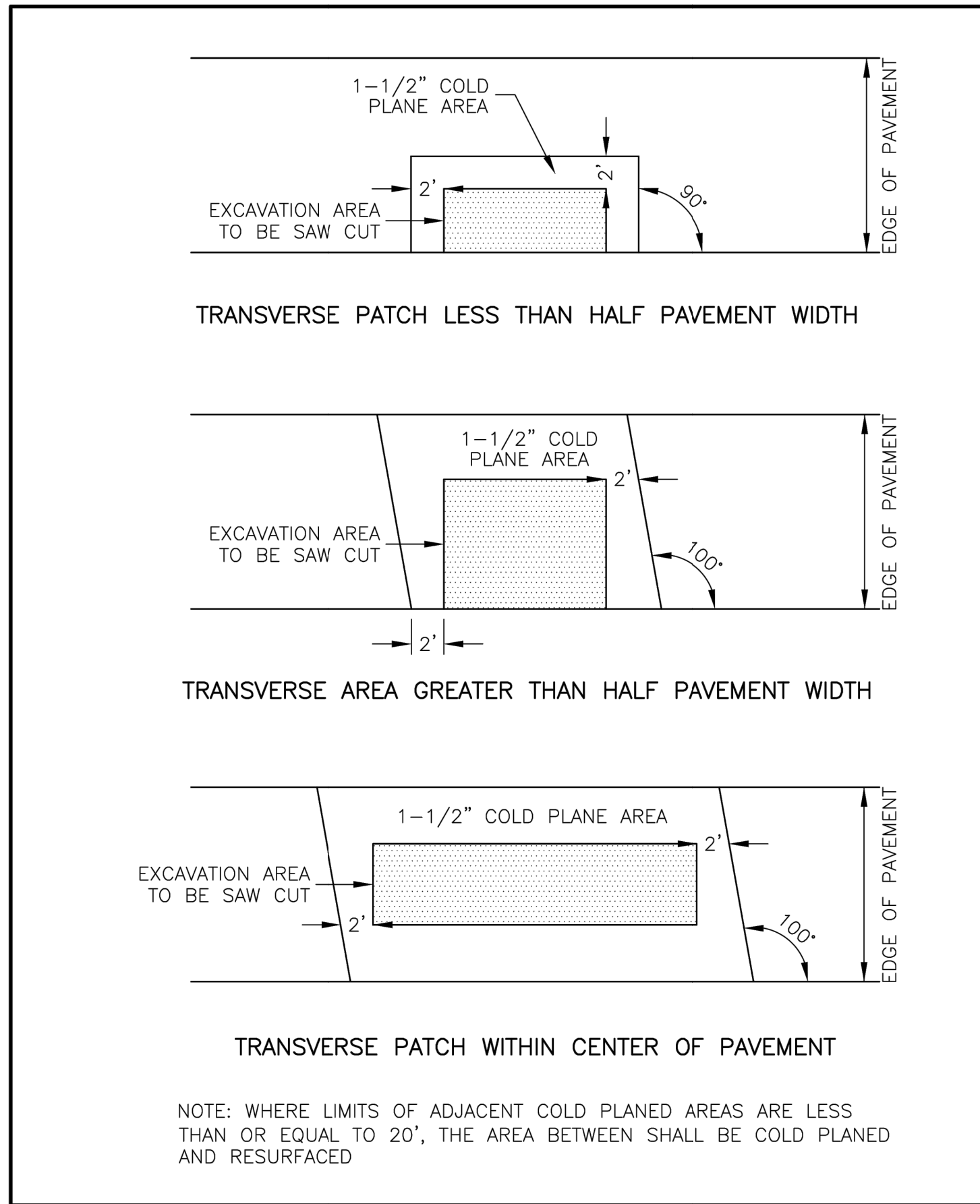
**SOIL EROSION SEDIMENT CONTROL DETAILS**  
**GSA FACILITY GUT RENOVATION**  
128 AIRPORT RD., CONCORD, NH 03301  
**128 AIRPORT ROAD LLC**  
334 COLLEGE HILL RD., HOPKINTON, NH 03229





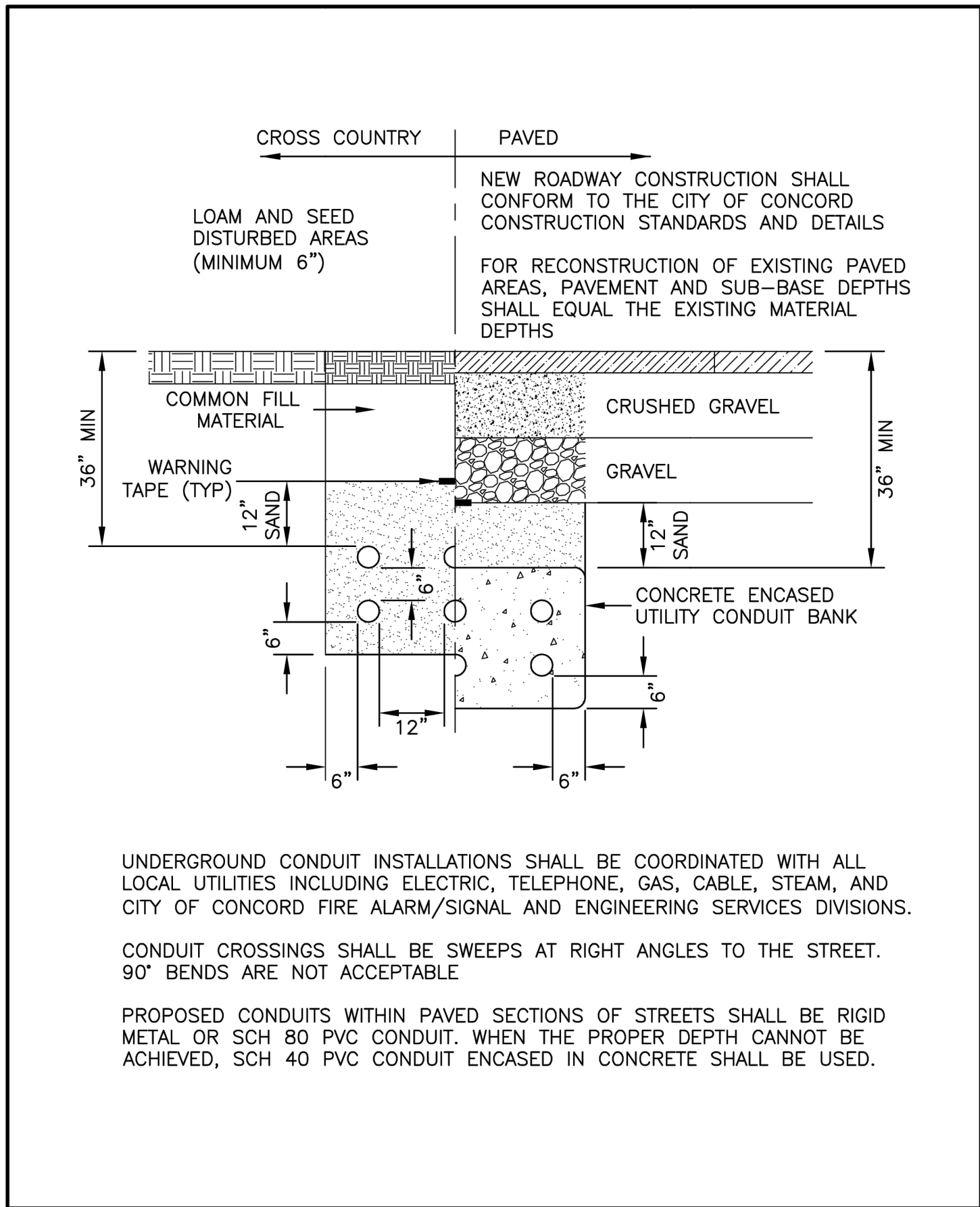
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| 2   | MULTIPLE | 12/15 |   |                      |

**PARKING SPACE LAYOUT**  
DRAWING NO. M-4  
DATE: 12/08 PAGE: 1



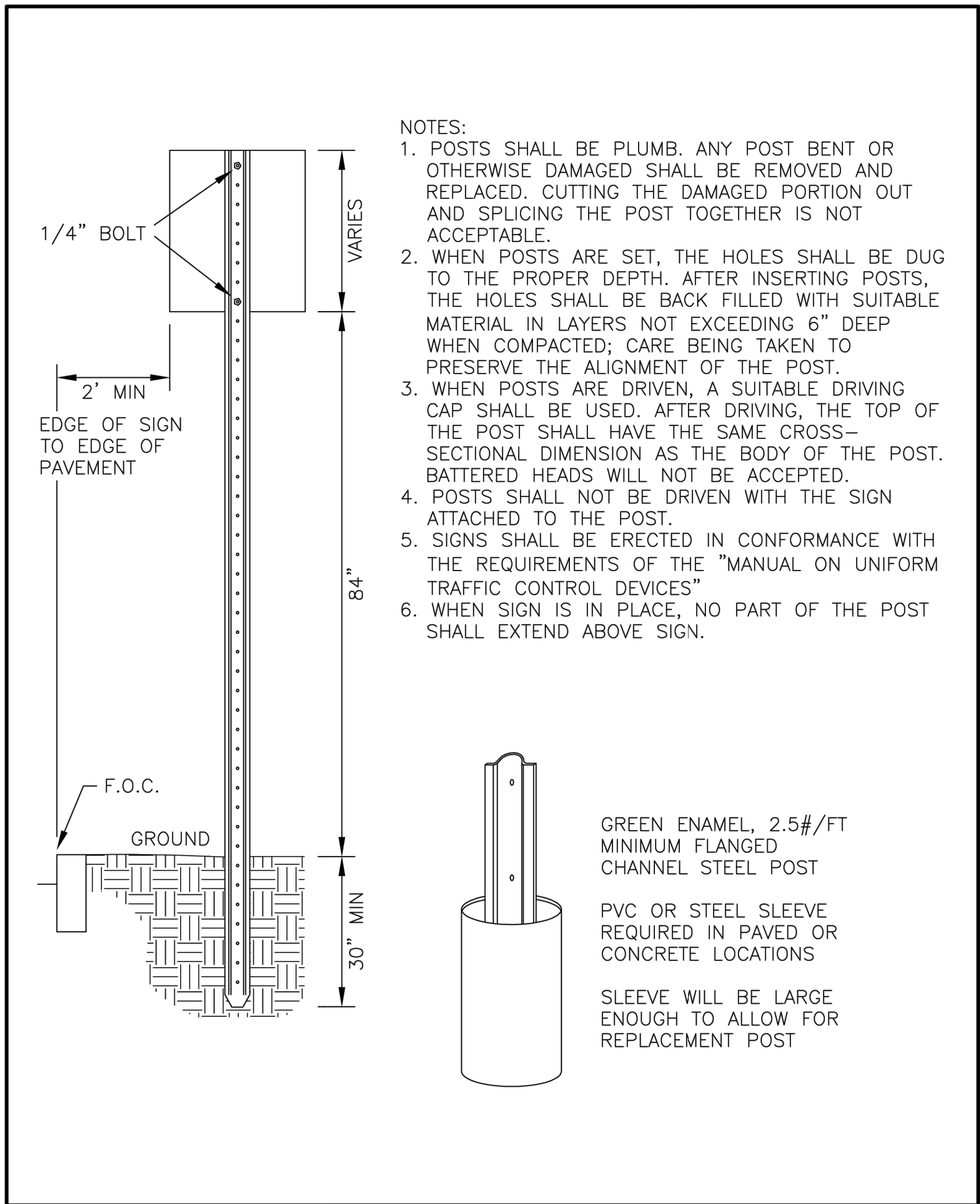
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| 2   | MULTIPLE    | 12-15 |   |                      |

**SAWCUT REQUIREMENTS**  
DRAWING NO. R-12  
DATE: 12/08 PAGE: 1



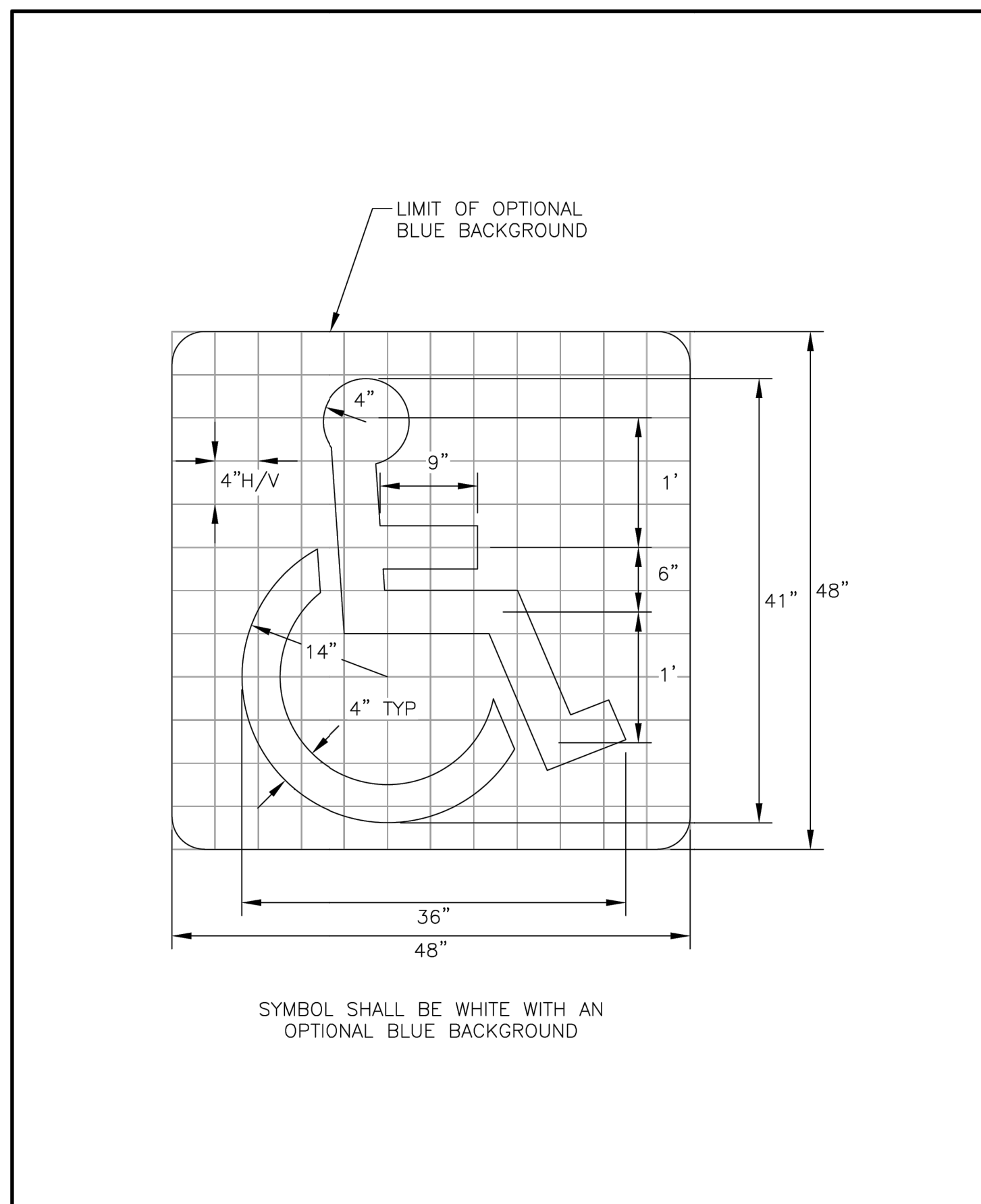
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**TYPICAL UTILITY CONDUIT INSTALLATION**  
DRAWING NO. U-1  
DATE: 03/15 PAGE: 1



