

GENERAL INFORMATION

OWNER

MAP 06P LOT 5
INTERCHANGE DEVELOPMENT LLC
152 MORRILL ROAD
CANTERBURY, NH 03224

APPLICANT

INTERCHANGE DEVELOPMENT LLC
152 MORRILL ROAD
CANTERBURY, NH 03224

PREPARED FOR

INTERCHANGE DEVELOPMENT LLC
152 MORRILL ROAD
CANTERBURY, NH 03224

RESOURCE LIST

PLANNING & COMMUNITY
DEVELOPMENT DEPARTMENT
41 GREEN STREET, 3RD FLOOR
CONCORD, NH 03301
PHONE: (603) 225-8515
CONTACT: MATT WALSH

CODE ADMINISTRATION

37 GREEN STREET, CONCORD, NH
03301
PHONE: (603) 225-8580
CONTACT: TRACEY HUTTON

CITY MANAGER

41 GREEN STREET, CONCORD, NH
03301
PHONE: (603) 225-8570
CONTACT: THOMAS J. ASPELL JR.

GENERAL SERVICES (PUBLIC WORKS)

311 NORTH STREET, CONCORD, NH
03301
PHONE: (603) 228-2737
CONTACT: CHIP CHESLEY (DIRECTOR)

POLICE DEPARTMENT

35 GREEN STREET, CONCORD, NH
03301
PHONE: (603) 225-8600
CONTACT: BRADLEY C. OSGOOD
(CHIEF OF POLICE)

FIRE DEPARTMENT

24 HORSESHOE POND LANE,
CONCORD, NH 03301
PHONE: (603) 225-8650
CONTACT: JOHN CHISHOLM (FIRE
CHIEF)

ABUTTERS

MAP 06P, LOT 1
STATE/NH DEPARTMENT OF
TRANSPORTATION
107 N MAIN ST
CONCORD NH 03301-4951

MAP 06P, LOT 3
PELLLO PETER & WADDELL ANDREA
18 SHOESTRING RD
CANTERBURY NH 03224-2026

MAP 06P, LOT 4
BECK FRANK E III & LISA MARIE
10 SHOESTRING RD
CANTERBURY NH 03224-2026

MAP 06P, LOT 2
COCHRANE SANDRA L
24 SHOESTRING RD
CANTERBURY NH 03224-2026

MAP 06P, LOT 6
INTERCHANGE DEVELOPMENT LLC
152 MORRILL ROAD
CANTERBURY, NH 03224

MAP 06P, LOT 7
WHEELABRATOR CONCORD CO LP
100 ARBORETUM DR STE 310
NEWINGTON NH 03801-7833

MAP 06P, LOT 8
CONCORD REGIONAL SOLID WASTE
RESOURCE RECOVERY
347B VILLAGE ST
PENACOOK NH 03303-4516

MAP 06P, LOT 11
ROYAL TIMBER REALTY LLC
14 WHITNEY RD
CONCORD NH 03301-1831

MAP 06P, LOT 12
MORRILL MILL POND LLC
152 MORRILL RD
CANTERBURY NH 03224-2305

MAP 06P, LOT 13
MORRILL MILL POND LLC
152 MORRILL RD
CANTERBURY NH 03224-2305

MAP 06P, LOT 12-1
6 WHITNEY ROAD LLC
6 WHITNEY RD
CONCORD NH 03301-1831

MAP 267 LOT 29 (CANTERBURY)
JODY MCWILLIAMS
6 OLD BOYCE ROAD
CANTERBURY NH 03224

MAP 267 LOT 28 (CANTERBURY)
ROBERT & MARY ANN CO TRUSTEES
WOLFE FAMILY REV TRUST
98 SOUTH STREET
CONCORD NH 03301

CONDOMINIUM LAND UNIT 3
DSM REALTY C/O MS. CHERYL STREET
881 EAST STREET
TEWKSBURY, MA 01876

UTILITY CONTACT INFORMATION

WATER

CITY OF CONCORD - GENERAL SERVICES DEPT.
MARC MOORE
311 NORTH STATE STREET
CONCORD NH 03301
603-230-3904

SEWER

CITY OF CONCORD - GENERAL SERVICES DEPT.
BRIAN PUSHEE
311 NORTH STATE STREET
CONCORD NH 03301
603-230-3930

ELECTRIC

UNITIL SERVICE CORP.
TYLER GLUECK
W: 603-379-3827
C: 484-866-0027
glueckt@unitil.com

COMCAST

STEVEN MARSHALL
PROJECT COORDINATOR
WVNE - NH
steven_marshall@comcast.com
W: 603-678-8274

TELEPHONE

CONSOLIDATED COMMUNICATIONS
MIKE MULLEN
64 Regional Dr
Concord, NH 03301
mike.mullen@consolidated.com
W: 603.226.1505
C: 603.801.5064
F: 603.226.1413

INTERCHANGE DEVELOPMENT LLC PHASE 2C (RESTAURANT PAD)

MERCHANTS WAY CONCORD, NEW HAMPSHIRE

INDEX OF SHEETS

| SHEET | SHEET TITLE |
|---|---|
| C-1 | COVER |
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| | 2020 EXISTING CONDITIONS PLAN (BY OTHERS) |
| | AS-BUILT PLAN - CONCORD CROSSING |
| | AS-BUILT PLAN - 8-10 MERCHANTS WAY |
| C-3 | COMPREHENSIVE DEVELOPMENT PLAN |
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PERMITS / APPROVALS

| MAJOR SITE PLAN | NUMBER | APPROVED | EXPIRES |
|---------------------------------------|------------|-----------|-----------|
| NHDES SEWER DISCHARGE | 2024-047 | - | - |
| NHDES WETLANDS STANDARD DREDGE & FILL | D2021-0410 | 5/11/2021 | 5/11/2024 |
| NHDES ALTERATION OF TERRAIN | 2019-00778 | 8/23/2019 | 8/23/2024 |
| | AoT-1831 | 7/13/2020 | 7/13/2024 |

THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING PERMITS TO BE OBTAINED FROM THE CITY OF CONCORD ENGINEERING SERVICES DIVISION:

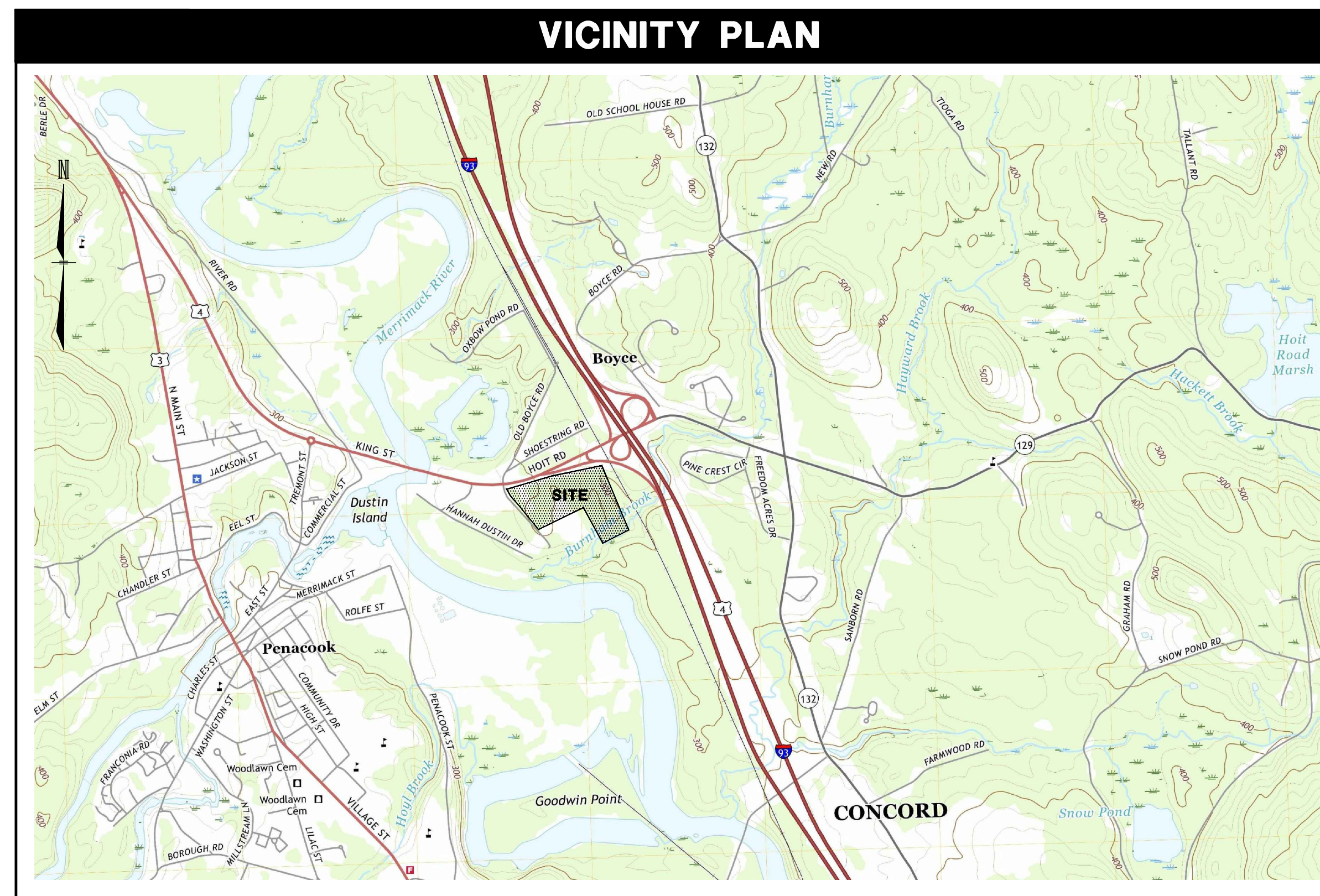
- DRIVEWAY PERMIT
- ENCUMBRANCE PERMIT (FOR WORK THAT WILL ENCUMBER THE ROW, PUBLIC SIDEWALKS, AND/OR METERED PARKING SPACES)
- EXCAVATION PERMIT (FOR WORK WITHIN THE ROW)
- UTILITY CONNECTION PERMITS (SEWER AND WATER SERVICES; STORM DRAIN CONNECTIONS)

WAIVERS:

- WE RESPECTFULLY REQUEST WAIVER OF TRANSPORTATION IMPACT FEES TO THE CITY AS PER ZONING ORDINANCE ARTICLE 28-2-4(J), TABLE OF PRINCIPAL USES AND IN ACCORDANCE WITH ARTICLE 29.2-1-2(E)(1) AND 29.2-1-2(E)(4)(A) OF THE ZONING ORDINANCE.
- CITY OF CONCORD, NH CONSTRUCTION STANDARDS, REQUIRE 4 FT MINIMUM COVER OVER DRAINAGE SYSTEM SEVERAL PIPES IN THE PROPOSED NETWORK HAVE LESS THAN FOUR FEET OF COVER AND ARE PROPOSED TO BE INSULATED.
- CONCORD SITE PLAN REGULATION SECTION 22.07 (2) REQUIRES 4 FEET OF SEPARATION TO THE SEASONAL HIGH-WATER TABLE FOR INFILTRATION PRACTICES. DUE TO THE SHALLOW WATER TABLE AT THIS LOCATION, SM T Z/SMA Z HAS PROVIDED AT LEAST 3 FT ABOVE THE ESWT WITH 18"FILTER MEDIA.
- SECTION 16.03(11) TO ALLOW THE APPLICANT TO PROVIDE SITE AND BUILDING SIGNAGE AS A SEPARATE SUBMITTAL AT A LATER DATE TO BE DETERMINED, AND PRIOR TO ISSUANCE OF SIGN PERMITS.
- SHARED OVERFLOW PARKING IS PROVIDED ON TAX MAP LOT 06 5/3 AND TAX MAP LOT 06P 5/4 OF PHASE 1 (TO THE NORTHEAST OF PHASES 2A, 2B, AND 2C) OF THE COMPREHENSIVE DEVELOPMENT PLAN OVERALL. WITH PHASES 1, 2A, 2B, AND 2C, THERE IS A TOTAL OFF-STREET PARKING SPACE REQUIREMENT OF 683 SPACES WITH 852 BEING PROVIDED.
- WAIVER FROM SECTION 18.17 WHICH REQUIRES 1 TREE PER 1000 SF OF PAVED PARKING AREA, TO BE PLANTED IN AN INTERNAL LANDSCAPE ISLAND. THIS PROPOSAL PROVIDES AT LEAST 1 INTERNAL TREE PER 2,000 SF OF PARKING AREA, AS WELL AS STREET TREES.
- WAIVER FROM SECTION 16.03(9) REQUIRING A LANDSCAPE RENDERING WITH 5 YEARS OF PLANT GROWTH.

CONDITIONAL USE PERMIT:

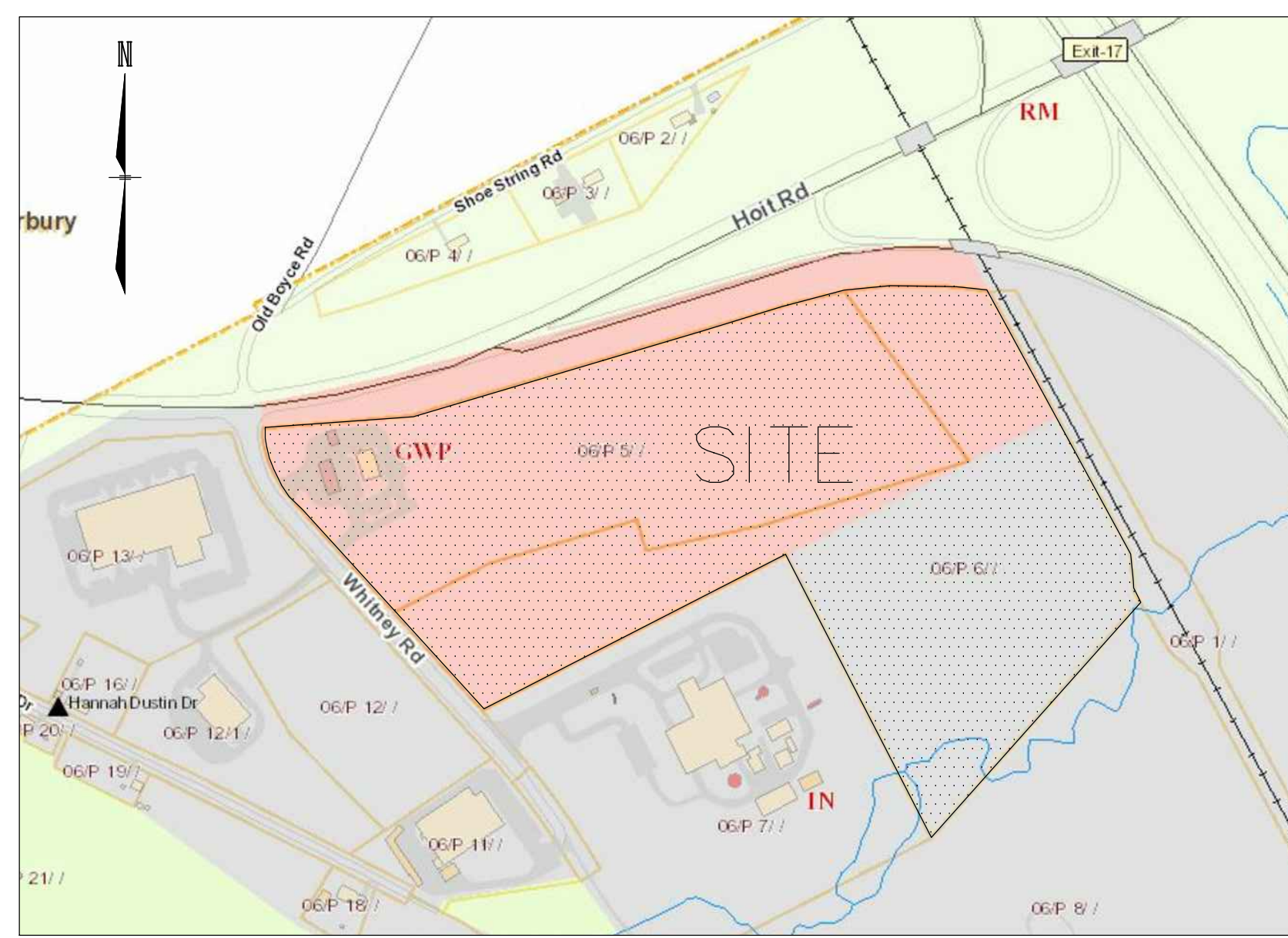
- SECTION 28-7-11(F) TO ALLOW FOR A 130' SEPARATION FROM AN EXISTING DRIVEWAY WHERE 200' IS REQUIRED, APPROVED 12/16/2020.



LEGEND

| PROPOSED | |
|----------|------------------------|
| SBTBS | STONE BOUND |
| IRBTS | IRON PIN |
| DHS | DRILL HOLE |
| SCC | GUARD RAIL |
| VCC | SLOPED GRANITE CURB |
| ICC | VERTICAL GRANITE CURB |
| ICC | INTEGRAL CONCRETE CURB |
| | EDGE OF PAVEMENT |
| | EDGE OF GRAVEL |
| | WOOD FENCE |
| | SILT FENCE |
| | WOOD FENCE |
| | TRAFFIC FLOW |
| | TREELINE |
| x[201.5] | GAS GATE |
| [200] | LIGHT POLE |
| [202] | BUILDING MOUNTED LIGHT |
| | HYDRANT |
| | SEWER MANHOLE |
| | DRAIN MANHOLE |
| | CATCH BASIN |
| | TRANSFORMER PAD |
| | WATER GATE |
| | UTILITY POLE |
| | SPOT GRADE |
| | INDEX CONTOUR |
| | INTERMEDIATE CONTOUR |
| | SEWER LINE |
| | WATER LINE |
| | DRAIN LINE |
| | GAS LINE |
| | UG-1/T/C |
| | UNDERGROUND UTILITIES |

NOTE: SEE EXISTING CONDITIONS PLAT FOR EXISTING LEGEND



LOCATION PLAN



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

2000 1000 0 2000
SCALE: 1"=2000'

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



| REV | DATE | DESCRIPTION | DR | CK |
|-----|------------|----------------------------|-----|-----|
| 2 | 10/24/2024 | ARCHITECTURAL COORDINATION | JMR | JSH |
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
COVER
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN

JULY 15, 2024

| FILE | NO. | DATE | DESCRIPTION | DR | CK |
|----------|-----|------|-------------|---------------------|-----|
| 95830.11 | DR | FWH | FB | - | - |
| | CK | JSH | CADFILE | 95830-11_SITE PLANS | C-1 |



Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
Phone (603) 472-4488
Fax (603) 472-9747
www.tfmoran.com

LEGEND

| PROPOSED | |
|----------|----------------------------------|
| | PROPERTY LINE |
| | ZONING LINE |
| | EASEMENT |
| | BASELINE |
| | SETBACK (STRUCTURE) |
| | SETBACK (PARKING) |
| | SETBACK (LANDSCAPE) |
| | GRAVEL ROAD |
| | EDGE OF PAVEMENT |
| | VERTICAL GRANITE CURB |
| | SLOPED GRANITE CURB |
| | CONCRETE CURB |
| | INTEGRATED CONCRETE CURB |
| | BUTIMINOUS ASPHALT CURB |
| | CAPE COD BERM |
| | TREE LINE |
| | FENCE (CHAIN LINK) |
| | SILT FENCE |
| | 5' CONTOUR |
| | 1' CONTOUR |
| | SPOT GRADE |
| | PARKING COUNT |
| | ACCESSIBLE PARKING SYMBOL |
| | TRAFFIC FLOW ARROW (NOT PAINTED) |
| | SIGN (SINGLE POST) |

| PROPOSED | |
|----------|----------------------------|
| | CONCRETE |
| | GRAVEL |
| | CONSTRUCTION ENTRANCE |
| | SNOW STORAGE |
| | RIPRAP |
| | DRAIN LINE |
| | SEWER LINE |
| | WATER LINE |
| | GAS LINE |
| | OVERHEAD UTILITY LINE |
| | UNDERGROUND UTILITY LINE |
| | WATER GATE VALVE |
| | WATER SHUTOFF |
| | FLOOD LIGHT |
| | UTILITY POLE |
| | TEST PIT LOCATION |
| | INFILTRATION TEST LOCATION |

GENERAL NOTES

- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER, TFMORAN, INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMPLIANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- ALL IMPROVEMENTS SHOWN ON THE SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE CITY PLANNING BOARD.
- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. ALL WORK TO CONFORM TO CITY OF CONCORD DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS. ALL WORK WITHIN THE RIGHT-OF-WAY OF THE CITY AND/OR STATE SHALL COMPLY WITH APPLICABLE STANDARDS. COORDINATE ALL WORK WITHIN THE RIGHT-OF-WAY WITH APPROPRIATE CITY, COUNTY, AND/OR STATE AGENCY.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH APPLICABLE SECTIONS OF ENV-WQ 1500. THE SITE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ADVANCE OF CONSTRUCTION OF EACH STORMWATER FACILITY TO COORDINATE REQUIRED INSPECTIONS. THE CONTRACTOR SHALL TAKE PROGRESS PHOTOS DURING CONSTRUCTION OF ALL STORMWATER DRAINAGE COMPONENTS AND SEND TO THE ENGINEER.
- SEE EXISTING CONDITIONS PLAN FOR THE HORIZONTAL AND VERTICAL DATUM.
- SEE EXISTING CONDITIONS PLAN FOR BENCHMARK INFORMATION. VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTACT EASEMENT OWNERS PRIOR TO COMMENCING ANY WORK WITHIN THE EASEMENTS.
- PRIOR TO COMMENCING ANY SITE WORK, ALL LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD.
- SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- TFMORAN, INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- TEMPORARY FENCING SHALL BE PROVIDED AND COVERED WITH A FABRIC MATERIAL TO CONTROL DUST MITIGATION.
- ALL DEMOLITION SHALL INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKWAYS, AND ANY OTHER ADJACENT OPERATING FACILITIES. PRIOR WRITTEN PERMISSION FROM THE OWNER/DEVELOPER AND LOCAL PERMITTING AUTHORITY IS REQUIRED IF CLOSURE/OBSTRUCTIONS TO ROADS, STREET, WALKWAYS, AND OTHERS IS DEEMED NECESSARY. CONTRACTOR TO PROVIDE ALTERNATE ROUTES AROUND CLOSURES/OBSTRUCTIONS PER LOCAL/STATE/FEDERAL REGULATIONS.
- REFER TO ARCHITECTURAL PLANS FOR LAYOUT OF BUILDING FOUNDATIONS AND CONCRETE ELEMENTS WHICH ABUT THE BUILDING SUCH AS STAIRS, SIDEWALKS, LOADING DOCK RAMPS, PADS, AND COMPACTOR PADS. DO NOT USE SITE PLANS FOR LAYOUT OF FOUNDATIONS.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN ON THE PLANS, THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR'S GENERAL RESPONSIBILITIES:
 - BID AND PERFORM THE WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES, SPECIFICATIONS, REGULATIONS, AND STANDARDS AND CONDITIONS OF ALL PROJECT-SPECIFIC PERMITS AND APPROVALS AS LISTED ON THE COVER SHEET TO THESE PLANS
 - NOTIFY ENGINEER IN WRITING OF ANY DISCREPANCIES OF PROPOSED LAYOUT AND/OR EXISTING FEATURES.
 - EMPLOY A LICENSED SURVEYOR TO DETERMINE ALL LINES AND GRADES AND LAYOUT OF SITE ELEMENTS AND BUILDINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO BECOME FAMILIAR WITH THE SITE AND ALL SURROUNDING CONDITIONS. THE CONTRACTOR SHALL ADVISE THE APPROPRIATE AUTHORITY OF INTENTIONS AT LEAST 48 HOURS IN ADVANCE.
 - TAKE APPROPRIATE MEASURES TO REDUCE, TO THE FULLEST EXTENT POSSIBLE, NOISE, DUST AND UNSIGHTLY DEBRIS FROM CONSTRUCTION ACTIVITIES.
 - MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY WORK AT ALL TIMES.
 - IN ACCORDANCE WITH RSA 430:53 AND AGR 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
 - COORDINATE WITH ALL UTILITY COMPANIES AND CONTACT DIGSAFE (811 OR 888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
 - PROTECT NEW AND EXISTING BURIED UTILITIES DURING INSTALLATION OF ALL SITE ELEMENTS. DAMAGED UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY TFMORAN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS, OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE US OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
 - WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
 - VERIFY LAYOUT OF PROPOSED BUILDING FOUNDATIONS WITH ARCHITECT AND THAT PROPOSED FOUNDATION MEETS PROPERTY LINE SETBACKS PRIOR TO COMMENCING ANY FOUNDATION CONSTRUCTION.
 - PROVIDE AN AS-BUILT PLAN AT THE COMPLETION OF THE PROJECT TO THE PLANNING DIRECTOR AND PER CITY REGULATIONS.
 - THE UMLRAC RECOMMENDS THAT THE PROPERTY OWNER(S) AND/OR PROPERTY MANAGERS CONSIDER HIRING ONLY NEW HAMPSHIRE GREEN SNOWPRO CERTIFIED SALT APPLICATORS FOR THEIR SNOW AND ICE MANAGEMENT CONTRACTORS FOR THIS SITE. PROGRAM INFORMATION INCLUDING A LIST OF CERTIFIED GREEN SNOWPRO SALT APPLICATORS CAN BE FOUND BY VISITING: [HTTPS://WWW.DES.NH.GOV/AND/ROADS/ROAD-SALT-REDUCTION/GREEN-SNOWPRO-CERTIFICATION](https://www.des.nh.gov/and/roads/road-salt-reduction/green-snowpro-certification)

GRADING NOTES

- THE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- THE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN NOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT SOIL AND GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDED METHODS TO ADDRESS ANY SOIL AND GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS, AND ALIGNMENTS.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. CRITICAL AREAS INCLUDE BUILDING ENTRANCE, RAMPS, AND LOADING AREAS.
- THE SITE SHALL BE GRADED SO ALL FINISHED PAVEMENT HAS POSITIVE DRAINAGE AND SHALL NOT POND WATER DEEPER THAN 1/4" FOR A PERIOD OF MORE THAN 15 MINUTES AFTER FLOODING.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL SIDEWALK AND OTHER CURB REVEALS SHALL BE 6" WITH A TOLERANCE OF PLUS OR MINUS 3/8". WHERE SIDEWALK IS TO BE FLUSH, THE PAVEMENT REVEAL SHALL BE 1/4" WITH A TOLERANCE OF 1/8".
- THE FINISHED GRADE AT BOTTOM OF ALL ACCESSIBLE RAMPS SHALL BE FLUSH WITH PAVEMENT WITH A TOLERANCE OF PLUS OR MINUS 1/4".
- ADJUST ALL MANHOLES, CATCH BASINS, CURB BOXES, ETC. WITHIN LIMITS OF WORK TO FINISH GRADE PRIOR TO INSTALLATION OF FINISHED PAVEMENT.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS AND SHALL MEET LOCAL STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORMWATER DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- NO FILL SHALL BE PLACED IN ANY WETLAND AREA.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- ALL DISTURBED AREAS NOT TO BE PAVED OR OTHERWISE TREATED SHALL RECEIVE 6" LOAM, SEED, FERTILIZER, AND MULCH.
- DENSITY REQUIREMENTS:

| MINIMUM DENSITY* | LOCATION |
|------------------|---|
| 95% | BELOW PAVED OR CONCRETE AREAS |
| 95% | TRENCH BEDDING MATERIAL AND SAND BLANKET BACKFILL |
| 90% | BELOW LOAM AND SEED AREAS |

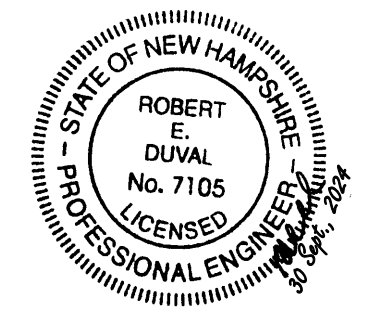
*ALL PERCENTAGES OF COMPACTION SHALL BE OF THE MAXIMUM DRY DENSITY AT THE OPTIMUM MOISTURE CONTENT AS DETERMINED AND CONTROLLED IN ACCORDANCE WITH ASTM D-1557, METHOD C. FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D-1556 OR ASTM D-6938.

UTILITY NOTES

- ALL PROPOSED UTILITY WORK, INCLUDING MATERIAL, INSTALLATION, TERMINATION, EXCAVATION, BEDDING, BACKFILL, COMPACTION, TESTING, CONNECTIONS, AND CONSTRUCTION SHALL BE COORDINATED WITH AND COMPLETED IN ACCORDANCE WITH THE APPROPRIATE REQUIREMENTS, CODES, AND STANDARDS OF ALL CORRESPONDING UTILITY ENTITIES AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- COORDINATE ALL WORK ADJACENT TO PROPOSED BUILDINGS WITH ARCHITECTURAL BUILDING DRAWINGS. CONFIRM UTILITY PENETRATIONS AND INVERT ELEVATIONS ARE COORDINATED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE EXACT LOCATION OF NEW UTILITY CONNECTIONS SHALL BE DETERMINED BY THE CONTRACTOR IN COORDINATION WITH UTILITY COMPANY, COUNTY AGENCY, AND/OR PRIVATE UTILITY COMPANY.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL MANHOLES, BOXES, FITTINGS, CONNECTORS, COVER PLATES, AND OTHER MISCELLANEOUS ITEMS NOT NECESSARILY DETAILED ON THESE DRAWINGS TO RENDER THE UTILITY INSTALLATION COMPLETE AND OPERATIONAL.
- ALL UTILITY COMPANIES REQUIRE INDIVIDUAL CONDUITS. CONTRACTOR TO COORDINATE WITH TELEPHONE, CABLE, AND ELECTRIC COMPANIES REGARDING NUMBER, SIZE, AND TYPE OF CONDUITS REQUIRED PRIOR TO INSTALLATION OF ANY CONDUIT.
- SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). FORCE MAINS AND FITTINGS SHALL CONFORM TO NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH NH CODE OF ADMINISTRATIVE RULES ENV-WQ 700. SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
- ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF CONCORD STANDARDS AND SPECIFICATIONS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5' COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10' MINIMUM. WHERE A SANITARY LINE GROSSES A WATER LINE, SEWER LINE MUST BE CONSTRUCTED OF FORCE MAIN MATERIALS (PER ENV-WQ 704.08) FROM BUILDING OR MANHOLE TO MANHOLE, OR SUBSTITUTE RUBBER-GASKETED PRESSURE PIPE FOR THE SAME DISTANCE. WHEN SANITARY LINES PASS BELOW WATER LINES, LAY PIPE SO THAT NO JOINT IN THE SANITARY LINE WILL BE CLOSER THAN 6" HORIZONTALLY TO THE WATER LINE.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL LOCATIONS WHERE WATER LINE CHANGES DIRECTIONS OR CONNECTS TO ANOTHER WATER LINE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
- ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. ALL UNDERGROUND CONDUITS SHALL HAVE NYLON PULL ROPES.
- THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, TESTING, AND RELATED SERVICES AND SUBMIT COPIES OF ACCEPTANCE TO THE OWNER, UNLESS OTHERWISE INDICATED.
- PROVIDE PERMANENT PAVEMENT REPAIR FOR ALL UTILITY TRENCHES IN EXISTING ROAD OR PAVEMENT TO REMAIN. SAW CUT TRENCH, PAVEMENT, AND GRANULAR BASE THICKNESS TO MATCH EXISTING PAVEMENT. OBTAIN ALL PERMITS REQUIRED FOR TRENCHING.
- UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING:

| DRAINAGE | PRIVATE |
|----------|-----------|
| SEWER | MUNICIPAL |
| WATER | MUNICIPAL |
| ELECTRIC | UNTIL |

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This plan is not effective unless signed by a duly authorized officer of TFMoran, Inc.



| REV | DATE | DESCRIPTION | DR | CK |
|-----|-----------|---------------------------|-----|-----|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5

NOTES & LEGEND

PHASE 2C SITE PLANS

MERCHANTS WAY, CONCORD, NH

OWNED BY/ PREPARED FOR

INTERCHANGE DEVELOPMENT L.L.C.

152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: NTS

JULY 15, 2024

| | | | |
|--|--|-----------------------------|---|
| | Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com |
| | 95830.11 | DR PWH FB CK JSH CADFILE | - 95830-11_SITE PLANS |

C-2

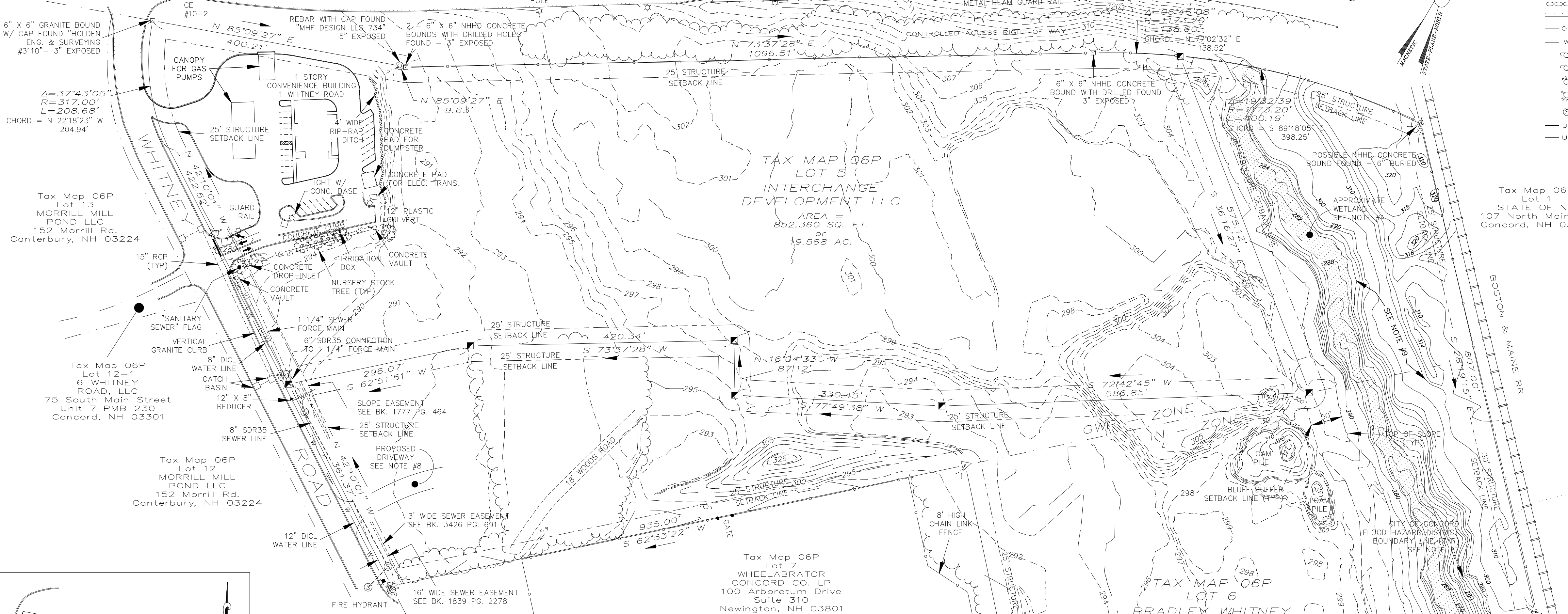
FOR MERRIMACK COUNTY REGISTRY OF DEEDS (M.C.R.D.) USE ONLY

Tax Map 06P Lot 4
FRANK E. & LISA M. BECK
10 Shoestring Rd.
Canterbury, NH 03224

Tax Map 06P Lot 3
PETER PELILLO & ANDREA WADDELL
18 Shoestring Rd.
Canterbury, NH 03224

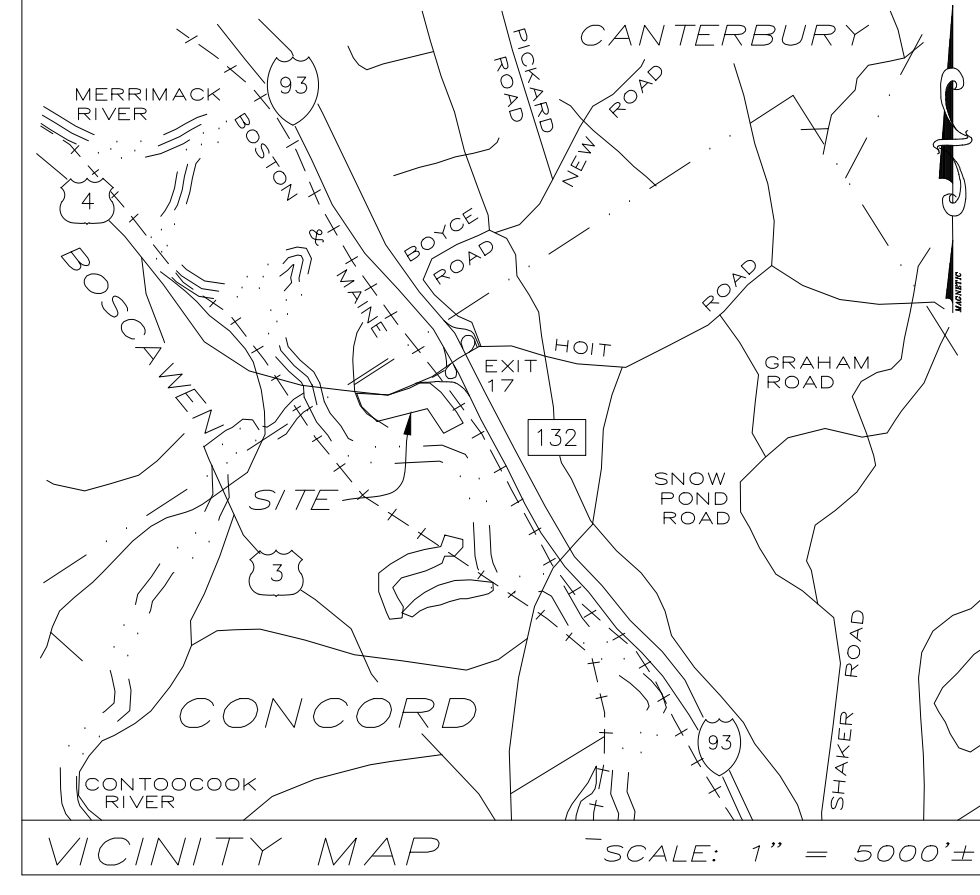
Tax Map 06P Lot 2
SANDRA L. COCHRANE
24 Shoestring Rd.
Canterbury, NH 03224

Tax Map 267 Lot 28
ROBERT & MARY ANN WOLFE
98 South Street
Concord, NH 03301



LEGEND

- ⊙ IRON PIPE/STEEL PIN FOUND
- DRILLED HOLE FOUND
- GRANITE/STONE BOUND FOUND
- DRILLED HOLE SET
- 1" REBAR WITH CAP SET
- 1" REBAR SET
- GRANITE BOUND SET
- ▲ BOUNDARY POINT
- TREE LINE
- STONE WALL
- EDGE OF PAVEMENT
- OVERHEAD UTILITY LINES
- W WATER LINE
- UTILITY POLE
- UTILITY POLE WITH GUY WIRE(S)
- FIRE SHUTOFF
- WATER HYDRANT
- SEWER MANHOLE
- UT UNDERGROUND TELEPHONE
- UC UNDERGROUND CABLE



NOTES

1. Owner of Record: Tax Map 06P Lot 6 - Bradley Whitney & Jennifer Habel having a mailing address of 78 North Pembroke Road - Epsom, NH 03234. For deed reference see Probate #15-02345
2. Owner of Record: Tax Map 06P Lot 5 - Interchange Development LLC having a mailing address of 152 Morrill Road - Canterbury, NH 03224. For deed reference see M.C.R.D. at Bk. 3219 Pg. 598.
3. Boundary information shown for Lot 5 is from a field survey performed by this office between the dates of February 2007 and December 2013 with an electronic total station instrument having a control traverse error of closure of 1 in 22165. Performed according to the NH Code of Administration Rules (Lan 503.04 - Classification "U") for the surveys of real property. Boundary information shown for Lot 6 is from plan ref. #1. No boundary survey has been performed by this office.
4. The horizontal datum of this plan is NAD88 (CORS 96). This datum was established at the site using GPS data from the State of New Hampshire Department of Transportation standard disk designation "073-0260" and Ashtech Promark 2 receivers at the site. Static field procedures were used.
5. Approximate location of wetlands outside of the project area.
6. The limits of Jurisdictional wetlands as shown on this plat were delineated by Gove Environmental Services, Inc., on 10/18/2018 utilizing the following standards:
US Army Corps of Engineers Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Technical Report ERDC/EL TR-12-1, January 2012, Version 2.0.
Field Indicators of Hydric Soils in the United States, A Guide for Identifying and Delineating Hydric Soils, Version 7.0, United States Department of Agriculture (2010).
North American Digital Flora: National Wetland Plant List, current version.
7. Floodplain boundary lines shown hereon have been electronically reproduced from the FIRM-Flood Insurance Rate Map-Panel 0337E - Map Number 33013C0337E with an effective date of April 19, 2010.

- ZONE X = Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.
 - ZONE X = Areas determined to be outside the 0.2% annual chance floodplain (no shading).
 - ZONE A = Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood - No base Flood Elevations determined.
7. A portion of Tax Map 06P Lot 6 is located within the Flood Hazard District. Said District consists of ZONE A and ZONE X (shaded area) as shown hereon.
 8. The proposed driveway location WILL BE in compliance with the existing easements along Whitney Road. See Bk. 3426 Pg. 691 for rights of the City of Concord.

NOTES (CONTINUED)

9. Topography lines shown westerly of railroad tracks to "TOP OF SLOPE" line and at the southwesterly corner of lot 6 which are shown as solid lines have been electronically reproduced from the City of Concord GIS system. No topo survey by this office.
10. One foot topography shown is from a drone flown on August 19, 2020 with RTK Network corrections. The two foot contours shown are from a topographic survey performed by this office.
11. The vertical datum of this plan is NAVD88. The orthometric elevations were derived using Geoid 99. This datum was established at the site using GPS data from the State of New Hampshire Department of Transportation disk stamped "073-0260" and Ashtech Promark 2 receivers at the site. Static field procedures were used.

ZONING REQUIREMENTS

GWP = GATEWAY PERFORMANCE DISTRICT ZONE
Minimum Lot Size = 40,000 Sq. Ft.
Minimum Buildable Land = 20,000 Sq. Ft.
Minimum Frontage = 300 feet
Maximum Lot Coverage = 85%

Structure Setbacks:
Front = 25 feet
Side = 25 feet
Rear = 25 feet

IN = INDUSTRIAL DISTRICT
Minimum Lot Size = 40,000 Sq. Ft.
Minimum Buildable Land = 20,000 Sq. Ft.
Minimum Frontage = 200 feet
Maximum Lot Coverage = 85%

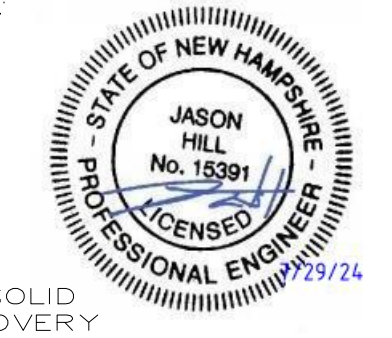
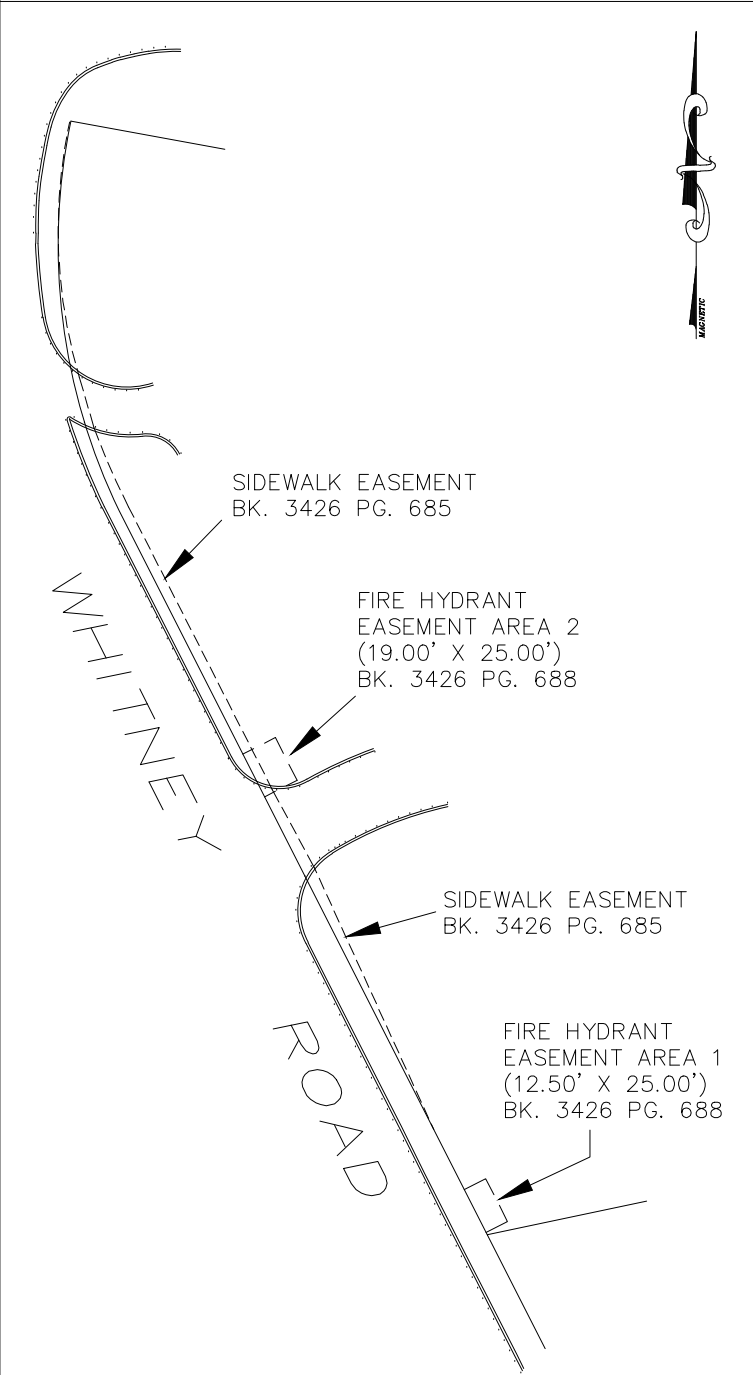
Structure Setbacks:
Front = 50 feet
Side = 25 feet
Rear = 30 feet

EASEMENTS OF RECORD

1. Sanitary Sewer Easement to the City of Concord at book 1839 page 2278. See survey.
2. Slope Easements to the City of Concord at book 1777 page 464. See survey.
3. Sanitary Sewer Easement to the City of Concord at book 3426 page 691. See survey.
4. Fire Hydrant Easement to the City of Concord at book 3426 page 688. See survey.
5. Sidewalk Easement to the City of Concord at book 3426 page 685. See survey.

I hereby certify that the survey and this plat was prepared by me or those under my direct immediate supervision.

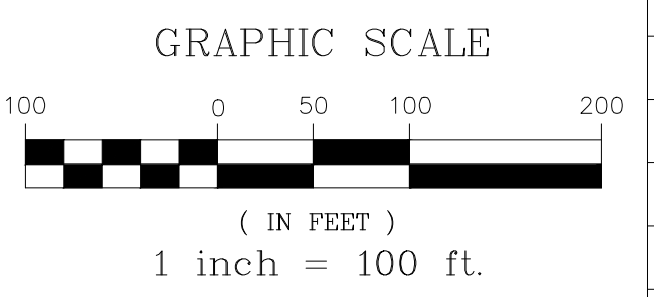
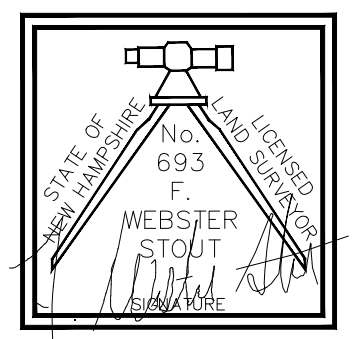
[Signature] 693 10/19/20
Licensed Land Surveyor License No. Date



APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
in accordance with vote of the board dated:
Approval of this plat is limited to lots as shown
Clerk Chair

FWS LAND SURVEYING P.L.L.C.

56 BOYCE ROAD CANTERBURY, NH 03224
(603) 783 - 9924



| | |
|-------------|------------------|
| DATE: | OCTOBER 19, 2020 |
| PROJECT NO. | 18-032 EXSTRONE |
| SHEET | 1 OF 1 |

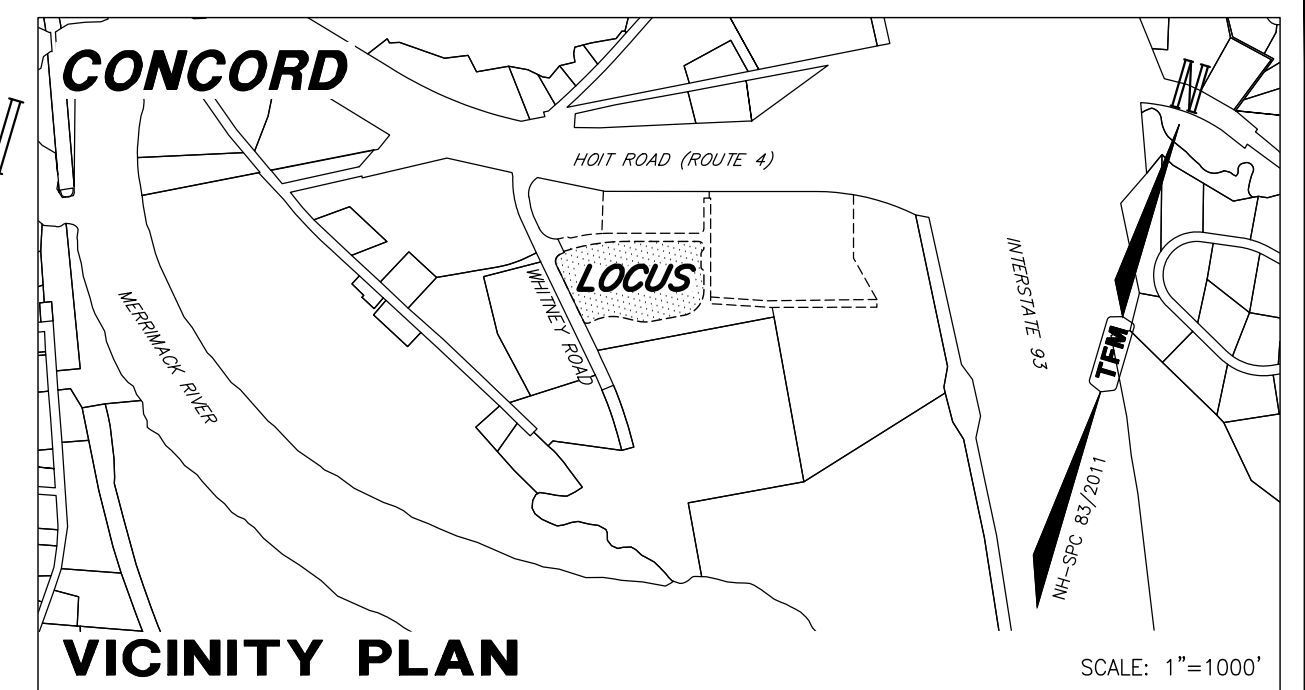
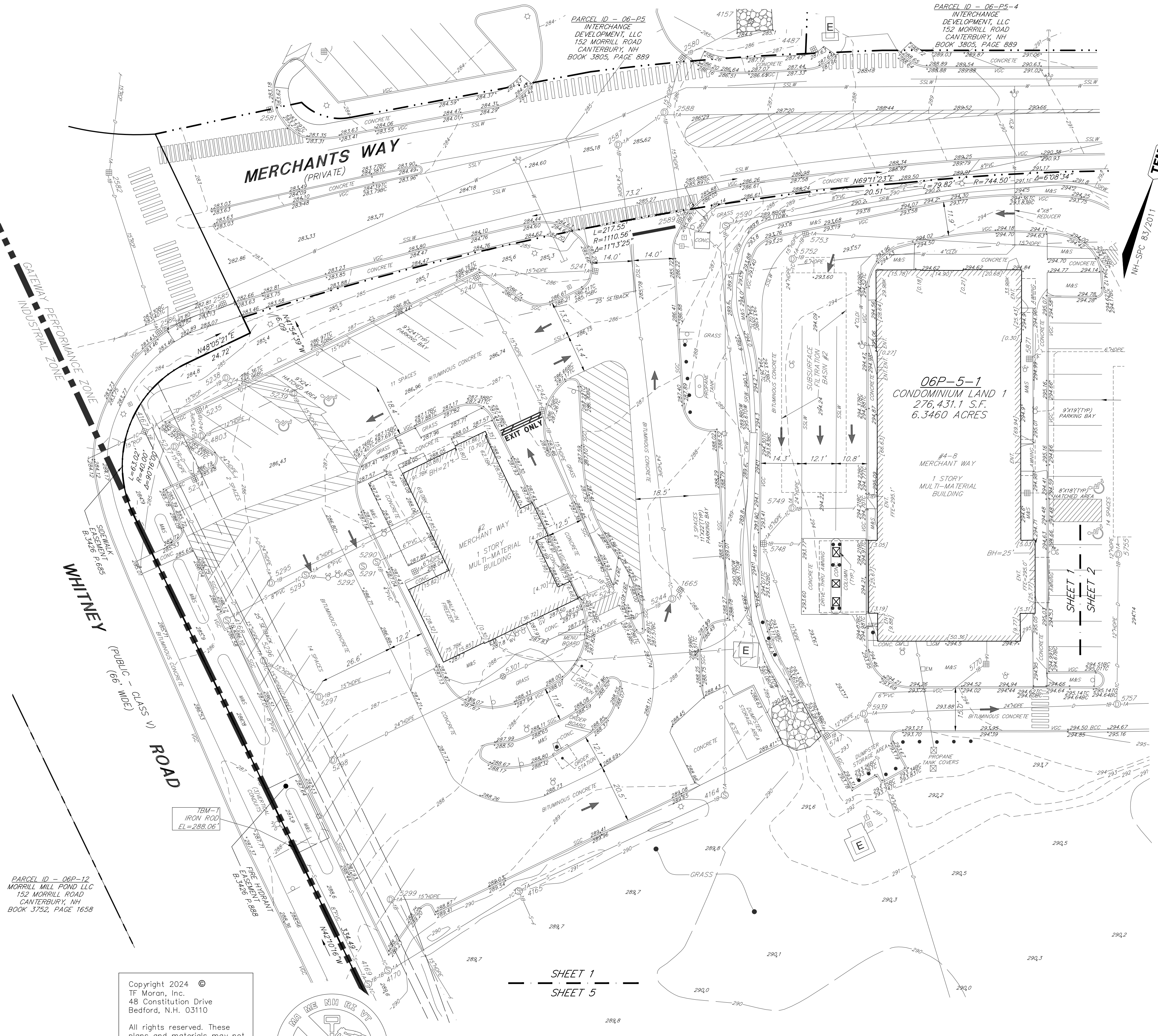
EXISTING CONDITIONS PLAT
LANDS OF
BRADLEY WHITNEY AND JENNIFER HABEL
INTERCHANGE DEVELOPMENT LLC
LOCATION
WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY
TAX MAP 06P LOTS 5 & 6

| NO. | DATE | REVISION |
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LEGEND

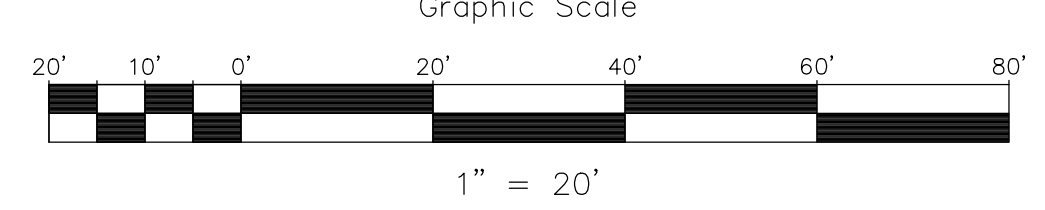
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- DRAIN MANHOLE
- CATCH BASIN
- ROUND CATCH BASIN
- WATER SHUT OFF
- GAS SHUT OFF
- WATER VALVE
- GAS VALVE
- HYDRANT
- LIGHT POLE
- IRRIGATION CONTROL VALVE
- HANDICAP PARKING
- SIGN
- PULL BOX
- MAIL BOX
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- ELECTRIC METER
- TRANSFORMER PAD
- TELEPHONE BOX
- IRON PIPE/ROD
- STONE/CONCRETE BOUND
- BOLLARD
- CLEAN OUT
- ROOF DRAIN
- CABLE BOX
- TEMPORARY BENCHMARK

- BACK
- BITUMINOUS CONCRETE
- BITUMINOUS CONCRETE CURB
- BC
- BOTTOM OF CURB
- BOTTOM ELEVATION
- BOD
- BOTTOM OF DROP INLET
- BOW
- BH
- CLF
- CO
- CONC.
- CONCRETE
- CONCRETE RETAINING WALL
- CRW
- DELTA ANGLE
- DH
- EL=XXXX.XX
- ELEVATION
- ENTRANCE
- ENT.
- FFE
- FINISHED FLOOR ELEVATION
- FOUND
- F
- INVERT
- INV=
- IP
- IP
- IR
- IR
- L=
- LENGTH
- M&S
- NOW OR FORMERLY
- NF
- NV
- NV P
- R=
- RIM ELEVATION
- RIM=
- SOC
- SF
- SF
- SB
- STF
- STOCKADE FENCE
- STF
- STONE RETAINING WALL
- TEMPORARY BENCHMARK
- TC
- TC
- TOP OF CURB
- TOP OF PIPE
- TOP=
- TOP OF SEWER TROUGH
- TOP OF DROP INLET
- TOD
- TOW
- TOP OF WALL
- TOP OF TRAP
- TT
- TOP OF WEIR WALL
- TW
- TT
- TYP
- TYPICAL
- VCC
- VERTICAL GRANITE CURB
- VCC
- BUILDING DIMENSION
- [XX.XX]
- SSLW
- SSLW
- DOUBLE SOLID YELLOW LINE
- DSLW
- DSLW
- S
- SEWER LINE
- D
- DRAIN LINE
- W
- W
- WATER LINE
- G
- G
- GAS LINE
- E
- E
- ELECTRIC LINE
- DI
- DI
- DUCTILE IRON
- CLDI
- CLDI
- CEMENT LINED DUCTILE IRON PIPE
- PVC
- PVC
- POLYVINYL CHLORIDE
- HDPE
- HDPE
- HIGH-DENSITY POLYETHYLENE
- CAPPED UTILITY LINE
- CONTINUOUS TO UNKNOWN TERMINUS
- CHAIN LINK FENCE
- WOOD FENCE
- TREELINE
- RIP-RAP



- REFERENCE PLANS**
- PLAN NO. 202100020368 ENTITLED "WHITNEY ROAD RIGHT-OF-WAY LAYOUT PLAN" PREPARED BY VHB DATED AUGUST 04, 2021.
 - PLAN NO. 202100023379 ENTITLED "CONDOMINIUM PLAT MERCHANTS WAY CONDOMINIUM" PREPARED BY FWS LAND SURVEYING P.L.L.C. DATED SEPTEMBER 01, 2021.

- NOTES**
- OWNER OF RECORD: INTERCHANGE DEVELOPMENT, LLC
152 MORRILL ROAD
CANTERBURY, NEW HAMPSHIRE
DEED REFERENCE: BK. 3627 PG. 2563
DEED REFERENCE: BK. 3738 PG. 982
AREA: 276,431.1 S.F. OR 6.346 ACRES
 - 06-P5-1 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AT THE TIME OF THE FIELD SURVEY FOR ASSESSORS MAP 06 LOT P5-1, SITUATED ON THE SOUTHERLY SIDE OF MERCHANTS WAY IN THE CITY OF CONCORD, NEW HAMPSHIRE AS SHOWN HEREON AND NO OTHER PURPOSE.
 - CURRENT ZONING IS: GATEWAY PERFORMANCE ZONE OR "GWP"
MINIMUM LOT SIZE: NONE
MINIMUM LOT FRONTAGE: 300 FEET
MINIMUM FRONT BUILDING SETBACKS: 25 FEET
MINIMUM SIDE BUILDING SETBACKS: 25 FEET
MINIMUM REAR BUILDING SETBACKS: 25 FEET
MAXIMUM LOT COVERAGE: 85%
MAXIMUM HEIGHT: 45 FEET
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR MERRIMACK COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 3301300337E, EFFECTIVE DATE OF APRIL 19, 2010, INDICATES THAT THE SUBJECT PARCEL ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - DRAINAGE AND SEWER INVERT TABLE IS ON SHEET 3 OF THIS PLAN.
 - HORIZONTAL DATUM: NH-SPC NAD83/2011
VERTICAL DATUM: NAVD88
 - BENCHMARKS SET:
 - BTM-1: IRON ROD SET ON THE NORTHEASTERLY SIDE OF WHITNEY ROAD IN A LANDSCAPED AREA, APPROXIMATELY 190 FEET IN A SOUTHERN DIRECTION FROM THE SOUTHEASTERLY SIDELINE OF MERCHANTS WAY, AS SHOWN HEREON. EL=288.06'
 - BTM-2: IRON ROD SET ON THE SOUTHERLY SIDE OF INTERCHANGE DRIVE, APPROXIMATELY 310 FEET FROM THE NORTHEASTERLY SIDELINE OF WHITNEY ROAD AND APPROXIMATELY 22 FEET FROM THE VERTICAL GRANITE CURBING, AS SHOWN HEREON. EL=293.25'
 - BTM-3: IRON ROD SET IN PARKING LOT LANDSCAPE AREA LOCATED AT THE EASTERLY SIDE OF INTERCHANGE DRIVE AT THE SOUTHWESTERLY CORNER OF SAID PARKING LOT, AS SHOWN HEREON. EL=297.65'
 - BTM-4: DRILL HOLE SET IN CONCRETE SIDEWALK LOCATED AT THE INTERSECTION OF THE WESTERLY SIDE OF INTERCHANGE DRIVE AND THE SOUTHERLY SIDE OF MERCHANTS WAY, AS SHOWN HEREON. EL=300.91'
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH PERFORMED AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH A TITLE EXAMINATION OF SUBJECT PARCEL MAY DETERMINE.
 - THE LOCATION OF ANY UNDERGROUND UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. T.F. MORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UNDERGROUND UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.



TAX MAP 6 LOT P5-1

EXISTING CONDITIONS PLAN

INTERCHANGE

MERCHANTS WAY, CONCORD, NH

OWNED BY AND PREPARED FOR:
INTERCHANGE DEVELOPMENT, LLC

SCALE: 1" = 20' SEPTEMBER 27, 2024

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION. BOUNDARY INFORMATION IS BASED ON PLANS OF RECORD ON FILE AT THE MERRIMACK COUNTY REGISTRY OF DEEDS. THIS OFFICE HAS JOINED OUR SURVEY DATA TO BE COINCIDENT TO THE BOUNDARIES OF THE RECORD PLANS.

DRAFT 09-27-2024
XX-XX-24

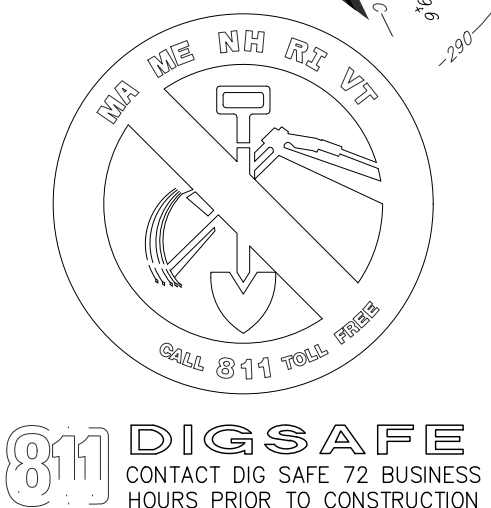
NEW STATE OF NEW HAMPSHIRE
MICHAEL R. DAHLBERG
LAND SURVEYOR
SIGNATURE

DATE

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48 Constitution Drive
Bedford, N.H. 03110

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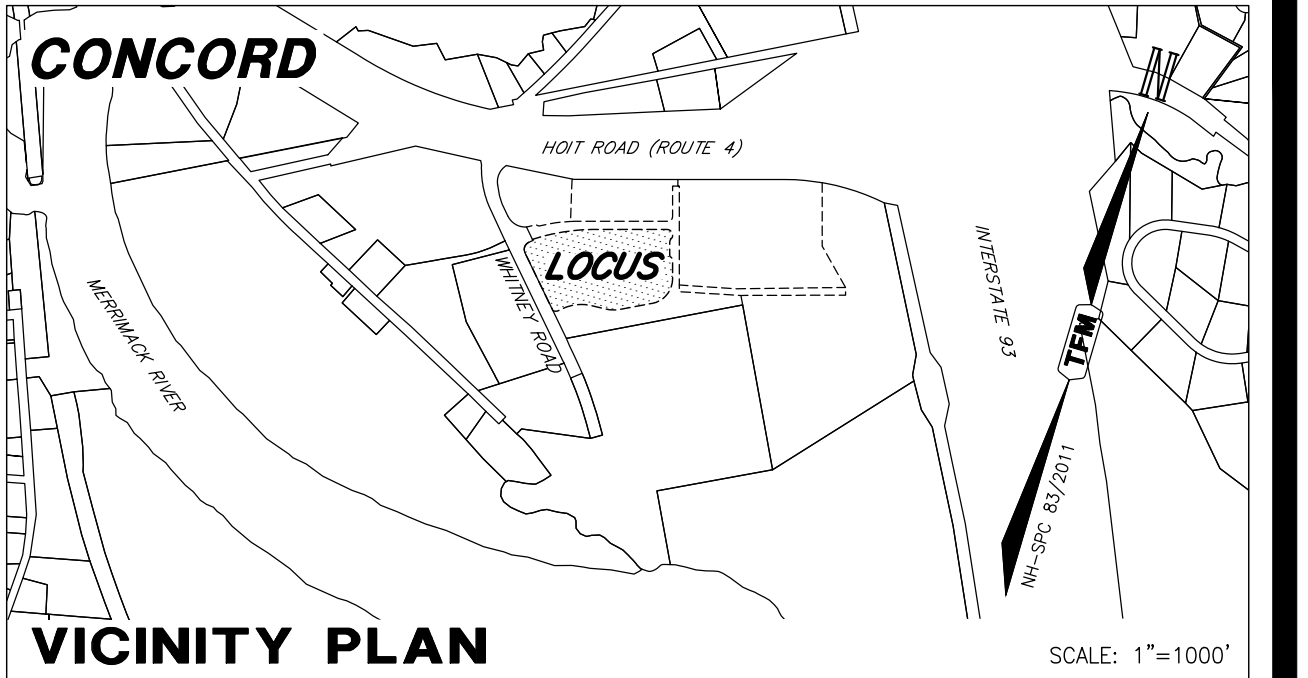
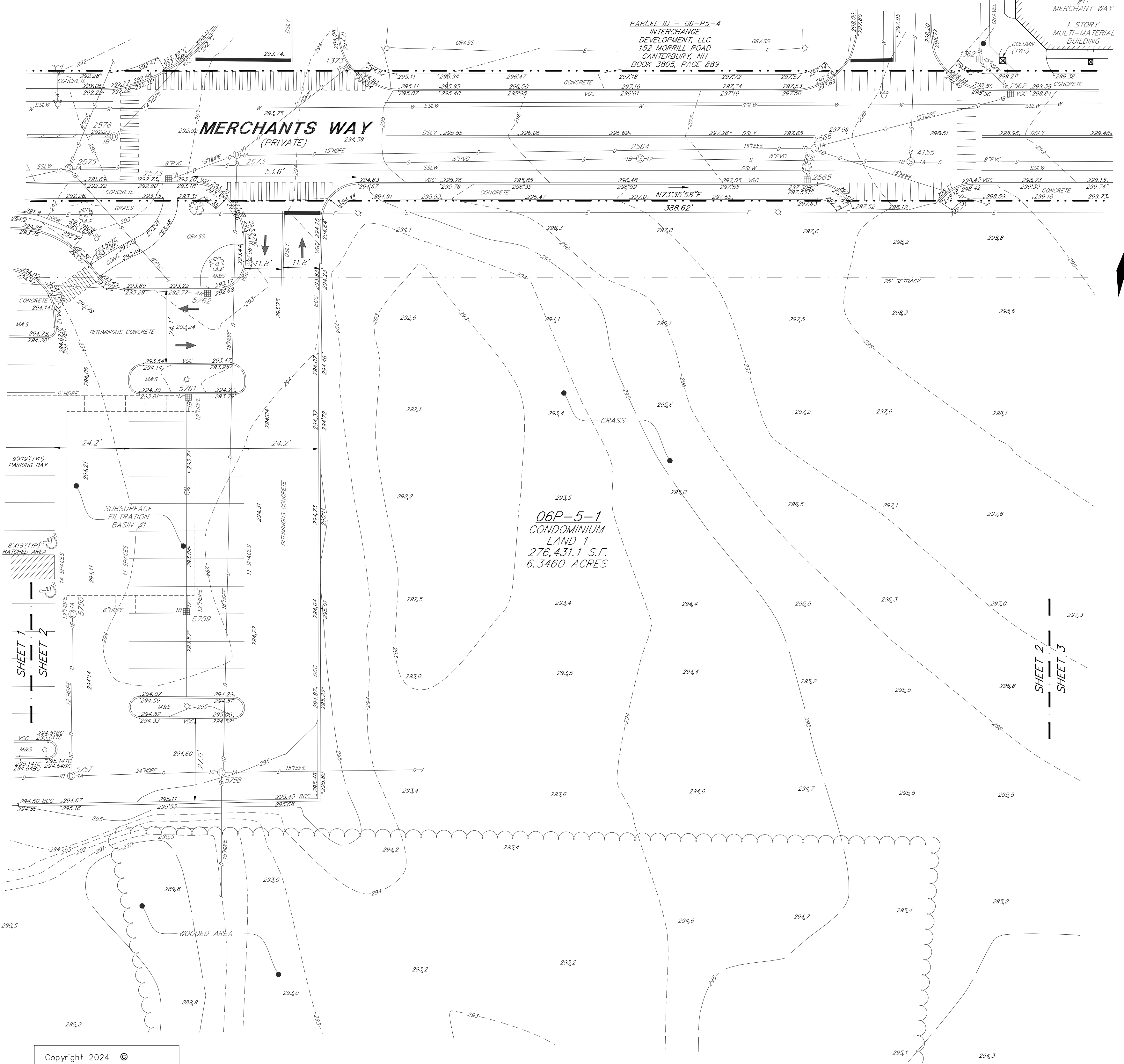


| REV. | DATE | DESCRIPTION | DR | CK |
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LEGEND

- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- ROUND CATCH BASIN
- WATER SHUT OFF
- GAS SHUT OFF
- WATER VALVE
- GAS VALVE
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- CLEAN OUT
- CONCRETE
- CONCRETE RETAINING WALL
- DELTA ANGLE
- DRILL HOLE
- ELEVATION
- ENTRANCE
- FINISHED FLOOR ELEVATION
- FOUND
- INVERT
- IRON PIPE
- IRON ROD
- LENGTH
- MULCH AND SHRUBS
- NOW OR FORMERLY
- NO VISIBLE PIPE
- RADIUS
- RIM ELEVATION
- SLOPE GRANITE CURB
- SQUARE FEET
- STONE BOUND
- STOCKADE FENCE
- STONE RETAINING WALL
- TEMPORARY BENCHMARK
- TOP OF CURB
- TOP OF PIPE
- TOP OF SEWER TROUGH
- TOP OF DROP INLET
- TOP OF WALL
- TOP OF TRAP
- TOP OF WEIR WALL
- TYPICAL
- VERTICAL GRANITE CURB
- BUILDING DIMENSION
- SINGLE SOLID WHITE LINE
- DOUBLE SOLID YELLOW LINE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
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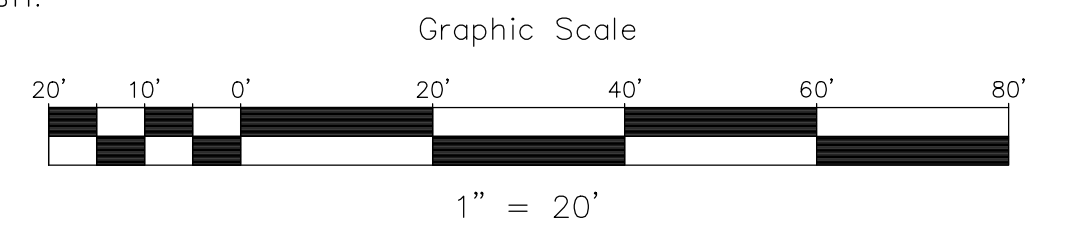


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VERTICAL DATUM: NAVD88
- BENCHMARKS SET:
 - IBM-1: IRON ROD SET ON THE NORTHEASTERLY SIDE OF WHITNEY ROAD IN A LANDSCAPED AREA, APPROXIMATELY 190 FEET IN A SOUTHERN DIRECTION FROM THE SOUTHEASTERLY SIDELINE OF MERCHANTS WAY, AS SHOWN HEREON. EL=288.06'
 - IBM-2: IRON ROD SET ON THE SOUTHERLY SIDE OF INTERCHANGE DRIVE, APPROXIMATELY 310 FEET FROM THE NORTHEASTERLY SIDELINE OF WHITNEY ROAD AND APPROXIMATELY 22 FEET FROM THE VERTICAL GRANITE CURBING, AS SHOWN HEREON. EL=293.25'
 - IBM-3: IRON ROD SET IN PARKING LOT LANDSCAPE AREA LOCATED AT THE EASTERLY SIDE OF INTERCHANGE DRIVE AT THE SOUTHWESTERLY CORNER OF SAID PARKING LOT, AS SHOWN HEREON. EL=297.65'
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TAX MAP 6 LOT P5-1

EXISTING CONDITIONS PLAN

INTERCHANGE

MERCHANTS WAY, CONCORD, NH

OWNED BY AND PREPARED FOR:

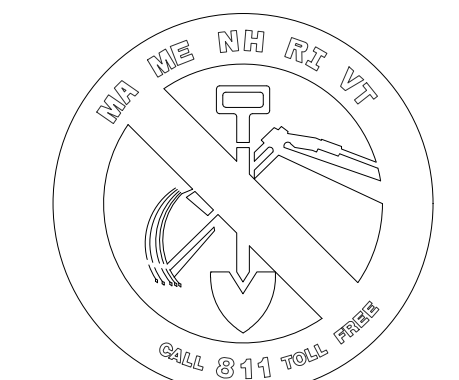
INTERCHANGE DEVELOPMENT, LLC

SCALE: 1" = 20' SEPTEMBER 27, 2024

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This plan is not effective unless signed by a duly authorized officer of TF Moran, Inc.