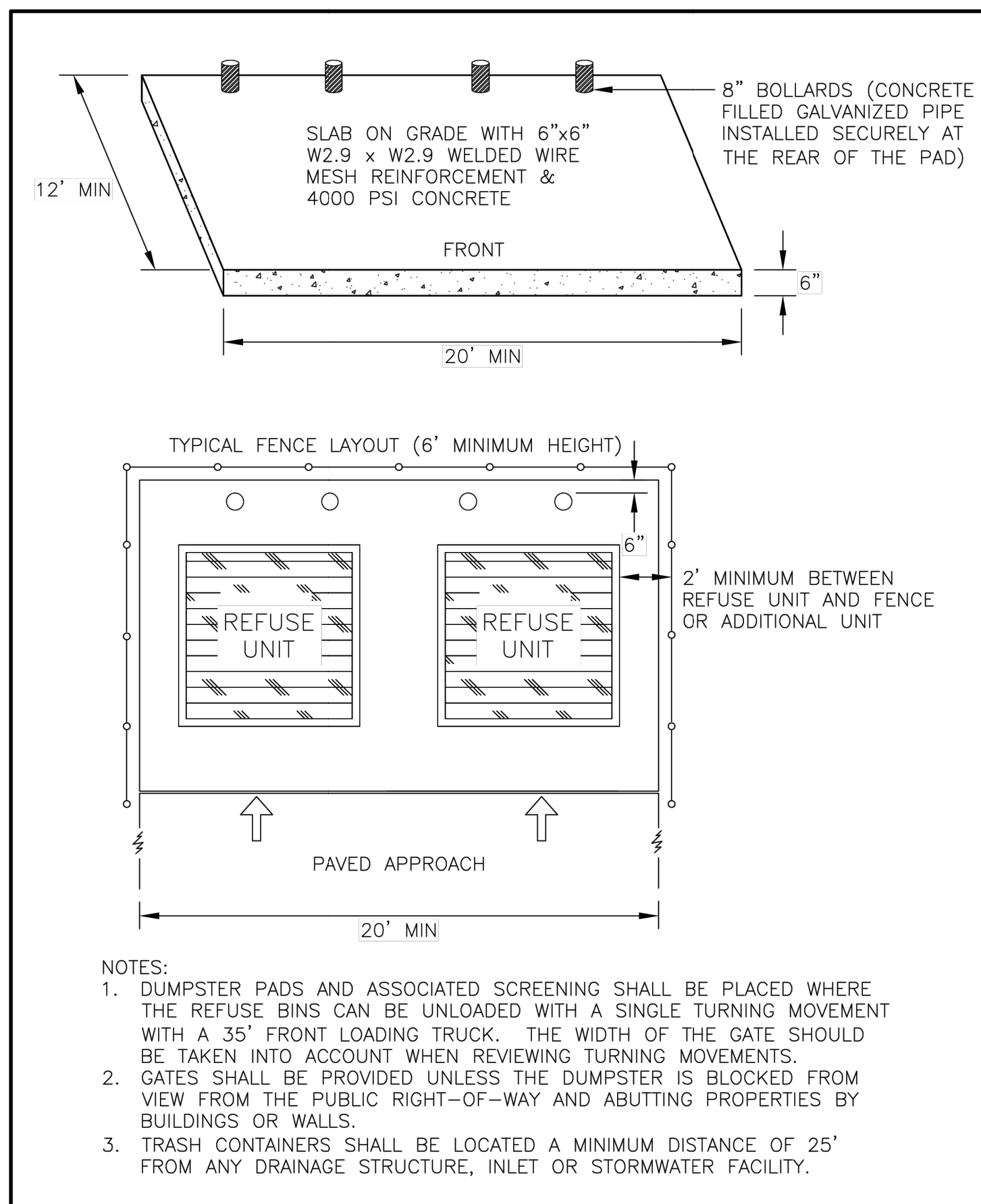
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**ROAD SIGN POST and SLEEVE - URBAN**  
DRAWING NO. M-1  
DATE: 12/08 PAGE: 1



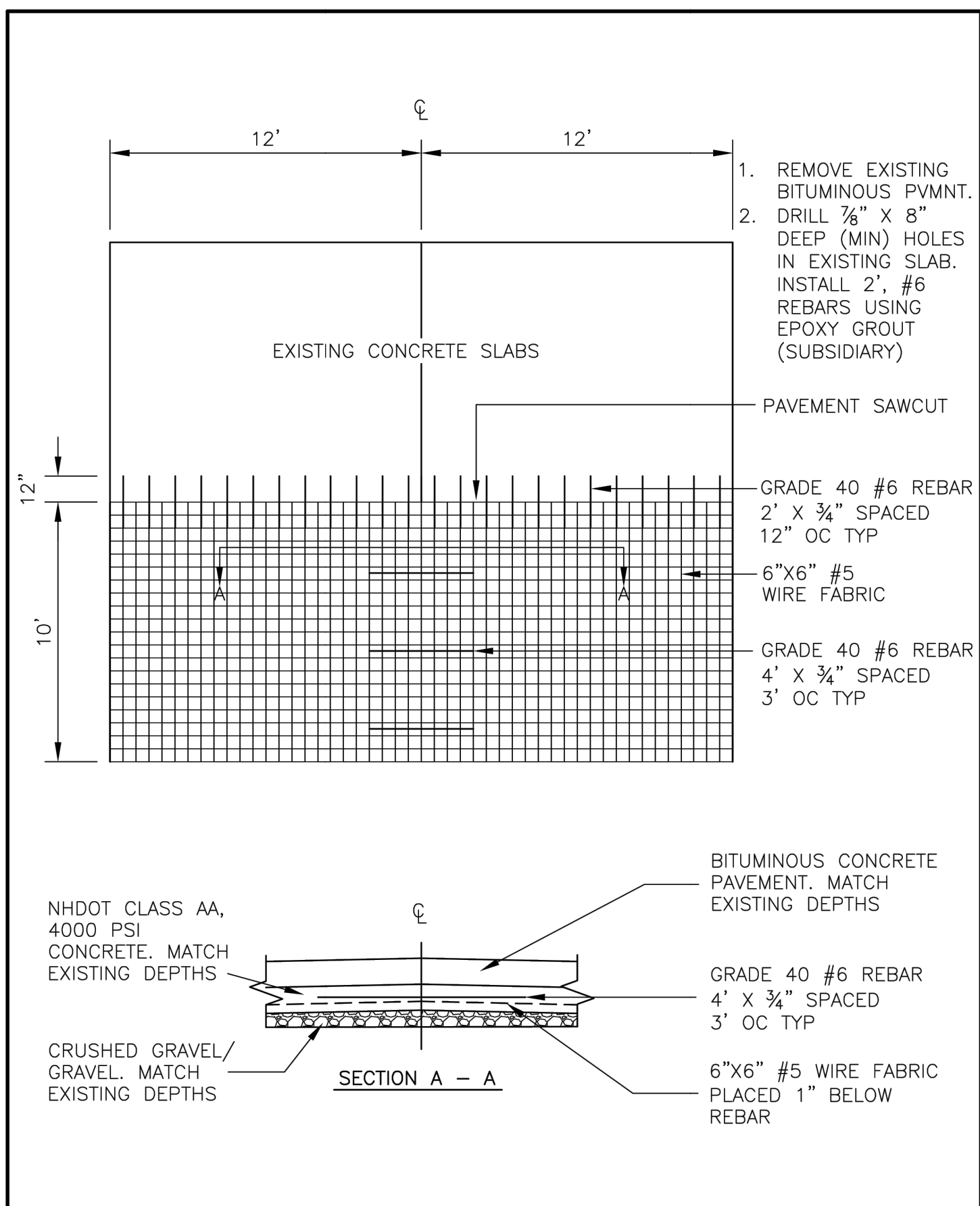
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|-----|----------|-------|---|----------------------|
| 1   | NOTE 2   | 01.15 |   |                      |

**ACCESSIBLE PARKING SPACE PAVEMENT MARKING**  
DRAWING NO. M-5  
DATE: 12/08 PAGE: 1



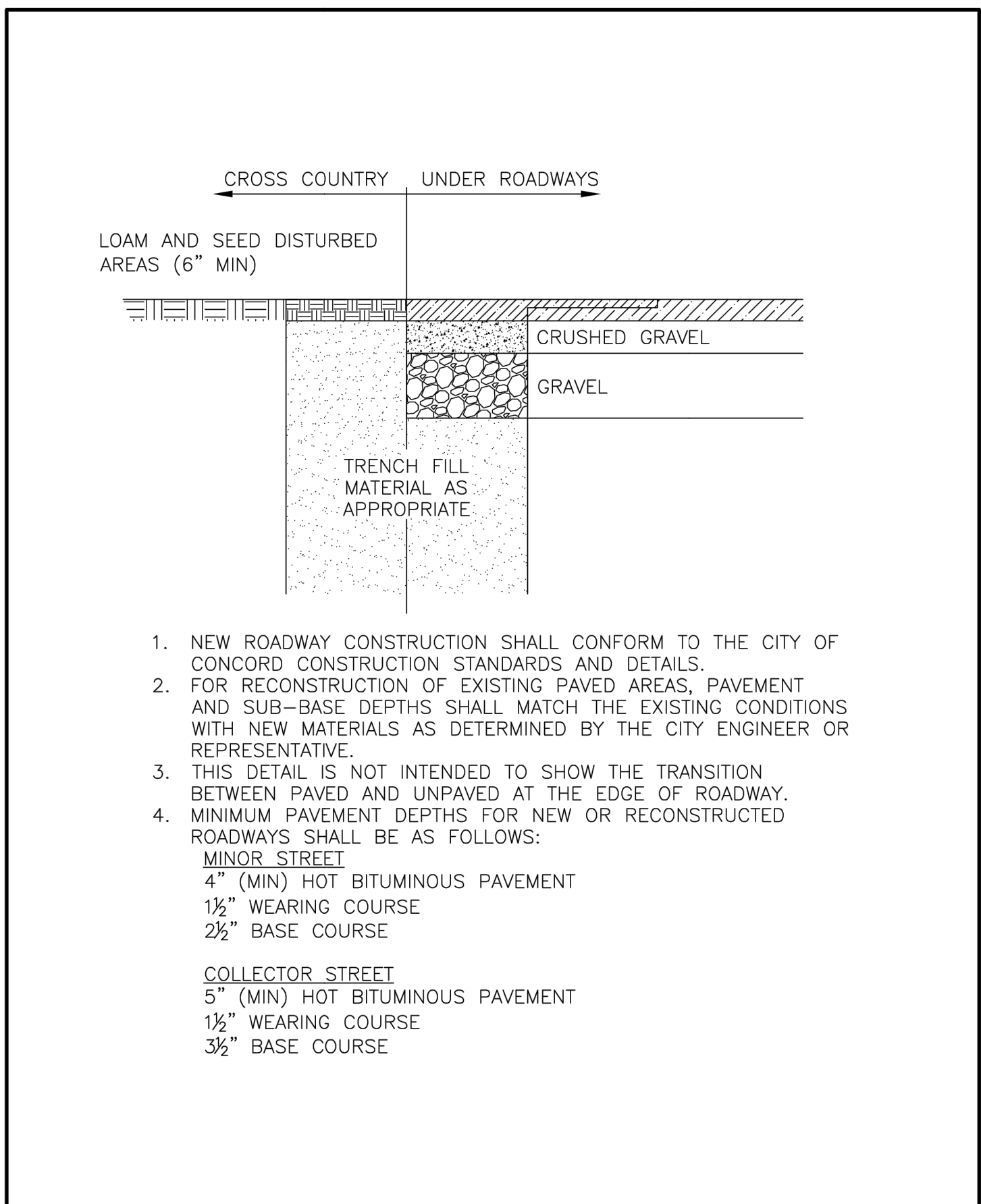
| NO. | REVISION    | DATE  | City of Concord Engineering Services Division | SECTION: SITE |
|-----|-------------|-------|---|---------------|
| 1   | DRAWING NO. | 11-11 |   |               |

**MULTIPLE DUMPSTER PAD**  
DRAWING NO. M-9  
DATE: 12/08 PAGE: 1



| NO. | REVISION    | DATE  | City of Concord Engineering Services Division | SECTION: SITE/STREET |
|-----|-------------|-------|---|----------------------|
| 1   | DRAWING NO. | 11-11 |   |                      |

**CONCRETE TRENCH PATCH**  
DRAWING NO. R-13  
DATE: 12/08 PAGE: 1



| NO. | REVISION    | DATE  | City of Concord Engineering Services Division | SECTION: SITE/STREET |
|-----|-------------|-------|---|----------------------|
| 1   | Edit Note 2 | 01.19 |   |                      |

**TRENCH RESTORATION**  
DRAWING NO. R-15  
DATE: 12/15 PAGE: 1

STAMP

**Loureiro**  
Water & Facility Services • Laboratory  
Engineering • Construction • EIR • Energy

**GSA FACILITY GUT RENOVATION**  
128 AIRPORT RD., CONCORD, NH 03301  
128 AIRPORT ROAD LLC  
334 COLLEGE HILL RD., HOPKINTON, NH 03229

APPLICANTS:  
CASTAGNA CONSULTING GROUP  
& LOUREIRO ENGINEERING ASSOCIATES, INC.

SCALE: NOT TO SCALE  
CNSA NO. 015CG4.01

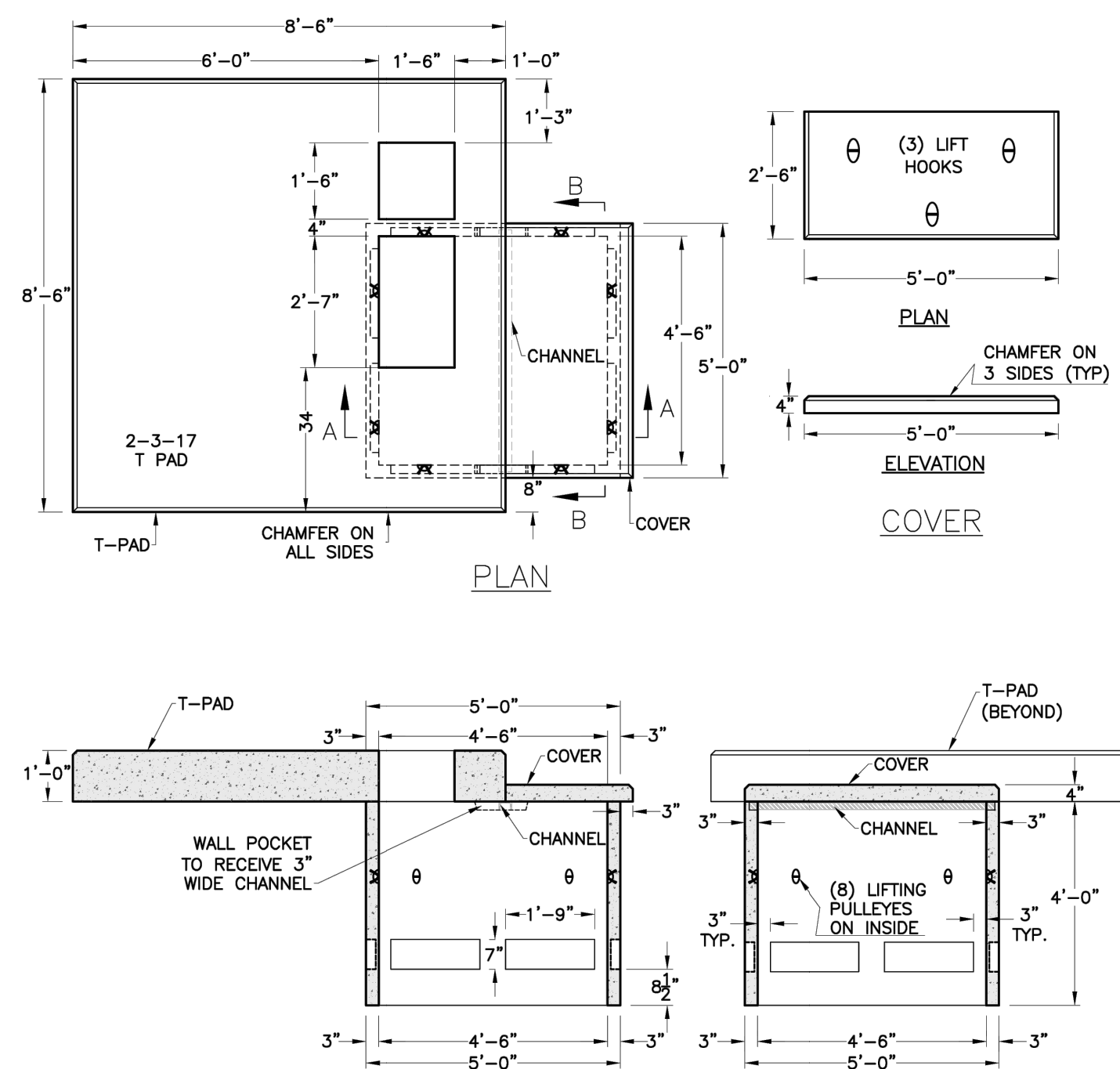
DATE: 10/16/2024  
DRAWN BY: CEG  
APPROVED BY: ECK

REVISIONS PER CITY COMMENTS:  
11/25/2024 CEG  
11/7/2024 CEG  
10/28/2024 CEG  
10/28/2024 CEG

DESCRIPTION OF REVISION:  
3  
2  
1  
REV.