811 DIGSAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

STATE OF NEW HAMPSHIRE
LAND SURVEYOR
No. 714
MICHAEL R. DAHLBERG
SIGNATURE

SURVEYOR'S CERTIFICATION

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DRAFT 09-27-2024
XX-XX-24

DATE

| | | | | | |
|----------|----|----|---------|-----------------|--------------|
| 95830.11 | DR | NG | FB | | |
| | CK | XX | CADFILE | 95830-11 SURVEY | SHEET 2 OF 5 |

Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

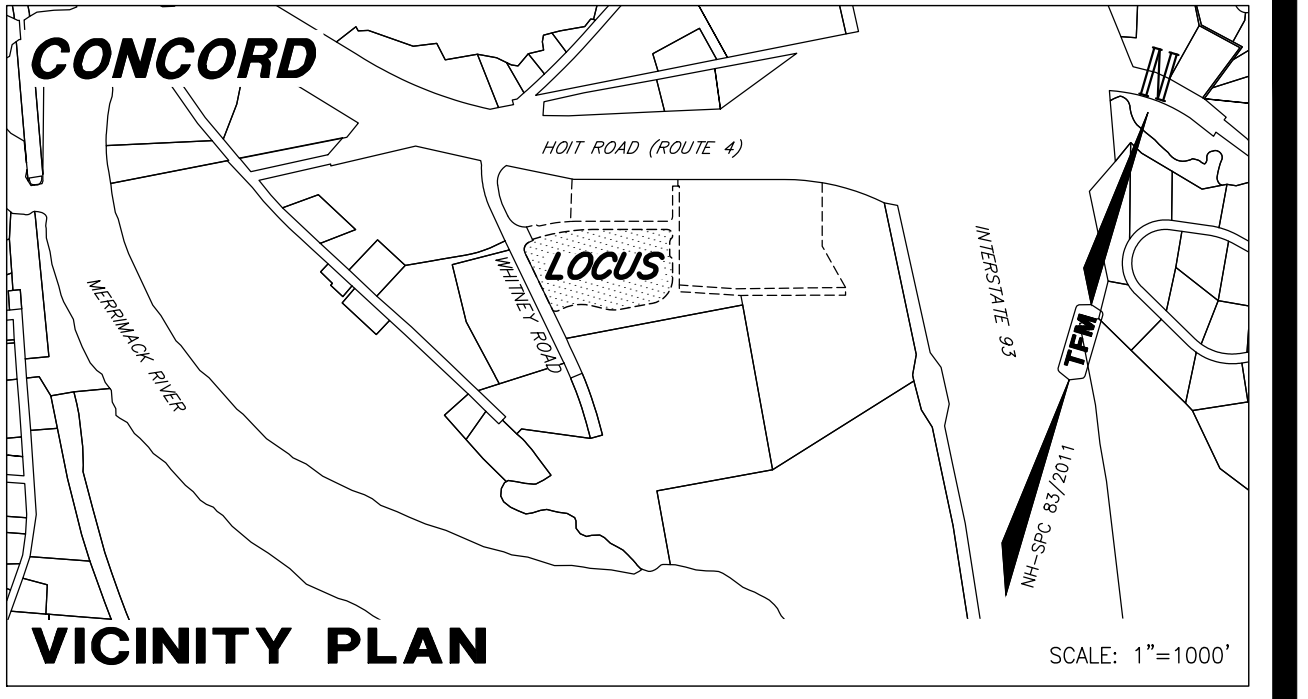
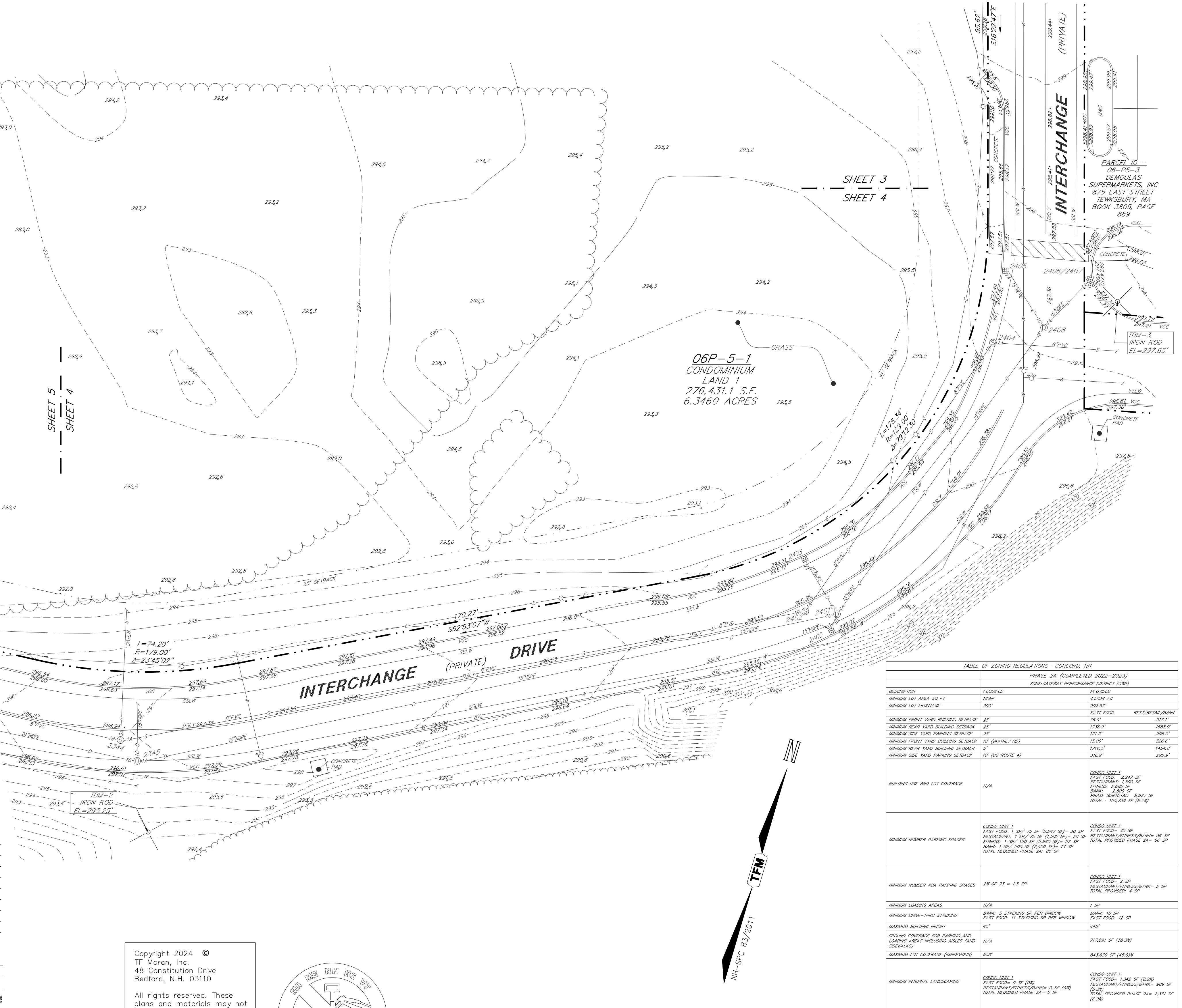
48 Constitution Drive
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Fax (603) 472-9747
www.tfmoran.com

| REV. | DATE | DESCRIPTION | DR | CK |
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| | | | | |

LEGEND

- SEWER MANHOLE
- DRAIN MANHOLE
- CATCH BASIN
- ROUND CATCH BASIN
- WATER SHUT OFF
- GAS SHUT OFF
- WATER VALVE
- GAS VALVE
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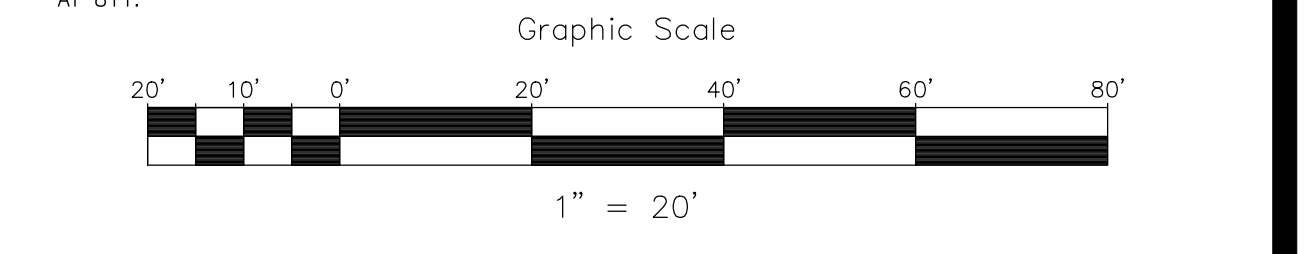


- REFERENCE PLANS**
- PLAN NO. 202100020368 ENTITLED "WHITNEY ROAD RIGHT-OF-WAY LAYOUT PLAN" PREPARED BY VHB DATED AUGUST 04, 2021.
 - PLAN NO. 202100023379 ENTITLED "CONDOMINIUM PLAT MERCHANTS WAY CONDOMINIUM" PREPARED BY FWS LAND SURVEYING P.L.L.C. DATED SEPTEMBER 01, 2021.

- NOTES**
- OWNER OF RECORD: INTERCHANGE DEVELOPMENT, LLC
152 MORRILL ROAD
CANTERBURY, NEW HAMPSHIRE
DEED REFERENCE: BK. 3627 PG. 2563
DEED REFERENCE: BK. 3738 PG. 982
AREA: 276,431.1 S.F. OR 6.346 ACRES
 - 06-P5-1 INDICATES TAX MAP AND LOT NUMBER.
 - THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS PRESENT AT THE TIME OF THE FIELD SURVEY FOR ASSESSORS MAP 06 LOT P5-1, SITUATED ON THE SOUTHERLY SIDE OF MERCHANTS WAY IN THE CITY OF CONCORD, NEW HAMPSHIRE AS SHOWN HEREON AND NO OTHER PURPOSE.
 - CURRENT ZONING IS: GATEWAY PERFORMANCE ZONE OR "GWP"
 - MINIMUM LOT SIZE: NONE
MINIMUM LOT FRONTAGE: 300 FEET
MINIMUM FRONT BUILDING SETBACKS: 25 FEET
MINIMUM SIDE BUILDING SETBACKS: 25 FEET
MINIMUM REAR BUILDING SETBACKS: 25 FEET
MAXIMUM LOT COVERAGE: 85%
MAXIMUM HEIGHT: 45 FEET
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR MERRIMACK COUNTY, NEW HAMPSHIRE (ALL JURISDICTIONS), MAP NUMBER 3301300337E, EFFECTIVE DATE OF APRIL 19, 2010, INDICATES THAT THE SUBJECT PARCEL ARE NOT LOCATED WITHIN A FLOOD HAZARD AREA.
 - DRAINAGE AND SEWER INVERT TABLE IS ON SHEET 3 OF THIS PLAN.
 - HORIZONTAL DATUM: NH-SPC NAD83/2011
VERTICAL DATUM: NAVD88
 - BENCHMARKS SET:
 - BTM-1: IRON ROD SET ON THE NORTHEASTERLY SIDE OF WHITNEY ROAD IN A LANDSCAPED AREA, APPROXIMATELY 190 FEET IN A SOUTHERN DIRECTION FROM THE SOUTHEASTERLY SIDELINE OF MERCHANTS WAY, AS SHOWN HEREON. EL=288.06'
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TABLE OF ZONING REGULATIONS - CONCORD, NH
PHASE 2A (COMPLETED 2022-2023)
ZONE: GATEWAY PERFORMANCE DISTRICT (GWP)

| DESCRIPTION | REQUIRED | PROVIDED |
|--|--|--|
| MINIMUM LOT AREA 50 FT | NONE | 43,038 AC |
| MINIMUM LOT FRONTAGE | 300' | 892.37' |
| MINIMUM FRONT YARD BUILDING SETBACK | 25' | 76.0' |
| MINIMUM REAR YARD BUILDING SETBACK | 25' | 1588.0' |
| MINIMUM SIDE YARD BUILDING SETBACK | 25' | 121.2' |
| MINIMUM FRONT YARD BUILDING SETBACK | 10' (WHITNEY RD) | 18.00' |
| MINIMUM REAR YARD BUILDING SETBACK | 5' | 176.3' |
| MINIMUM SIDE YARD BUILDING SETBACK | 10' (US ROUTE 4) | 316.9' |
| BUILDING USE AND LOT COVERAGE | N/A | CONDO UNIT 1 FAST FOOD: 2,242 SF RESTAURANT: 1,050 SF FITNESS: 2,880 SF BANK: 2,500 SF PHASE SUBTOTAL: 8,807 SF TOTAL: 1,452,239 SF (6.78) |
| MINIMUM NUMBER PARKING SPACES | CONDO UNIT 1 FAST FOOD: 1 SP/ 75 SF (2,242 SF) = 30 SP RESTAURANT: 1 SP/ 75 SF (1,050 SF) = 20 SP FITNESS: 1 SP/ 120 SF (2,880 SF) = 24 SP BANK: 1 SP/ 200 SF (2,500 SF) = 12 SP TOTAL REQUIRED PHASE 2A: 85 SP | CONDO UNIT 1 FAST FOOD: 10 SP RESTAURANT/FITNESS/BANK: 38 SP TOTAL PROVIDED PHASE 2A: 48 SP |
| MINIMUM NUMBER ADA PARKING SPACES | 2% OF 75 = 15 SP | CONDO UNIT 1 FAST FOOD: 3 SP RESTAURANT/FITNESS/BANK: 2 SP TOTAL PROVIDED: 4 SP |
| MINIMUM LOADING AREAS | N/A | 1 SP |
| MINIMUM DRIVE - THRU STACKING | BANK: 5 STACKING SP PER WINDOW FAST FOOD: 11 STACKING SP PER WINDOW | BANK: 10 SP FAST FOOD: 19 SP |
| MAXIMUM BUILDING HEIGHT | 45' | <45' |
| GROUND COVERAGE FOR PARKING AND LOADING AREAS INCLUDING AISLES (AND SIDEWALKS) | N/A | 712,891 SF (38.3%) |
| MAXIMUM LOT COVERAGE (IMPERVIOUS) | 85% | 845,830 SF (45.0%) |
| MINIMUM INTERNAL LANDSCAPING | CONDO UNIT 1 FAST FOOD: 0 SF (0%) RESTAURANT/FITNESS/BANK: 0 SF (0%) TOTAL REQUIRED PHASE 2A: 0 SF | CONDO UNIT 1 FAST FOOD: 1,142 SF (8.2%) RESTAURANT/FITNESS/BANK: 849 SF (5.3%) TOTAL PROVIDED PHASE 2A: 2,331 SF (16.9%) |
| NUMBER OF PARKING LOT SHADE TREES | CONDO UNIT 1 FAST FOOD: 8 TREES RESTAURANT/FITNESS/BANK: 9 TREES TOTAL REQUIRED PHASE 2A: 17 TREES | CONDO UNIT 1 FAST FOOD: 145 TREES RESTAURANT/FITNESS/BANK: 14 TREES TOTAL PROVIDED PHASE 2A: 29 TREES |
| MAXIMUM WALL SIGN AREA | 40 SF W/0 ARCHITECTURAL REVIEW 100 SF W/ ARCHITECTURAL REVIEW | 180 SF MAX |
| MAXIMUM NUMBER WALL SIGNS | 3 WALL SIGNS PER WALL FRONTAGE ON STREET NOT TO EXCEED ALLOWED AREA | 6 WALL SIGNS PER BUILDING MAX |
| MAXIMUM FREESTANDING SIGN AREA HEIGHT & SETBACK | 40 SF W/0 ARCHITECTURAL REVIEW 60 SF W/ ARCHITECTURAL REVIEW 15' HEIGHT & 5' SETBACK | 60 SF MAX |



TAX MAP 6 LOT P5-1
EXISTING CONDITIONS PLAN
INTERCHANGE
MERCHANTS WAY, CONCORD, NH
OWNED BY AND PREPARED FOR:
INTERCHANGE DEVELOPMENT, LLC
SCALE: 1" = 20' SEPTEMBER 27, 2024

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DRAFT 09-27-2024
XX-XX-24
LICENSED LAND SURVEYOR DATE

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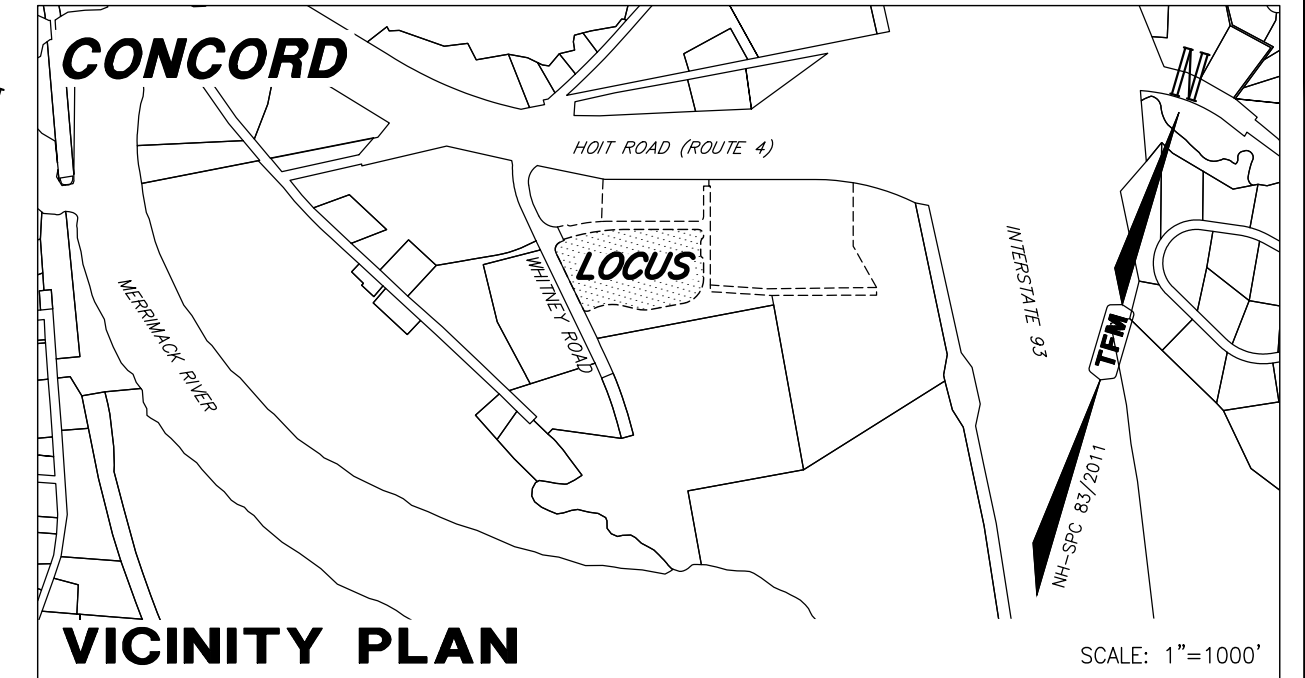
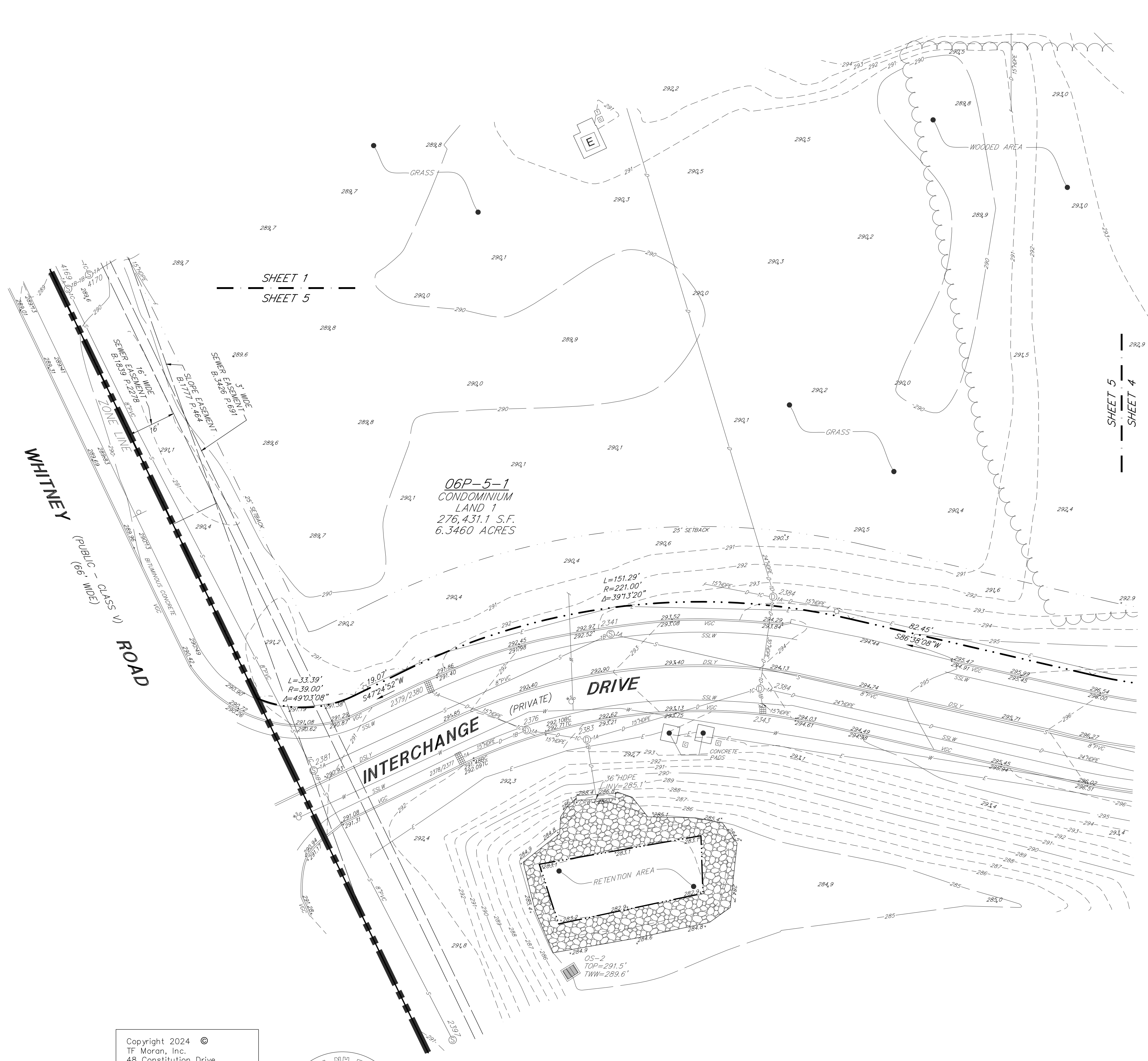
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TFM Civil Engineers | 48 Constitution Drive
Structural Engineers | Bedford, NH 03110
Traffic Engineers | Phone (603) 472-4488
Land Surveyors | Fax (603) 472-9747
Landscape Architects | www.tfmoran.com
Scientists

95830.11 DR NG FB
CK XX CADFILE 95830-11 SURVEY SHEET 4 OF 5

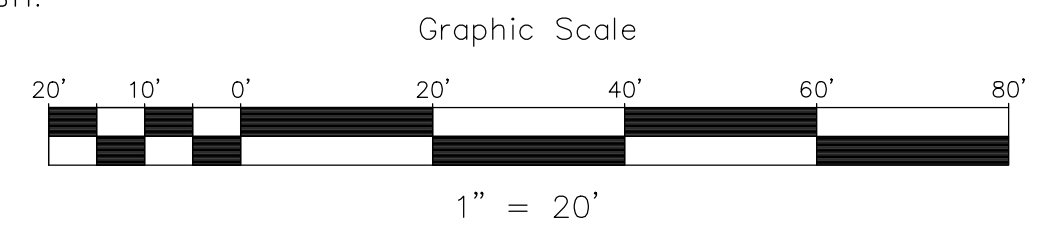
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TAX MAP 6 LOT P5-1

EXISTING CONDITIONS PLAN

INTERCHANGE
MERCHANTS WAY, CONCORD, NH

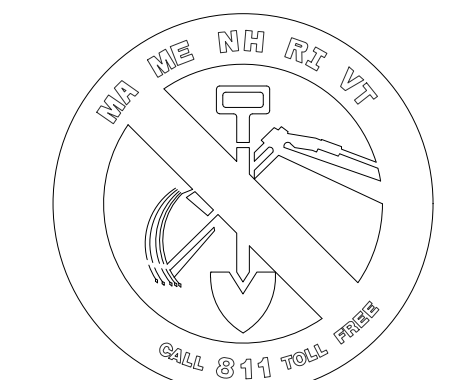
OWNED BY AND PREPARED FOR:
INTERCHANGE DEVELOPMENT, LLC

SCALE: 1" = 20' **SEPTEMBER 27, 2024**

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811 DIGSAFE
CONTACT DIG SAFE 72 BUSINESS HOURS PRIOR TO CONSTRUCTION

NEW STATE OF NEW HAMPSHIRE
LICENSED LAND SURVEYOR
No. 714
MICHAEL R. DAHLBERG
SIGNATURE

SURVEYOR'S CERTIFICATION

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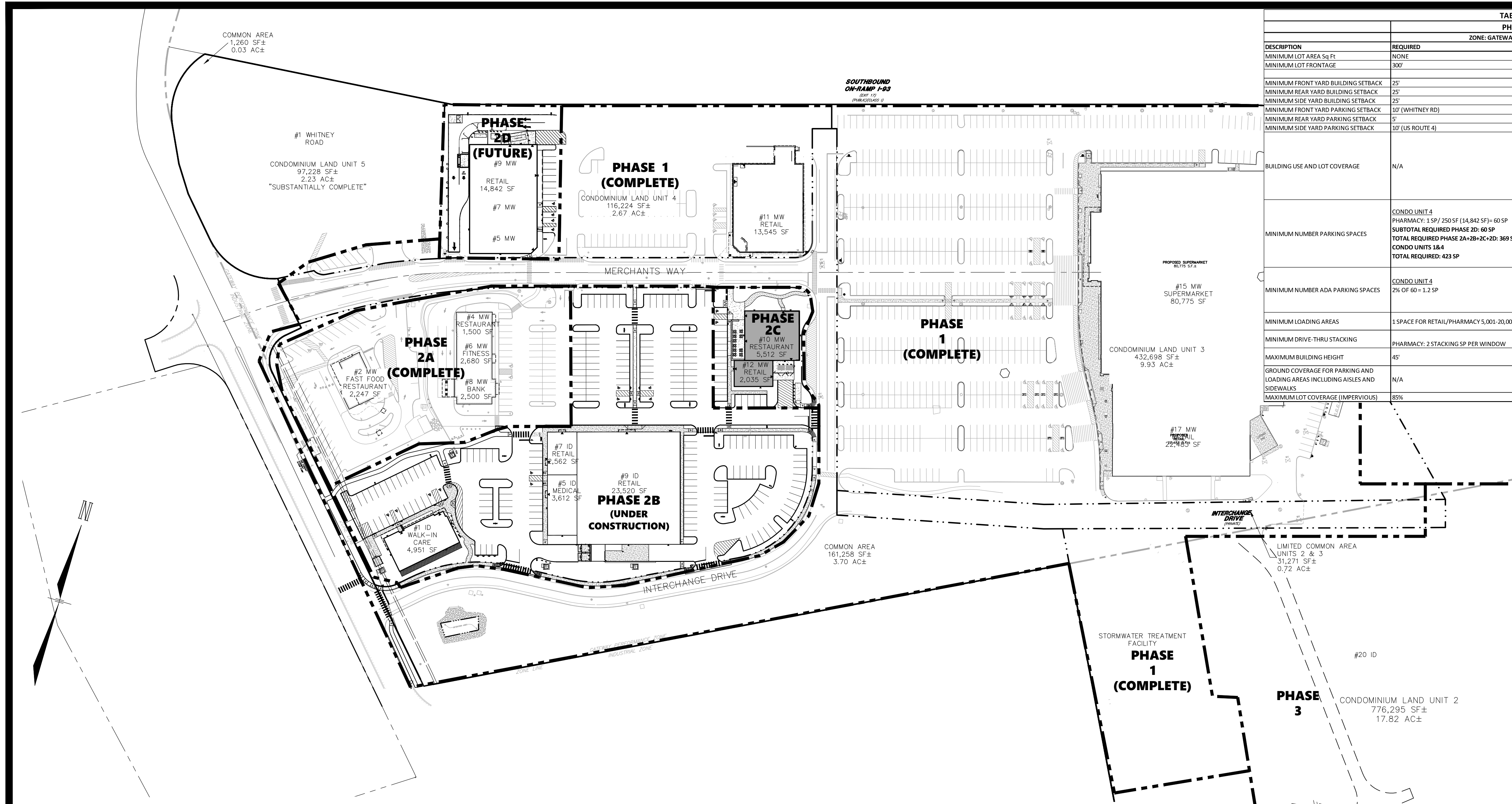
DRAFT 09-27-2024
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LICENSED LAND SURVEYOR DATE

TFM Civil Engineers 48 Constitution Drive
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| 95830.11 | DR | NG | FB | - | - | - | - |
| | CK | XX | CADFILE | 95830-11 SURVEY | SHEET 5 OF 5 | | |

| REV. | DATE | DESCRIPTION | DR | CK |
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| TABLE OF ZONING REGULATIONS- CONCORD, NH | | | | |
|--|---|--|--|---|
| | | PHASE 2D (FUTURE) | | PHASE 3 (FUTURE) |
| | | ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | ZONE: INDUSTRIAL |
| DESCRIPTION | REQUIRED | PROVIDED | REQUIRED | PROVIDED |
| MINIMUM LOT AREA Sq Ft | NONE | 43,038 AC | NONE | 43,038 AC |
| MINIMUM LOT FRONTAGE | 300' | 992.57' | 300' | 992.57' |
| MINIMUM FRONT YARD BUILDING SETBACK | 25' | N/A | 25' | N/A |
| MINIMUM REAR YARD BUILDING SETBACK | 25' | 1149.91' | 25' | 386.7' |
| MINIMUM SIDE YARD BUILDING SETBACK | 25' | 57.16' | 25' | 231.9' |
| MINIMUM FRONT YARD PARKING SETBACK | 10' (WHITNEY RD) | 15.00' | 10' (WHITNEY RD) | N/A |
| MINIMUM REAR YARD PARKING SETBACK | 5' | 892.34' | 5' | 504.34' |
| MINIMUM SIDE YARD PARKING SETBACK | 10' (US ROUTE 4) | 15.00' | 10' (US ROUTE 4) | 551.47' |
| BUILDING USE AND LOT COVERAGE | N/A | CONDO UNIT 4 PHARMACY: 14,842 SF PHASE SUBTOTAL: 14,842 SF TOTAL: 182,990 SF (8.8%) | N/A | CONDO UNIT 2 WAREHOUSE DISTRIBUTION: 45,000 SF PHASE SUBTOTAL: 45,000 SF TOTAL: 227,990 SF (12.2%) |
| MINIMUM NUMBER PARKING SPACES | CONDO UNIT 4 PHARMACY: 1 SP/ 250 SF (14,842 SF)= 60 SP SUBTOTAL REQUIRED PHASE 2D: 60 SP CONDO UNITS 1&4 TOTAL REQUIRED: 423 SP | CONDO UNIT 4 PHARMACY: 12 NEW SP SUBTOTAL PROPOSED PHASE 2D: 12 SP TOTAL PROPOSED PHASE 2A+2B+2C+2D= 296 SP | CONDO UNIT 2 WAREHOUSE DISTRIBUTION: 1 SP/1,500 SF (45,000 SF) = 30 SP | CONDO UNIT 2 WAREHOUSE DISTRIBUTION= 32 SP |
| MINIMUM NUMBER ADA PARKING SPACES | CONDO UNIT 4 2% OF 60 = 1.2 SP | CONDO UNIT 4 4 SP PHASE 2C | 2 SP | CONDO UNIT 2 2 SP |
| MINIMUM LOADING AREAS | 1 SPACE FOR RETAIL/PHARMACY 5,001-20,000 SF | 1 SP | 2 SPACES FOR WAREHOUSING 20,000-60,000 SF | 2 SPACES |
| MINIMUM DRIVE-THRU STACKING | PHARMACY: 2 STACKING SP PER WINDOW | PHARMACY: 5 SP | N/A | N/A |
| MAXIMUM BUILDING HEIGHT | 45' | <45' | 45' | <45' |
| GROUND COVERAGE FOR PARKING AND LOADING AREAS INCLUDING AISLES AND SIDEWALKS | N/A | 871,992 (46.5%) | N/A | 939,476 (50.1%) |
| MAXIMUM LOT COVERAGE (IMPERVIOUS) | 85% | 1,054,982 (56.3%) | 85% | 1,167,466 (62.3%) |

| TABLE OF ZONING REGULATIONS- CONCORD, NH | | | | |
|--|-----------------------------------|--|-----------------------------------|-----------------------------|
| | | ENTIRE SITE | | |
| | | ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | |
| DESCRIPTION | REQUIRED | PROVIDED | REQUIRED | PROVIDED |
| MINIMUM LOT AREA Sq Ft | NONE | 1,874,735 SF (43,038 AC) | NONE | 1,874,735 SF (43,038 AC) |
| MINIMUM LOT FRONTAGE | 300' | 992.57' | 300' | 992.57' |
| MINIMUM FRONT YARD BUILDING SETBACK | 25' | 40.0' (1 INTERCHANGE DRIVE) | 25' | 450.2' (15 MERCHANTS WAY) |
| MINIMUM REAR YARD BUILDING SETBACK | 25' | 450.2' (15 MERCHANTS WAY) | 25' | 57.2' (9 MERCHANTS WAY) |
| MINIMUM SIDE YARD BUILDING SETBACK | 25' | 57.2' (9 MERCHANTS WAY) | 25' | 13.1' (1 INTERCHANGE DRIVE) |
| MINIMUM FRONT YARD PARKING SETBACK | 10' (WHITNEY RD) | 14.75' (11 MERCHANTS WAY) | 10' (WHITNEY RD) | 450.2' (15 MERCHANTS WAY) |
| MINIMUM REAR YARD PARKING SETBACK | 5' | 14.75' (11 MERCHANTS WAY) | 5' | 14.75' (11 MERCHANTS WAY) |
| MINIMUM SIDE YARD PARKING SETBACK | 10' (US ROUTE 4) | 14.75' (11 MERCHANTS WAY) | 10' (US ROUTE 4) | 992.57' |
| MINIMUM NUMBER PARKING SPACES | 867 SP | 867 SP | 867 SP | 997 SP |
| MINIMUM NUMBER ADA PARKING SPACES | 2% OF 867 SP= 17.3 SP | 17.3 SP | 2% OF 867 SP= 17.3 SP | 50 SP |
| PARKING SPACE DIMENSIONS | 19' X 9' / 15' X 8' (COMPACT) | 19' X 9' / 15' X 8' (COMPACT) | 19' X 9' / 15' X 8' (COMPACT) | 4 COMPACT SPACES |
| MINIMUM LOADING AREAS | 3 SP | 3 SP | 3 SP | 3 SP |
| MINIMUM DRIVE-THRU STACKING | 23 SP | 23 SP | 23 SP | 23 SP |
| MINIMUM INTERNAL LANDSCAPING | 2% OF PARKING / CIRCULATION AREAS | 5.00% | 2% OF PARKING / CIRCULATION AREAS | 5.00% |
| MAXIMUM BUILDING HEIGHT | 45' | <45' | 45' | <45' |
| MAXIMUM LOT COVERAGE (IMPERVIOUS) | 85% | 61% | 85% | 61% |

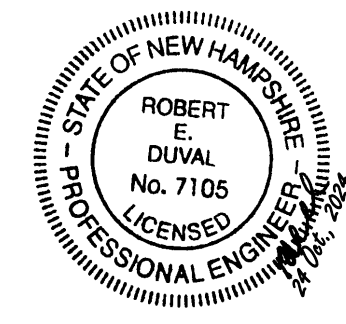
- ### REFERENCE PLANS
- RE-SUBDIVISION PLAT LANDS OF SUSAN A. WHITNEY AND INTERCHANGE DEVELOPMENT LLC., LOCATION, WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY, TAX MAPS DEP LOTS 5 & 6. PREPARED BY FWS LAND SURVEYING P.L.L.C., DATED FEB. 10, 2014 LAST REVISED MAY 01, 2014.
 - "AS-BUILT PLAN - CONCORD CROSSING", WHITNEY ROAD, MERCHANTS WAY & INTERCHANGE DRIVE, CONCORD, NH, DATED 8/16/22, BY TFMORAN.
 - "AS-BUILT PLAN - WENDY'S AT CONCORD CROSSING", MERCHANTS WAY, CONCORD, NH, DATED 10/11/22, BY TFMORAN.
 - "SITE DEVELOPMENT PLANS, 4-8 MERCHANTS WAY DEVELOPMENT", MERCHANTS WAY, CONCORD, NH, DATED 1/19/22 (REVISED THRU 8/15/22), BY TFMORAN.

- ### NOTES
- THE PURPOSE OF THIS PLAN IS TO SHOW A MIXED USE DEVELOPMENT WHICH INCLUDES A LOT LINE ADJUSTMENT, COMMON ACCESS/PARKING AREAS AND COMMON UTILITIES.
 - THE PROPERTY WILL BE SERVICED BY THE FOLLOWING SERVICES:
DRAINAGE: PRIVATE
SEWER: MUNICIPAL
WATER: MUNICIPAL
ELECTRIC: UTIL.
 - BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN INFORMATION.
 - WETLANDS INFORMATION DEPICTED ON THIS PLAN IS FROM REFERENCE PLAN INFORMATION.
 - EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY PANEL NUMBER 3301300337E, EFFECTIVE DATE: APRIL 18, 2010, INDICATES THAT THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN A FLOOD HAZARD AREA.
 - EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN ARE THOSE WHICH IDENTIFIED BASED ON DATA USED IN CONCEPTUAL DESIGN. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH DEED RESEARCH AND A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.

HORIZONTAL SCALE 1"=80'
80 40 0 80

TAX MAP 06P LOTS 5 & 6
COMPREHENSIVE DEVELOPMENT PLAN
MIXED USE DEVELOPMENT
WHITNEY ROAD, CONCORD, NH
OWNED BY/PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.

SCALE: 1"=80' JULY 15, 2024



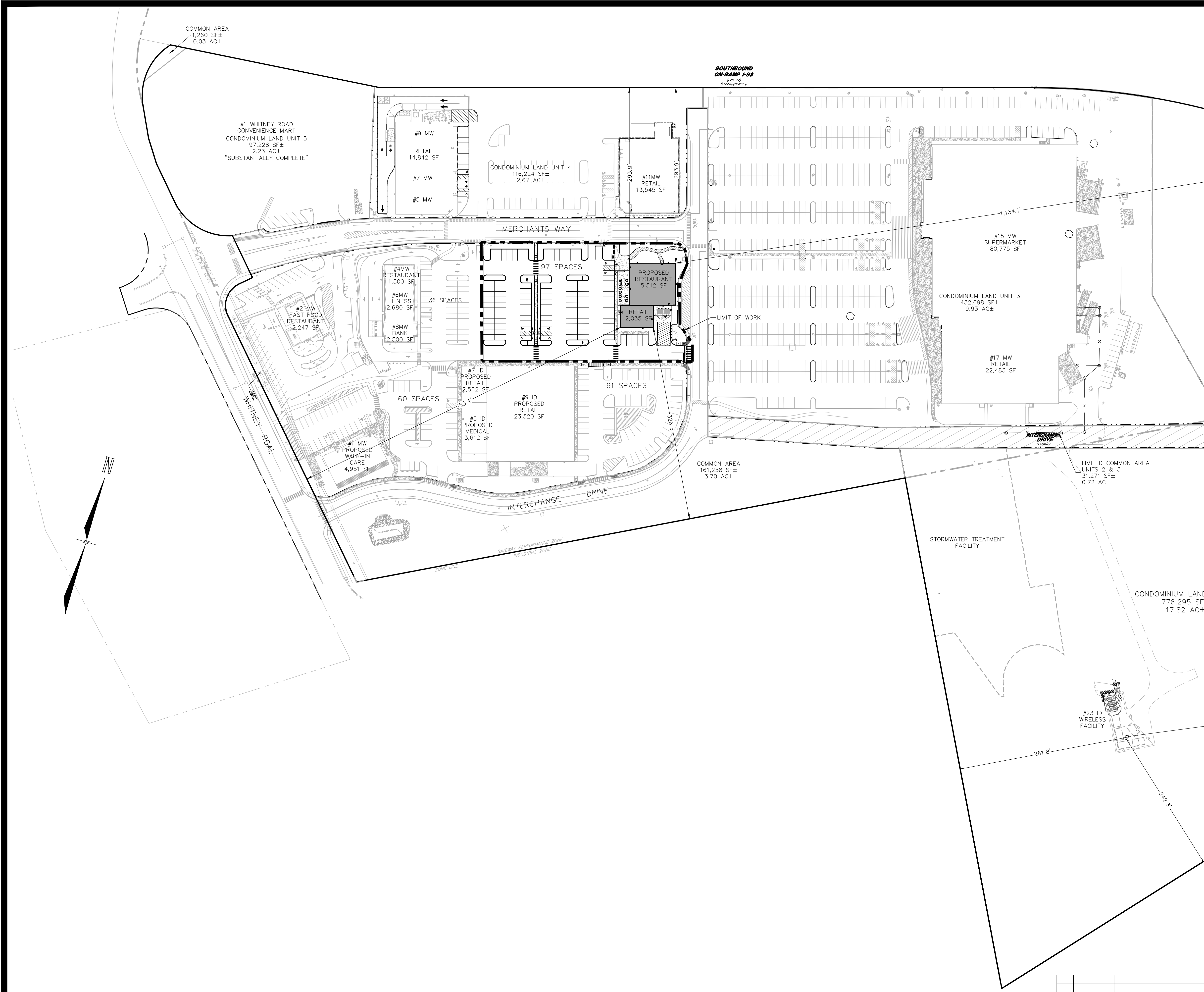
| TABLE OF ZONING REGULATIONS- CONCORD, NH | | | | | | | | |
|--|---|--|--|--|--|--|---|--|
| PHASE 1 (COMPLETED 2022) | | PHASE 2A (COMPLETED 2022-2023) | | PHASE 2B (APPROVED 2022) | | PHASE 2C CURRENT APPLICATION | | |
| ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | |
| DESCRIPTION | REQUIRED | PROVIDED | REQUIRED | PROVIDED | REQUIRED | PROVIDED | PROVIDED | |
| MINIMUM LOT AREA Sq Ft | NONE | 43,038 AC | NONE | 43,038 AC | NONE | 43,038 AC | NONE | |
| MINIMUM LOT FRONTAGE | 300' | 992.57' | 300' | 992.57' | 300' | 992.57' | 300' | |
| MINIMUM FRONT YARD BUILDING SETBACK | 25' | 668.62' 1,105.47' | 25' | 76.0' 217.1' | 25' | 40.0' 251.9' | 25' | |
| MINIMUM REAR YARD BUILDING SETBACK | 25' | 1,115.78' 450.22' | 25' | 1736.9' 1588.0' | 25' | 1673.7' 1334.1' | 25' | |
| MINIMUM SIDE YARD BUILDING SETBACK | 25' | 59.10' 92.38' | 25' | 121.2' 296.0' | 25' | 166.8' 124.4' | 25' | |
| MINIMUM FRONT YARD PARKING SETBACK | 10' (WHITNEY RD) | 458.45' 678.05' | 10' (WHITNEY RD) | 15.00' 326.6' | 10' (WHITNEY RD) | 13.1' 200.2' | 10' (WHITNEY RD) | |
| MINIMUM REAR YARD PARKING SETBACK | 5' | 1,177.91' 413.87' | 5' | 1716.3' 1454.0' | 5' | 1607.0' 1607.0' | 5' | |
| MINIMUM SIDE YARD PARKING SETBACK | 10' (US ROUTE 4) | 14.75' 14.93' | 10' (US ROUTE 4) | 316.9' 295.9' | 10' (US ROUTE 4) | 237.9' 103.5" | 10' (US ROUTE 4) | |
| BUILDING USE AND LOT COVERAGE | N/A | CONDO UNIT 3 SUPERMARKET: 80,775 SF RETAIL 1: 22,483 SF CONDO UNIT 4 RETAIL 2: 13,554 SF TOTAL: 116,812 SF (6.2%) | N/A | CONDO UNIT 1 FAST FOOD: 2,247 SF RESTAURANT: 1,500 SF FITNESS: 2,680 SF BANK: 2,500 SF PHASE SUBTOTAL: 8,927 SF TOTAL: 125,739 SF (6.7%) | N/A | CONDO UNIT 1 MEDICAL OFFICE: 8,563 SF RETAIL: 26,328 SF PHASE SUBTOTAL: 34,880 SF TOTAL: 160,619 SF (8.6%) | N/A | CONDO UNIT 1 RESTAURANT: 5,512 SF RETAIL: 2,035 SF PHASE SUBTOTAL: 7,547 SF TOTAL: 168,166 SF (9.0%) |
| MINIMUM NUMBER PARKING SPACES | CONDO UNIT 3 SUPERMARKET: 1 SP/ 250 SF (80,775 SF)= 323 SP RETAIL 1: 1 SP/ 250 SF (22,483 SF)= 90 SP CONDO UNIT 4 RETAIL 2: 1 SP/ 250 SF (13,554 SF)= 54 SP TOTAL REQUIRED: 467 SP | CONDO UNIT 3 SUPERMARKET/RETAIL 1= 557 SP CONDO UNIT 4 RETAIL 2= 112 SP TOTAL PROVIDED: 669 SP (IND 28 ADA) | CONDO UNIT 1 FAST FOOD: 1 SP/ 75 SF (2,247 SF)= 30 SP RESTAURANT: 1 SP/ 75 SF (1,500 SF)= 20 SP FITNESS: 1 SP/ 120 SF (2,680 SF)= 22 SP BANK: 1 SP/ 200 SF (2,500 SF)= 13 SP TOTAL REQUIRED PHASE 2A: 85 SP | CONDO UNIT 1 FAST FOOD= 30 SP RESTAURANT/FITNESS/BANK= 36 SP TOTAL PROVIDED PHASE 2A= 66 SP | CONDO UNIT 1 MEDICAL OFFICE: 1 SP/ 225 SF (8,563 SF)= 38 SP RETAIL: 1 SP/ 250 SF (26,328 SF)= 104 SP SUBTOTAL REQUIRED PHASE 2B= 142 SP TOTAL REQUIRED PHASE 2A+2B= 227 SP | CONDO UNIT 1 NEW WEST LOT= 60 SP NEW NORTH LOT= 78 SP NEW EAST LOT= 61 SP SUBTOTAL PROPOSED PHASE 2B= 199 SP TOTAL PROPOSED PHASE 2A+2B= 265 SP | CONDO UNIT 1 RESTAURANT + RETAIL = 19 NEW SP SUBTOTAL PROPOSED PHASE 2C= 19 SP TOTAL PROPOSED PHASE 2A+2B+2C= 284 SP | |
| MINIMUM NUMBER ADA PARKING SPACES | 2% OF 467 = 9.3 SP | CONDO UNIT 3 SUPERMARKET/RETAIL 1= 24 SP CONDO UNIT 4 RETAIL 2= 4 SP TOTAL PROVIDED: 28 SP | 2% OF 73 = 1.5 SP | CONDO UNIT 1 FAST FOOD= 2 SP RESTAURANT/FITNESS/BANK= 2 SP TOTAL PROVIDED: 4 SP | 2% OF 142 = 2.8 SP | CONDO UNIT 1 NEW WEST LOT= 6 SP NEW NORTH LOT= 4 SP TOTAL PROVIDED PHASE 2B= 10 SP | CONDO UNIT 1 2 SP PHASE 2C TOTAL PROVIDED PHASE 2A+2B+2C= 16 SP | |
| MINIMUM LOADING AREAS | 3 SPACE FOR RETAIL >100,001 SF 1 SPACE FOR RETAIL 5,001-20,000 SF | 4 SPACES FOR RETAIL @ 103,258 SF 1 SPACE FOR RETAIL @ 13,545 SF | N/A | 1 SP | 1 SPACE FOR RETAIL >20,001 SF | 2 SP | 1 SPACE FOR RESTAURANT >5,001 SF | |
| MINIMUM DRIVE-THRU STACKING | N/A | N/A | BANK: 5 STACKING SP PER WINDOW FAST FOOD: 11 STACKING SP PER WINDOW | FAST FOOD: 10 SP FAST FOOD: 12 SP | N/A | N/A | N/A | |
| MAXIMUM BUILDING HEIGHT | 45' | 37.0' Supermarket 25.5' Liquor Store | 45' | <45' | 45' | <45' | 45' | |
| GROUND COVERAGE FOR PARKING AND LOADING AREAS INCLUDING AISLES (AND SIDEWALKS) | N/A | 651,829 SF (34.8%) | N/A | 717,891 SF (38.3%) | N/A | 814,243 (43.4%) | 860,177 (45.9%) | |
| MAXIMUM LOT COVERAGE (IMPERVIOUS) | 85% | 768,641 SF (41.0%) | 85% | 843,630 SF (45.0%) | 85% | 974,862 SF (52.0%) | 1,028,343 SF (54.8%) | |

| REV | DATE | DESCRIPTION | DR | CK |
|-----|------------|----------------------------|-----|-----|
| 2 | 10/24/2024 | ARCHITECTURAL COORDINATION | JMR | JSH |
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

TFM Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

48 Constitution Drive
Bedford, NH 03110
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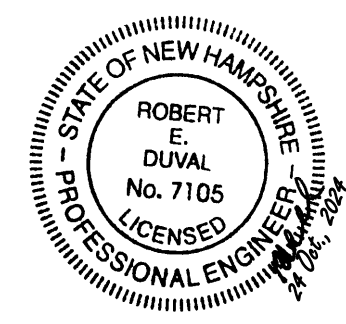
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| TABLE OF ZONING REGULATIONS- CONCORD, NH | | |
|--|--|---|
| PHASE 2C CURRENT APPLICATION | | |
| ZONE: GATEWAY PERFORMANCE DISTRICT (GWP) | | |
| DESCRIPTION | REQUIRED | PROVIDED |
| MINIMUM LOT AREA Sq Ft | NONE | 43,038 AC |
| MINIMUM LOT FRONTAGE | 300' | 992.57' |
| MINIMUM FRONT YARD BUILDING SETBACK | 25' | RESTAURANT / RETAIL 583.4' |
| MINIMUM REAR YARD BUILDING SETBACK | 25' | 1134.1' |
| MINIMUM SIDE YARD BUILDING SETBACK | 25' | 293.9' |
| MINIMUM FRONT YARD PARKING SETBACK | 10' (WHITNEY RD) | 369.0' |
| MINIMUM REAR YARD PARKING SETBACK | 5' | 1202.7' |
| MINIMUM SIDE YARD PARKING SETBACK | 10' (US ROUTE 4) | 270.2' |
| BUILDING USE AND LOT COVERAGE | N/A | CONDO UNIT 1 RESTAURANT: 5,512 SF RETAIL: 2,035 SF PHASE SUBTOTAL: 7,547 SF TOTAL : 168,166 SF (9.0%) |
| MINIMUM NUMBER PARKING SPACES | CONDO UNIT 1 RESTAURANT: 1 SP/ 75 SF (5,512 SF)= 74 SP RETAIL: 1SP/250 SF (2,035SF)=8 SP SUBTOTAL REQUIRED PHASE 2C: 82 SP TOTAL REQUIRED PHASE 2A+2B+2C: 309 SP | CONDO UNIT 1 RESTAURANT + RETAIL = 19 NEW SP SUBTOTAL PROPOSED PHASE 2C= 19 SP TOTAL PROPOSED PHASE 2A+2B+2C= 284 SP |
| MINIMUM NUMBER ADA PARKING SPACES | CONDO UNIT 1 2% OF 83 = 1.7 SP | CONDO UNIT 1 2 SP PHASE 2C TOTAL PROVIDED PHASE 2A+2B+2C= 16 SP |
| MINIMUM LOADING AREAS | 1 SPACE FOR RESTAURANT >5,001 SF | 1 SP |
| MINIMUM DRIVE-THRU STACKING | N/A | N/A |
| MAXIMUM BUILDING HEIGHT | 45' | <45' |
| GROUND COVERAGE FOR PARKING AND LOADING AREAS INCLUDING AISLES (AND SIDEWALKS) | N/A | 860,177 (45.9%) |
| MAXIMUM LOT COVERAGE (IMPERVIOUS) | 85% | 1,028,343 sf (54.8%) |
| MINIMUM INTERNAL LANDSCAPING | CONDO UNIT 1 RESTAURANT+RETAIL: 2,170 SF (5%) SUBTOTAL REQUIRED PHASE 2C: 2,170 SF (5%) | CONDO UNIT 1 RESTAURANT + RETAIL = 4,724 sf (10.9%) SUBTOTAL PROPOSED PHASE 2C= 4,724 sf (10.9%) |
| NUMBER OF PARKING LOT SHADE TREES | CONDO UNIT 1 RESTAURANT + RETAIL: 3 TREES SUBTOTAL REQUIRED PHASE 2C: 3 TREES TOTAL REQUIRED PHASE 2A+2B+2C: 73 | CONDO UNIT 1 RESTAURANT + RETAIL = 3 TREES SUBTOTAL PROPOSED PHASE 2C= 3 TREES TOTAL PROPOSED PHASE 2A+2B+2C= 87 |

SITE DEVELOPMENT PLANS
 TAX MAP 06P LOT 5
OVERALL SITE PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=80' **JULY 15, 2024**



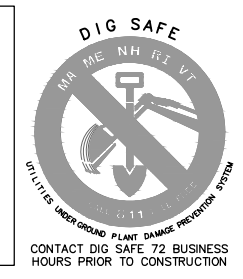
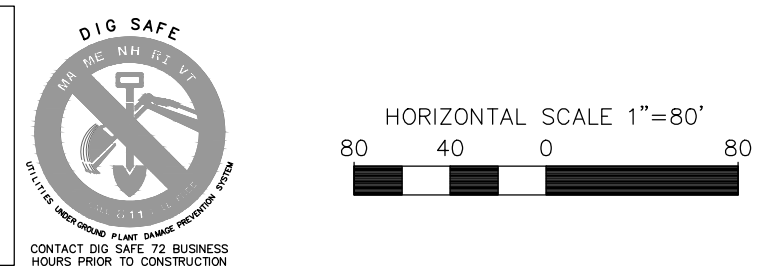
| REV. | DATE | DESCRIPTION | DR | CHK |
|------|------------|----------------------------|-----|-----|
| 2 | 10/24/2024 | ARCHITECTURAL COORDINATION | JMR | JSH |
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

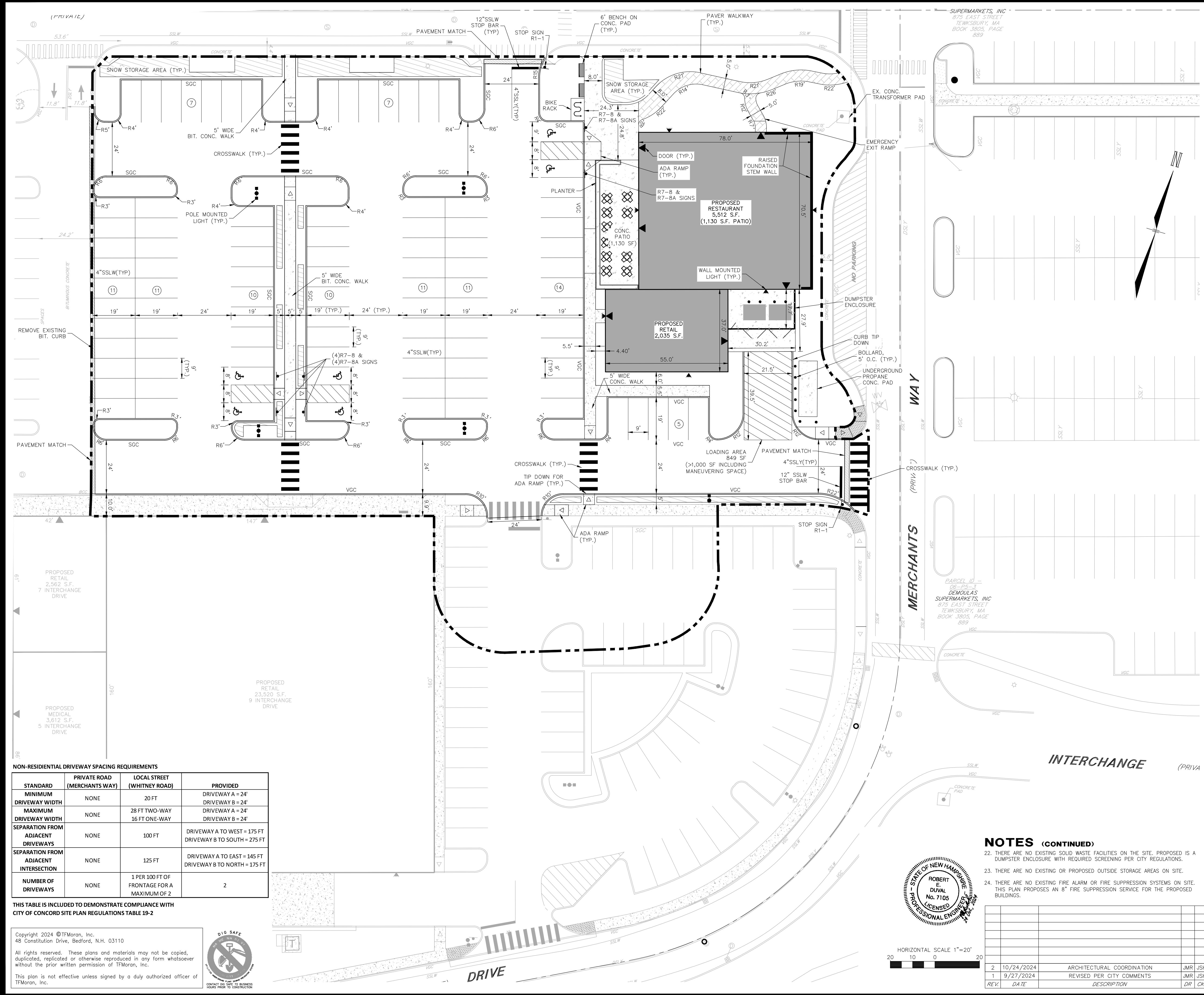
TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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 Bedford, NH 03110
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 www.tfmoran.com

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 CK JSH CADFILE 95830-11_SITE PLANS C-4

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REFERENCE PLANS

- RE-SUBDIVISION PLAT LANDS OF SUSAN A. WHITNEY AND INTERCHANGE DEVELOPMENT LLC. LOCATION, WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY, TAX MAPS 06P LOTS 5 & 6, PREPARED BY FWS LAND SURVEYING P.L.L.C., DATED FEB. 10, 2014 AND LAST REVISED MAY 01, 2014.
- RE-SUBDIVISION PLAT, LANDS OF BRADLEY WHITNEY AND JENNIFER HABEL, INTERCHANGE DEVELOPMENT LLC. LOCATION, WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY, TAX MAP 06P LOTS 5 & 6, PREPARED BY FWS LAND SURVEYING P.L.L.C., DATED NOVEMBER 16, 2018.
- EXISTING CONDITIONS PLAT LANDS OF BRADLEY WHITNEY AND JENNIFER HABEL - INTERCHANGE DEVELOPMENT LLC. LOCATION, WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY, TAX MAP 06P LOTS 5 & 6, PREPARED BY FWS LAND SURVEYING P.L.L.C., DATED OCTOBER 19, 2020.
- CONDOMINIUM PLAT - "MERCHANTS WAY CONDOMINIUM" - LAND OF - INTERCHANGE DEVELOPMENT LLC - LOCATION - WHITNEY ROAD - CONCORD, NH - MERRIMACK COUNTY - TAX MAP 06P LOT 5, DATED JULY 26, 2021.
- INTERCHANGE DEVELOPMENT LLC - SITE DEVELOPMENT PLANS - TAX MAP 06P LOTS 5 & 6 - MIXED USE DEVELOPMENT - WHITNEY ROAD, CONCORD, NH - OWNED BY - BRADLEY WHITNEY & JENNIFER HABEL & INTERCHANGE DEVELOPMENT L.L.C. - PREPARED FOR - INTERCHANGE DEVELOPMENT L.L.C. - PREPARED BY TFMORAN, INC., DATED JUNE 17, 2019 AND LAST REVISED APRIL 20, 2021.
- SITE DEVELOPMENT PLANS-TAX MAP 06P LOT 5, FAST FOOD RESTAURANT, 2 MERCHANTS WAY, CONCORD NH, OWNED BY /PREPARED FOR INTERCHANGE DEVELOPMENT L.L.C., PREPARED BY TFMORAN INC., DATED JUNE 14, 2021 AND LAST REVISED OCTOBER 6, 2021.

NOTES

- OWNER OF RECORD OF MAP 6P, LOT 5: INTERCHANGE DEVELOPMENT LLC 152 MORRILL ROAD, CANTERBURY, NH 03224 DEED REFERENCE: BK. 3805 PG. 0889
- THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED RESTAURANT (#10 MERCHANTS WAY) AND ATTACHED RETAIL (#12 MERCHANTS WAY) DEVELOPMENT WITH ASSOCIATED SITE IMPROVEMENTS.
- CURRENT ZONING IS GATEWAY PERFORMANCE DISTRICT (GWP) & INDUSTRIAL (IN) ZONING DISTRICT.

| | REQUIRED GWP/IN | PROPOSED GWP/IN |
|-------------------------|-----------------|---------------------------|
| MIN. LOT SIZE: | --/40,000 SF | 1,874,735 SF (43.038 AC.) |
| MIN. LOT FRONTAGE: | 300/200' | 992.57' |
| MIN. BUILDING SETBACKS: | | |
| FRONT | 25/50' | 583.4' |
| SIDE | 25/25' | 293.9' |
| REAR | 25/30' | 1,134.1' |
| MAX. BUILDING HEIGHT | 35/45' | <45' |
| MAX. LOT COVERAGE: | 85%/85% | 54% |
- PARKING CALCULATIONS:

REQUIRED:

RESTAURANT: 1 SP / 75 SF (5,512 SF) = 74 SP
 RETAIL: 1 SP / 250 SF (2,035 SF) = 9 SP

NET PARKING REQ'D= 83 SP
 ADA REQ'D= 4 SP
 PROPOSED: 19 NEW SPACES, INCLUDING 2 ADA (SEE TABLE OF ZONING REGULATIONS ON CDP PLAN)
- OFF-STREET LOADING CALCULATIONS:

REQUIRED:

RETAIL <5,000 SF = 0 LOADING SPACES
 RESTAURANT >5,001 SF = 1 LOADING SPACE
 TOTAL REQUIRED = 1 LOADING SPACE
 PROPOSED: 1 SPACE
- THE PROPERTY WILL BE SERVICED BY THE FOLLOWING SERVICES:

DRAINAGE: PRIVATE
 SEWER: MUNICIPAL
 WATER: MUNICIPAL
 ELECTRIC: UTIL
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON REFERENCE PLAN INFORMATION.
- TOPOGRAPHY WAS GENERATED FROM REFERENCE PLAN INFORMATION.
- WETLANDS INFORMATION DEPICTED ON THIS PLAN IS FROM REFERENCE PLAN INFORMATION.
- EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE CITY OF CONCORD, NEW HAMPSHIRE, COMMUNITY PANEL NUMBER 3301300337E, EFFECTIVE DATE: APRIL 18, 2010, INDICATES THAT THE SUBJECT PARCEL IS PARTIALLY LOCATED WITHIN A FLOOD HAZARD AREA.
- EASEMENTS, RIGHTS, AND RESTRICTIONS SHOWN ARE THOSE WHICH IDENTIFIED BASED ON DATA USED IN CONCEPTUAL DESIGN. OTHER RIGHTS, EASEMENTS, OR RESTRICTIONS MAY EXIST WHICH DEED RESEARCH AND A TITLE EXAMINATION OF SUBJECT PARCEL(S) WOULD DETERMINE.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. TFMORAN INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIG SAFE AT 811.
- THIS PROPERTY IS SUBJECT TO CONDOMINIUM OWNERSHIP. REFER TO CONDOMINIUM SITE PLANS PREPARED BY FWS LAND SURVEYING P.L.L.C. FOR ADDITIONAL DETAIL.
- THE FUTURE PHASES WILL BE SUBJECT TO SEPARATE SITE PLAN APPROVALS.
- RETAINING WALLS EXCEEDING FOUR FEET IN HEIGHT REQUIRE A BUILDING PERMIT FROM CITY CODE ENFORCEMENT.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS (LATEST ADDITION), AND CITY STANDARDS SHALL TAKE PRECEDENCE IN CASE OF ANY DETAILS OR PLANS IN CONFLICT.
- ALL UTILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 25.02(1) OF THE SITE PLAN REGULATIONS.
- PER SITE PLAN REGULATION 12.09, UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL SET UP A PRECONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
- THE CONTRACTOR SHALL OBTAIN UTILITY CONNECTION PERMITS FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED WATER SERVICE, SEWER SERVICE, AND STORM DRAIN CONNECTION(S). INDIVIDUAL PERMITS WILL BE REQUIRED FOR EACH CONNECTION.
- THE CONTRACTOR SHALL OBTAIN A DRIVEWAY PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR THE PROPOSED DRIVEWAY.

NON-RESIDENTIAL DRIVEWAY SPACING REQUIREMENTS

| STANDARD | PRIVATE ROAD (MERCHANTS WAY) | LOCAL STREET (WHITNEY ROAD) | PROVIDED |
|---------------------------------------|------------------------------|---|---|
| MINIMUM DRIVEWAY WIDTH | NONE | 20 FT | DRIVEWAY A = 24' DRIVEWAY B = 24' |
| MAXIMUM DRIVEWAY WIDTH | NONE | 28 FT TWO-WAY 16 FT ONE-WAY | DRIVEWAY A = 24' DRIVEWAY B = 24' |
| SEPARATION FROM ADJACENT DRIVEWAYS | NONE | 100 FT | DRIVEWAY A TO WEST = 175 FT DRIVEWAY B TO SOUTH = 275 FT |
| SEPARATION FROM ADJACENT INTERSECTION | NONE | 125 FT | DRIVEWAY A TO EAST = 145 FT DRIVEWAY B TO NORTH = 175 FT |
| NUMBER OF DRIVEWAYS | NONE | 1 PER 100 FT OF FRONTAGE FOR A MAXIMUM OF 2 | 2 |

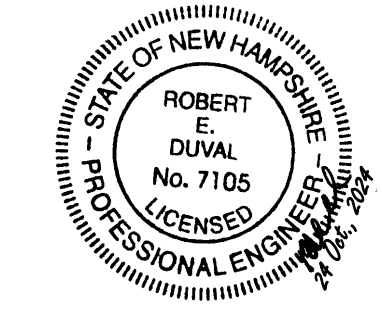
THIS TABLE IS INCLUDED TO DEMONSTRATE COMPLIANCE WITH CITY OF CONCORD SITE PLAN REGULATIONS TABLE 19-2

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NOTES (CONTINUED)

- THERE ARE NO EXISTING SOLID WASTE FACILITIES ON THE SITE. PROPOSED IS A DUMPSTER ENCLOSURE WITH REQUIRED SCREENING PER CITY REGULATIONS.
- THERE ARE NO EXISTING OR PROPOSED OUTSIDE STORAGE AREAS ON SITE.
- THERE ARE NO EXISTING FIRE ALARM OR FIRE SUPPRESSION SYSTEMS ON SITE. THIS PLAN PROPOSES AN 8" FIRE SUPPRESSION SERVICE FOR THE PROPOSED BUILDINGS.



HORIZONTAL SCALE 1"=20'
 20 10 0 20

| REV# | DATE | DESCRIPTION | DR | CK |
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| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

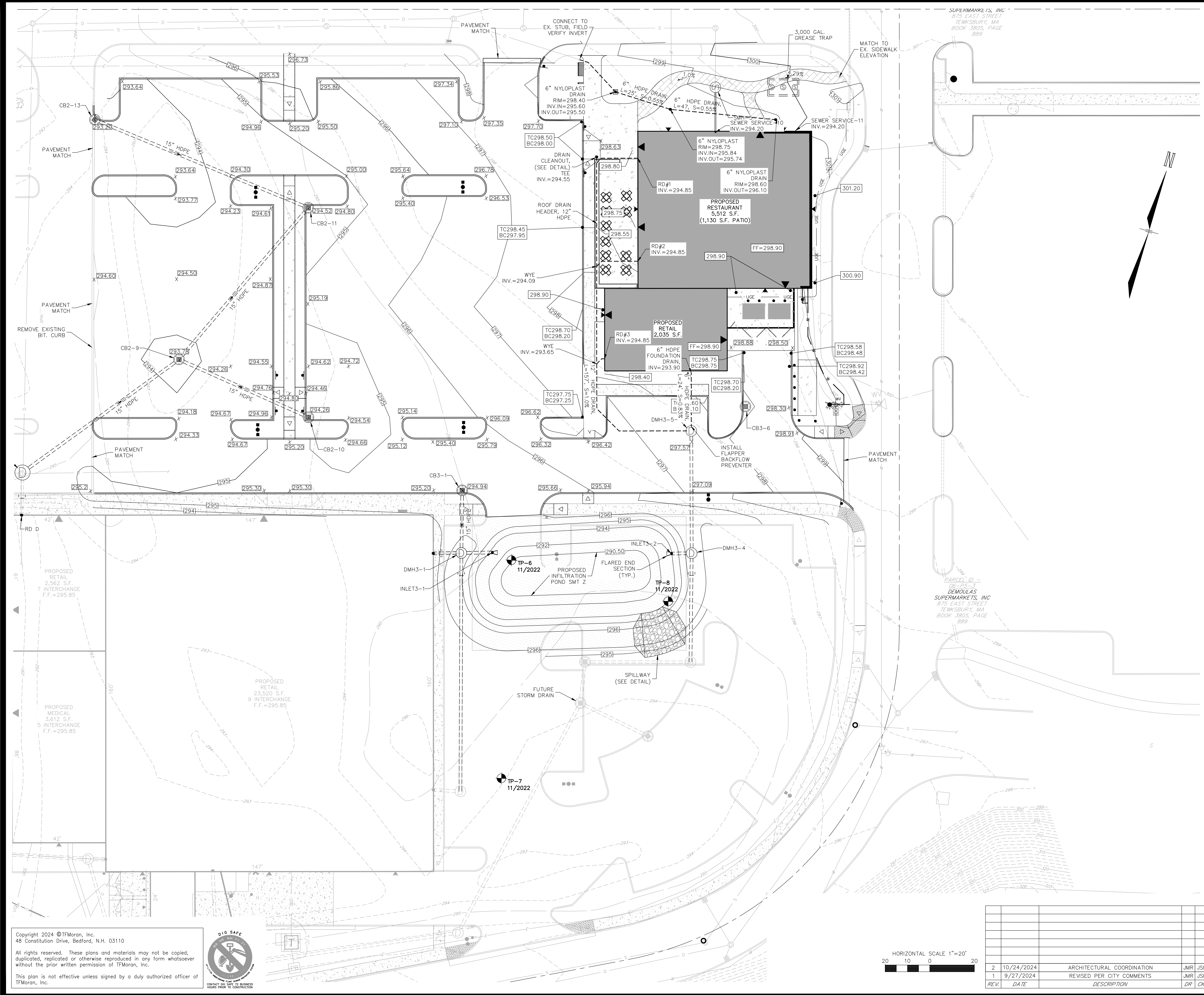
SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
SITE LAYOUT PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=20'

JULY 15, 2024

| | | |
|-------------------|--|---|
| | Civil Engineers Structural Engineers Traffic Engineers Land Surveyors Landscape Architects Scientists | 48 Constitution Drive Bedford, NH 03110 Phone (603) 472-4488 Fax (603) 472-9747 www.tfmoran.com |
| | DR: PWH CK: JSH | FB: - CADFILE: 95830-11_SITE PLANS |
| FILE NO: 95830.11 | | SHEET: C-5 |



NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL CONFORM TO CITY OF CONCORD CONSTRUCTION STANDARDS AND THE REQUIREMENTS OF THE LATEST NHDOT STANDARD SPECIFICATIONS FOR ROADS AND BRIDGE CONSTRUCTION AND THE NHDOT STANDARD STRUCTURE DRAWINGS UNLESS OTHERWISE NOTED.
- STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED TO LINE AND GRADE AS SHOWN ON THE PLANS. CONSTRUCTION METHODS SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS, SECTION 603. CATCH BASINS AND DRAIN MANHOLES SHALL CONFORM TO SECTION 604. ALL CATCH BASIN GRATES SHALL BE TYPE B AND CONFORM TO NHDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
- ALL ELEVATIONS SHOWN AT CURB ARE TO THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. CURBS HAVE A 6" REVEAL UNLESS OTHERWISE NOTED.
- ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- IN ACCORDANCE WITH RSA 430:53 AND Agr 3800, THE CONTRACTOR SHALL NOT TRANSPORT INVASIVE SPECIES OFF THE PROPERTY, AND SHALL DISPOSE OF INVASIVE SPECIES ON-SITE IN A LEGAL MANNER.
- THE SITE CONTRACTOR SHALL PREPARE, MAINTAIN, AND EXECUTE A S.W.P.P. IN ACCORDANCE WITH EPA REGULATIONS AND THE CONSTRUCTION GENERAL PERMIT.
- THE SITE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO SUBMIT AN eNOI AT LEAST 14 DAYS IN ADVANCE OF ANY EARTHWORK ACTIVITIES AT THE SITE.
- THE EROSION CONTROL PRACTICES SHOWN ON THESE PLANS ARE ILLUSTRATIVE ONLY AND SHALL BE SUPPLEMENTED BY THE SITE CONTRACTOR AS NEEDED.
- COORDINATE WITH ARCHITECTURAL PLANS FOR DETAILED GRADING AT BUILDING, AND SIZE AND LOCATION OF ALL BUILDING SERVICES.
- COORDINATE WITH GEOTECHNICAL/STRUCTURAL PLANS FOR SITE PREPARATION AND OTHER BUILDING INFORMATION.
- COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ROOF DRAIN INFORMATION.
- LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
- THE CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ABOUT GROUNDWATER CONDITIONS. THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEERS RECOMMENDED METHODS TO ADDRESS ANY GROUNDWATER ISSUES THAT ARE FOUND ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE ACCURACY OF THE TOPOGRAPHY AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY EARTHWORK BEING PERFORMED ON THE SITE. NO CLAIM FOR EXTRA WORK WILL BE CONSIDERED FOR PAYMENT AFTER EARTHWORK HAS COMMENCED.
- VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- IN THE EVENT OF A CONFLICT BETWEEN PLANS, SPECIFICATIONS, AND DETAILS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- IF CONDITIONS AT THE SITE ARE DIFFERENT THAN SHOWN THE ENGINEER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- THESE PLANS WERE PREPARED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER. TFMORAN INC. ASSUMES NO LIABILITY AS A RESULT OF ANY CHANGES OR NON-COMFORMANCE WITH THESE PLANS EXCEPT UPON THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- TFMORAN INC. ASSUMES NO LIABILITY FOR WORK PERFORMED WITHOUT AN ACCEPTABLE PROGRAM OF TESTING AND INSPECTION AS APPROVED BY THE ENGINEER OF RECORD.
- THE SITE CONTRACTOR SHALL ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF NHDES ENV-WQ 1500 AS APPLICABLE.
- CONSERVATION AREA DISTRICT SIGNAGE IS REQUIRED TO BE PLACED ON EXISTING VEGETATION AT 100 FT ON CENTER ALONG THE INTERIOR EDGE OF THE BLUFF BUFFER AROUND THE PERIMETER OF THE PROPERTY. SIGNAGE SHALL CONFORM TO CITY OF CONCORD CONSERVATION COMMISSION STANDARDS.
- ALL STORMWATER IMPROVEMENTS WILL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY IN ACCORDANCE WITH:
 - LOCAL, STATE, FEDERAL REGULATIONS
 - NHDES STORMWATER MANUAL RECOMMENDATIONS
 - STORMWATER MAINTENANCE AND OPERATIONS PLAN
 - MANUFACTURERS SPECIFICATIONS.