DRAWING: **C-7**  
SHEET NO. 8 NO. OF SHEETS 13

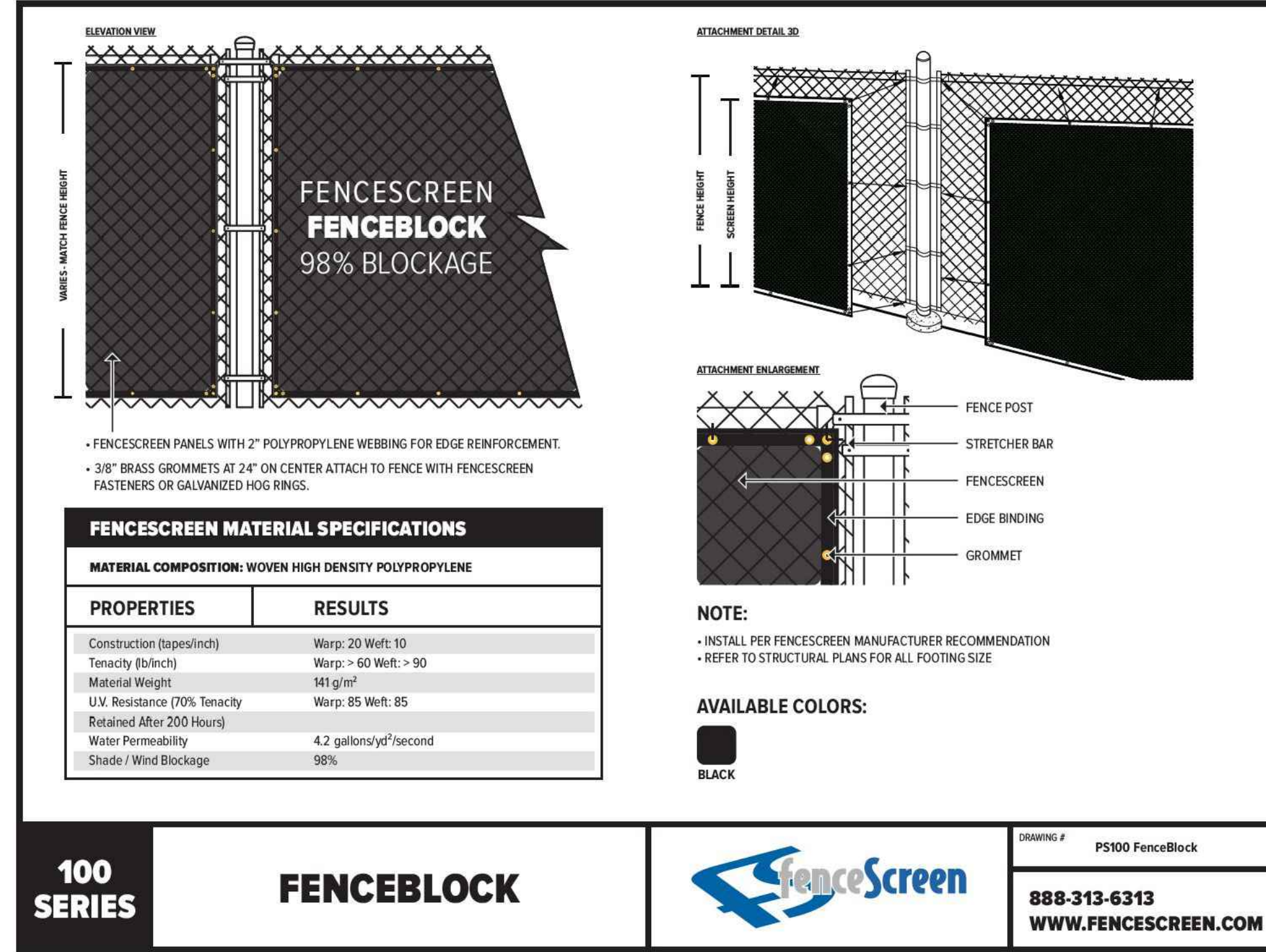




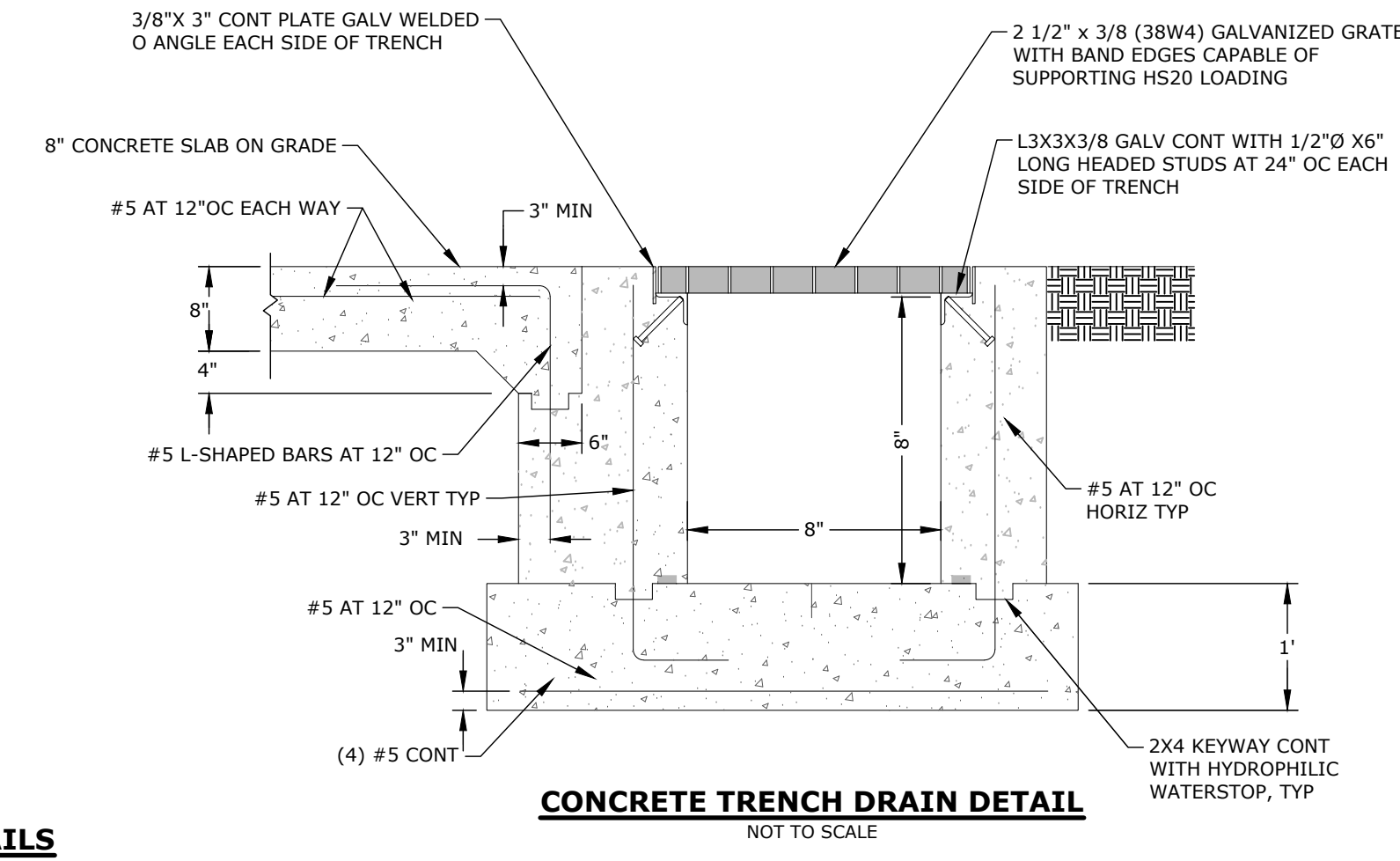
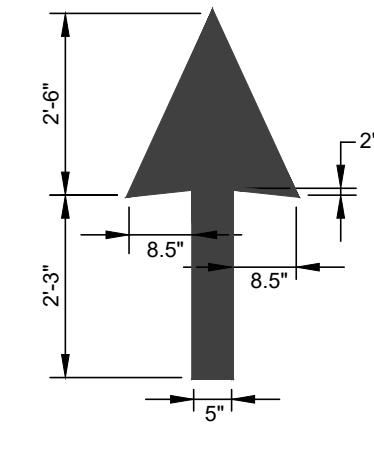
NOTES:  
 1. CONCRETE MINIMUM STRENGTH 4,000 PSI AFTER 28 DAYS.

|                  |         |            |                   |
|------------------|---------|------------|-------------------|
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| WEIGHT (LBS):    | 13,420# | DRAWN BY:  | MNN               |
|                  |         | DATE:      | 01/11/2018        |
|                  |         | PROJECT:   | VII.A.4           |

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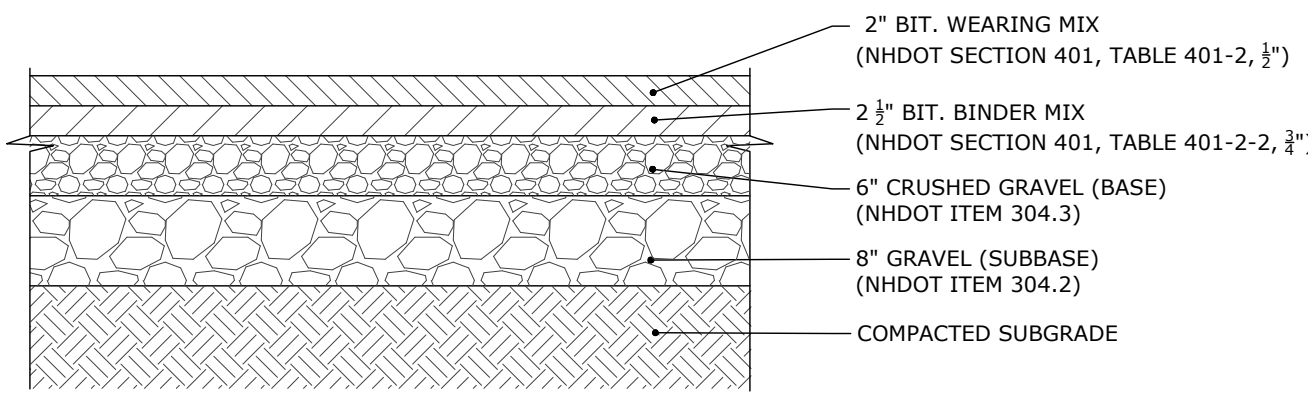


**PAINTED PAVEMENT MARKING DETAILS**  
 NOT TO SCALE

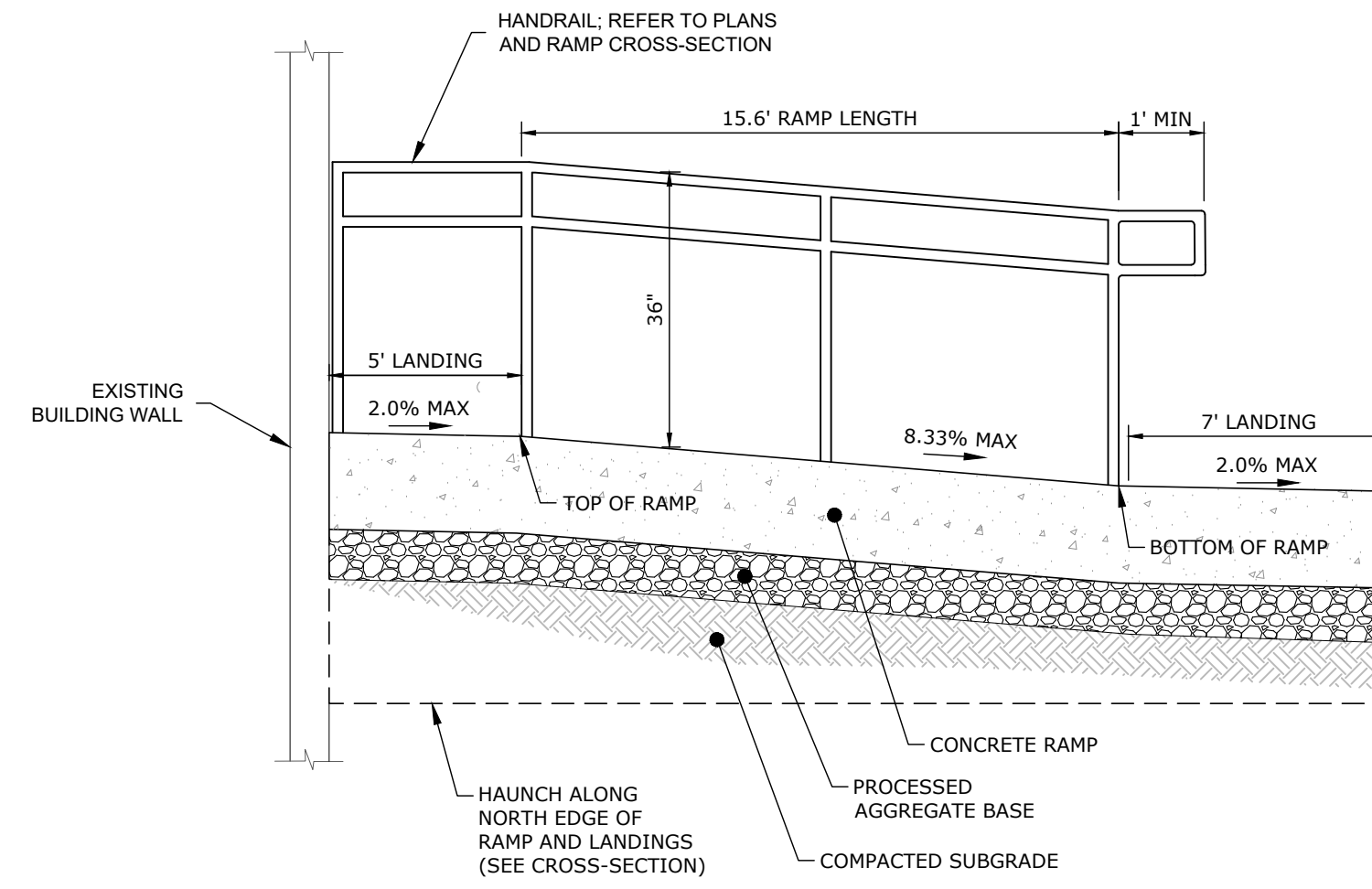


**CONCRETE TRENCH DRAIN DETAIL**  
 NOT TO SCALE

Reference: Loureiro SMEP division standard, circa 2017.



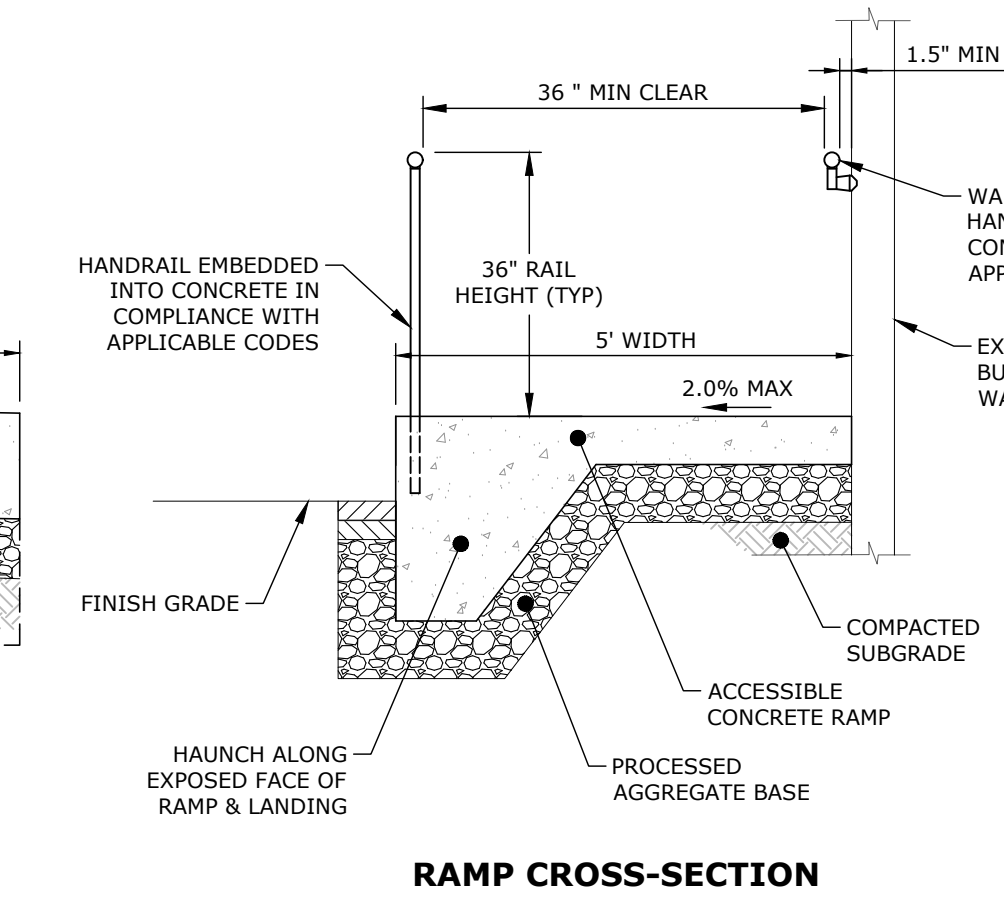
**BITUMINOUS PAVEMENT SECTION**  
 NOT TO SCALE