REFERENCE PLANS

- "SK-12 FILTRATION POND #1 UPDATE," DATED JUNE 10, 2021, PREPARED BY TFMORAN, INC. REFERENCE FILE: 95830-00_SITEDetails: SK-12

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
GRADING & DRAINAGE PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=20' **JULY 15, 2024**

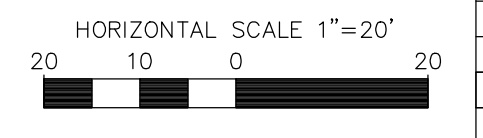
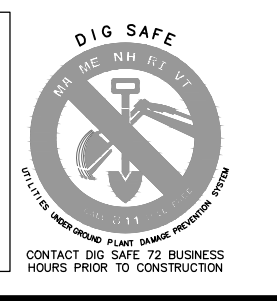
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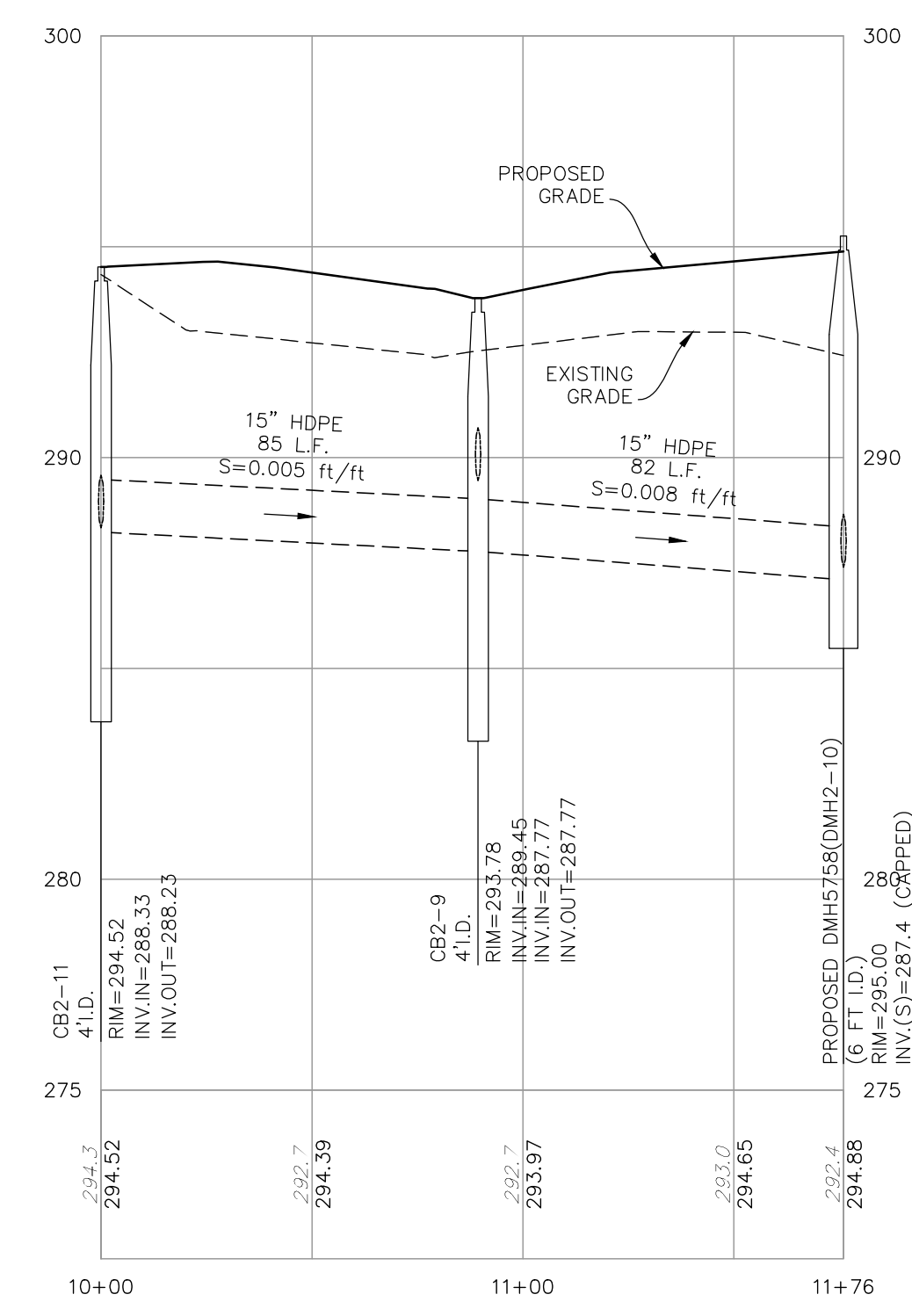
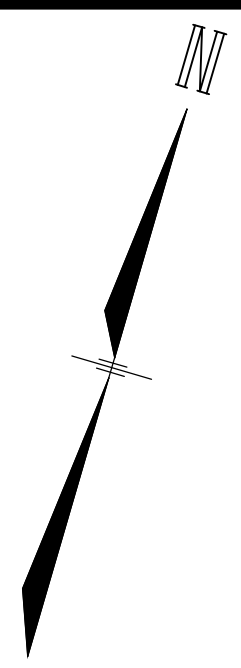
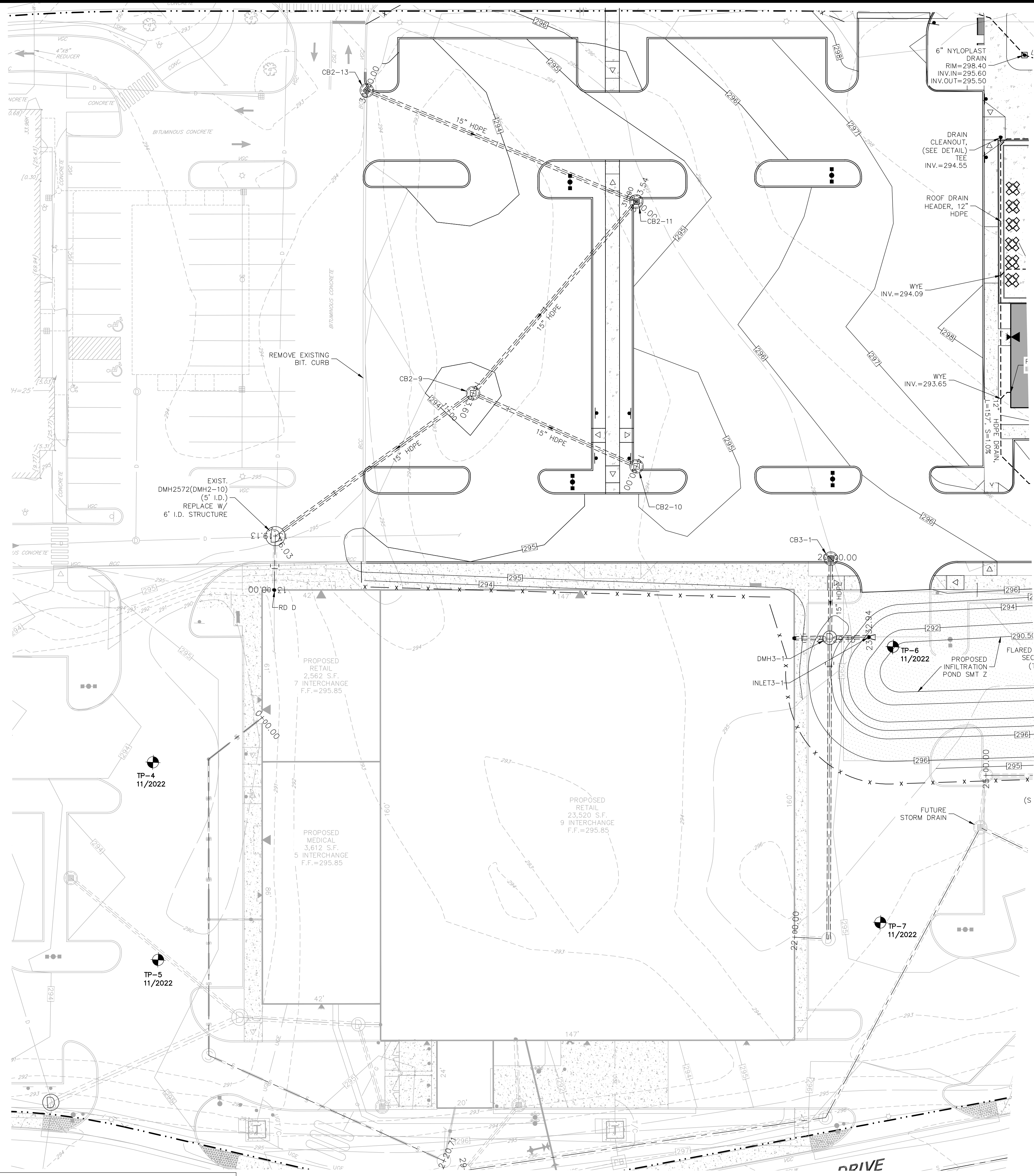
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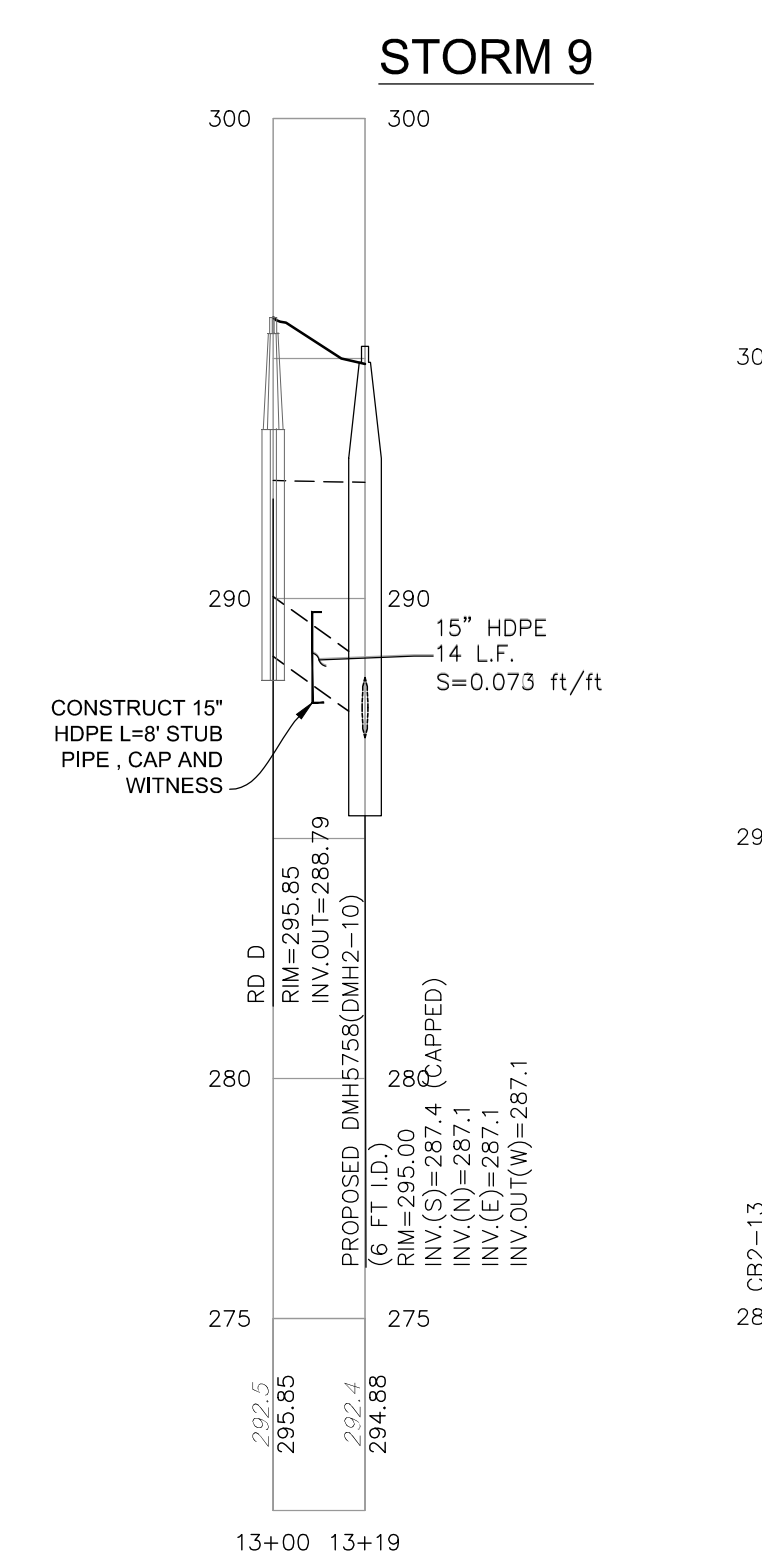
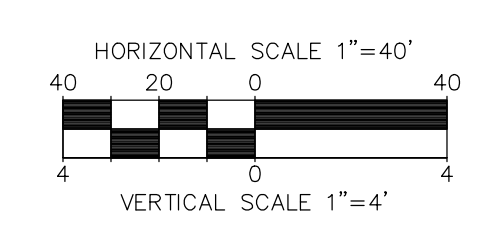
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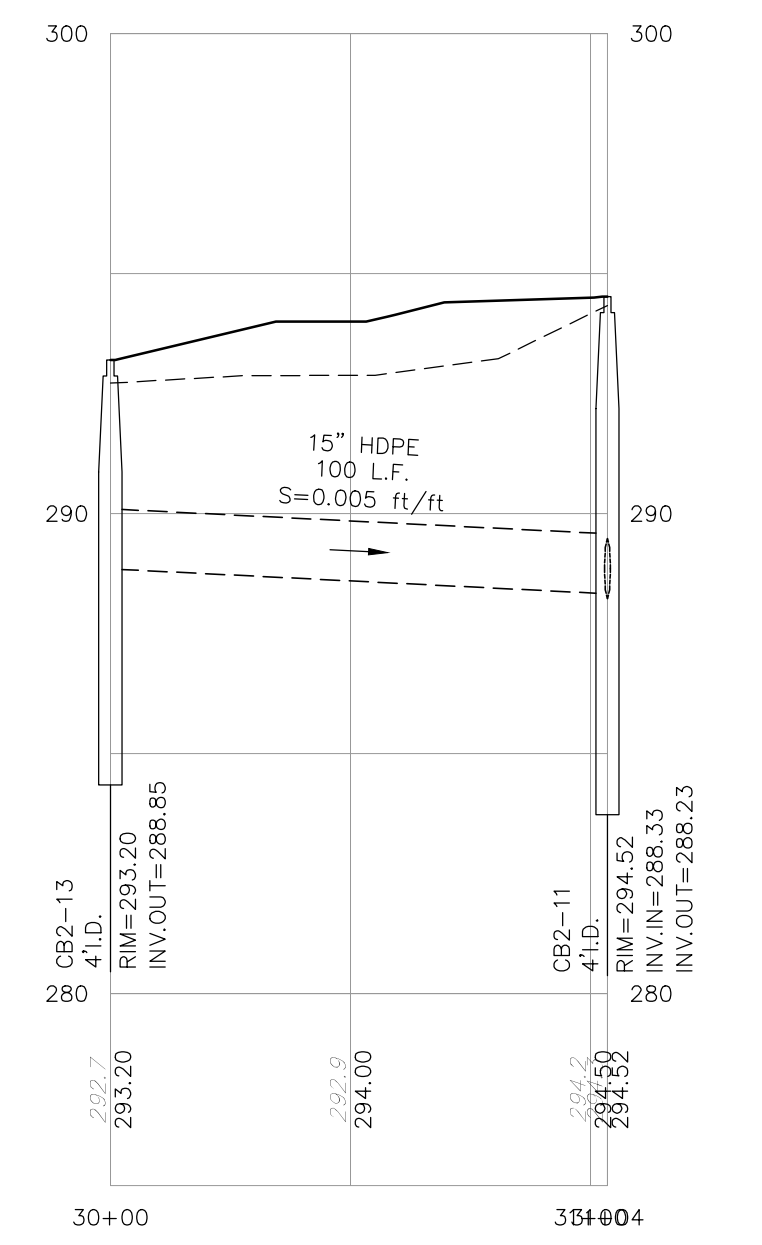


STORM 8



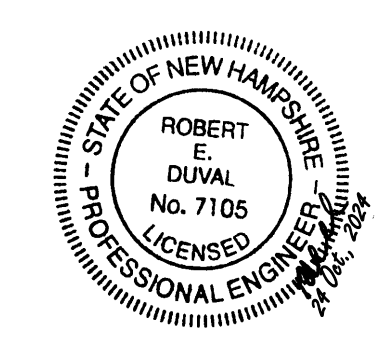
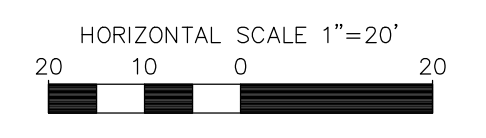
STORM 9

STORM 8A



STORM 8B

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SITE DEVELOPMENT PLANS
TAX MAP 06P LOT 5
DRAINAGE PROFILES
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

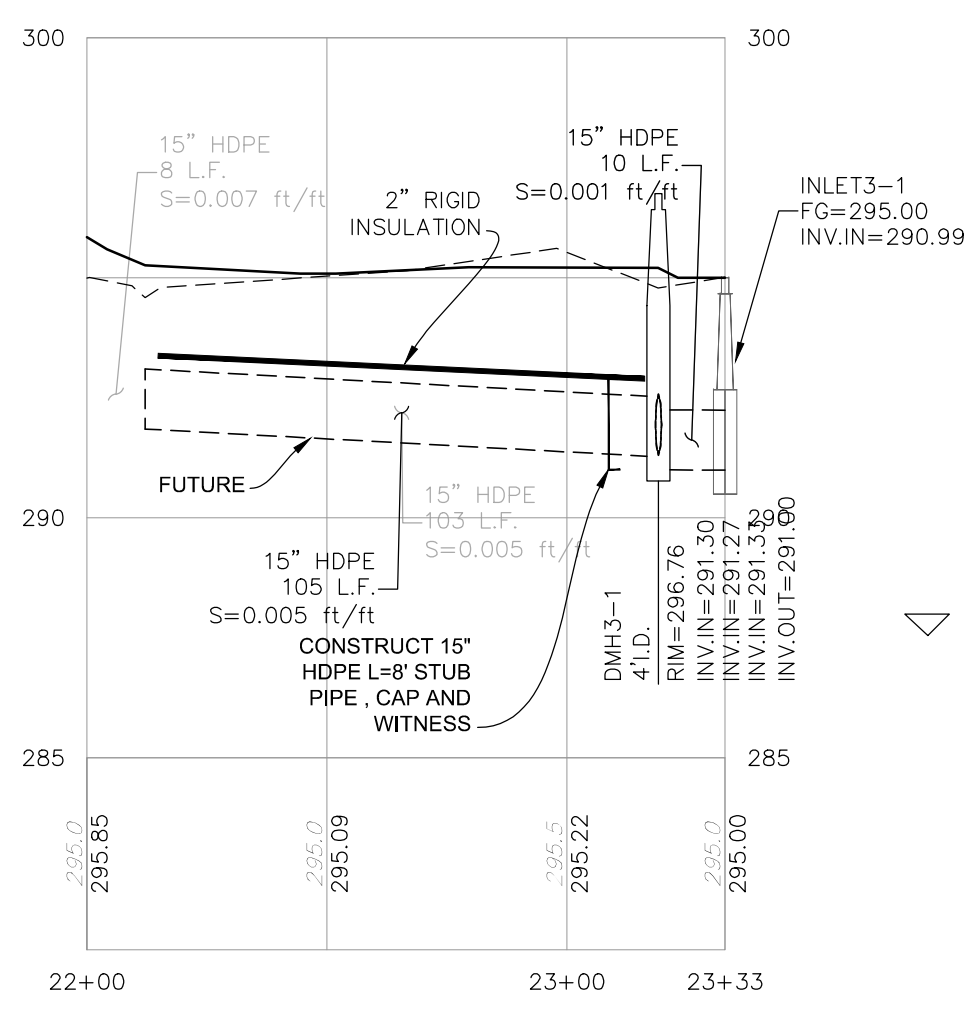
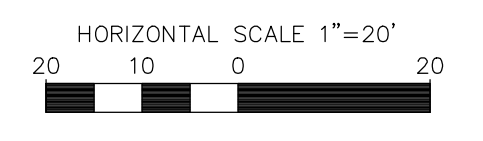
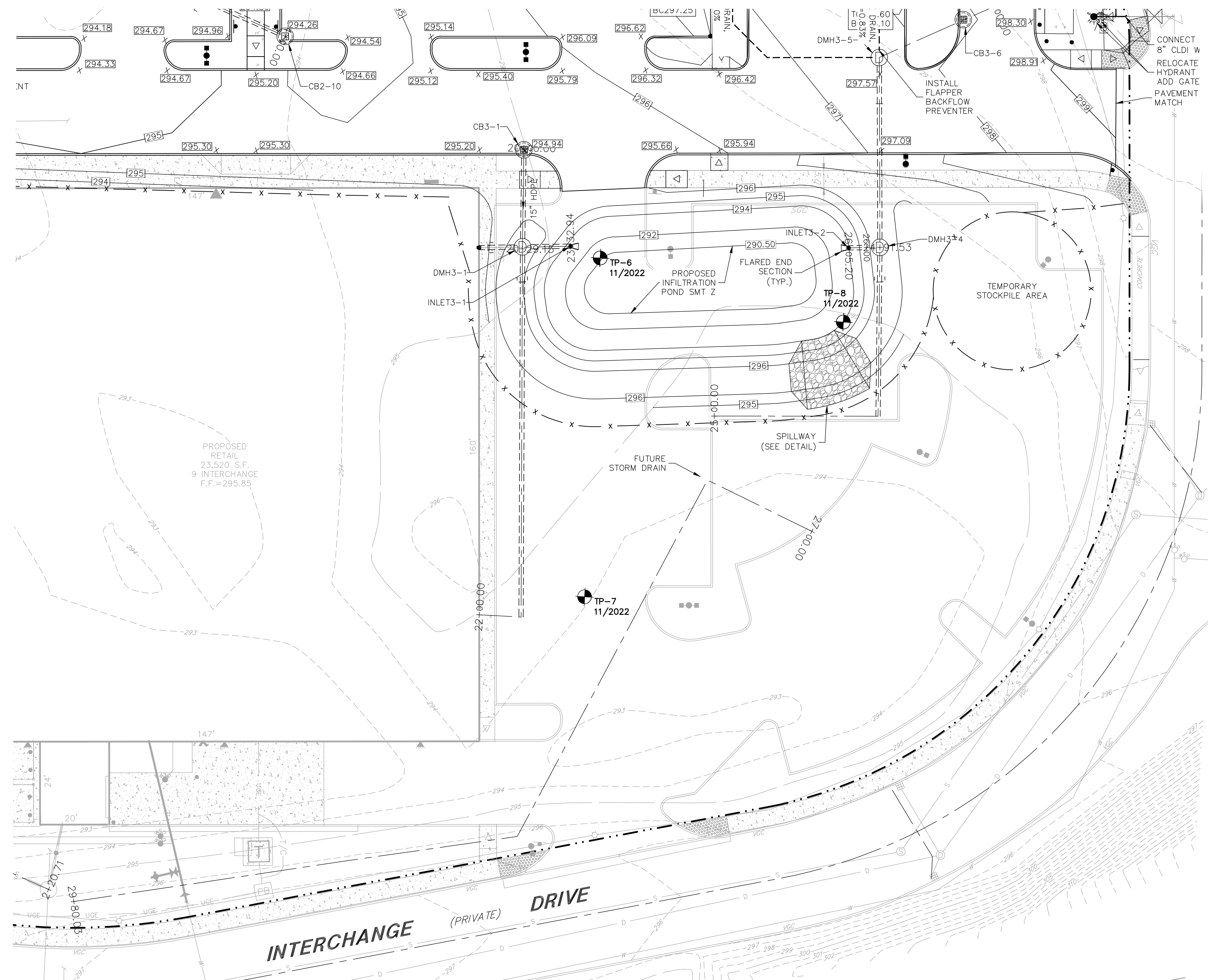
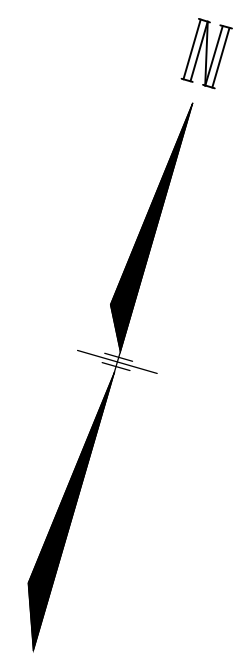
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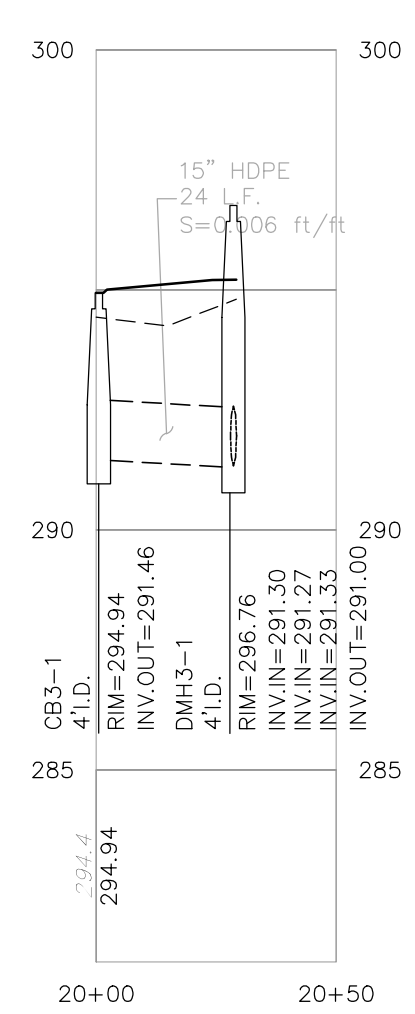
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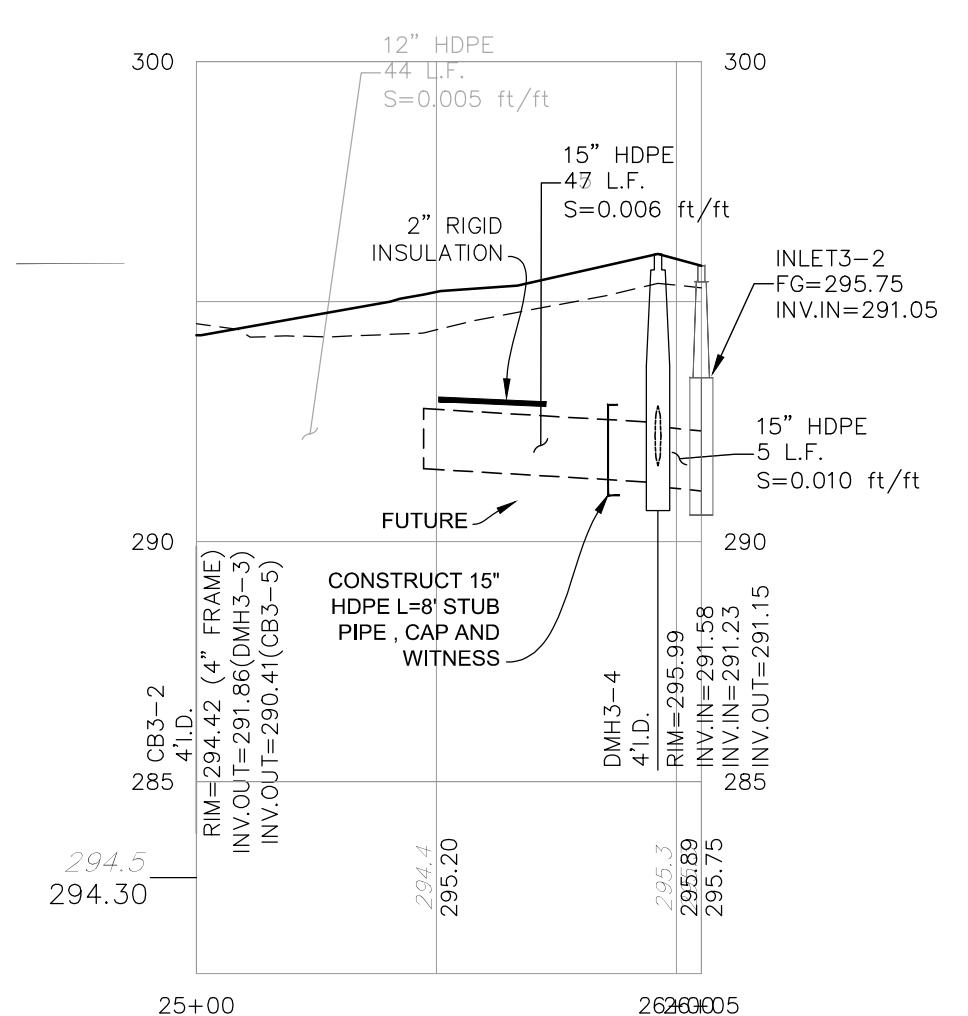
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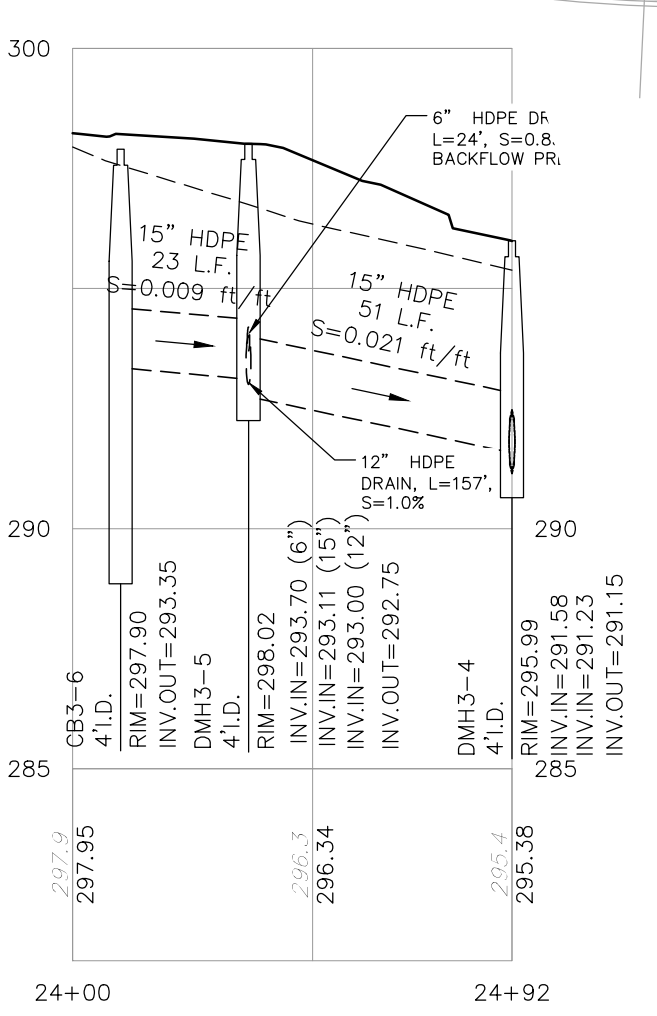
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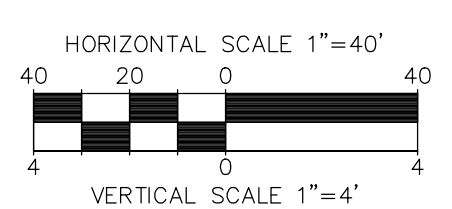
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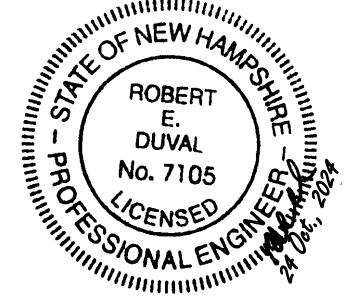
STORM 13



STORM 14



SITE DEVELOPMENT PLANS
 TAX MAP 06P LOT 5
DRAINAGE PROFILES
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224



SCALE: AS NOTED JULY 15, 2024

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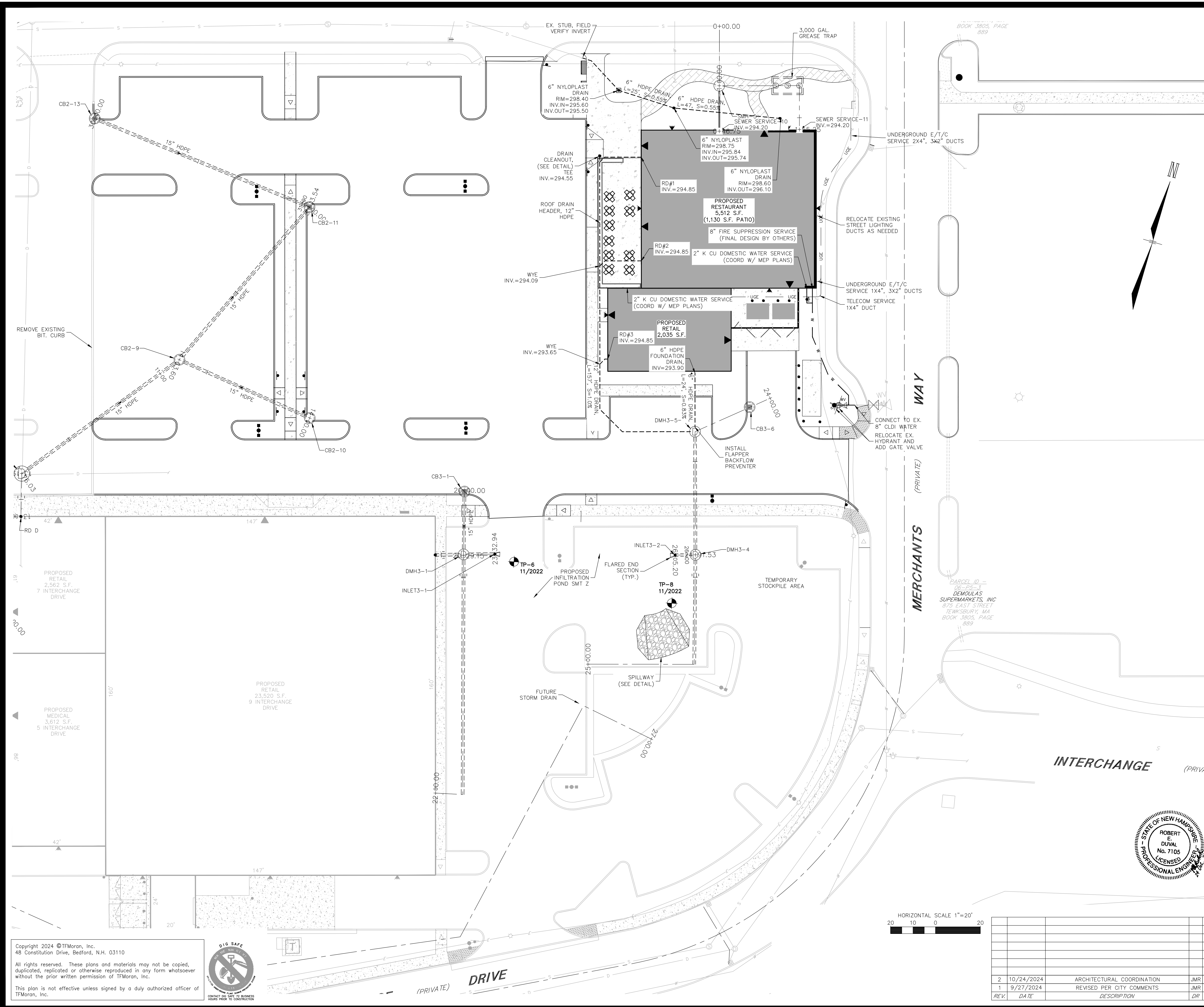


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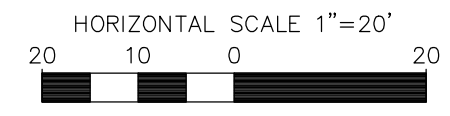
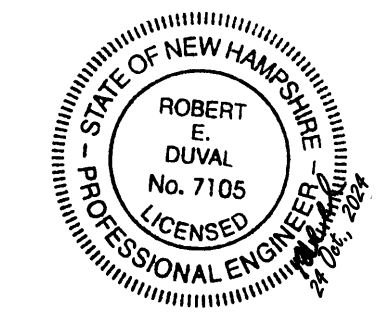
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- NOTES**
- ALL WORK SHALL CONFORM TO THE CITY OF CONCORD CONSTRUCTION STANDARDS, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SITE AND ALL SURROUNDING CONDITIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
 - THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
 - SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM). SANITARY MANHOLES SHALL CONFORM TO NHDES WATER DIVISION WASTEWATER ENGINEERING BUREAU STANDARDS AND SPECIFICATIONS SHOWN HEREON.
 - ON-SITE WATER DISTRIBUTION SHALL BE TO CITY OF CONCORD CONSTRUCTION STANDARDS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM. THRUST BLOCKS SHALL BE USED AT ALL BENDS IN THE WATER MAINS.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
 - VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
 - ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, CURBING, SIDEWALKS AND ALIGNMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER.
 - UNLESS OTHERWISE SPECIFIED, ALL UNDERGROUND STRUCTURES, PIPES, CHAMBERS, ETC. SHALL BE COVERED WITH A MINIMUM OF 18" OF COMPACTED SOIL BEFORE EXPOSURE TO VEHICLE LOADS.
 - THERE ARE NO EXISTING FIRE ALARM OR FIRE SUPPRESSION SYSTEMS ON SITE. THIS PLAN PROPOSES AN 8" FIRE SUPPRESSION SERVICE FOR THE PROPOSED BUILDINGS.

SITE DEVELOPMENT PLANS
 TAX MAP 06P LOT 5
UTILITY PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=20' JULY 15, 2024



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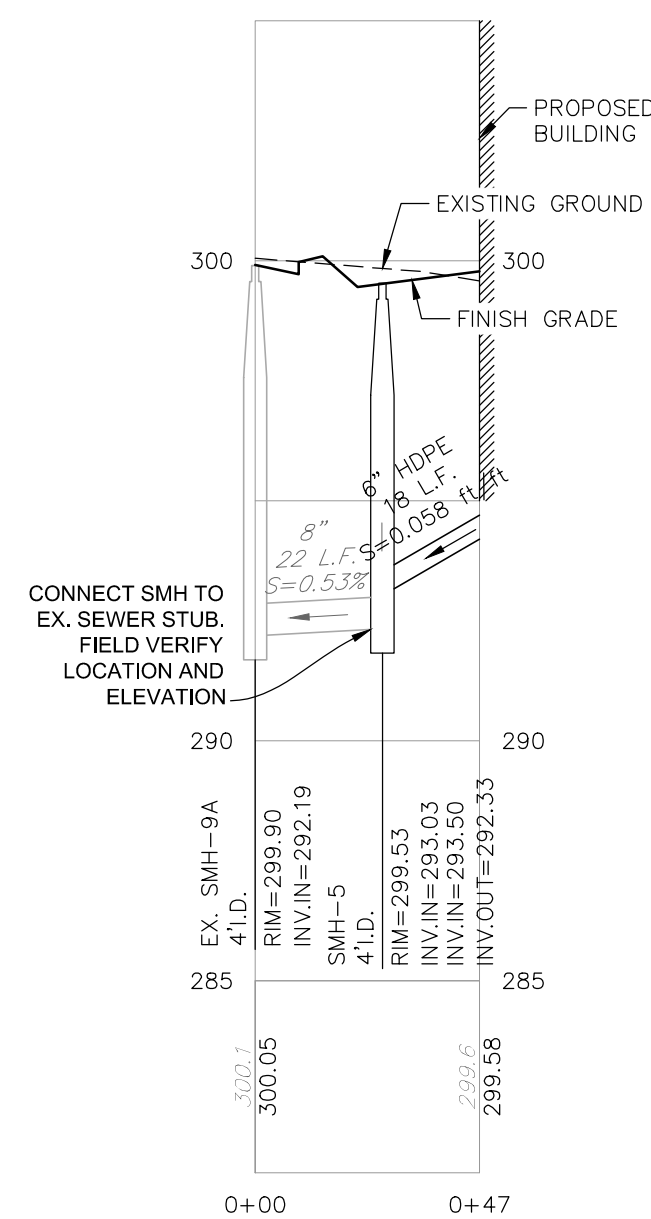
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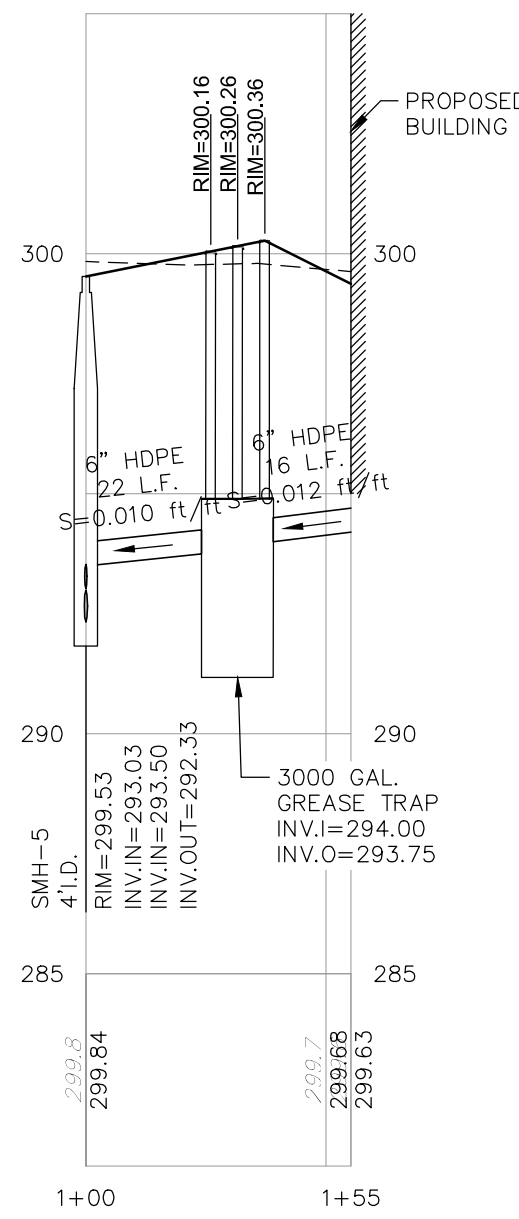
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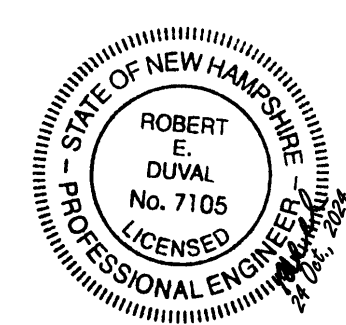
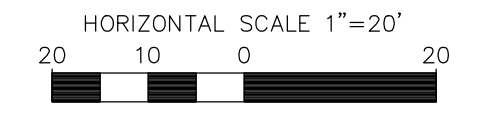
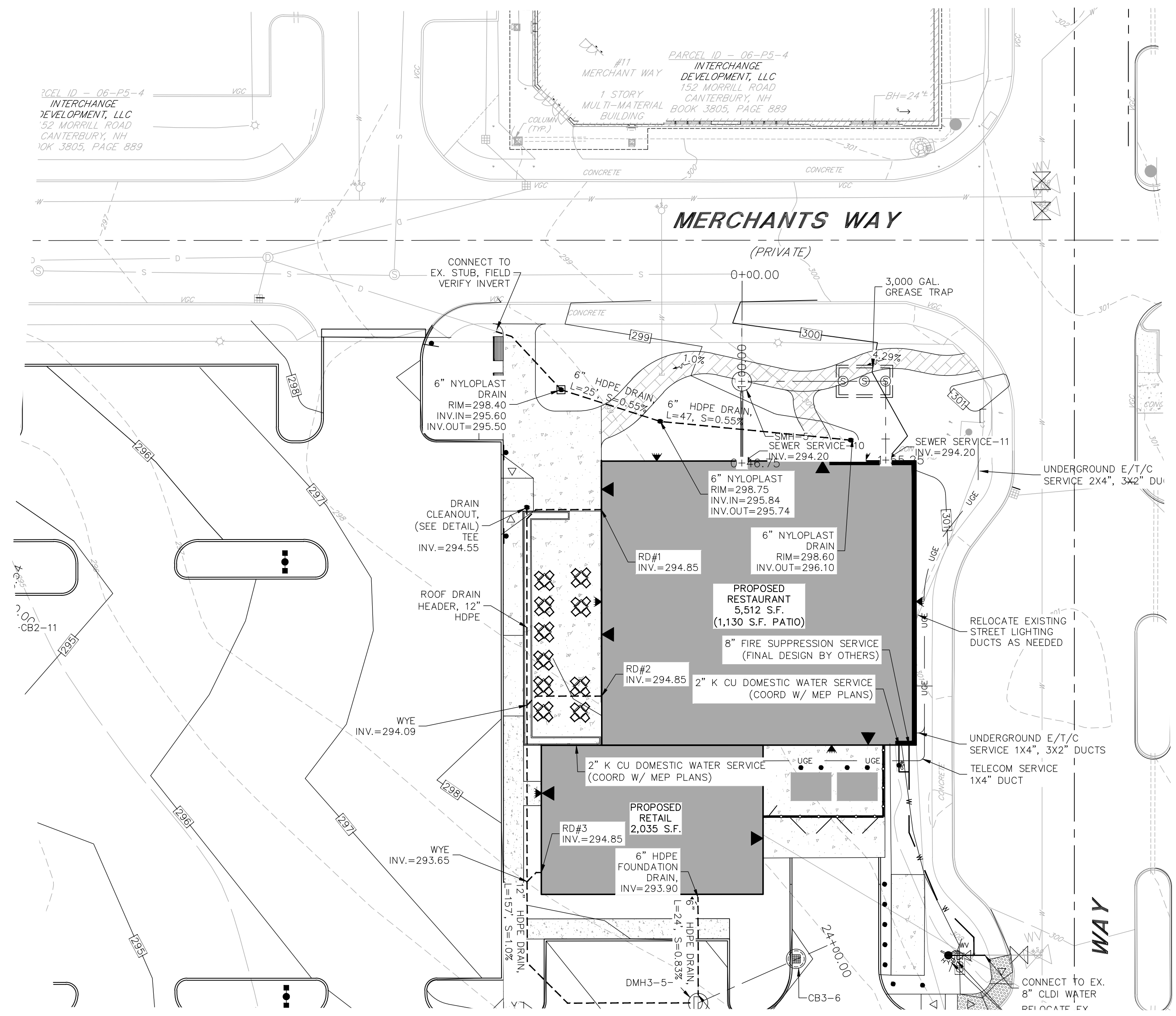
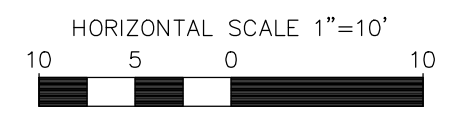
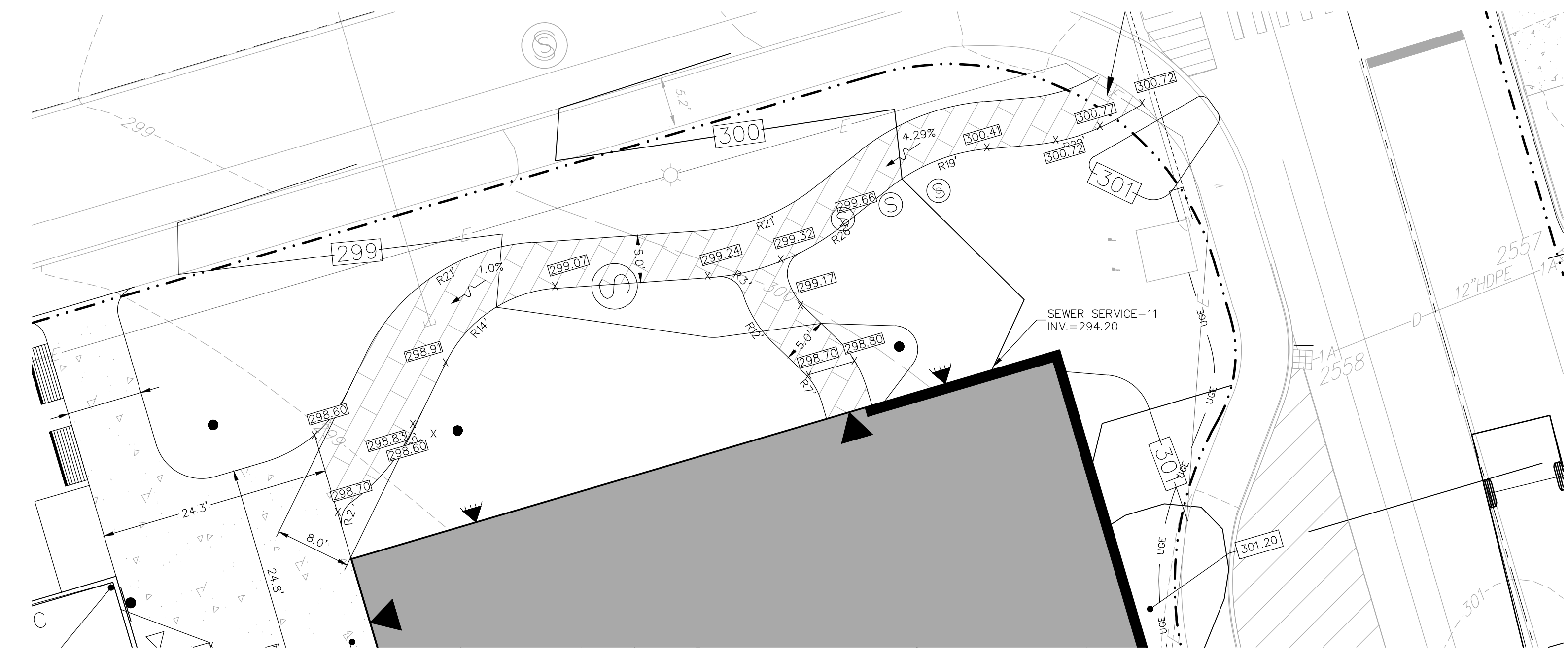
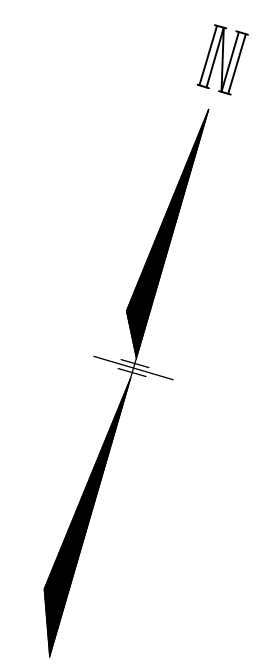
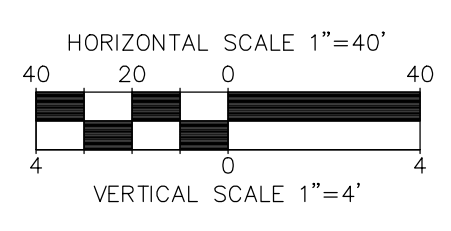
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SEWER3-1



SEWER3-2



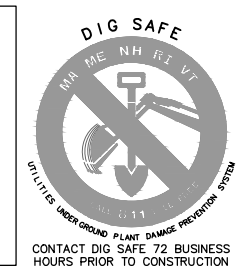
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MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS NOTED **JULY 15, 2024**

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 48 Constitution Drive, Bedford, N.H. 03110

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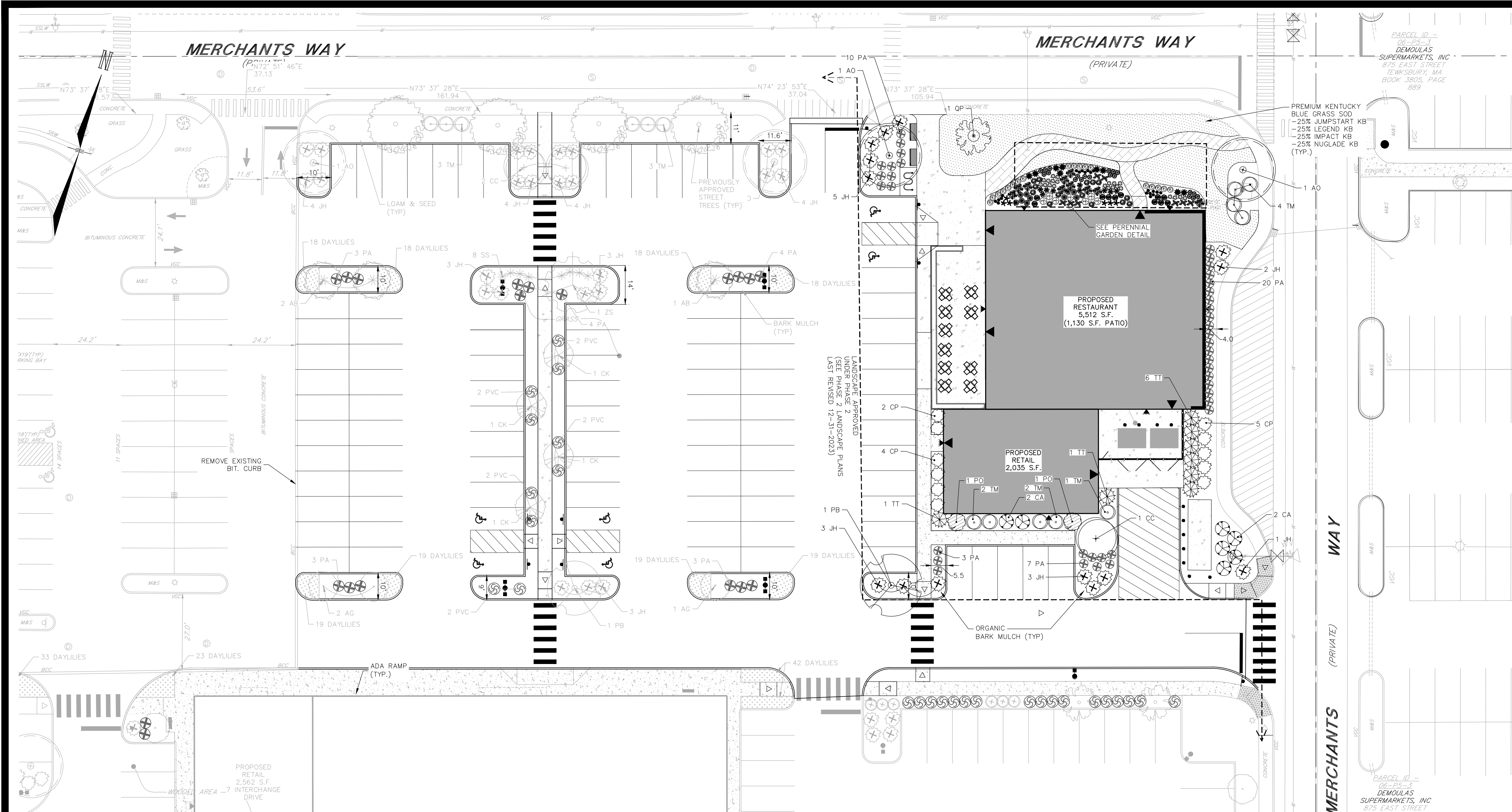


| REV | DATE | DESCRIPTION | DR | CK |
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| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

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95830.11 DR FWH FB
 CK JSH CADFILE 95830-11_SITE PLANS C-10



LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|-------------------------|-----|--|----------------------|---------|
| RESTAURANT | | | | |
| SHADE TREES | | | | |
| AO | 2 | ACER RUBRUM 'OCTOBER GLORY' OCTOBER GLORY RED MAPLE | 2 1/2" TO 3" CAL. | B&B |
| PB | 1 | PLATANUS X ACROFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANETREE | 2 1/2" TO 3" CAL. | B&B |
| QP | 1 | QUERCUS PALUSTRIS 'GREEN PILLAR' GREEN PILLAR PIN OAK | 2 1/2" TO 3" CAL. | B&B |
| ORNAMENTAL TREES | | | | |
| CC | 1 | CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' CRIMSON CLOUD HAWTHORN | 2 1/2" TO 3" CAL. | B&B |
| SHRUBS | | | | |
| CP | 11 | CHAMAECYPRIS P. 'F. MOPS' MOP'S THREAD-LEAF FALSEYEW | 3 GAL. | CONT. |
| CA | 7 | CLETHRA ALNIFOLIA 'RUBY SPICE' RUBY SPICE SUMMERSWEET | 3 GAL. | CONT. |
| JH | 17 | JUNIPERUS H. 'PLUMOSA COMPACTA' YOUNGTOWN JUNIPER | 3 GAL. | CONT. |
| PD | 2 | PHYSOCARPUS O. 'SUMMER WINE' SUMMER WINE NINEBARK | 3 GAL. | CONT. |
| TM | 9 | TAXUS MEDIA 'HICKSI' HICK'S YEW | 2' TO 2 1/2' | B&B |
| TT | 8 | THUJA O. 'TECHNY' MISSION ARBORVITAE | 5' TO 6' | B&B |
| PA | 40 | PENNISETUM ALO. 'HADELN' HADELN DWARF FOUNTAIN GRASS | 1 GAL. | CONT. |
| | | PREMIUM KENTUCKY BLUE SOD | 2,240 SF | |

INTERIOR GREEN SPACE (18.17 SITE PLAN REGULATIONS):
 - MORE THAN 50 AND LESS THAN 375 SPACE = 5% INTERIOR GREEN
 TOTAL REQUIRED = (97 SPACES) 5% INTERIOR GREEN (PARKING AREA 43,391 SF) = 2,170 SF
 TOTAL PROVIDED = 4,724 SF OR 10.9%

PARKING AREA SHADE TREES (18.17 SITE PLAN REGULATIONS):
 - ONE (1) ORNAMENTAL OR SHADE TREE PER 1,000 SQUARE FEET OF PARKING LOT AREA
 TREES TO BE WITHIN 20' OF THE PARKING LOT, OR IN LANDSCAPED AREAS BETWEEN BUILDINGS AND THE PARKING FIELD.
 TOTAL REQUIRED = 3,463 SF/1,000 SF = 3 TREES
 TOTAL PROVIDED = 3 TREES

LANDSCAPE NOTES

- (SEE DETAILS FOR ADDITIONAL NOTES)
- GENERAL**
- THE CONTRACTOR SHALL COMPLY WITH CITY OF CONCORD CONSTRUCTION STANDARDS.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND NOTIFY OWNER'S REPRESENTATIVE OF CONFLICTS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON PLANS BEFORE BEGINNING THE WORK. ANY DIFFERENCE IN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. LANDSCAPE QUANTITIES SHOWN ON THE PLAN SHALL SUPERCEDE QUANTITIES LISTED IN LANDSCAPE LEGEND.
 - THE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO STARTING WORK AND VERIFY THAT THE PLANS IN THE CONTRACTOR'S POSSESSION ARE THE MOST CURRENT PLANS AVAILABLE AND ARE THE APPROVED PLAN SET FOR USE IN CONSTRUCTION.
 - ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN. ALL PLANTS SHALL BE FIRST CLASS AND SHALL BE REPRESENTATIVE OF THEIR NORMAL SPECIES AND/OR VARIETIES. ALL PLANTS MUST HAVE GOOD, HEALTHY, WELL-FORMED UPPER GROWTH AND A LARGE, FIBROUS, COMPACT ROOT SYSTEM.
 - ALL PLANTS SHALL BE FREE FROM DISEASE AND INSECT PESTS AND SHALL COMPLY WITH ALL APPLICABLE STATE AND FEDERAL LAWS PERTAINING TO PLANT DISEASES AND INFESTATIONS.
 - ALL TREES SHALL BE BALLED AND BURLAPPED (B & B) UNLESS OTHERWISE NOTED OR APPROVED BY LANDSCAPE ARCHITECT.
 - ALL LANDSCAPED AREAS INCLUDING LAWNS SHALL BE PROVIDED WITH UNDERGROUND IRRIGATION. SEE IRRIGATION NOTES.
 - IF APPLICABLE, THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING AND STORED FOR FALL PLANTING.
 - ALL INVASIVE PLANT SPECIES FROM THE "NEW HAMPSHIRE PROHIBITED INVASIVE PLANT SPECIES LIST", TO BE REMOVED SHALL BE DONE SO IN ACCORDANCE WITH THE "INVASIVE SPECIES ACT, HB 1258-FN."
 - NO TREES SHALL BE PLANTED WITHIN 10 FEET OF AN EXISTING OR PROPOSED UNDERGROUND UTILITY LINE
 - ALL OPEN SPACE AREAS NOT COVERED WITH NATURAL VEGETATION SHALL BE COVERED WITH GRASS OR OTHER VEGETATIVE GROUNDCOVERS, WITH THE EXCEPTION OF PLANTING BEDS WHICH MAY BE MULCHED.

GUARANTEE

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE WORK FOR A PERIOD OF ONE YEAR, BEGINNING AT THE START OF THE MAINTENANCE PERIOD.

RESTRICTIONS IN REQUIRED LANDSCAPE AREAS:

PARKING, AND THE STORAGE AND DISPLAY OF VEHICLES, GOODS, AND MATERIALS ARE PROHIBITED WITHIN PERIMETER LANDSCAPING AREAS, RESIDENTIAL DISTRICT BUFFERS, AND INTERIOR PARKING LOT LANDSCAPED AREAS. INTERNAL PARKING LOT ISLANDS SHALL EITHER BE GRASSED OR PLANTED WITH GROUND COVER, NON-ORGANIC MULCH, STONE, OR LANDSCAPED FABRIC. IS NOT ALLOWED IN REQUIRED LANDSCAPE AREAS.

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
LANDSCAPE PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY / PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=20' **JULY 15, 2024**



LANDSCAPE LEGEND

| SYMBOL | QTY | BOTANICAL NAME COMMON NAME | SIZE | REMARKS |
|--------|-----|---|----------|---------|
| AM | 11 | ALCHEMILLA MOLLIS LADY'S MANTLE | 1 GAL. | CONT. |
| CR | 18 | CAMPANULA 'RAPIDO BLUE' RAPIDO BLUE BELLFLOWER | 1 GAL. | CONT. |
| CE | 9 | CAREX 'EVERILLO' EVERILLO SEDGE | 1 GAL. | CONT. |
| DM | 7 | DIGITALIS MERTONENSIS STRAWBERRY FOXGLOVE | 1 GAL. | CONT. |
| HS | 9 | HEMEROCALLIS 'STRAWBERRY CANDY' STRAWBERRY CANDY DAYLILY | 1 GAL. | CONT. |
| HP | 10 | HEUCHERA 'PALACE PURPLE' PALACE PURPLE CORAL BELLS | 1 GAL. | CONT. |
| HO | 8 | HOSTA 'PATRIOT' PATRIOT PLANTAIN LILY | 1 GAL. | CONT. |
| HH | 14 | HOSTA 'PRAYING HANDS' PRAYING HANDS PLANTAIN LILY | 1 GAL. | CONT. |
| LF | 10 | LEUCOTHOE FONTANESIANA 'SCARLETTA' SCARLETTA LEUCOTHOE | 3 GAL. | CONT. |
| LM | 22 | LIRIOPE MUSCARI 'BIG BLUE' BIG BLUE LILYTURT | 1 GAL. | CONT. |
| PT | 20 | POLEMONIUM 'TOUCH OF CLASS' TOUCH OF CLASS JACOBS LADDER | 1 GAL. | CONT. |
| PA | 6 | POLYSTICHUM ACROSTICHOIDES CHRISTMAS FERN | 1 GAL. | CONT. |
| TC | 20 | TIARELLA X 'CUTTING EDGE' CUTTING EDGE FOAM FLOWER | 1.5 GAL. | CONT. |

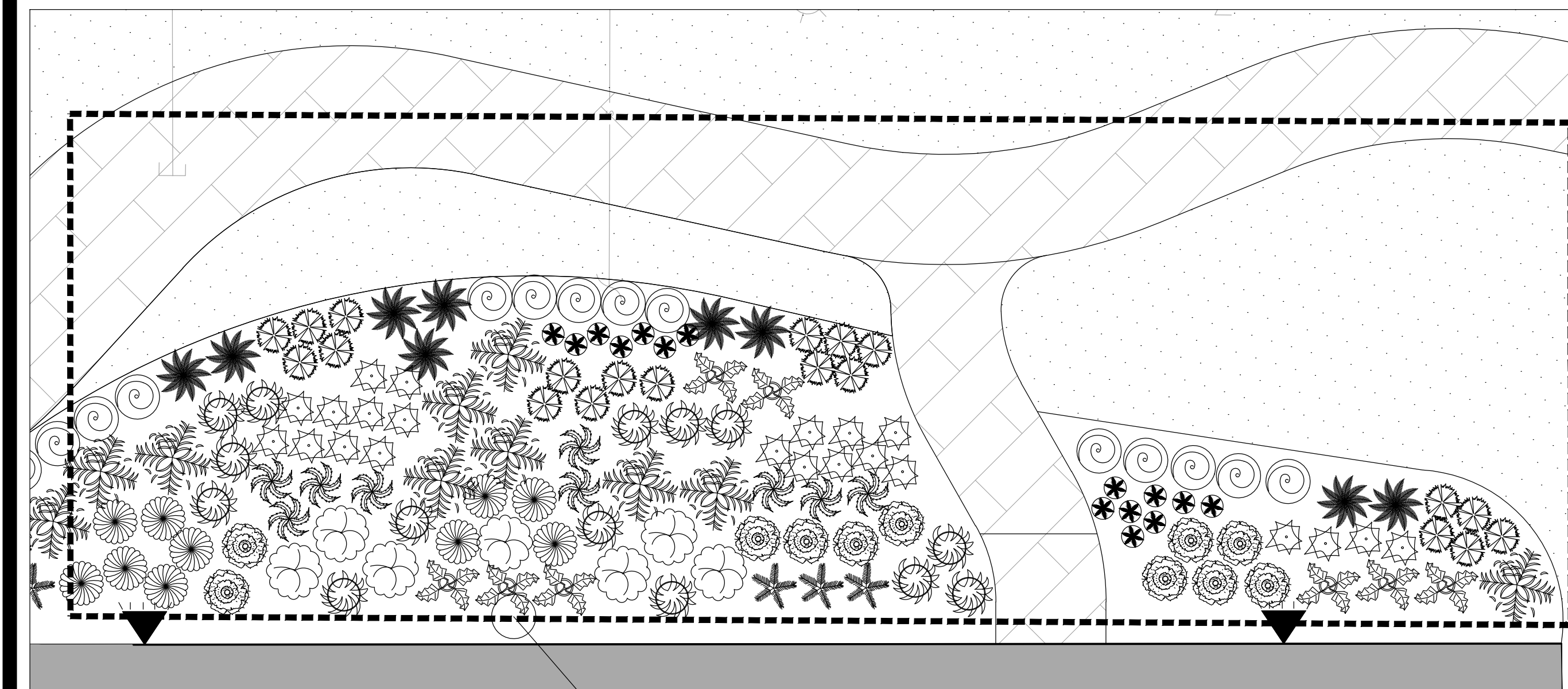
HORIZONTAL SCALE 1"=20'

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGNED BY AN APPROVED IRRIGATION DESIGN/BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE IRRIGATION SYSTEM DESIGN AND SHOP DRAWINGS TO THE OWNER 30 DAYS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING AND PROPOSED UTILITIES AND NOTIFY THE OWNER'S REPRESENTATIVE OF CONFLICTS.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR, BUT NOT LIMITED TO, THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM AND SHALL FOLLOW ALL APPLICABLE CODES.
- REFER TO ARCHITECTURAL PLANS FOR LOCATION OF THE IRRIGATION SYSTEM'S BUILDING CONNECTION.
- REFER TO MANUFACTURER'S INSTRUCTIONS AND PRODUCT SPECIFICATIONS FOR INSTALLATION.

| REV. | DATE | DESCRIPTION | DR | CK |
|------|------------|----------------------------|-----|-----|
| 2 | 10/24/2024 | ARCHITECTURAL COORDINATION | JMR | JSH |
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

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PERENNIAL GARDEN DETAIL

HORIZONTAL SCALE 1"=5'

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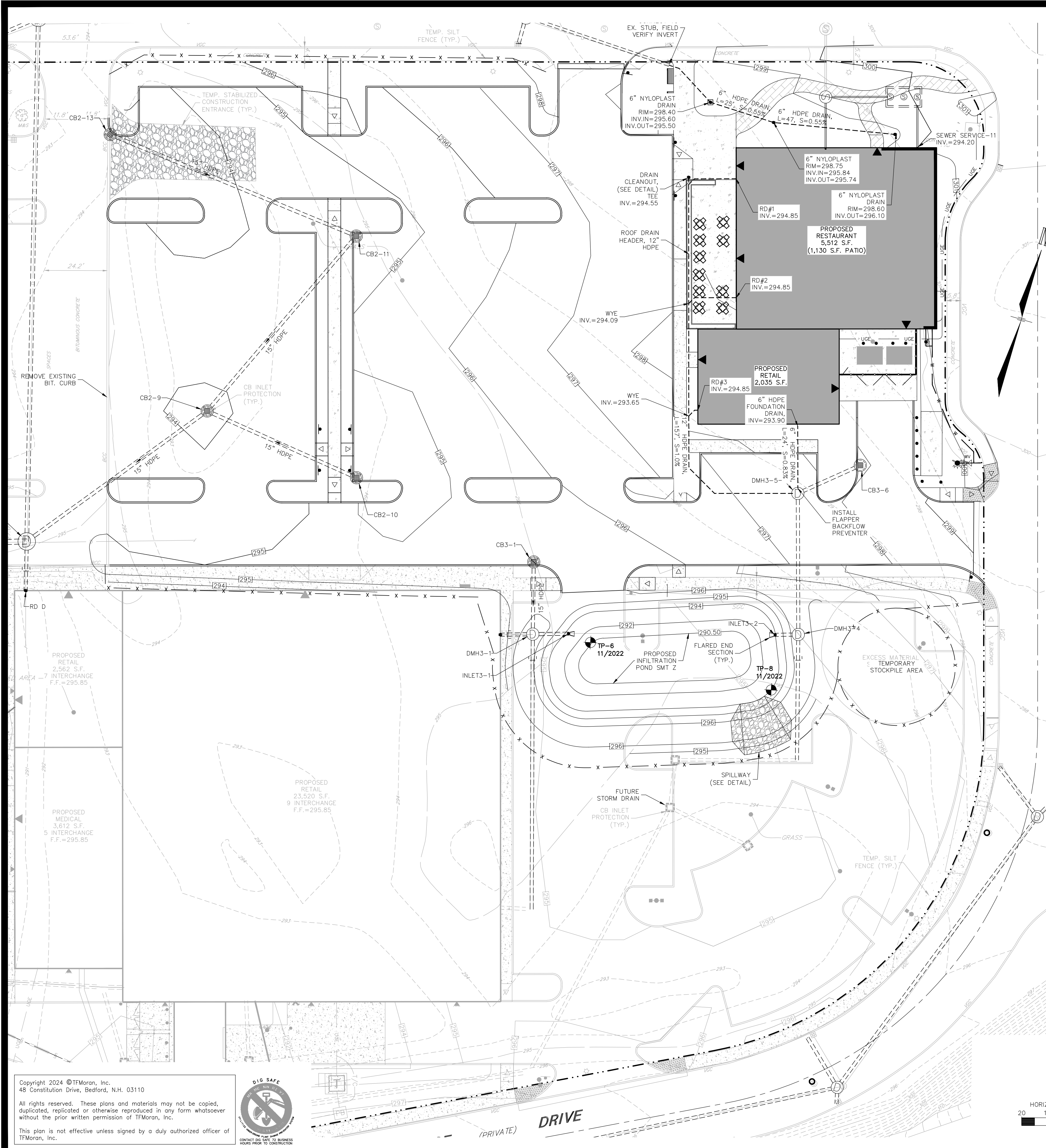
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 Land Surveyors
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CONSTRUCTION GENERAL PERMIT

1. THE OWNER, IN CONJUNCTION WITH THE CONTRACTOR (OPERATORS), NEEDS TO OBTAIN A CONSTRUCTION GENERAL PERMIT (CGP) FOR LARGE CONSTRUCTION ACTIVITIES (FIVE OR MORE ACRES) OR SMALL CONSTRUCTION ACTIVITIES (GREATER THAN ONE ACRE BUT LESS THAN FIVE ACRES) FROM THE ENVIRONMENTAL PROTECTION AGENCY (EPA). AS PART OF THE CGP, A STORM WATER NOTICE OF INTENT (NOI) WILL NEED TO BE SUBMITTED TO THE EPA AT LEAST 7 DAYS PRIOR TO COMMENCING CONSTRUCTION. THE NOI WILL NEED TO BE SUBMITTED TO STORM WATER NOTICE OF INTENT (4203M), USEPA, 1200 PENNSYLVANIA AVE. NW, WASHINGTON, DC 20460.
2. THE CGP OUTLINES A SET OF PROVISIONS MANDATING THE OWNER AND CONTRACTOR TO COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) STORM WATER REGULATIONS, INCLUDING, BUT NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLANS (SWPPP), IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROLS, EQUIPMENT MAINTENANCE GUIDELINES, ETC. PLEASE CONTACT USEPA OFFICE OF WASTEWATER MANAGEMENT AT 202-564-9545 OR AT WWW.EPA.GOV/NPDES/STORMWATER FOR ADDITIONAL INFORMATION. IN ADDITION, ONE CAN CONTACT ABBY SWAINE OF NEW ENGLAND'S EPA REGION 1 AT 617-918-1841.

NOTES

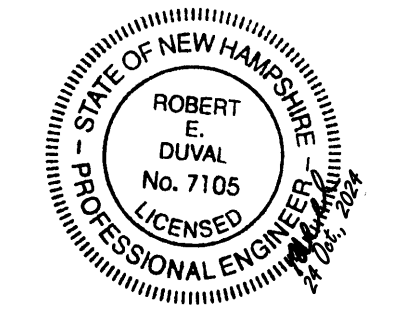
1. **STABILIZATION PRACTICES** FOR EROSION AND SEDIMENTATION CONTROLS:
 - TEMPORARY STABILIZATION - TOPSOIL STOCKPILES AND DISTURBED AREAS OF THE CONSTRUCTION SITE THAT WILL NOT BE REDISTURBED FOR 14 DAYS OR MORE MUST BE STABILIZED BY THE 14TH DAY AFTER THE LAST DISTURBANCE. THE TEMPORARY SEED SHALL BE ANNUAL RYE APPLIED AT THE RATE OF 1.1 LBS PER 1,000 SQUARE FEET. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY. AREAS OF THE SITE THAT WILL BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING GEOTEXTILES AND A STONE SUB-BASE UNTIL BITUMINOUS PAVEMENT CAN BE APPLIED. CALCIUM CHLORIDE SHALL BE USED FOR DUST CONTROL IF NEEDED.
 - PERMANENT STABILIZATION - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 3 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. THE PERMANENT SEED MIX SHALL CONSIST OF 0.45 LBS/1,000 S.F. TALL FESCUE, 0.20 LBS/1,000 S.F. CREEPING RED FESCUE, AND 0.20 LBS/1,000 S.F. BIRDFOOT TREFOIL. PRIOR TO SEEDING, A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. AFTER SEEDING, EACH AREA SHALL BE MULCHED WITH 1.5 TONS PER ACRE OF HAY MULCH. MULCH TO BE ANCHORED IN PLACE WHERE NECESSARY.
2. **STRUCTURAL PRACTICES** FOR EROSION AND SEDIMENTATION CONTROL
 - SILT SOCK - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT SOCK WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 6 INCHES OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT THE SILT SOCK FROM FORMING GAPS NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE SILT SOCK WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
 - SILT FENCE - WILL BE CONSTRUCTED AROUND THE PERIMETER OF THE DISTURBED AREAS AND WILL DELINEATE THE LIMITS OF WORK FOR THE PROPOSED CONSTRUCTION. THE SILT FENCE WILL BE INSTALLED BY STRETCHING REINFORCED FILTER FABRIC BETWEEN POSTS WITH AT LEAST 6 INCHES OF THE FABRIC BURIED BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING NEAR THE GROUND SURFACE. RUNOFF WILL FLOW THROUGH THE OPENINGS IN THE FILTER FABRIC WHILE RETAINING THE SEDIMENT WITHIN THE CONSTRUCTION AREA.
 - STABILIZED CONSTRUCTION ENTRANCE - WILL BE INSTALLED IN ACCORDANCE WITH THE DETAIL AT THE ENTRANCE TO THE CONSTRUCTION SITE TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS OFF THE SITE. THE STABILIZED ENTRANCE WILL BE 20 FEET WIDE AND FLARE AT THE ENTRANCE TO THE PAVED ROAD AND HAVE A DEPTH OF 12 INCHES OF STONE. THE STABILIZED ENTRANCE SHALL BE MAINTAINED UNTIL THE REMAINDER OF THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED. THE PAVED STREET ADJACENT TO THE SITE SHALL BE SWEEPED ON A WEEKLY BASIS TO REMOVE EXCESS MUD AND DIRT FROM BEING TRACKED FROM THE SITE. TRUCKS HAULING MATERIAL TO AND/OR FROM THE SITE SHALL BE COVERED WITH A TARP/AULIN.
 - CATCH BASIN - WILL BE CLEANED ON AN ANNUAL BASIS TO REMOVE ALL SEDIMENTS FROM THE CATCH BASIN SUMPS.
 - CATCH BASIN PROTECTION - WILL BE INSTALLED AT ALL CATCH BASINS WITHIN THE CONSTRUCTION AREA. FILTER FABRIC WILL BE INSTALLED AROUND THE GRATES OF CATCH BASINS THAT ARE LOCATED IN THE TRAVEL WAY AND STONE/FILTER FABRIC PROTECTION WILL BE INSTALLED AT THE CATCH BASINS FOUND WITHIN THE PARKING AREA AND GRASS.
 - BLANKET SLOPE PROTECTION - SHALL BE INSTALLED ON ALL 2:1 SLOPES OR STEEPER ON SITE. ANCHOR THE TOP OF THE BLANKET BY ANCHORING THE BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET IN THE DIRECTION OF STORM WATER FLOW. WHERE 2 OR MORE STRIPS OF BLANKET ARE REQUIRED, A MINIMUM OF 4" OF OVERLAP SHALL BE PROVIDED. BLANKETS SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, MULTI-FILAMENT, OR MONO-FILAMENT POLYPROPYLENE NETTING OR MESH.
 - STONE CHECK DAMS - WILL BE INSTALLED IN EXISTING AND PROPOSED GRASS SWALES TO REDUCE THE VELOCITY OF CONCENTRATED STORM WATER FLOWS AND PREVENT EROSION OF THE SWALE.
3. ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURE DUMPSTERS OR APPROVED ENCLOSURE AND REMOVED FROM THE SITE ON A WEEKLY BASIS. NO CONSTRUCTION WASTE SHALL BE BURIED ON SITE. PORTABLE TOILET SANITARY WASTE FACILITIES WILL BE PROVIDED DURING CONSTRUCTION AND MAINTAINED/DISPOSED OF ON A REGULAR BASIS IN ACCORDANCE WITH TOWN AND STATE REGULATIONS.

ENVIRONMENTAL COMMITMENTS

1. THE SITE IS WITHIN THE VICINITY OF KNOW HABITAT FOR WOOD TURTLE (GLYPHEMYS INSCULPTA) A STATE SPECIES OF SPECIAL CONCERN.
2. EXCLUSIONARY FENCING SHALL BE INSTALLED IN THE CONSTRUCTION AREA (E.G. SILT FENCING) TO MINIMIZE THE POTENTIAL FOR TURTLES TO BE IMPACTED DURING CONSTRUCTION ACTIVITIES. THIS SHALL BE INSTALLED PRIOR TO APRIL 11 AND BE MAINTAINED THROUGH OCTOBER 15, 2020. IF PROJECT ACTIVITIES EXTEND INTO 2021 (OR BEYOND), THE SILT FENCE SHALL BE INSTALLED AGAIN PRIOR TO APRIL AND MAINTAINED THROUGH OCTOBER 15TH (OR BE MAINTAINED THROUGHOUT THE CONSTRUCTION TIMEFRAME).
3. PRIOR TO AND FOLLOWING THE INSTALLATION OF THE SILT FENCE, A QUALIFIED BIOLOGIST SHALL INSPECT THE SITE FOR WOOD TURTLES AND OTHER SPECIES AND MOVE INDIVIDUALS TO SUITABLE LOCATIONS OUTSIDE THE SILT FENCE PERIMETER IN CLOSE PROXIMITY TO WHERE THEY WERE FOUND.
4. NHFG SHALL BE CONTACTED IF WOOD TURTLES OR ANY OTHER LISTED SPECIES ARE ENCOUNTERED (SEE #6 FOR CONTACT INFORMATION).
5. SAND ESCAPE RAMPS SHALL BE INSTALLED AT NO LESS THAN 300 FEET APART AS SHOWN ON THE PLANS TO ALLOW ANY ENTRAPPED TURTLES TO EXIST THE SITE BY CLIMBING OVER THE SILT FENCE.
6. WOOD TURTLE FLYERS SHALL BE POSTED ONSITE WHICH PROVIDE IDENTIFICATION DETAILS AND ADVISE PERSONNEL TO CONTACT MELISSA DOPERALSKI 603-271-1738 OR JOSH MEGYESY 603-271-1125 AT NH FISH & GAME WITH OBSERVATIONS - PLEASE TAKE PHOTOGRAPHS IF FEASIBLE.
7. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
8. ACCESS GATES SHALL REMAIN CLOSED AT THE END OF THE WORK DAY (6 AM TO 6 PM), WEEKENDS, AND DURING WORK DAY HOURS DURING TIMES OF NO TRAFFIC ENTERING OR EXITING THE SITE. THIS RESTRICTION IS IN EFFECT FROM APRIL 1ST TO OCTOBER 15TH OF EACH CONSTRUCTION YEAR TO ELIMINATE THE POSSIBILITY OF PROTECTED WILDLIFE FROM ENTERING THE SITE.
9. CONSERVATION AREA DISTRICT SIGNAGE IS REQUIRED TO BE PLACED ON EXISTING VEGETATION AT 100 FT ON CENTER ALONG THE INTERIOR EDGE OF THE BLUFF BUFFER AROUND THE PERIMETER OF THE PROPERTY. SIGNAGE SHALL CONFORM TO CITY OF CONCORD CONSERVATION COMMISSION STANDARDS.