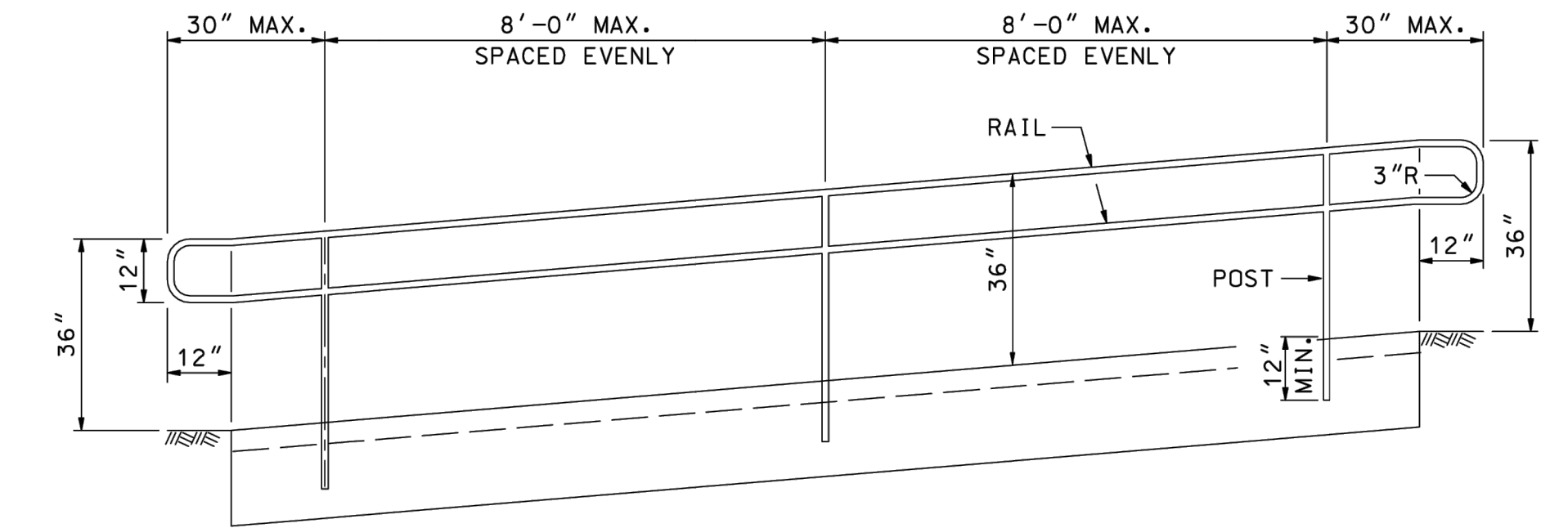
**RAMP PROFILE**

NOTES:  
 1. SUBMIT DETAILED SHOP DRAWINGS FOR APPROVAL SHOWING THE LAYOUT AND DIMENSIONS OF ALL RAMP AND RAIL SYSTEM COMPONENTS.  
 2. EXPOSED SURFACES TO BE BROOM FINISH WITH TROWELED EDGES.  
 3. MINIMUM WIDTH TO BE 36" CLEAR HANDRAIL TO HANDRAIL.  
 4. INSTALL HANDRAIL PER "RAMP HANDRAIL" DETAIL.

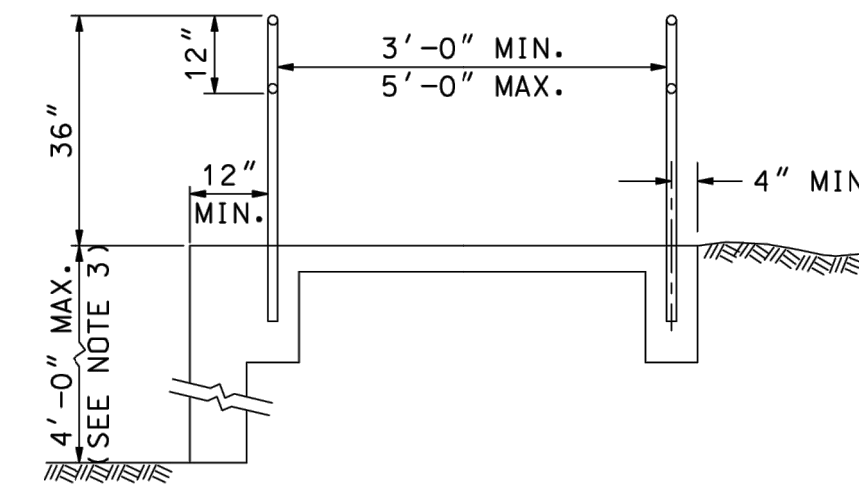
**ACCESSIBLE CONCRETE RAMP DETAIL**  
 NOT TO SCALE



**RAMP CROSS-SECTION**



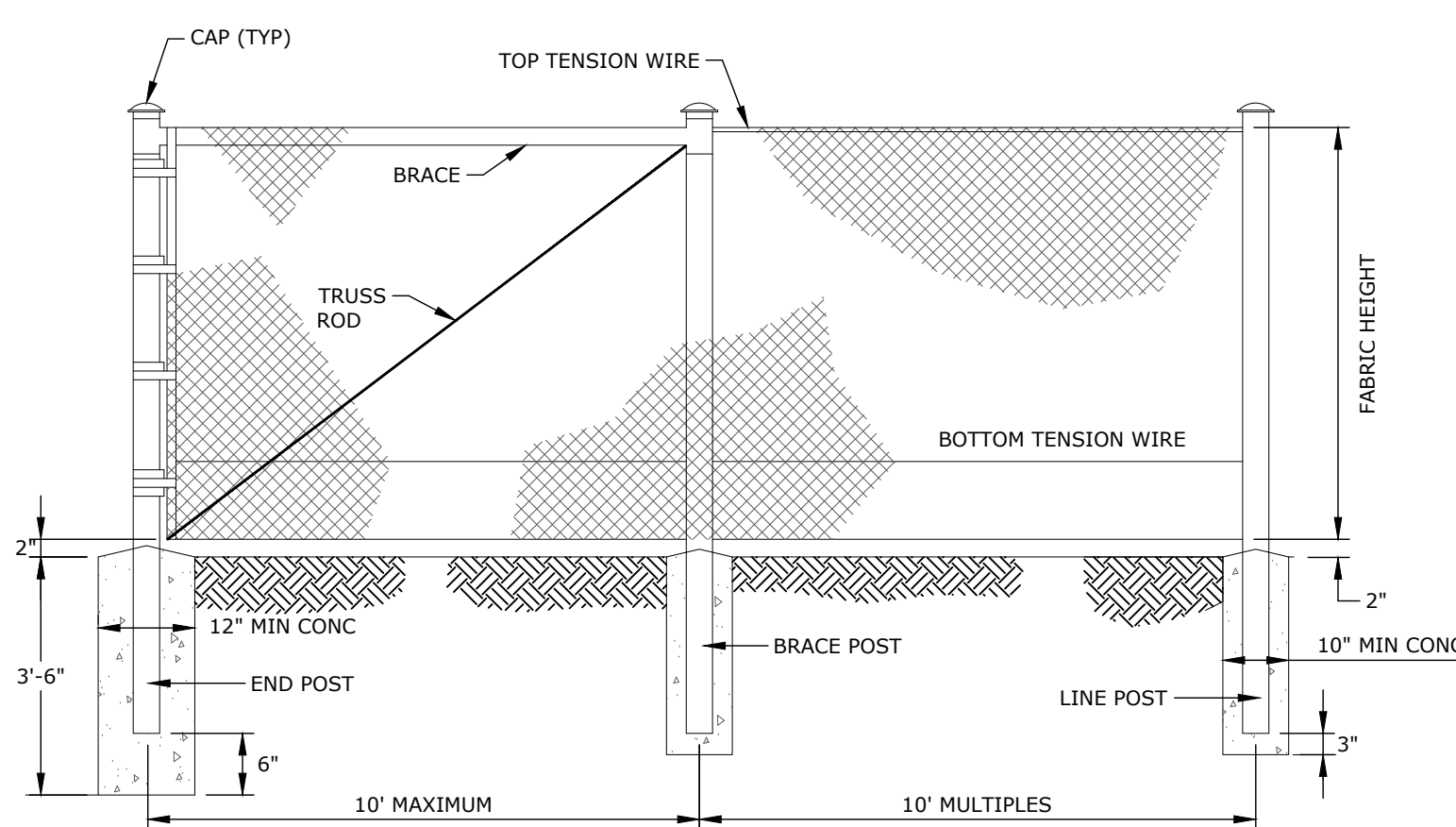
**ELEVATION**



**CROSS-SECTION**

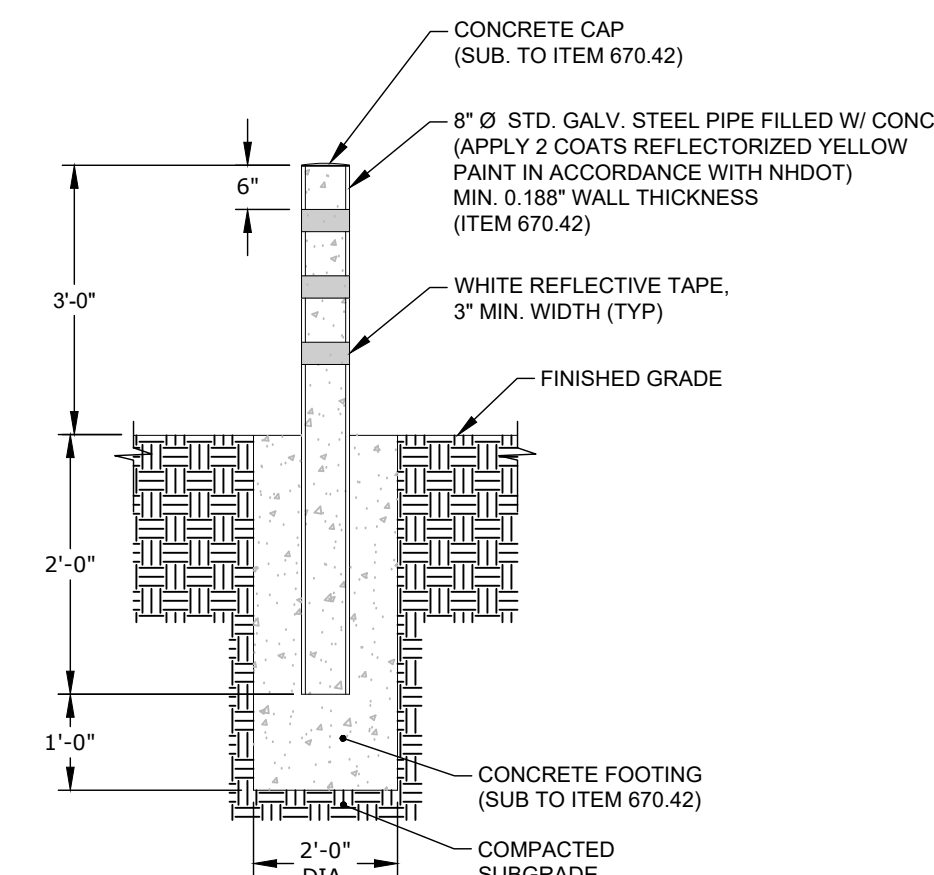
**RAMP HANDRAIL DETAIL**  
 NOT TO SCALE

Reference: NHDOT Standard Plans, Rev. Date 06-16-2010



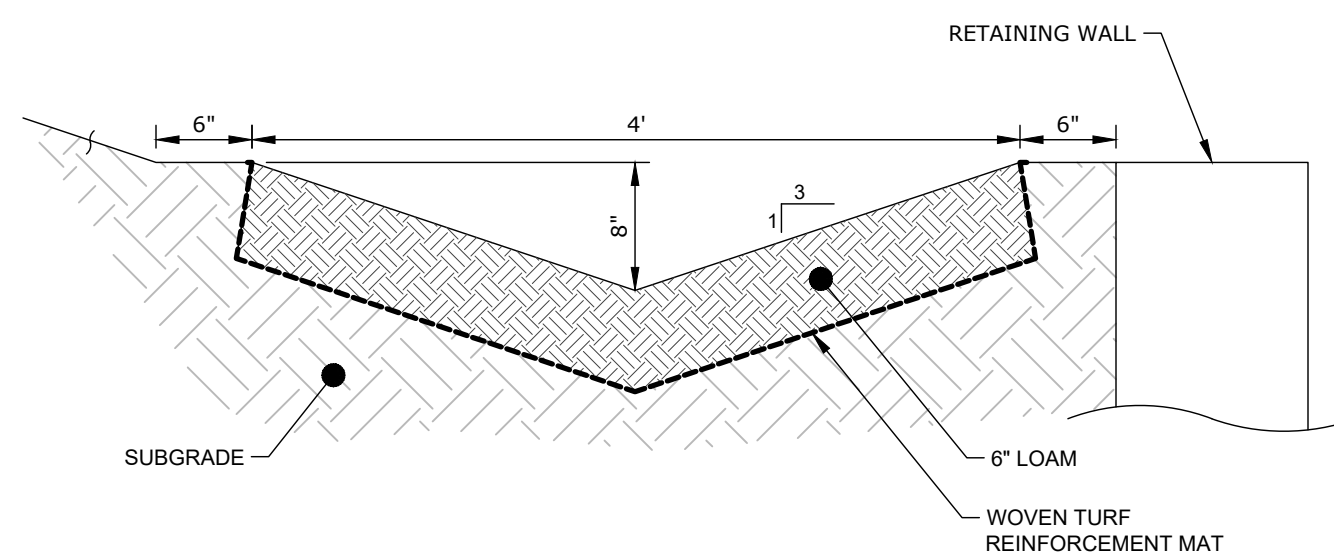
NOTES:  
 1. INCLUDE OPAQUE SCREENING FABRIC ON FENCING ON THE EASTERN SIDE OF THE WARE YARD.  
 2. ALL END POSTS SHALL HAVE ONE BRACE.  
 3. ALL CORNER AND INTERMEDIATE BRACE OR PULL POSTS SHALL HAVE TWO BRACES.  
 4. REFERENCE NHDOT CHAIN LINK FENCE DETAIL, REV. DATE 06-16-2010.

**CHAIN LINK FENCE DETAIL**  
 NOT TO SCALE



**BOLLARD DETAIL**  
 NOT TO SCALE

Reference: X-A003(786), NHDOT NO. 28739 FINAL DESIGN PLANS, City of Nahus, New Hampshire Engineering Dept., March 10, 2020.



**GRASS DRAINAGE SWALE**  
 SCALE: 1"=1'



FEDERAL HANDICAPPED RESERVED PARKING SIGN: R7-8



EXIT ONLY SIGN: 18" x 12"



ENTRANCE ONLY SIGN: 18" x 12"

**SIGN DETAIL**  
 NOT TO SCALE



WRONG WAY SIGN: R5-1A



DO NOT ENTER SIGN: R5-1; 31-1119

**DETAILS**

**GSA FACILITY GUT RENOVATION**  
 128 AIRPORT RD., CONCORD, NH 03301  
 128 AIRPORT ROAD LLC  
 334 COLLEGE HILL RD., HOPKINTON, NH 03229

DATE: 10/16/2024  
 SCALE: NOT TO SCALE  
 DRAWN BY: CEG  
 CHECKED BY: ECK

APPLICANTS:  
 CASTAGNA CONSULTING GROUP  
 & LOUREIRO ENGINEERING  
 ASSOCIATES, INC.

REVISIONS PER CITY COMMENTS  
 3 USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING  
 2 REVISIONS PER CITY COMMENTS  
 1 REVISIONS PER CITY COMMENTS  
 1 REV.