NOTES (CONTINUED)

4. A LIST OF CONSTRUCTION ITEMS AND OTHER PRODUCTS USED ON THIS PROJECT SHALL BE KEPT ON RECORD WITH THIS PLAN ONSITE. ALL REMOVALS, PETROLEUM PRODUCTS AND OTHER MATERIALS USED DURING CONSTRUCTION SHALL BE STORED IN A SECURE AREA AND PRECAUTIONS USED TO PREVENT POTENTIAL SOURCES OF CONTAMINATION OR POLLUTION. ANY SPILL OF THESE TYPES OF SUBSTANCES SHALL BE CLEANED UP AND DISPOSED OF IN A LEGAL MANNER AS SPECIFIED BY STATE REGULATIONS AND THE MANUFACTURER. ANY SPILL IN AMOUNTS EQUAL TO OR EXCEEDING REPORTABLE QUANTITY AS DEFINED BY THE EPA SHALL TAKE THE FOLLOWING STEPS:
 - NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT (888) 424-8802; IN WASHINGTON, D.C., CALL (202) 426-2675.
 - WITHIN 14 DAYS, SUBMIT A WRITTEN DESCRIPTION OF THE RELEASE TO THE EPA REGIONAL OFFICE PROVIDING THE DATE AND CIRCUMSTANCES OF THE RELEASE AND THE STEPS TO BE TAKEN TO PREVENT ANOTHER RELEASE.
 - MODIFY THE POLLUTION PREVENTION PLAN TO INCLUDE THE INFORMATION LISTED ABOVE.
- GOOD HOUSEKEEPING:
 - THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ONSITE DURING THE CONSTRUCTION PROJECT:
 - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB;
 - ALL MATERIALS STORED ONSITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE;
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL;
 - SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER;
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER;
 - MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED;
 - TRASH DUMPSTERS SHALL BE GASETTED OR HAVE A SECURE WATERTIGHT LID AND BE PLACED AWAY FROM STORMWATER CONVEYANCES AND DRAINS;
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ONSITE.
- HAZARDOUS PRODUCTS:
 - THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
 - PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE;
 - ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION;
 - IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURER'S OR LOCAL AND STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.
- PRODUCT SPECIFIC PRACTICES:
 - THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:
- PETROLEUM PRODUCTS:
 - ALL ONSITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ONSITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- FERTILIZERS:
 - FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.
- PAINTS:
 - ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.
- CONCRETE TRUCKS:
 - EXCESS CONCRETE SHALL BE USED IN AREAS DESIGNATED BY THE SITE CONTRACTOR. WASH WATER SHALL BE DISPOSED OF USING BEST MANAGEMENT PRACTICES. BUILDING CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRUM WASH WATER ASSOCIATED WITH CONCRETE FOR THE BUILDING PACKAGE. SITE CONTRACTOR TO COORDINATE AND PROVIDE BUILDING CONTRACTOR WITH AN AREA FOR DRUM WASH WATER.
- SPILL CONTROL PRACTICES:
 - IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES;
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ONSITE. EQUIPMENT AND MATERIALS WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE;
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY;
 - THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE;
 - SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE;
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED;
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. THEY WILL DESIGNATE AT LEAST THREE OTHER SITE PERSONNEL WHO WILL EACH RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ONSITE.
5. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES, INCLUDING DATES OF MAJOR GRADING ACTIVITIES, DATES WHEN CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED ON A PORTION OF THE SITE, DATES WHEN WORK IS COMPLETED ON A PORTION OF THE SITE, AND DATES WHEN STABILIZATION MEASURES ARE INITIATED ONSITE.
6. THE CONTRACTOR SHALL PERFORM INSPECTIONS OR HAVE A CONSULTING ENGINEER PERFORM INSPECTIONS EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCH OR GREATER. INSPECTION REPORTS ARE TO BE KEPT ON FILE AT THE SITE WITH THIS PLAN. MAINTENANCE OR MODIFICATION SHALL BE IMPLEMENTED AND ADDED TO THE PLAN AS RECOMMENDED BY THE QUALIFIED INSPECTOR.

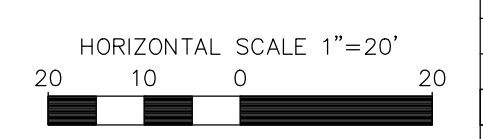


SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
EROSION CONTROL PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY / PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: 1"=20' JULY 15, 2024

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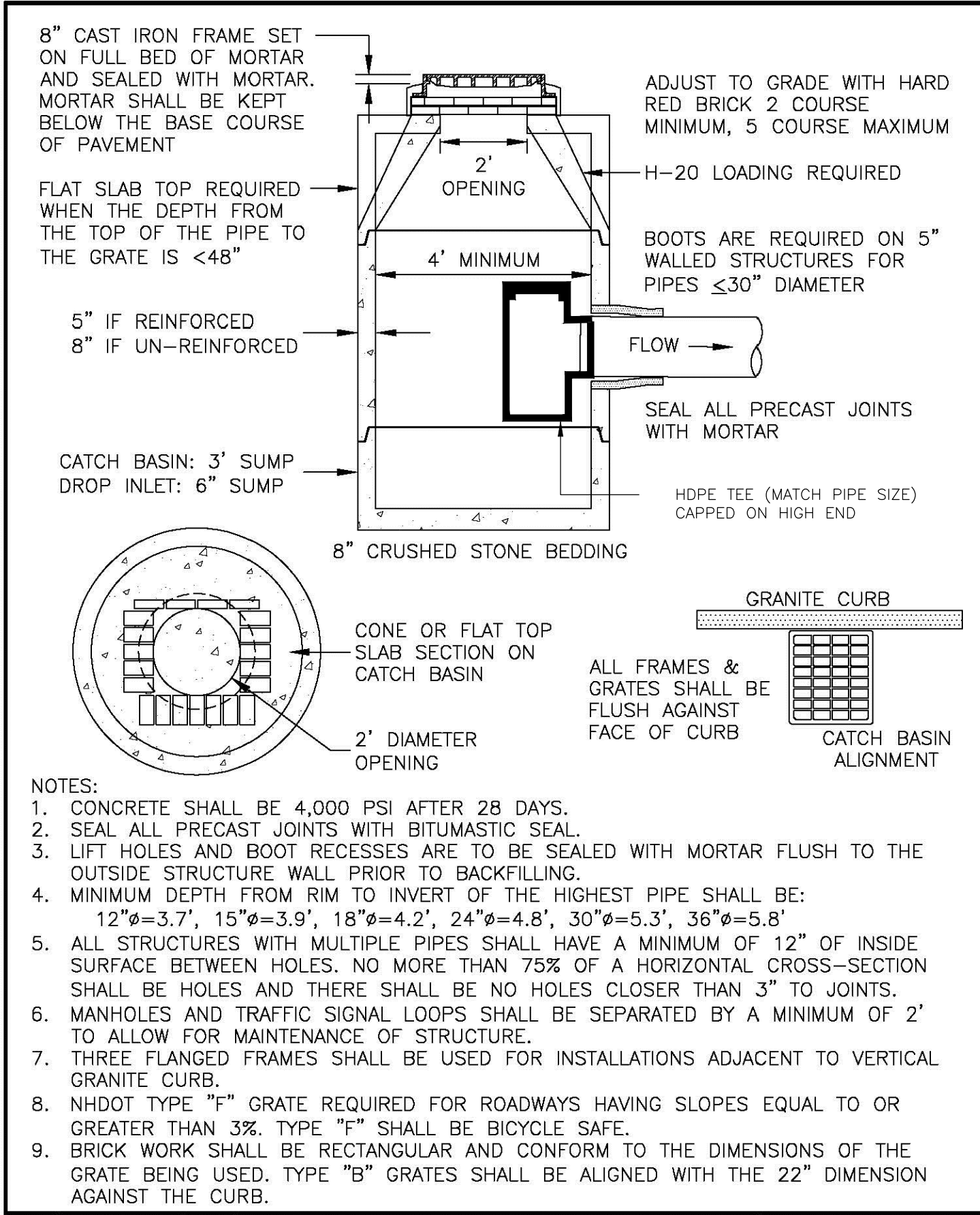


| REV# | DATE | DESCRIPTION | DR | CK |
|------|------------|----------------------------|-----|-----|
| 2 | 10/24/2024 | ARCHITECTURAL COORDINATION | JMR | JSH |
| | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

| | | | | | | | |
|----------|----|-----|---------|--|---------------------|--|------|
| 95830.11 | DR | PWH | FB | | | | |
| | CK | JSH | CADFILE | | 95830-11_SITE PLANS | | C-12 |

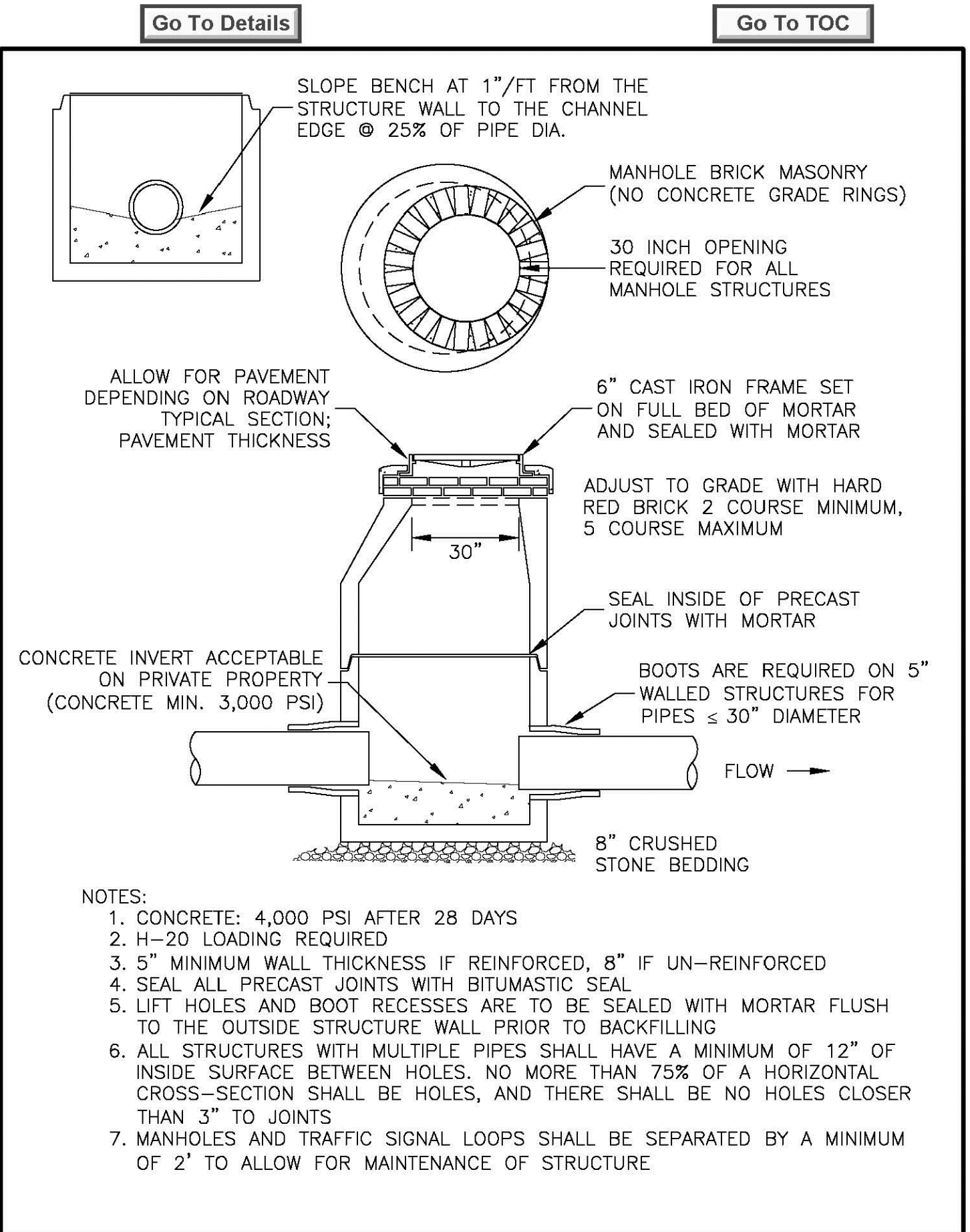
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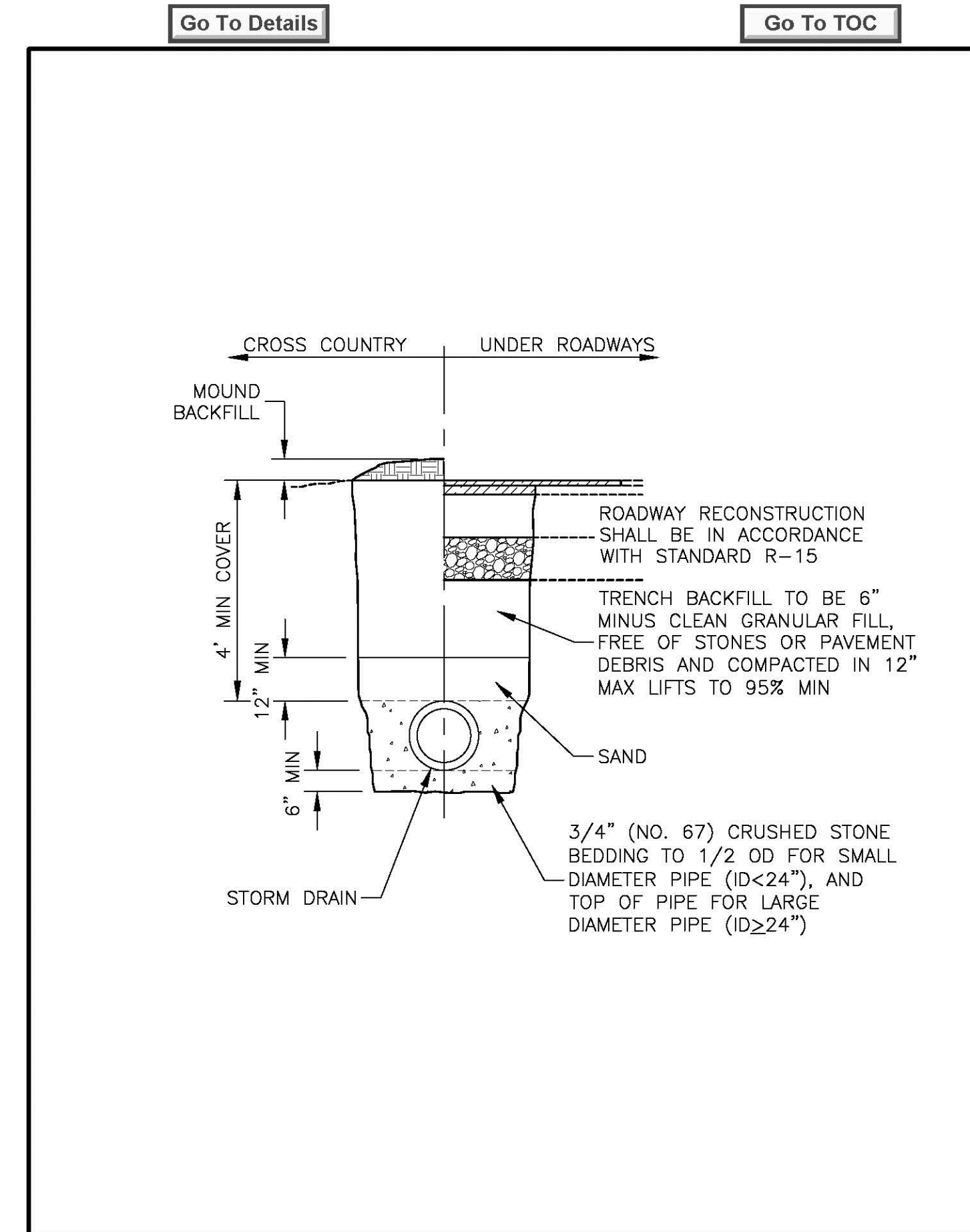
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: |
|--------------------------|----------|-------|---|---------------------|
| 1 | DRAFTING | 11-11 | | STORM DRAIN |
| CATCH BASIN / DROP INLET | | | | DRAWING NO. SD-5 |
| APPROVED BY: | | | | DATE: 12/08 PAGE: 1 |

SDM-CB_DI_3.dwg



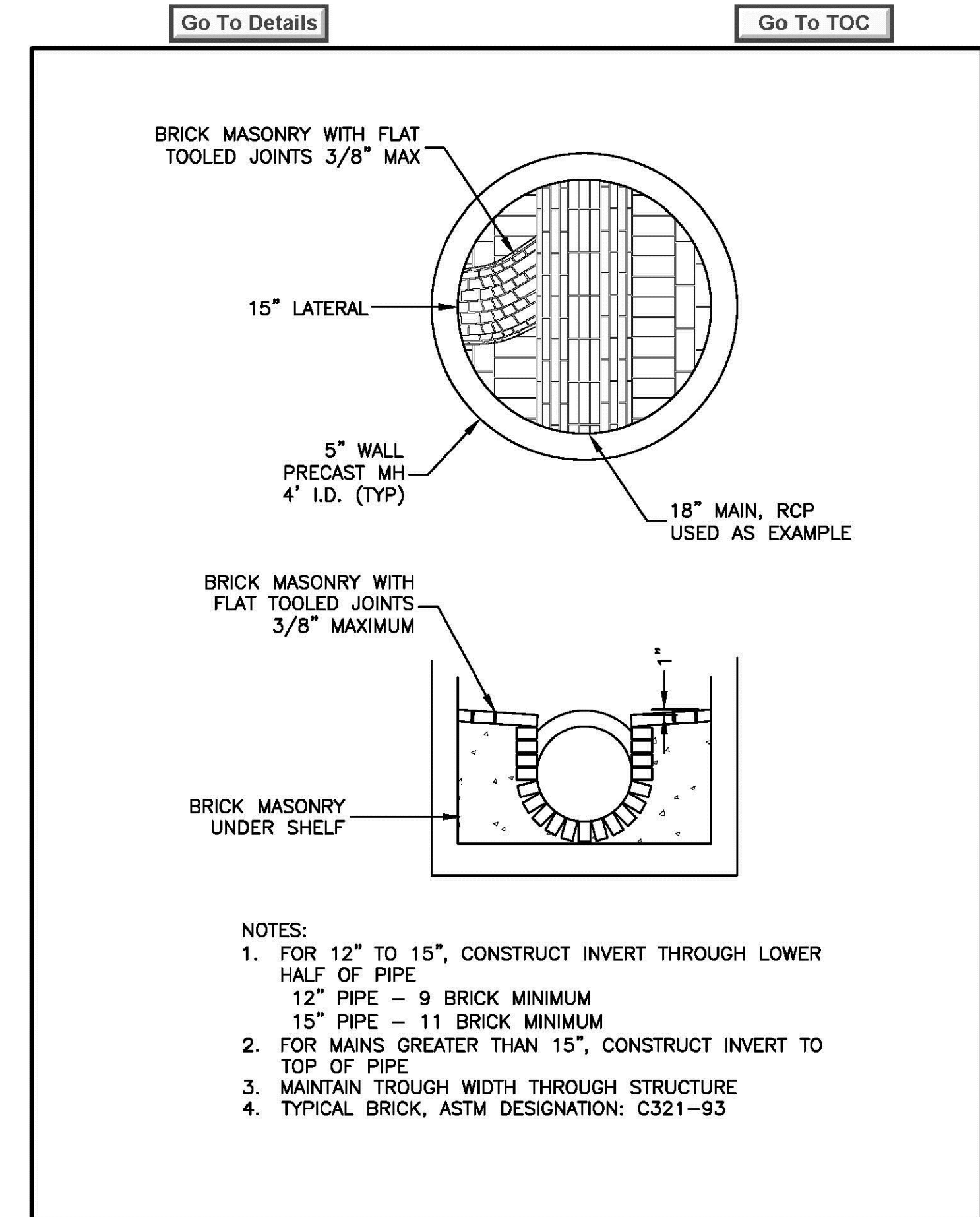
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: |
|-------------------------------|----------|------|---|---------------------|
| STORM DRAIN MANHOLE (PRIVATE) | | | | DRAWING NO. SD-3 |
| APPROVED BY: | | | | DATE: 02/19 PAGE: 1 |

SD3_STM-Concrete Invert PRIVATE.dwg



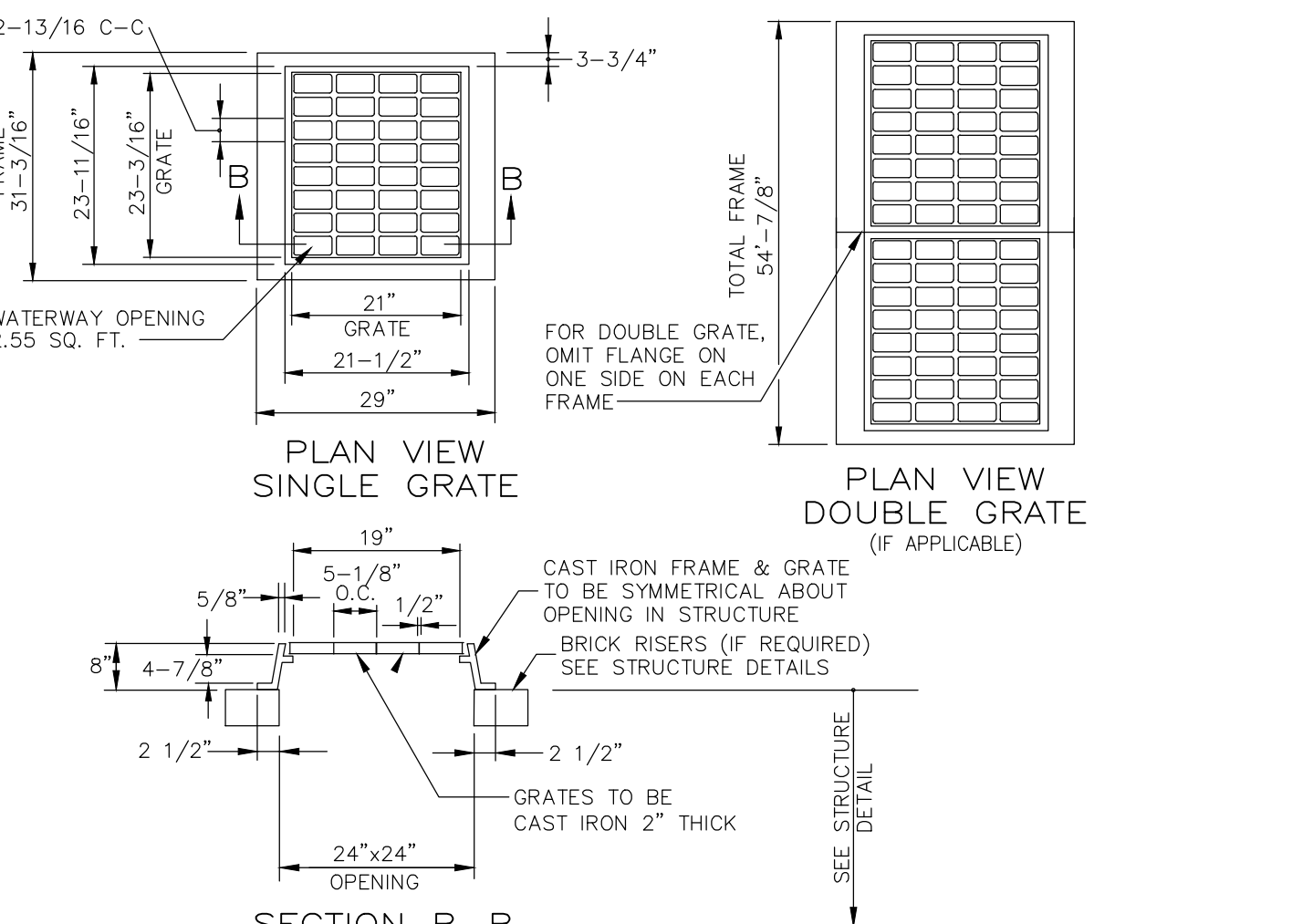
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: |
|--------------------|--------------------|-------|---|---------------------|
| 1 | Standard Reference | 01.19 | | STORM |
| STORM DRAIN TRENCH | | | | DRAWING NO. SD-1 |
| APPROVED BY: | | | | DATE: 04/15 PAGE: 1 |

SD1_Storm Drain Trench.dwg

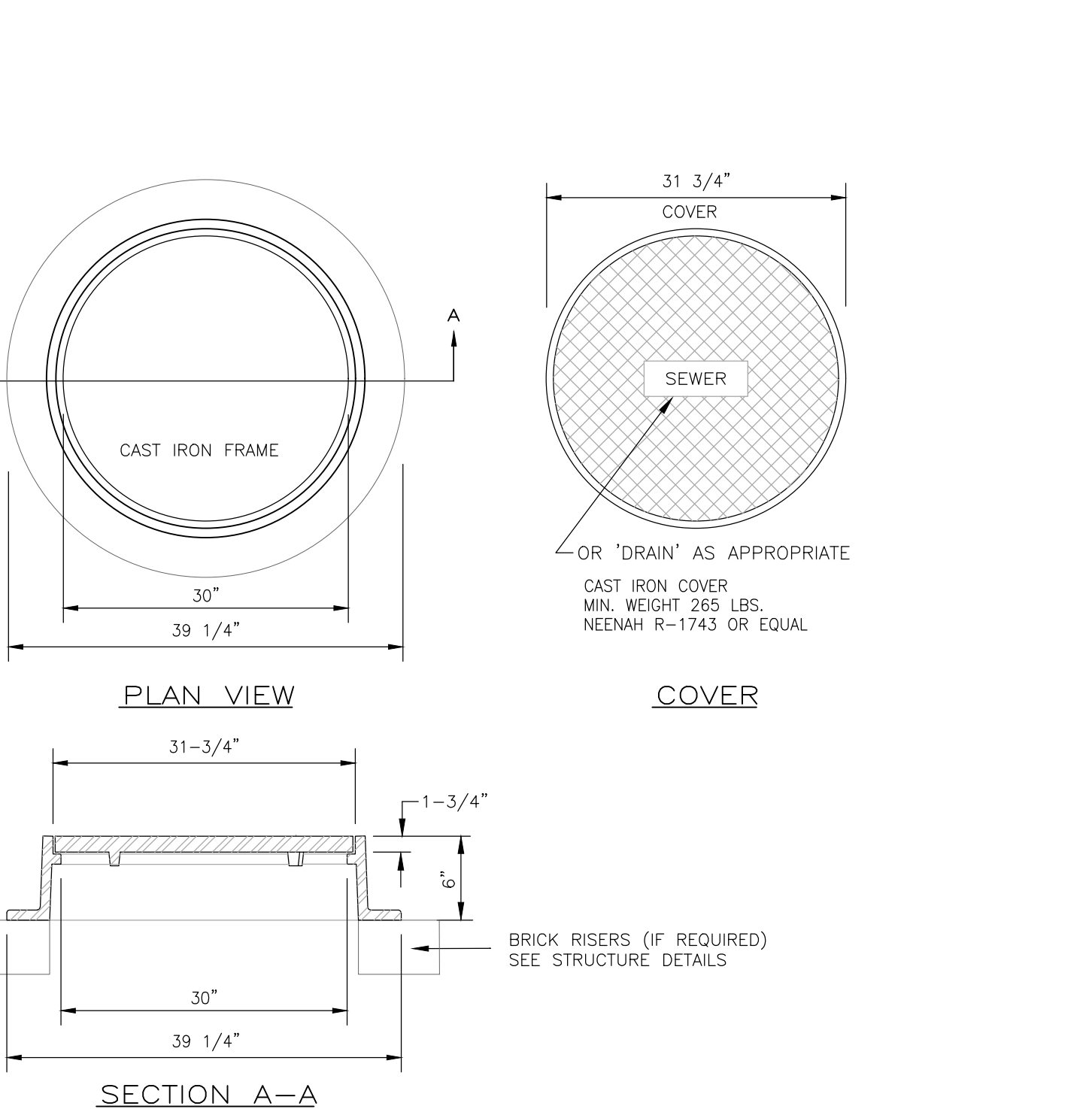


| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: |
|--------------------------------------|----------|------|---|---------------------|
| STORM DRAIN BRICK SHELF CONSTRUCTION | | | | DRAWING NO. SD-4 |
| APPROVED BY: | | | | DATE: 03/15 PAGE: 1 |

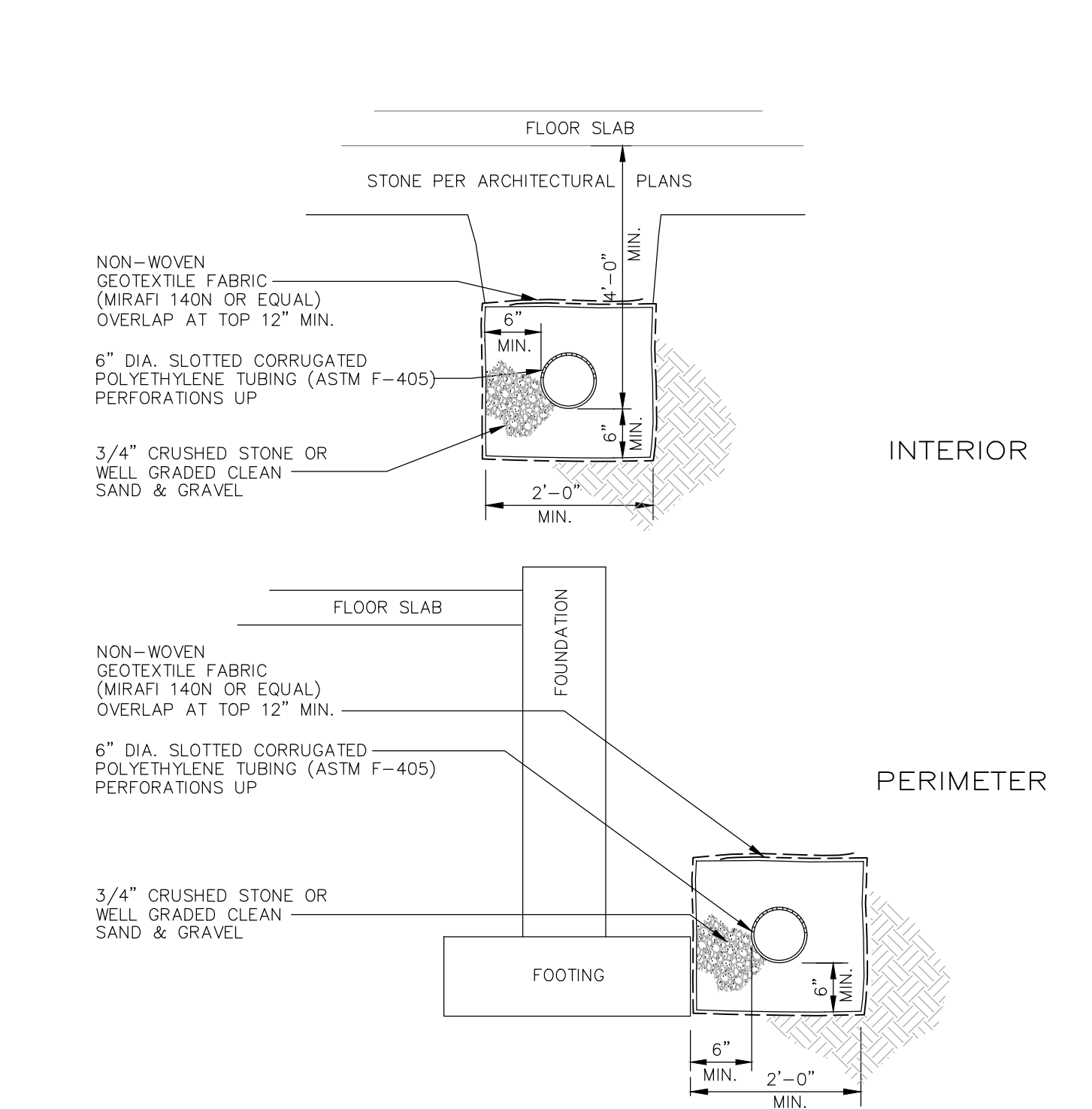
SD4_STM-Brick Shelf Const..2.dwg



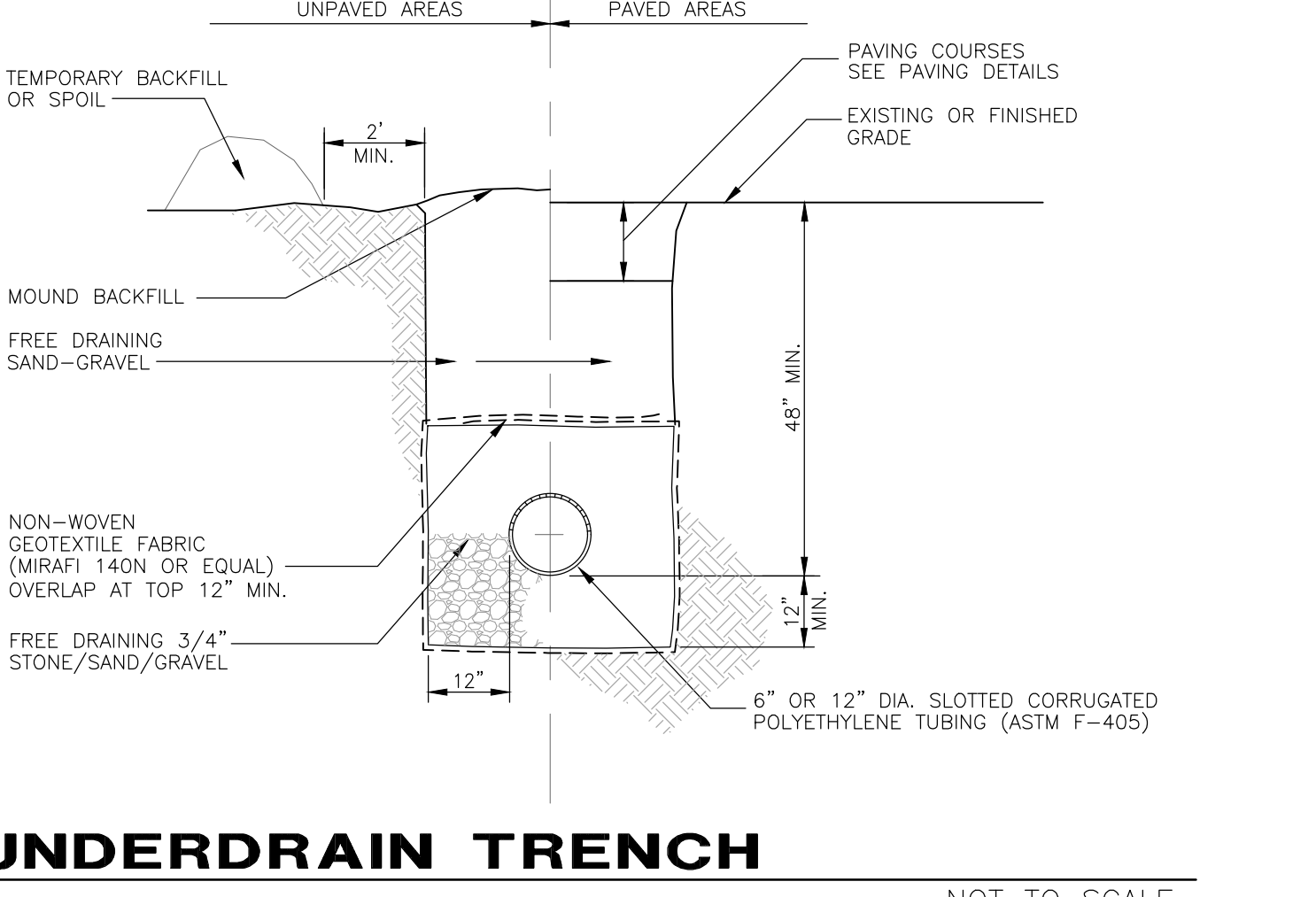
FRAME AND GRATE
NHDOT TYPE B ALT 1 - H20 LOADING NOT TO SCALE



MANHOLE FRAME & COVER
HEAVY DUTY NOT TO SCALE



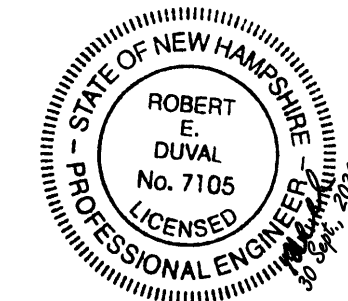
FOUNDATION UNDERDRAIN
NOT TO SCALE



SITE DEVELOPMENT PLANS
TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN JULY 15, 2024

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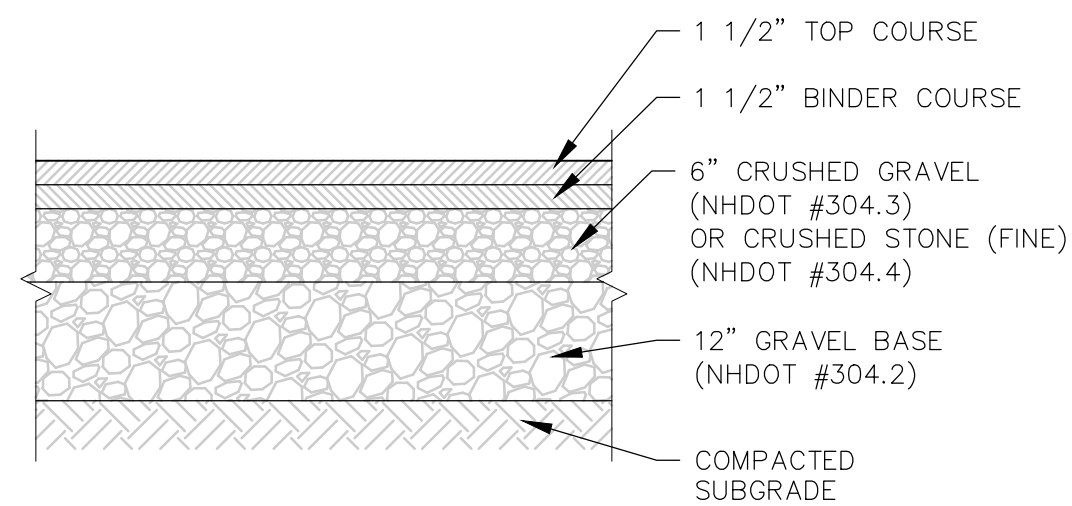


| REV. | DATE | DESCRIPTION | JMR | JSH |
|------|-----------|---------------------------|-----|-----|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |
| | | | DR | CK |

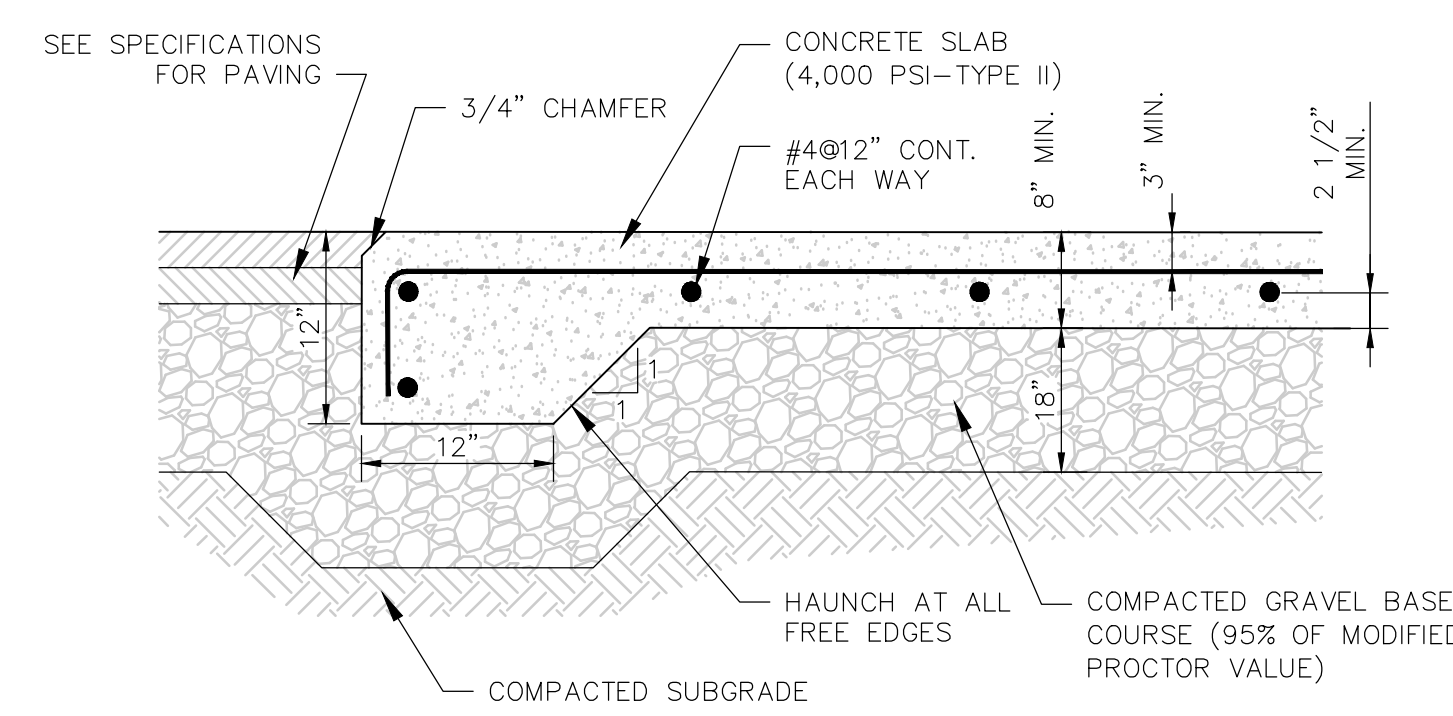
| FILE NO. | DR | PWH | FB | | |
|----------|----|-----|----|------------------|------|
| 95830.11 | DR | JSH | CK | 95830-11_DETAILS | C-13 |

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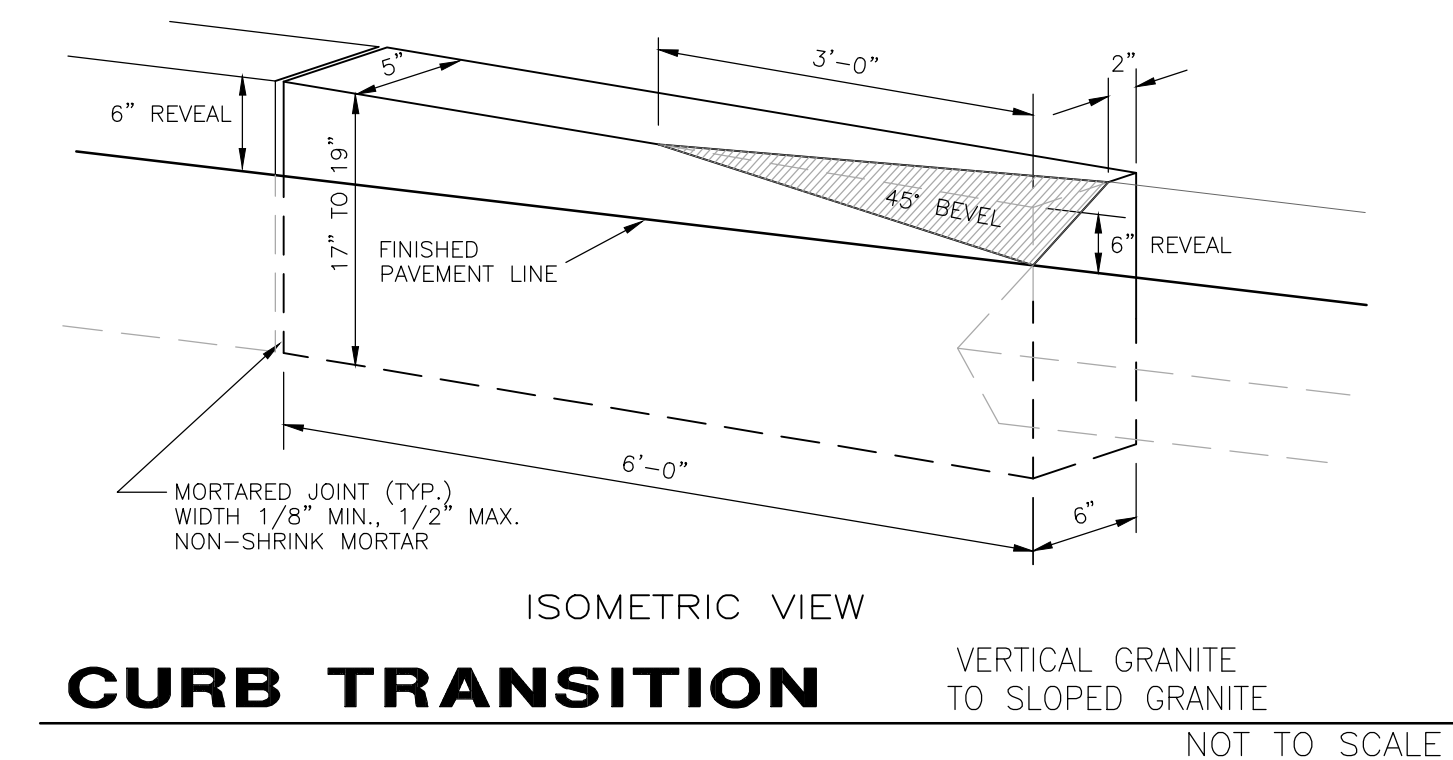


STANDARD DUTY PAVEMENT
N.T.S.