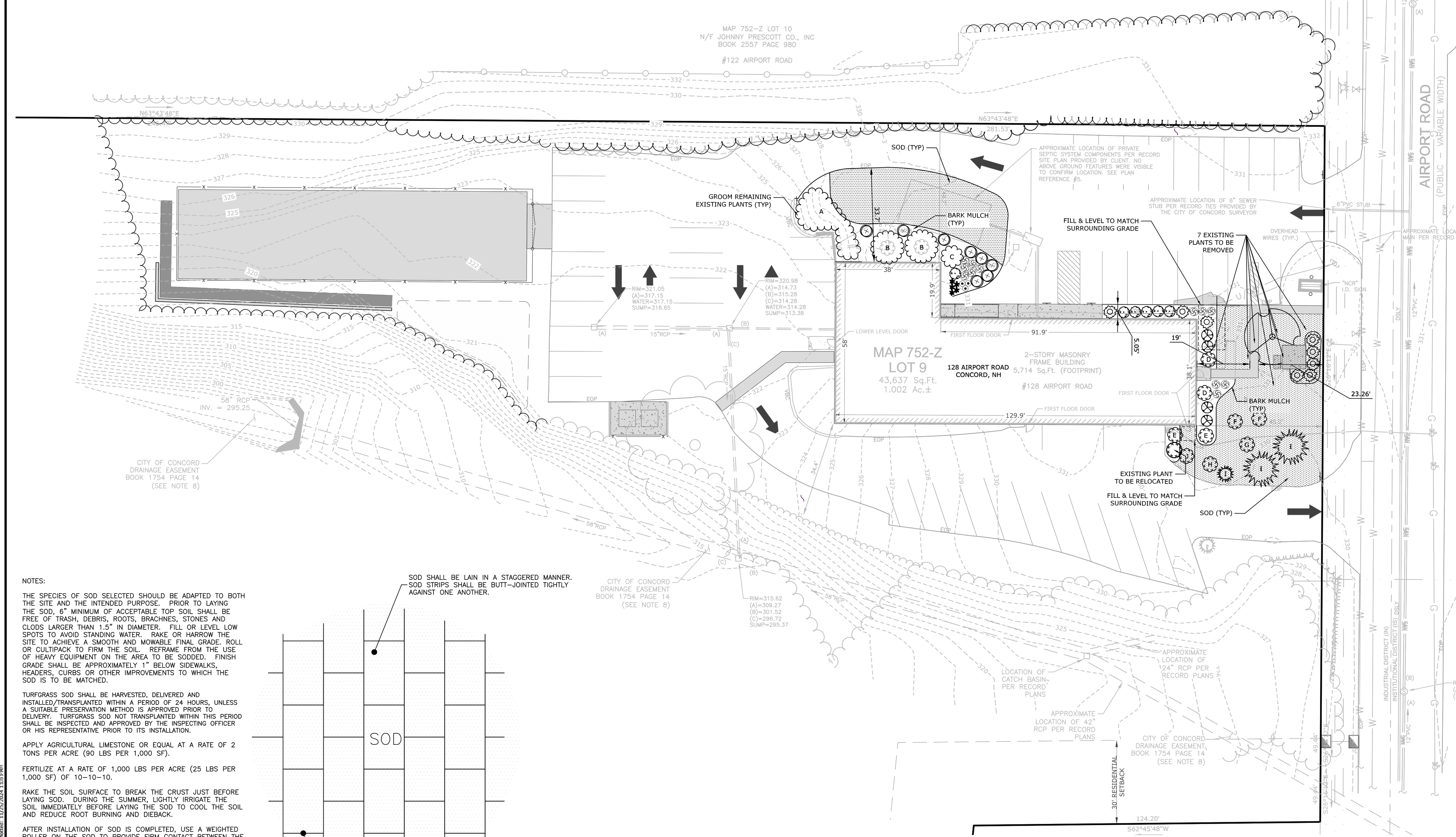
DATE: 11/25/2024  
 DATE: 11/7/2024  
 DATE: 10/28/2024  
 DATE: APRR.

STAMP  
**Loureiro**  
 Loureiro Engineering Associates, Inc.  
 Water & Facility Services • Energy • Laboratory  
 1000 North Main Street, Suite 200, Concord, NH 03301  
 Phone: 860-747-6181 • Fax: 860-747-6822  
 An Employee-Owned Company • www.loureiro.com  
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DRAWING  
**C-8**

SHEET NO. 9 NO. OF SHEETS 13





**LANDSCAPE NOTES**

- GENERAL**
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE RULES, REGULATIONS, LAWS, AND ORDINANCES HAVING JURISDICTION OVER THIS PROJECT SITE.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE PRICING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
  - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
  - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA) [FORMERLY THE AMERICAN ASSOCIATION OF NURSERMEN] IN THE AMERICAN STANDARD FOR NURSERY STOCK (AS AMENDED) [ANSI Z60.1-1996].
  - ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
  - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
  - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
  - ALL LANDSCAPED AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SEE IRRIGATION NOTES.
  - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
  - ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."

**GUARANTEE**

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

**SITE AND SOIL PREPARATION**

- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
- ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 6 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
- LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2") IN GREATEST DIAMETER, SUBSOIL ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.0. LOAM SHALL CONTAIN A MINIMUM OF TWO PERCENT (2%) AND A MAXIMUM OF FIVE PERCENT (5%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. SOIL TEXTURE SHALL BE SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
- NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THESE REQUIREMENTS.
- SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
- APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
- THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

**SEEDING**

- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
- SEEDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15, EXCEPT FOR RESEEDING OF BARE SPOTS AND MAINTENANCE. ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVING OR AREAS THAT HAVE NOT BEEN OTHERWISE DEVELOPED SHALL BE SEEDED OR SODED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.

ACCEPTABLE SEED MIXES ARE AS FOLLOWS:

**PARK SEED MIX (NHDOT TYPE 15) MIN. 120 LBS/ACRE:**  
 33% CREEPING RED FESCUE (MIN. 40 LBS/ACRE)  
 42% PERENNIAL Ryegrass (MIN. 50 LBS/ACRE)  
 21% KENTUCKY BLUEGRASS (MIN. 25 LBS/ACRE)  
 4% REDTOP (MIN. 5 LBS/ACRE)

**TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)**  
 100% ANNUAL RYE

**PLANTING**

- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
- ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
- DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
- FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
- DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS; 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2' BEYOND THE OUTER MOST BRANCHES.
- TREECOR WATERING SYSTEM OR APPROVED EQUAL SHALL BE INSTALLED FOR ALL DECIDUOUS TREES AT TIME OF PLANTING AND REMOVED BEFORE FROST. WATERING RATE TO BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
- ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
- THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

**NOTES:**

THE SPECIES OF SOD SELECTED SHOULD BE ADAPTED TO BOTH THE SITE AND THE INTENDED PURPOSE. PRIOR TO LAYING THE SOD, 6" MINIMUM OF ACCEPTABLE TOP SOIL SHALL BE FREE OF TRASH, DEBRIS, ROOTS, BRACHINES, STONES AND CLODS LARGER THAN 1.5" IN DIAMETER. FILL OR LEVEL LOW SPOTS TO AVOID STANDING WATER. RAKE OR HARROW THE SITE TO ACHIEVE A SMOOTH AND MOWABLE FINAL GRADE. ROLL OR CULPACK TO FIRM THE SOIL. REFRAIN FROM THE USE OF HEAVY EQUIPMENT ON THE AREA TO BE SODED. FINISH GRADE SHALL BE APPROXIMATELY 1" BELOW SIDEWALKS, HEADERS, CURBS OR OTHER IMPROVEMENTS TO WHICH THE SOD IS TO BE MATCHED.

TURFGRASS SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS, UNLESS A SUITABLE PRESERVATION METHOD IS APPROVED PRIOR TO DELIVERY. TURFGRASS SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED BY THE INSPECTING OFFICER OR HIS REPRESENTATIVE PRIOR TO ITS INSTALLATION.

APPLY AGRICULTURAL LIMESTONE OR EQUAL AT A RATE OF 2 TONS PER ACRE (90 LBS PER 1,000 SF).

FERTILIZE AT A RATE OF 1,000 LBS PER ACRE (25 LBS PER 1,000 SF) OF 10-10-10.

RAKE THE SOIL SURFACE TO BREAK THE CRUST JUST BEFORE LAYING SOD. DURING THE SUMMER, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY BEFORE LAYING THE SOD TO COOL THE SOIL AND REDUCE ROOT BURNING AND DIEBACK.

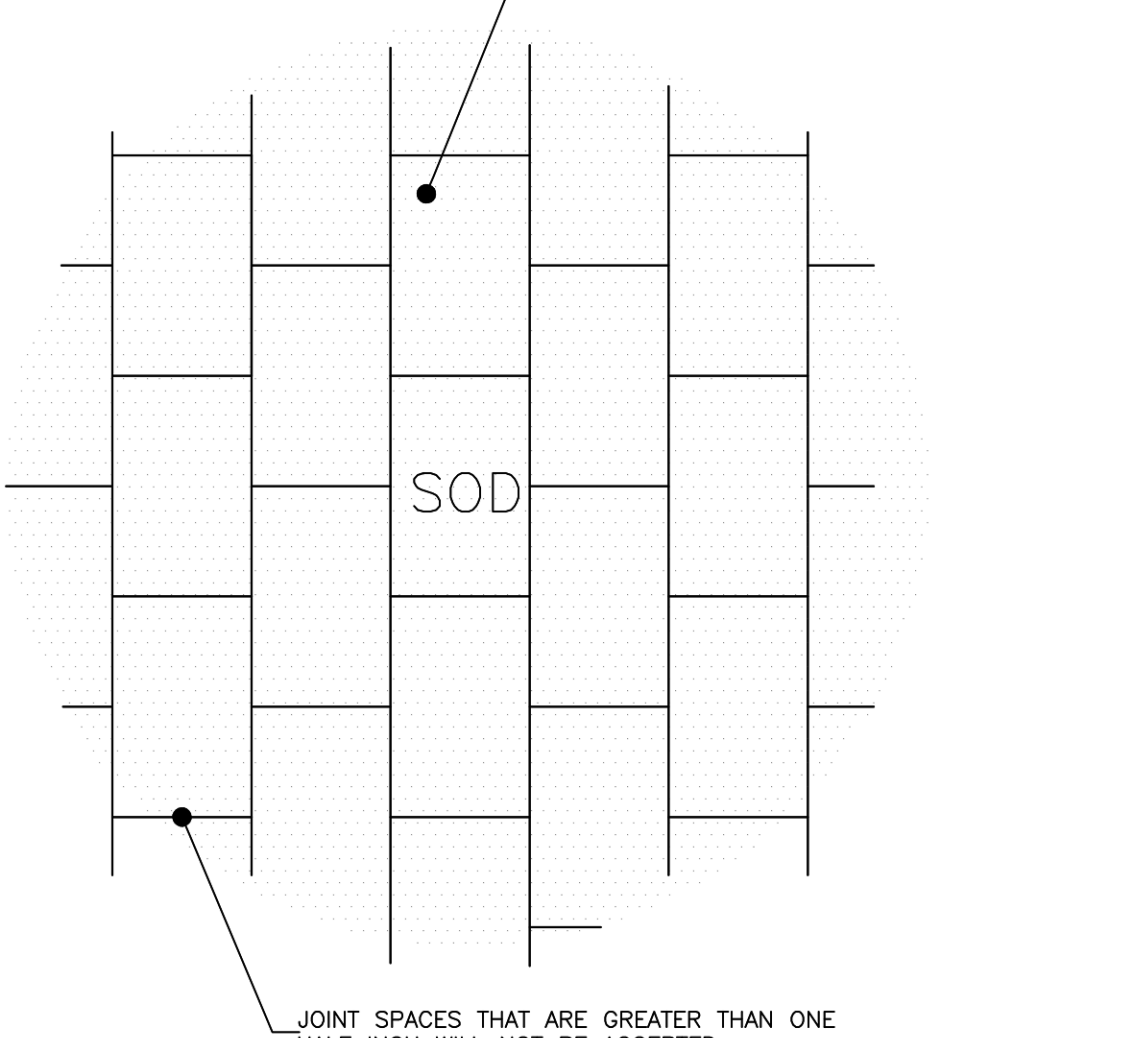
AFTER INSTALLATION OF SOD IS COMPLETED, USE A WEIGHTED ROLLER ON THE SOD TO PROVIDE FIRM CONTACT BETWEEN THE ROOTS AND SOIL.

AFTER ROLLING, IRRIGATE UNTIL THE SOIL IS WET AT LEAST 6" BELOW THE SOD.

KEEP SODED AREA MOIST TO A DEPTH OF 4" UNTIL THE GRASS TAKES ROOT. THIS CAN BE DETERMINED BY GENTLY TUGGING ON THE SOD. RESISTANCE INDICATES THAT ROOTING HAS OCCURRED.

MOWING SHOULD NOT BE ATTEMPTED UNTIL THE SOD IS FIRMLY ROOTED, USUALLY 2 TO 3 WEEKS.

SOD SHALL BE LAIN IN A STAGGERED MANNER. SOD STRIPS SHALL BE BUTT-JOINED TIGHTLY AGAINST ONE ANOTHER.



**SOD DETAIL**

NOT TO SCALE

**EXISTING PLANTS TO REMAIN**

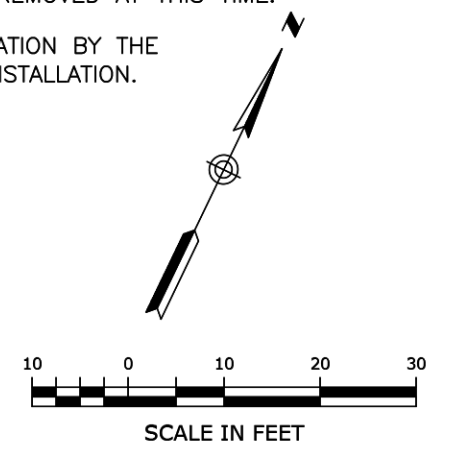
| SYMBOL | QTY  | BOTANICAL NAME<br>COMMON NAME                    |
|--------|------|--|
| A      | MASS | JUNIPERUS HORIZONTALIS<br>CREEPING JUNIPER       |
| B      | 2    | SYRINGA VULGARIS<br>COMMON LILAC                 |
| C      | 1    | FORSYTHIA VIRIDISSIMA<br>GREENSTEM FORSYTHIA     |
| D      | 2    | TAXUS CUSPIDATA<br>JAPANESE YEW                  |
| E      | 2    | TSUGA CANADENSIS<br>EASTERN HEMLOCK              |
| F      | 2    | RHODODENDRON CATAWBIENSE<br>CATAWBA RHODODENDRON |
| G      | 1    | KALMIA LATIFOLIA<br>MOUNTAIN LAUREL              |
| H      | 1    | THUJA OCCIDENTALIS<br>ARBORVITAE                 |
| I      | 3    | PINUS RIGIDA<br>PITCH PINE                       |
| J      | 1    | RHODODENDRON "P.J.M."<br>P.J.M. RHODODENDRON     |

**LANDSCAPE LEGEND**

| SYMBOL | QTY | BOTANICAL NAME<br>COMMON NAME  | SIZE              | REMARKS |
|--------|-----|--|-------------------|---------|
|        | 1   | QUERCUS ALBA<br>WHITE OAK  | 2" TO 2 1/2" CAL. | B&B     |
|        | 5   | HOSTA 'BLUE CADET'<br>BLUE CADET PLANTAIN LILY                       | 1 GAL.            | CONT.   |
|        | 6   | HYDRANGEA ARB. 'INVINCIBELLE RUBY'<br>INVINCIBELLE RUBY SMOOTH HYDR. | 3 GAL.            | CONT.   |
|        | 8   | JUNIPERUS CHINENSIS 'SEAGREEN'<br>SEAGREEN JUNIPER                   | 3 GAL.            | CONT.   |
|        | 8   | MICROBIOTA DECUSSATA<br>RUSSIAN CYPRESS                              | 1 GAL.            | CONT.   |
|        | 4   | PHYSOCARPUS OPULIF. 'AMBER JUBILEE'<br>AMBER JUBILEE NINEBARK        | 5 GAL.            | CONT.   |
|        | 12  | POTENTILLA FRUTICOSA 'ABBOTSWOOD'<br>ABBOTSWOOD POTENTILLA           | 2 GAL.            | CONT.   |
|        | 3   | TIARELLA CORDIFOLIA 'SUGAR & SPICE'<br>SUGAR & SPICE FOAM FLOWER     | 1 GAL.            | CONT.   |

**IRRIGATION NOTES**

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR ACCEPTABLE TO THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION AND CONTROLS.
- FOLLOW ALL MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.



**LANDSCAPE PLAN**

**GSA FACILITY GUT RENOVATION**  
 128 AIRPORT RD., CONCORD, NH 03301  
 128 AIRPORT ROAD LLC  
 357 COLLEGE HILL RD., ROPKINTON, NH 03229

DATE: 10/16/2024  
 DRAWN BY: SH  
 APPROVED BY: MSK

SCALE: 1"=20'

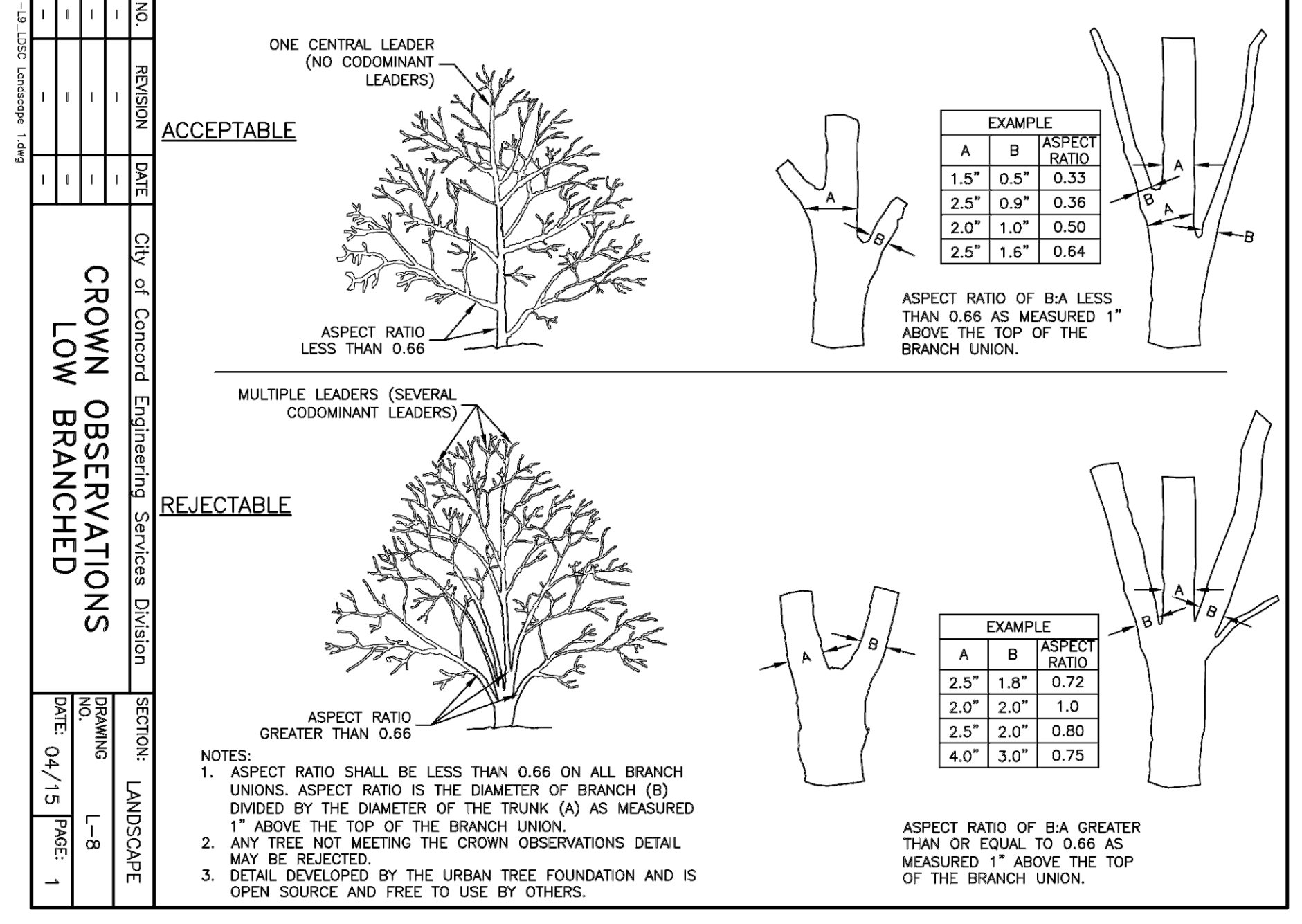
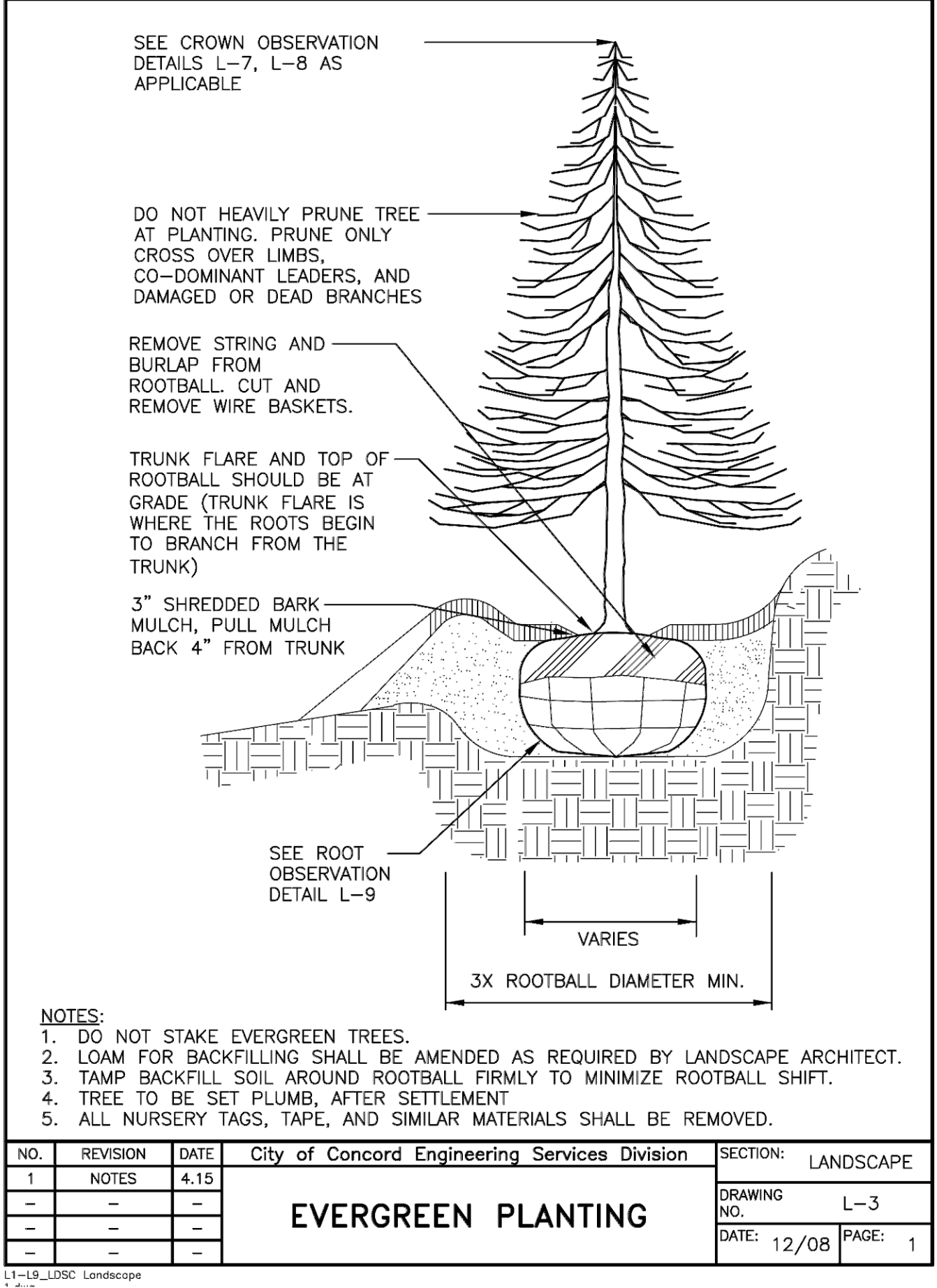
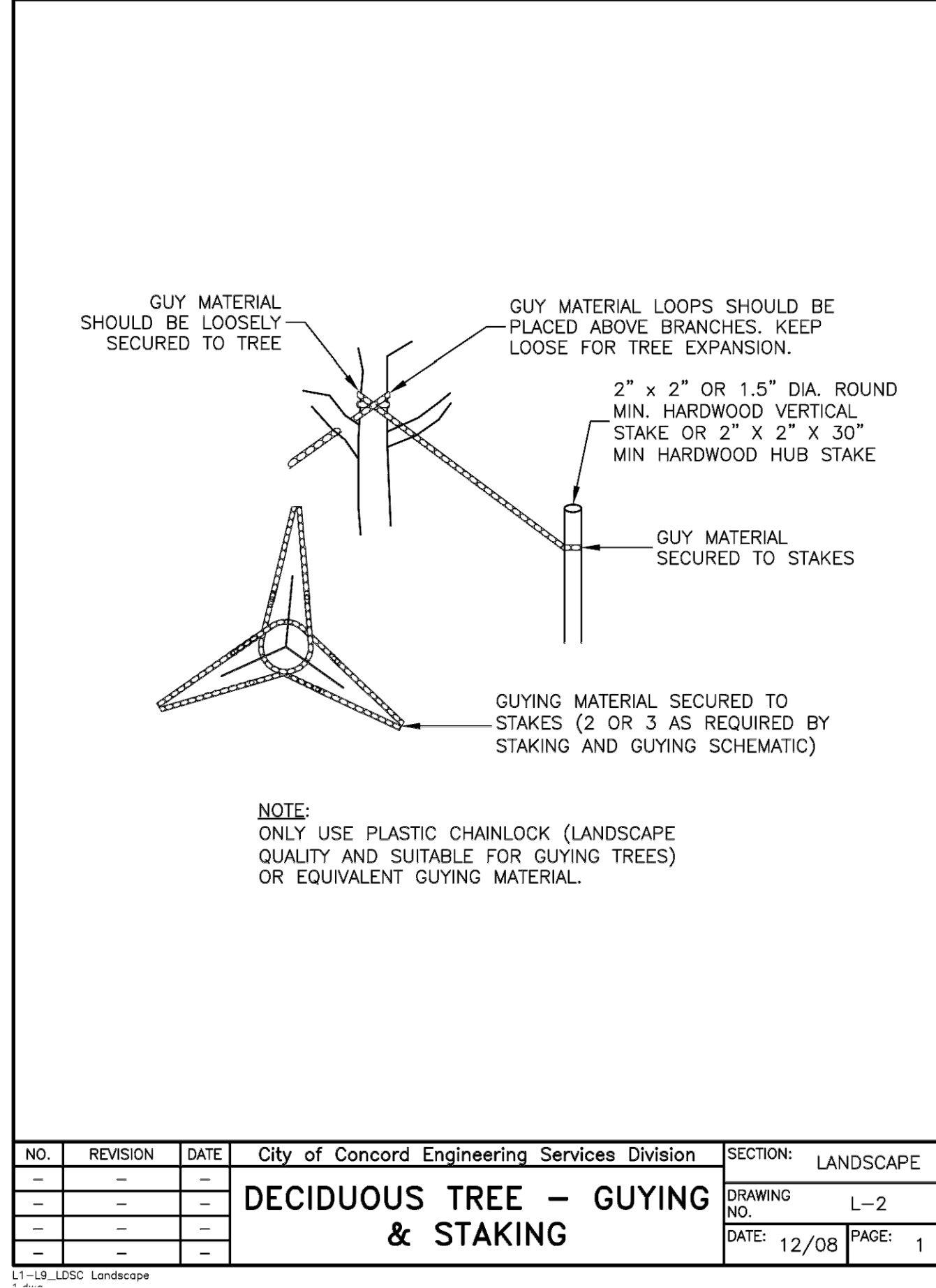
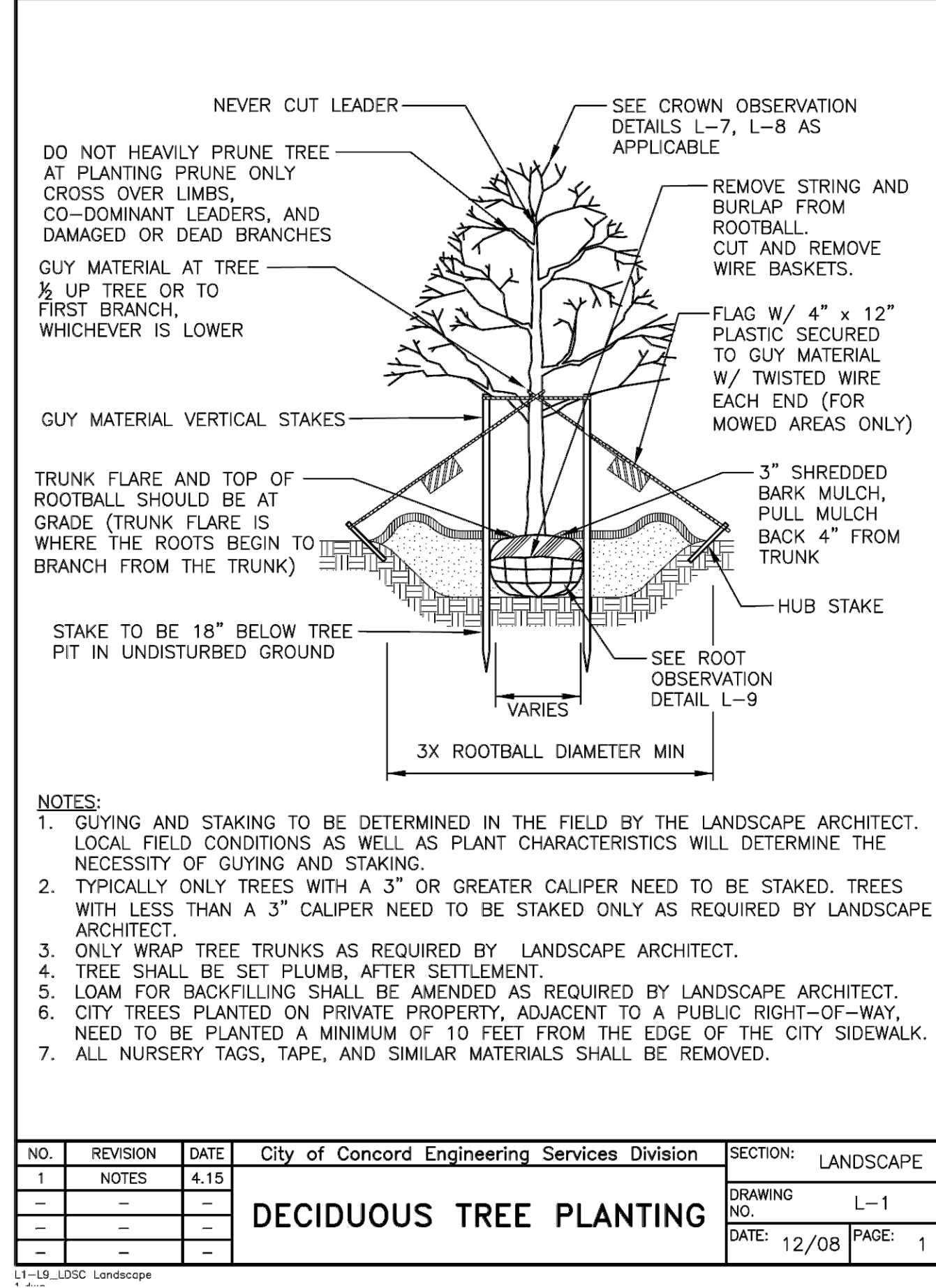
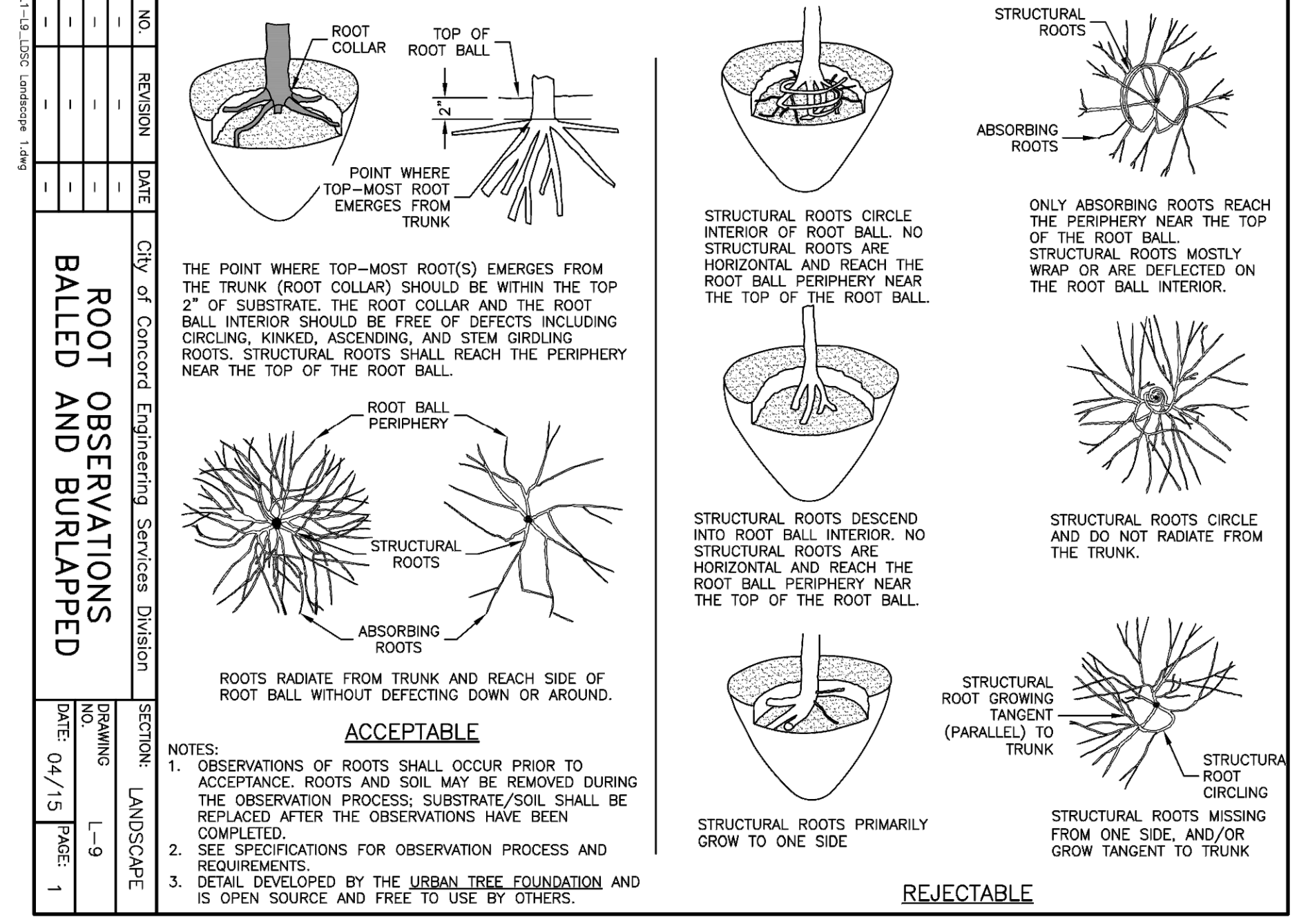
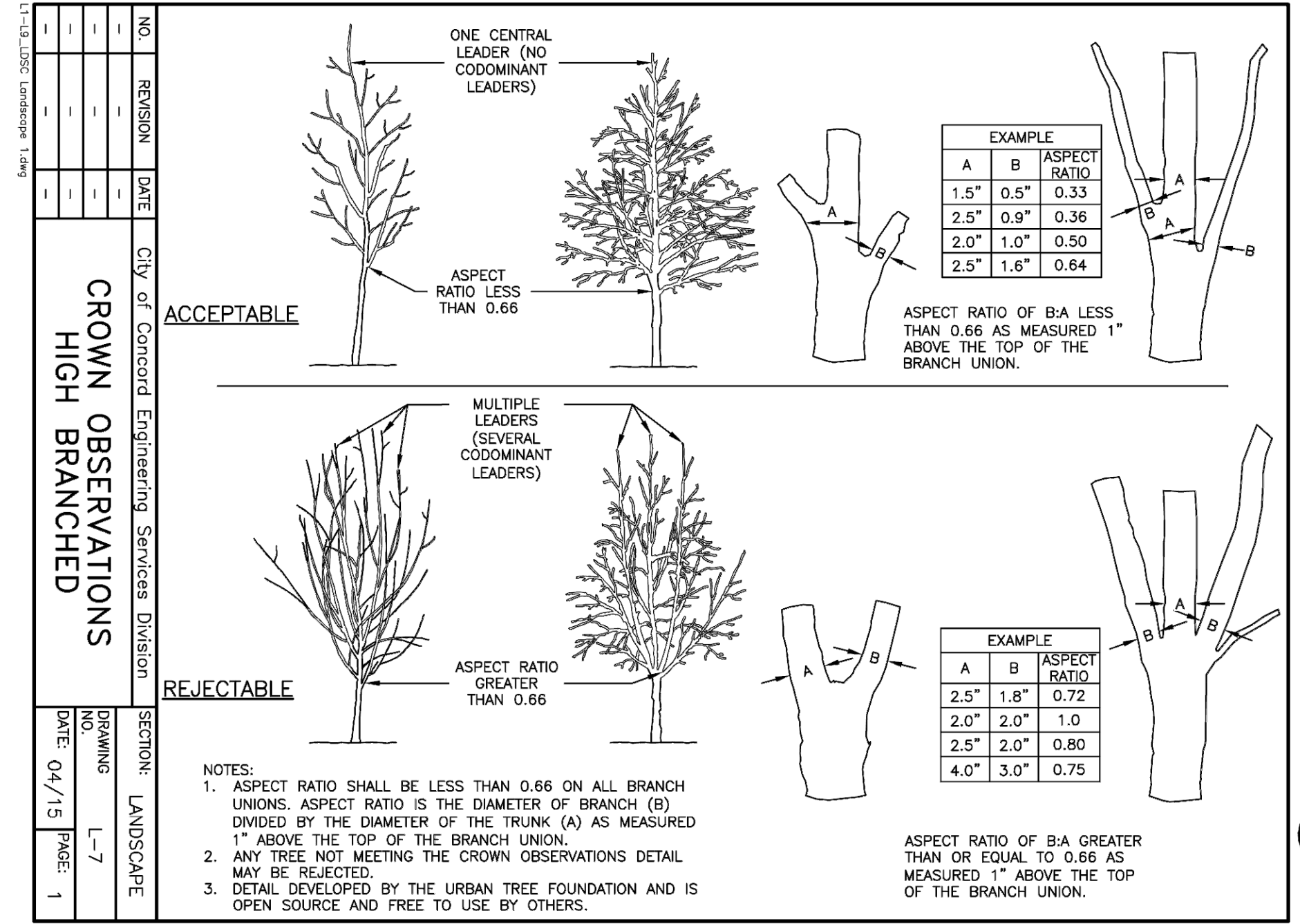
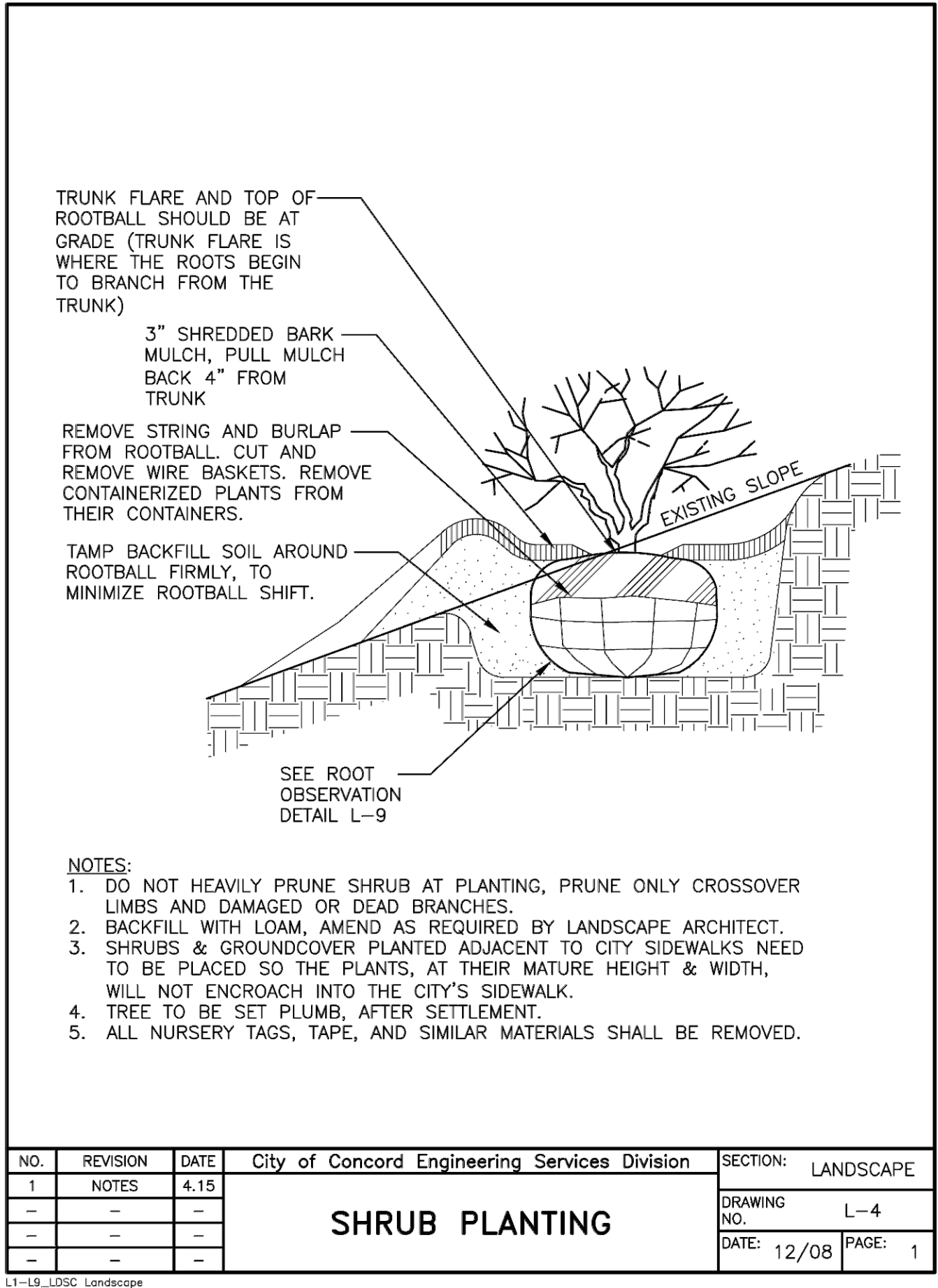
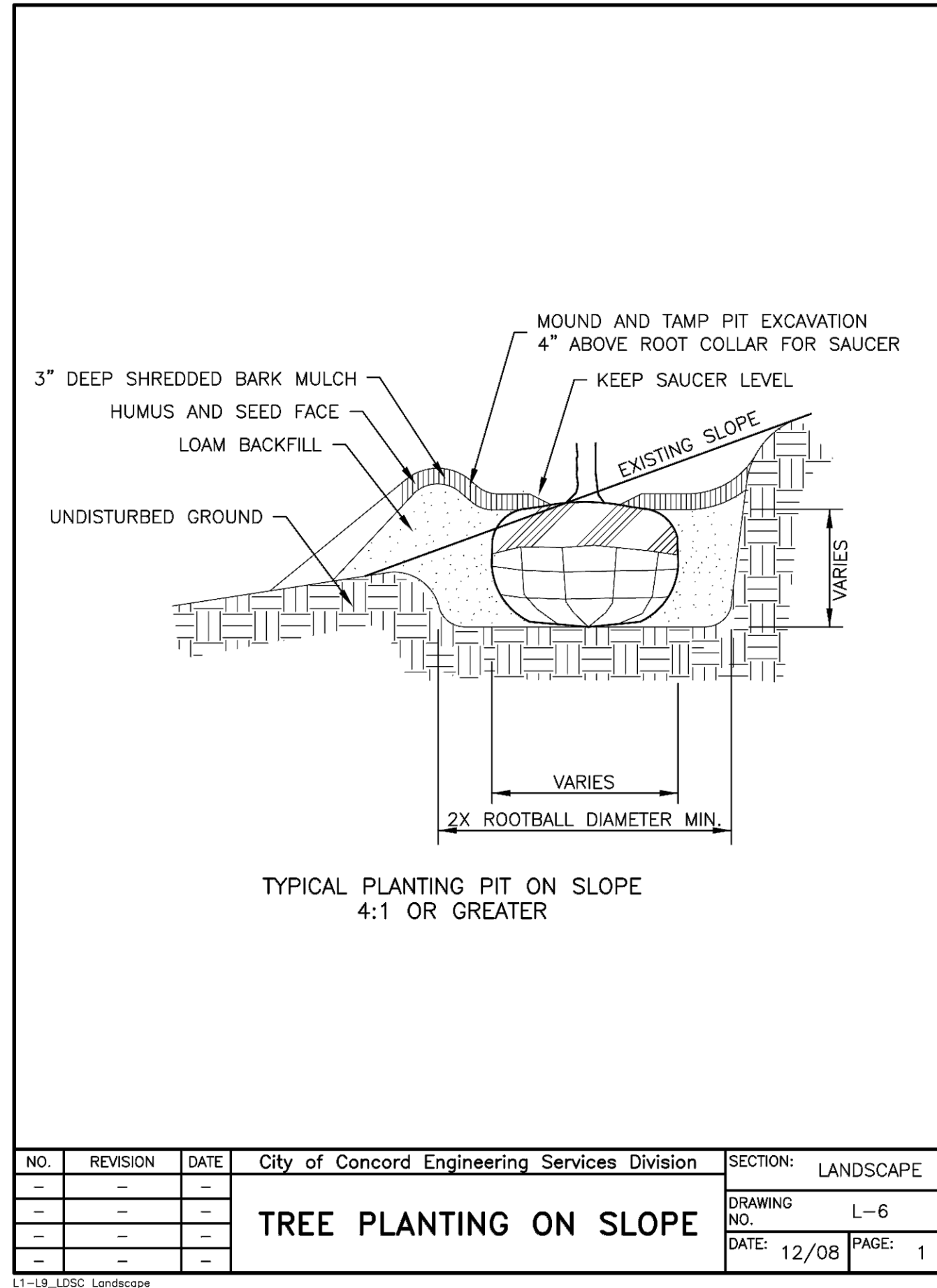
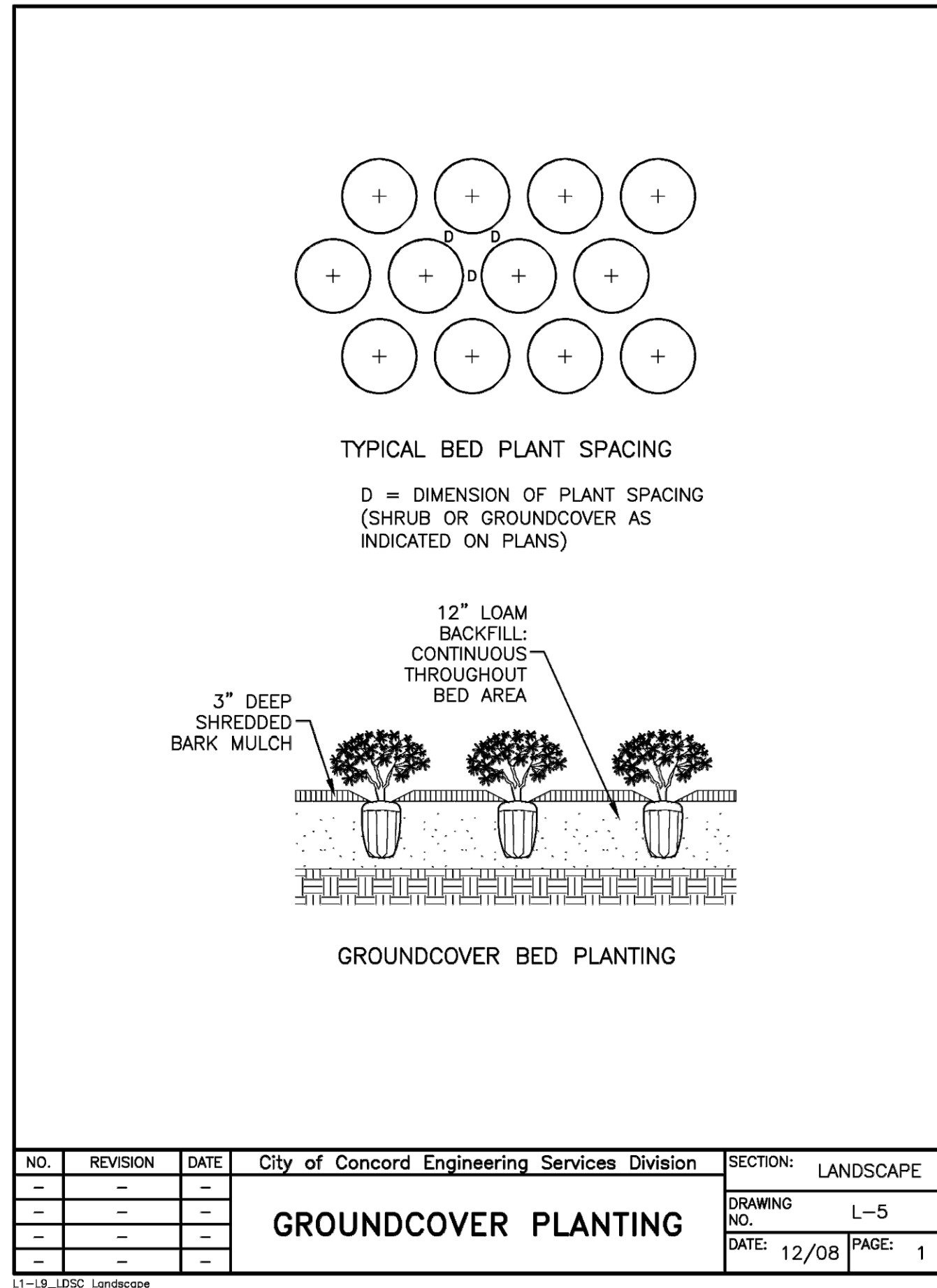
CONTRACT NO.: 01SC54-01

REVISIONS PER CITY COMMENTS

| NO. | DATE       | DESCRIPTION OF REVISION |
|-----|------------|-------------------------|
| 3   | 11/29/2024 | CEG                     |
| 2   | 11/7/2024  | CEG                     |
| 1   | 10/28/2024 | CEG                     |
| 1   |            | APPR.                   |

SHEET NO. 10 NO. OF SHEETS 13





**LANDSCAPING DETAILS**

**GSA FACILITY GUT RENOVATION**  
128 AIRPORT RD., CONCORD, NH 03301  
**128 AIRPORT ROAD LLC**  
334 COLLEGE HILL RD., ROPKINTON, NH 03229

**APPLICANTS:**  
CASTAGNA CONSULTING GROUP & LOUREIRO ENGINEERING ASSOCIATES, INC.

**SCALE:** NOT TO SCALE  
**CORN NO.:** 015C24.01

**DATE:** 10/16/2024  
**APPROVED BY:** ECK

**DESIGNED BY:** CEG  
**APPROVED BY:** ECK

**REVISIONS PER CITY COMMENTS:**

| NO. | REVISION | DATE       | DESCRIPTION   |
|-----|----------|------------|---|
| 1   | 1        | 11/25/2024 | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING |
| 2   | 2        | 11/7/2024  | CEG   |
| 3   | 3        | 10/28/2024 | REVISIONS PER CITY COMMENTS                                     |
| 4   | 4        | 10/28/2024 | REVISIONS PER CITY COMMENTS                                     |

**DATE:** 11/25/2024

**DESCRIPTION OF REVISION:**

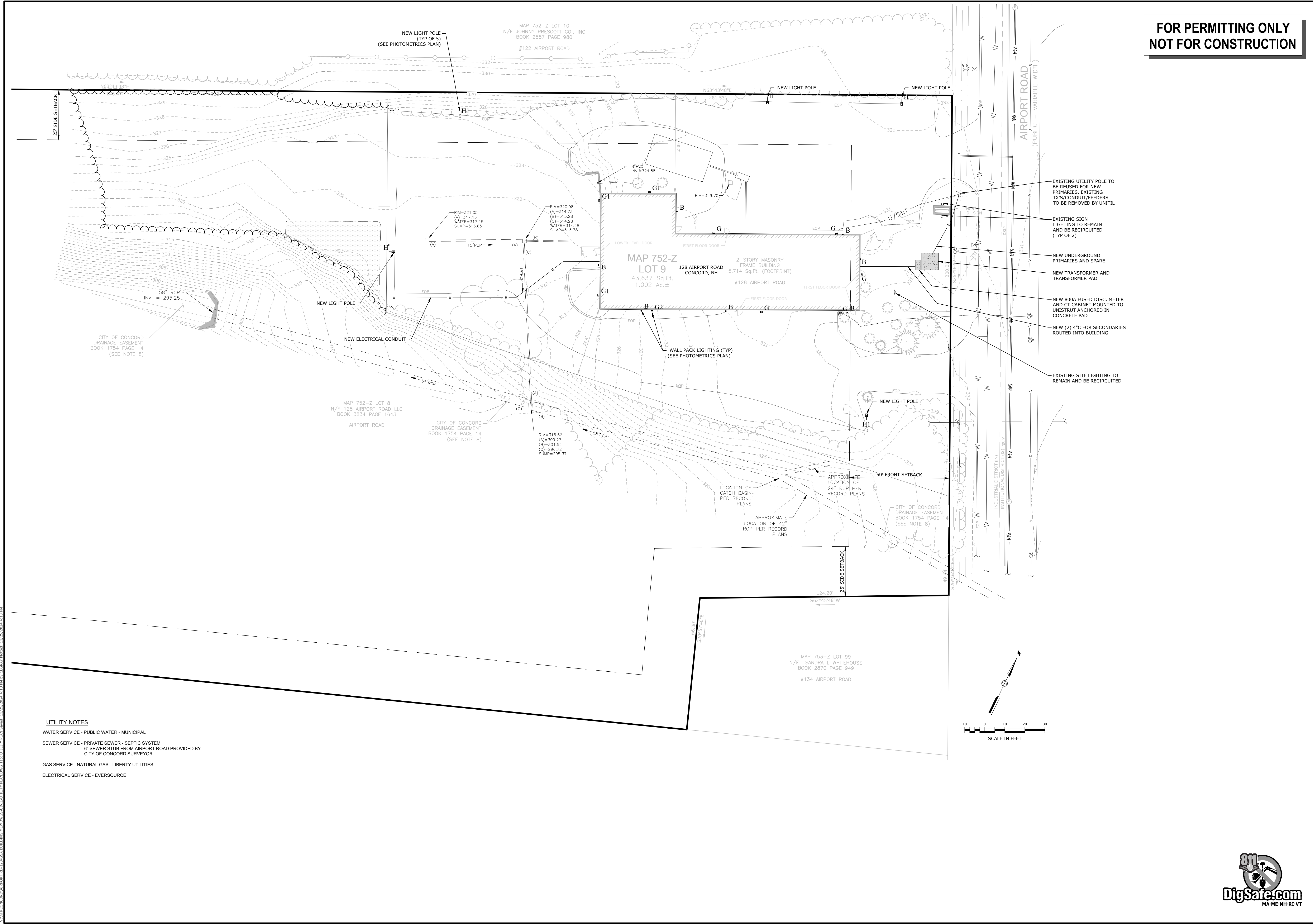
**LOUREIRO ENGINEERING ASSOCIATES, INC.**  
Water & Utility Services • Energy • Stormwater Management • Construction • EIR • EIS • Energy

**MICHAEL S. KRZEMINSKI**  
143 STATE ST. NEWTON, NH 03844  
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**DRAWING NO.:** L-2  
**SHEET NO.:** 11  
**NO. OF SHEETS:** 13

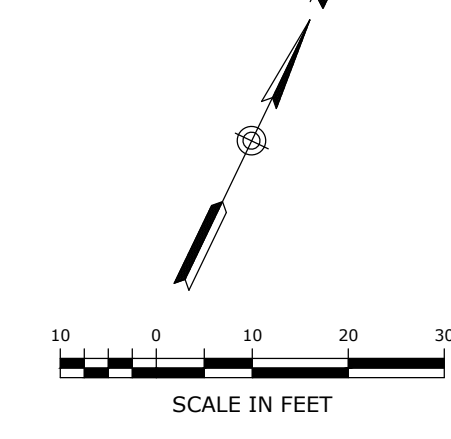


**FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION**



- EXISTING UTILITY POLE TO BE REUSED FOR NEW PRIMARIES. EXISTING TYS/CONDUIT FEEDERS TO BE REMOVED BY UTILIT.
- EXISTING SIGN LIGHTING TO REMAIN AND BE RECIRCUITED (TYP OF 2)
- NEW UNDERGROUND PRIMARIES AND SPARE
- NEW TRANSFORMER AND TRANSFORMER PAD
- NEW 800A FUSED DISC, METER AND CT CABINET MOUNTED TO UNISTRUT ANCHORED IN CONCRETE PAD
- NEW (2) 4" FOR SECONDARIES ROUTED INTO BUILDING
- EXISTING SITE LIGHTING TO REMAIN AND BE RECIRCUITED

**UTILITY NOTES**  
 WATER SERVICE - PUBLIC WATER - MUNICIPAL  
 SEWER SERVICE - PRIVATE SEWER - SEPTIC SYSTEM  
 G/S SEWER SLUB FROM AIRPORT ROAD PROVIDED BY CITY OF CONCORD SURVEYOR  
 GAS SERVICE - NATURAL GAS - LIBERTY UTILITIES  
 ELECTRICAL SERVICE - EVERSOURCE



| <p><b>UTILITY PLAN</b></p> <p><b>GSA FACILITY GUT RENOVATION</b><br/>         128 AIRPORT RD, CONCORD, NH 03301<br/> <b>128 AIRPORT ROAD LLC</b><br/>         334 COLLEGE HILL RD, HOPKINTON, NH 03229</p> |  | <p>SCALE<br/>1" = 20'</p> <p>DATE<br/>10/16/2024</p> <p>DRAWN BY<br/>CEG</p> <p>APPROVED BY<br/>ECK</p> | <p>CONTRACT NO.<br/>015CG4.01</p> <p>DATE<br/>10/15/2024</p> <p>APPLICANTS:<br/>CASTAGNA CONSULTING GROUP &amp; LOUREIRO ENGINEERING ASSOCIATES, INC.</p> |                         |   |            |                             |   |           |   |   |            |     |   |   |
|--|--|---|---|-------------------------|---|------------|-----------------------------|---|-----------|---|---|------------|-----|---|---|
| <p>STAMP</p>   | <p>REVISIONS PER CITY COMMENTS</p> <table border="1"> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION OF REVISION</th> </tr> <tr> <td>1</td> <td>10/28/2024</td> <td>REVISIONS PER CITY COMMENTS</td> </tr> <tr> <td>2</td> <td>11/7/2024</td> <td>USDA COMMENTS, REMOVAL OF GENERATOR &amp; EV PARKING, SITE LIGHTING</td> </tr> <tr> <td>3</td> <td>11/25/2024</td> <td>CEG</td> </tr> </table> | REV.  | DATE  | DESCRIPTION OF REVISION | 1 | 10/28/2024 | REVISIONS PER CITY COMMENTS | 2 | 11/7/2024 | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING | 3 | 11/25/2024 | CEG | <p>DATE<br/>10/15/2024</p> <p>APPROVED BY<br/>ECK</p> | <p>NO. OF SHEETS<br/>13</p> <p>SHEET NO.<br/>12</p> |
| REV.   | DATE   | DESCRIPTION OF REVISION   |   |                         |   |            |                             |   |           |   |   |            |     |   |   |
| 1  | 10/28/2024   | REVISIONS PER CITY COMMENTS   |   |                         |   |            |                             |   |           |   |   |            |     |   |   |
| 2  | 11/7/2024  | USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING   |   |                         |   |            |                             |   |           |   |   |            |     |   |   |
| 3  | 11/25/2024   | CEG   |   |                         |   |            |                             |   |           |   |   |            |     |   |   |

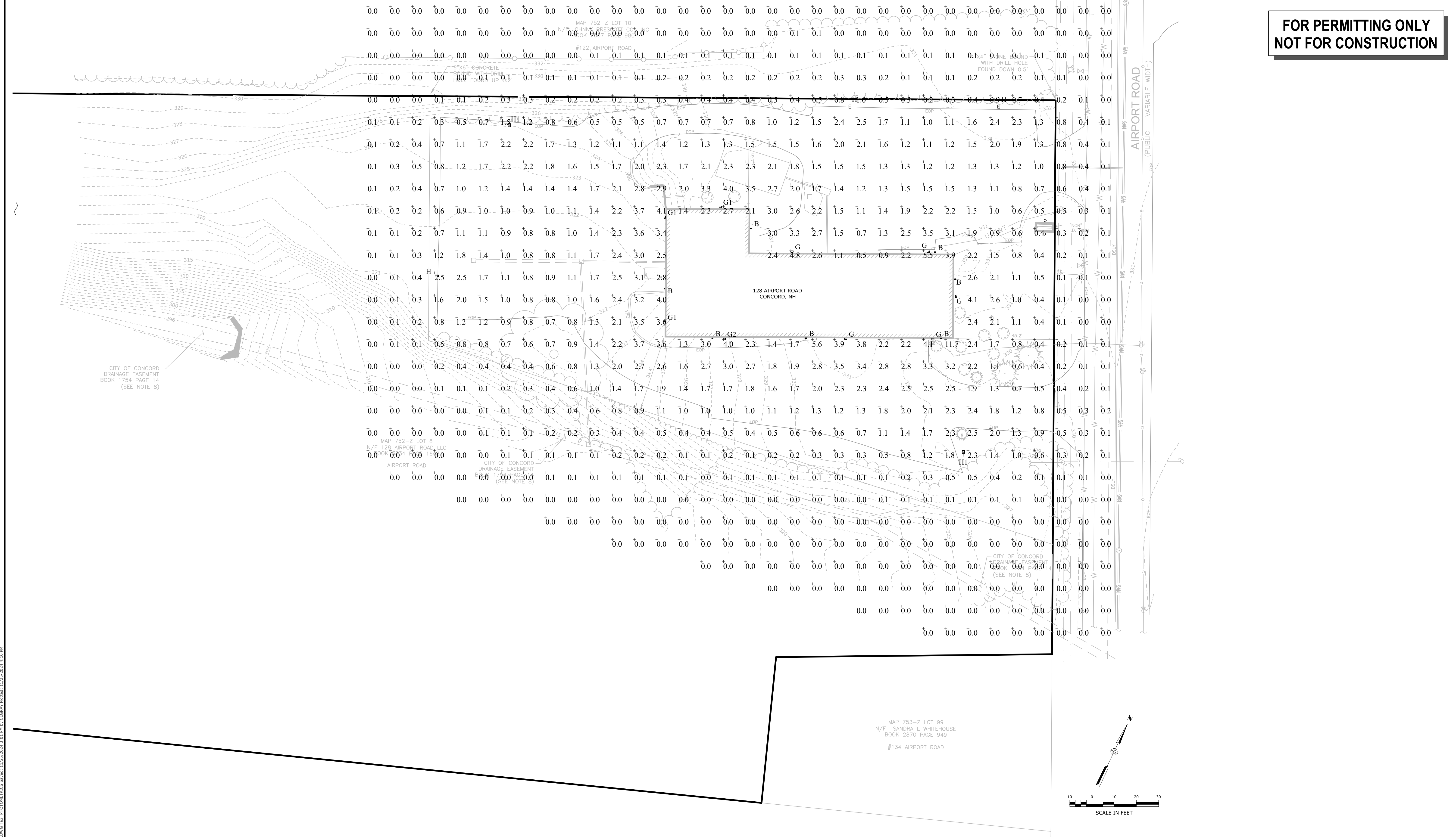


DRAWING  
**E-1**

V:\NH\CONCORD\AIRPORT RD-128\GSA BUILDING\DWG\GSA\UTILITY PLAN.dwg, Sheet: 11/25/2024 4:13 PM, by: CEG/BAJ, Plotter: 11/25/2024 4:13 PM



**FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION**



| Symbol | Qty | Label | Arrangement | Luminaire Lumens | Luminaire Watts | LLF   | BUG Rating | Mounting Height | Description   |
|--------|-----|-------|-------------|------------------|-----------------|-------|------------|-----------------|---|
| □      | 7   | B     | Single      | 1091             | 13.8            | 0.900 | BI-U440    | 6.6             | Lithonia OLLWU LED P1 40K 120 DDB   |
| □      | 5   | G     | Single      | 4066             | 34.9            | 0.900 | BI-U042    | 10              | Lithonia DSXW1 LED 20C 530 30K TFTM MVOLT BBW PIR FINISH  |
| □      | 3   | G1    | Single      | 7526             | 71              | 0.900 | BI-U042    | 16              | Lithonia DSXW2 LED 30C 700 30K TFTM MVOLT BBW PIRH FINISH                                       |
| □      | 1   | G2    | Single      | 7634             | 71              | 0.900 | B2-U043    | 16              | Lithonia DSXW2 LED 30C 700 30K TSM MVOLT BBW PIRH FINISH  |
| □      | 3   | H     | Single      | 5082             | 45.14           | 0.900 | BI-U042    | 15              | Lithonia DSX0 LED P2 30K 70CRI TFTM MVOLT SPA PIR HS FINISH - SSS 15 4C DM19AS FINISH 15FT POLE |
| □      | 2   | H1    | Single      | 5140             | 45.14           | 0.900 | BI-U042    | 15              | Lithonia DSX0 LED P2 30K 70CRI TSM MVOLT SPA PIR HS FINISH - SSS 15 4C DM19AS FINISH 15FT POLE  |

| Label               | Calc Type   | Units | Avg  | Max  | Min | Avg/Min | Max/Min |
|---------------------|-------------|-------|------|------|-----|---------|---------|
| SITE                | Illuminance | Fc    | 0.77 | 11.7 | 0.0 | N.A.    | N.A.    |
| PARKING + DRIVEWAYS | Illuminance | Fc    | 1.73 | 5.6  | 0.5 | 3.46    | 11.20   |

|  |                  |  |   |
|--|------------------|--|---|
|  |                  | REVISIONS PER CITY COMMENTS<br>3 USDA COMMENTS, REMOVAL OF GENERATOR & EV PARKING, SITE LIGHTING<br>2 REVISIONS PER CITY COMMENTS<br>1 REVISIONS PER CITY COMMENTS | 11/25/2024<br>11/17/2024<br>10/28/2024<br>DATE                                    |
|  |                  | SCALE<br>1" = 20'<br>COMD. NO.<br>015CG4.01  | DATE<br>10/16/2024<br>DRAWN BY<br>CEG<br>DATE<br>10/16/2024<br>APPROVED BY<br>ECK |
| <b>PHOTOMETRICS PLAN</b><br><b>GSA FACILITY GUT RENOVATION</b><br>128 AIRPORT RD, CONCORD, NH 03301<br><b>128 AIRPORT ROAD LLC</b><br>334 COLLEGE HILL RD, HOPKINTON, NH 03229 |                  | APPLICANTS:<br>CASTAGNA CONSULTING GROUP<br>& LOUREIRO ENGINEERING<br>ASSOCIATES, INC.   | DESCRIPTION OF REVISION<br>REV.   |
| SHEET NO. 13   | NO. OF SHEETS 13 | DRAWING<br><b>E-2</b>  | DATE  |



V:\NH\CONCORD\AIRPORT RD-128\GSA BUILDING\PHOTOMETRICS PLAN.DWG Job: PHOTOMETRICS Saved: 11/25/2024 1:01 PM by: CEGRAY Printed: 11/25/2024 4:10 PM