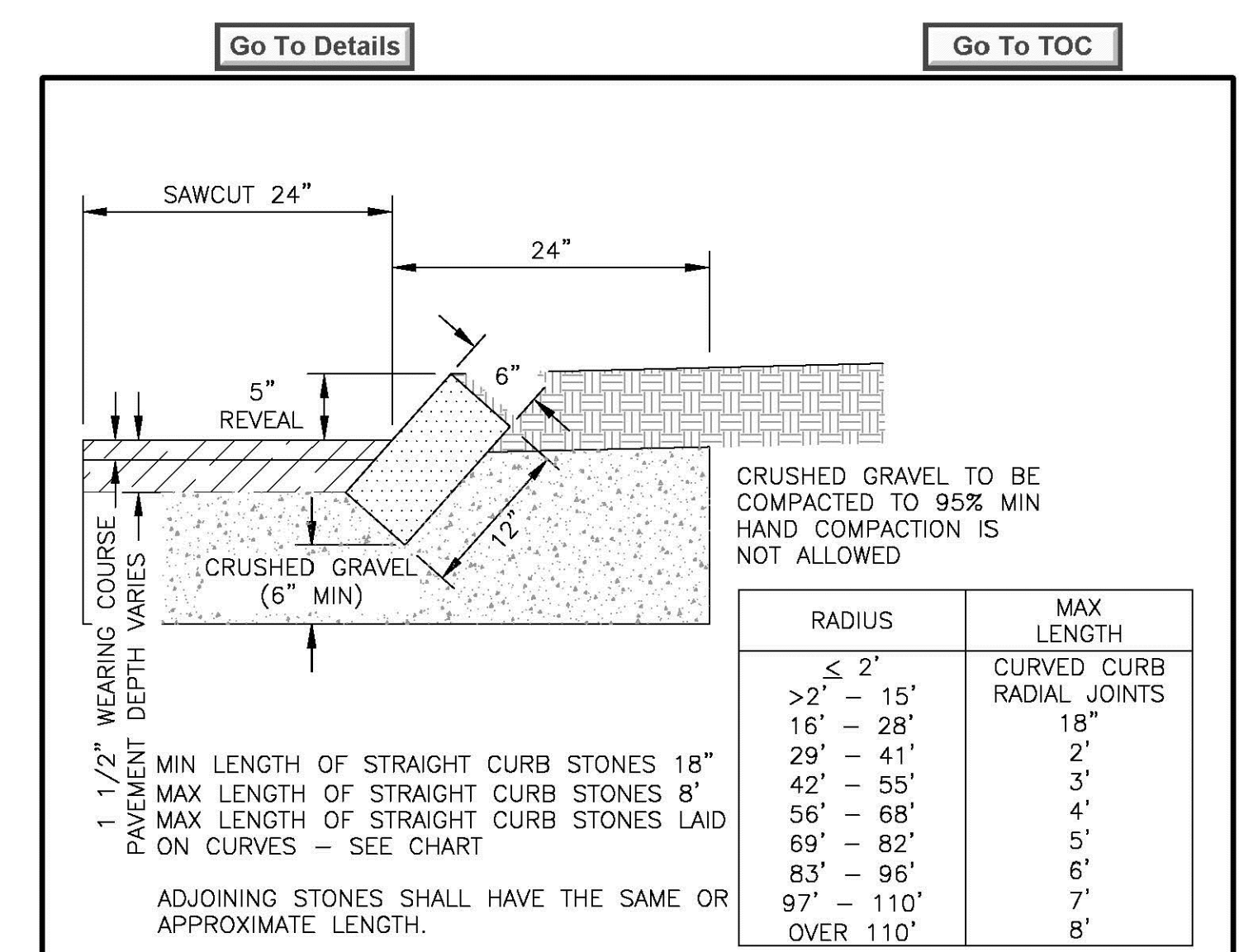


- NOTES:
1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
 2. MAXIMUM ALLOWABLE SLUMP SHALL NOT EXCEED 4" AND THE MAXIMUM W/C RATIO SHALL NOT EXCEED 0.45.
 3. REINFORCING STEEL SHALL BE ASTM A615 GR 60 DEFORMED BARS (UNCOATED).
 4. ALL REINFORCING STEEL SHALL BE SECURED IN A PROPER POSITION ON CHAIRS AS MANUFACTURED BY RICHMOND OR APPROVED EQUAL.
 5. CONTRACTOR TO CONSULT THE PROJECT'S SOILS ENGINEER TO ENSURE THAT THE BASE COURSE HAS BEEN PREPARED PROPERLY PRIOR TO CONCRETE PLACEMENT.
 6. PROPOSED SLAB TO BE CONSTRUCTED TO MATCH PROPOSED DRAINAGE PATTERN IN PAVED AREA. ELECTRICAL PAD SHALL BE CONSTRUCTED 1.0' MIN ABOVE SURROUNDING GRASSED AREAS TO ALLOW DRAINAGE TO FLOW AROUND PAD.

COMPACTOR/DUMPSTER/LOADING PAD
N.T.S.



CURB TRANSITION
VERTICAL GRANITE TO SLOPED GRANITE
NOT TO SCALE



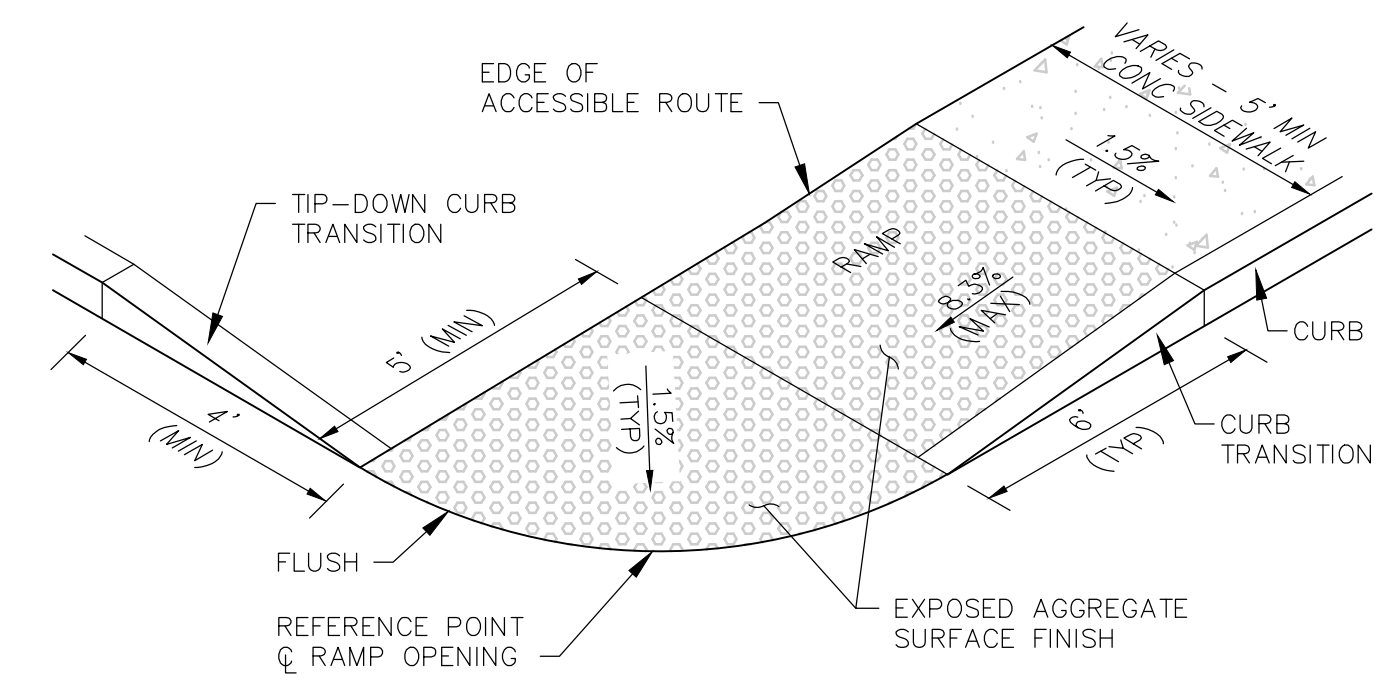
FINISH SURFACE AND TOLERANCES FOR SLOPED GRANITE CURB

| AREA | FINISH SURFACE | TOLERANCE |
|---------------------------|---|----------------|
| ARRIS LINES | STRAIGHT AND TRUE ON TOP, FRONT AND ENDS. DRILL HOLES NOT DEEPER THAN 1/4" ALLOWED IN ARRIS LINES. | +1/4" TO -1/4" |
| FACES EXPOSED PART | PLANES; NO DRILL HOLES IN FACES LONGER THAN 8" OR DEEPER THAN 1/4". | +1" TO -1" |
| CONCEALED PART | DRILL HOLES NOT OBJECTIONABLE. | |
| ENDS | SQUARE WITH FACE EXCEPT AS INDICATED. | |
| JOINTS | ON TANGENT, MAXIMUM WIDTH: 1". | +1/2" TO -1/2" |
| | ON CURVES OVER 15' RADIUS, WIDEN TOP OR BOTTOM FROM 1" AS NECESSARY. | +1/2" TO -1/2" |
| | ON CURVES WITH 15' RADIUS AND UNDER, USE RADIAL JOINTS OR CURVED CURB AS INDICATED. OPTIMUM WIDTH: 1" | +1/2" TO -1/2" |

| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
|-----|------------|-------|---|----------|-------------|
| 1 | DRAFTING | 11.11 | | | |
| 2 | REMOVED FF | 12.15 | | | |
| 3 | SAWCUT | 5.19 | | | |

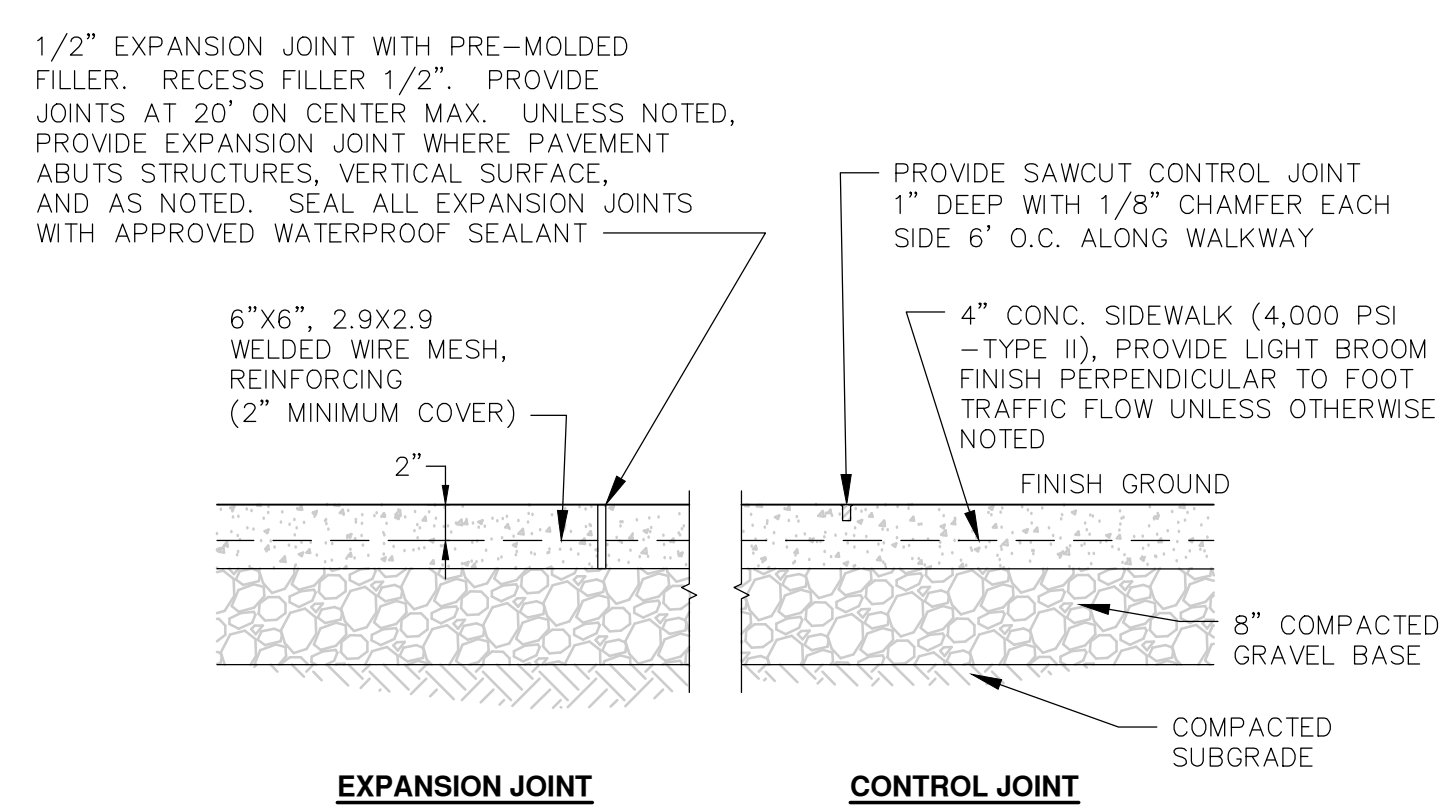
SLOPED GRANITE CURB

| | |
|-------------|-------|
| DRAWING NO. | C-2 |
| DATE: | 12/08 |
| PAGE: | 1 |

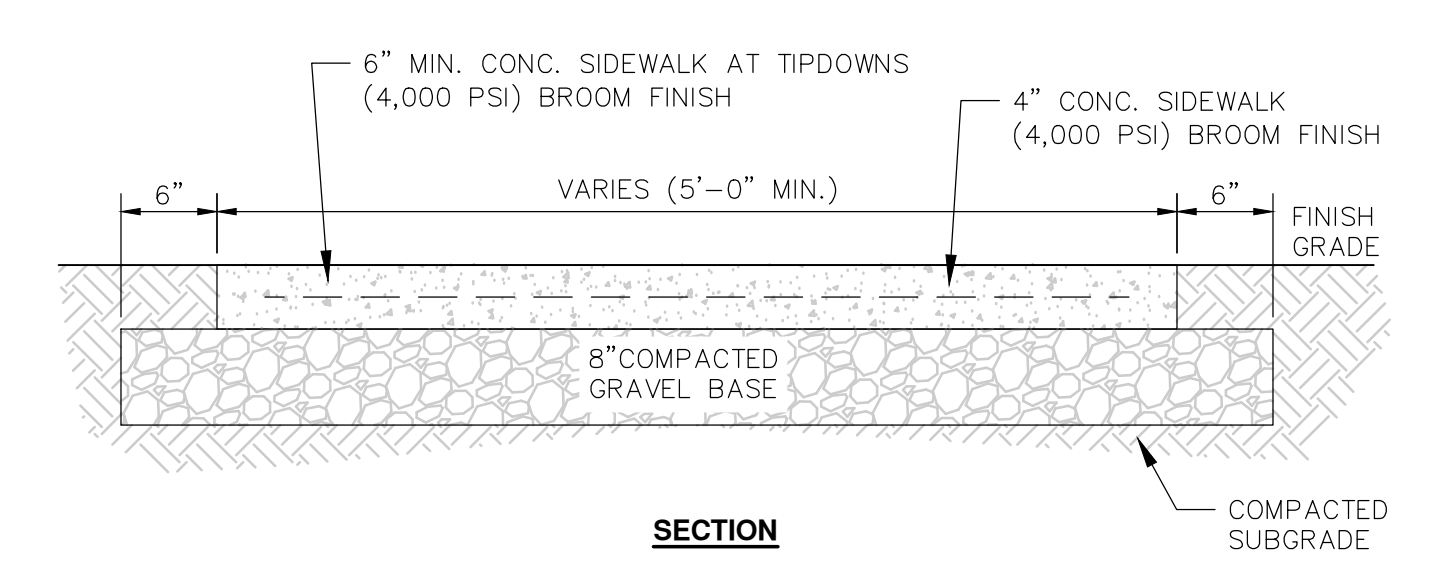


- NOTES:
1. MAXIMUM ALLOWABLE LONGITUDINAL SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5% AND THE MAXIMUM CROSS SLOPE SHALL BE 2%.
 2. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 3. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 4. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 5. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 6. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.
 7. ALL CONTROL JOINTS TO BE SAW CUT 1" DEEP WITH 1/8" CHAMFER EACH SIDE.
 8. ALL CONSTRUCTION JOINTS TO BE TOOLED, DOWELED AND SLEEVED, AND SEALED WITH PREFORMED EXPANSION JOINT FILLER AND EXPANSION JOINT SEALANT.
 9. EXPOSED AGGREGATE SURFACE FINISH SHALL BE FILLMORE INDUSTRIES 1/2" UNCRUSHED GRAVEL STONE.

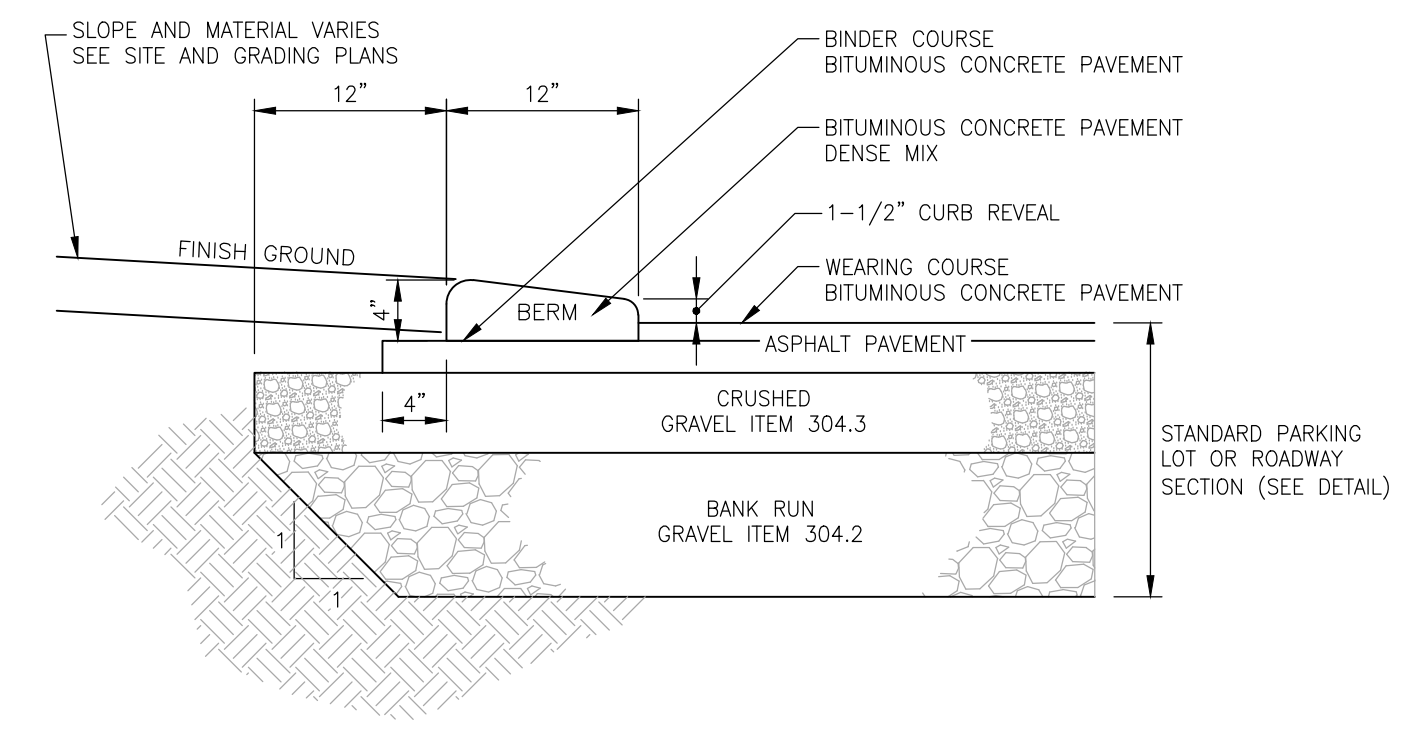
WHEELCHAIR RAMP TYPE C (PRIVATE SITE)
N.T.S.



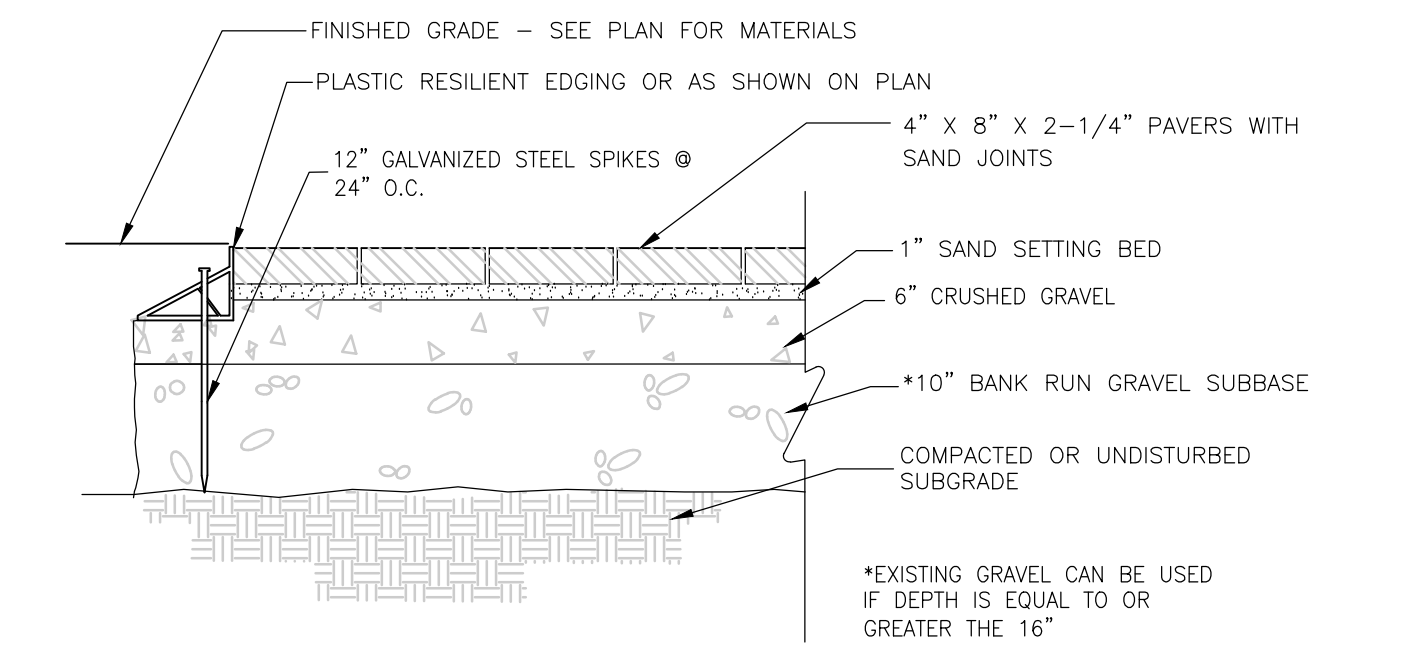
EXPANSION JOINT **CONTROL JOINT**



CROSS COUNTRY CONCRETE SIDEWALK
N.T.S.



CAPE COD BERM
NOT TO SCALE



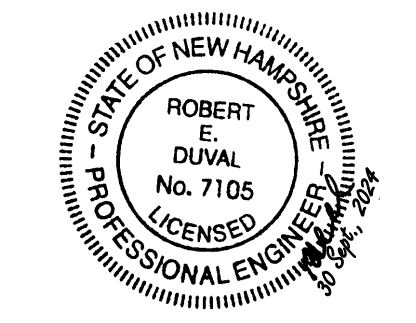
BRICK PAVER/AGGREGATE BASE DETAIL
NOT TO SCALE

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN JULY 15, 2024

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95830.11 DR: PWH, FB CK: JSH, CADFILE DATE: 9/27/2024 DESCRIPTION: REVISED PER CITY COMMENTS DRAWING NO.: C-2 DATE: 12/08 PAGE: 1

Go To Details

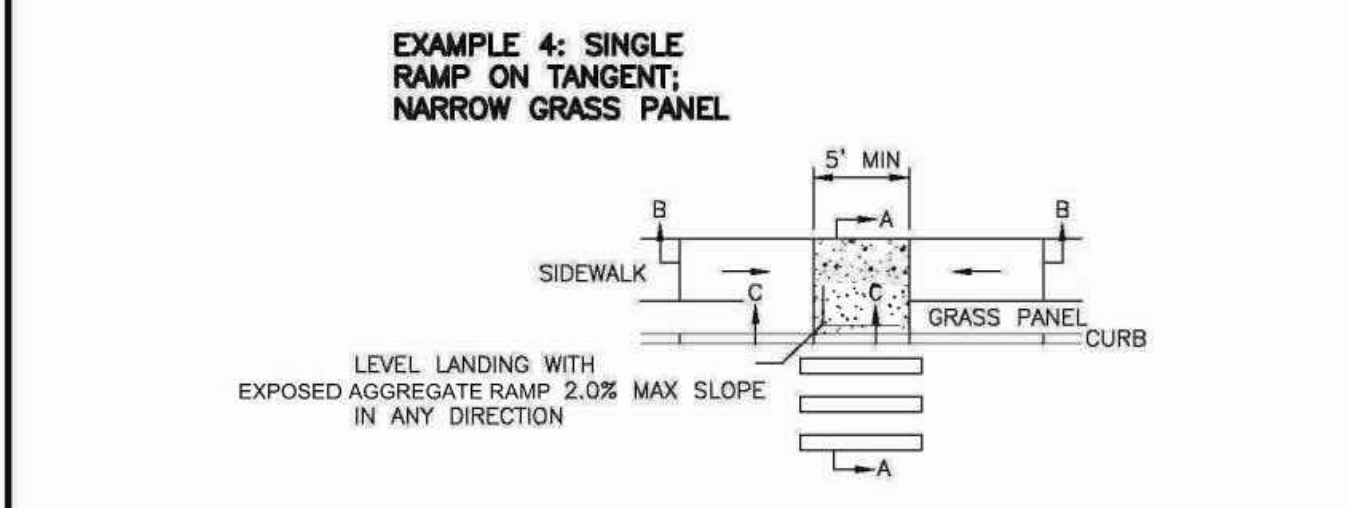
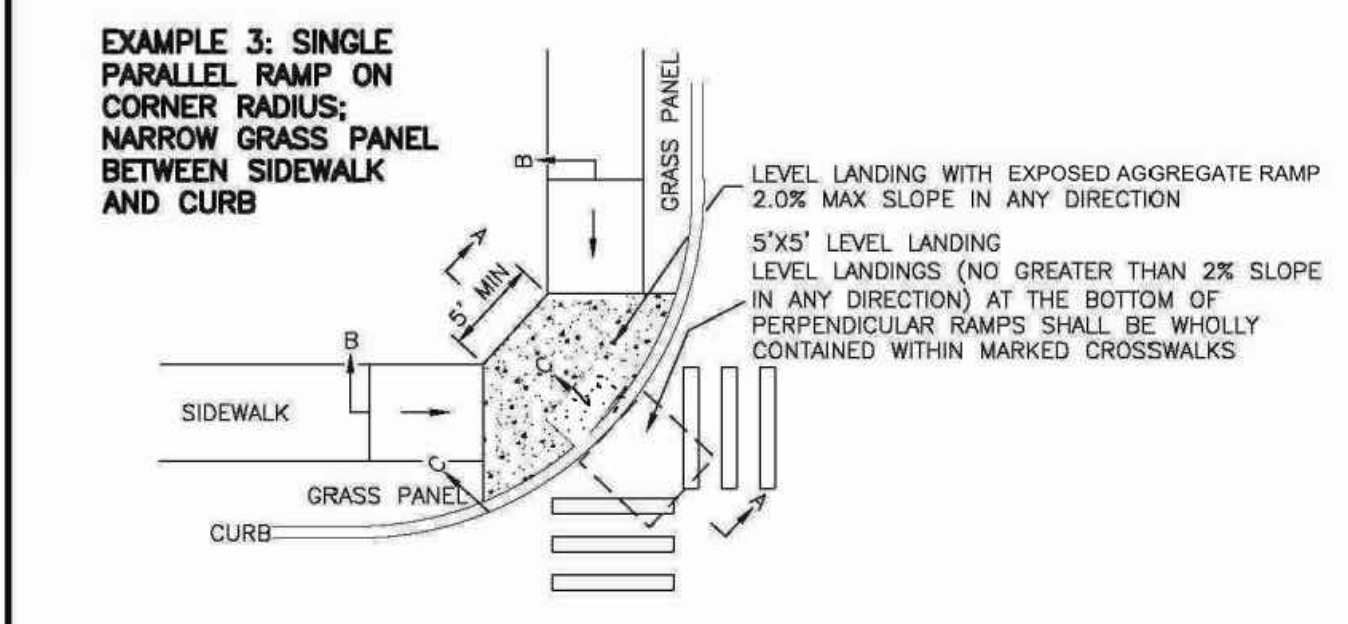
Go To TOC

- GENERAL NOTES:**
- THE DIMENSIONS AND GRADES SHOWN ON THIS STANDARD WILL BE ADHERED TO IN THE DESIGN AND THE CONSTRUCTION OF SIDEWALK RAMP. WHERE SIDEWALKS RUN ADJACENT TO ROADWAYS ON STEEP (5% OR GREATER) GRADES, RAMP GRADES WILL BE AS FLAT AS POSSIBLE. (ON LOW SIDE OF DRIVES AND INTERSECTING SIDE STREETS, RAMP SHALL SLOPE TOWARDS DRIVE OR SIDE STREET AT 2%)
 - NOMINAL RAMP DIMENSIONS AND GRADES:
RAMP WIDTH - 5' MINIMUM
RAMP SLOPE - 8.3% MAXIMUM
FLARE SLOPE - 10% MAXIMUM
RAMP CROSS SLOPE - 2% MAXIMUM
 - CURB RAMP SHALL BE CONSTRUCTED OF 6" PORTLAND CEMENT CONCRETE (CLASS AA, 4000 PSI) WITH 6"x6" W2.9XW2.9 WOVEN WIRE FABRIC REINFORCING PLACED 2 1/2" FROM THE TOP OF THE SLAB WITH 6" CRUSHED GRAVEL SUBBASE
 - ALL SIDEWALKS AND LANDINGS SHALL HAVE A CROSS SLOPE OF 2% DRAINING TOWARD THE STREET, DRIVE, OR PARKING AREA
 - A LEVEL LANDING (NO GREATER THAN 2% SLOPE IN ANY DIRECTION) SHALL BE PROVIDED AT THE TOP OF SIDEWALK RAMP TO ALLOW FOR STOPPING AND MANEUVERING OF WHEELCHAIRS
 - LEVEL LANDINGS (NO GREATER THAN 2% SLOPE IN ANY DIRECTION) AT THE BOTTOM OF PERPENDICULAR RAMP SHALL BE WHOLLY CONTAINED WITHIN MARKED CROSSWALKS
 - DUMMY JOINTS SHALL BE PROVIDED AT TRANSITIONS (GRADE CHANGES) AT TOPS AND BOTTOMS OF RAMP AND FLARES
 - VERTICAL DROP-OFF EDGES TO RAMP WILL NOT BE BUILT UNLESS THE RAMP ABUTS AN AREA WHICH WILL NOT BE USED BY PEDESTRIANS
 - A 1/2" CURB REVEAL WILL BE PROVIDED WHERE THE RAMP ADJOINS THE ROADWAY
 - AT MARKED CROSSWALKS, THE FULL WIDTH OF THE RAMP OR LANDING SHALL BE CONTAINED WITHIN THE PAVEMENT MARKINGS
 - RAMP FLARES SHOULD BE LOCATED OUTSIDE THE DIRECT LINE OF TRAVEL MOST LIKELY TO BE FOLLOWED BY THE VISUALLY IMPAIRED
 - SIGNS, POLES, PLANTERS, MAILBOXES, ETC., SHALL NOT BE LOCATED WHERE THEY WILL INTERFERE WITH THE USE OF SIDEWALK RAMP
 - SIDEWALK RAMP SHALL NOT BE LOCATED WHERE USERS MUST CROSS DROP INLET GRATES, MANHOLE COVERS, OR OTHER ACCESS LIDS. IF THIS CANNOT BE AVOIDED THEN GRATE DESIGN AND PLACEMENT SHALL CONFORM TO ADA REQUIREMENTS
 - CURB DRAINAGE SHOULD BE CONSTRUCTED SO AS TO PRECLUDE THE FLOW OF WATER PAST THE SIDEWALK RAMP
 - WHEREVER FEASIBLE, TWO SIDEWALK RAMP ARE RECOMMENDED IN PREFERENCE TO A SINGLE RAMP
 - SIDEWALKS THAT ARE LESS THAN 5' WIDE REQUIRE 5' WIDE BY 5' LONG PASSING AREAS (NO GREATER THAN 2% CROSS SLOPE) AT INTERVALS NOT TO EXCEED 200'
 - E.O.P. = EDGE OF PAVEMENT
 - THE PUBLIC SIDEWALK CURB RAMP STANDARDS DEPICTED HERE MAY NOT BE APPROPRIATE FOR ALL LOCATIONS. FIELD CONDITIONS AT INDIVIDUAL LOCATIONS MAY REQUIRE SPECIFIC DESIGNS. DESIGNS MUST BE CONSISTENT WITH THE PROVISIONS OF THIS SHEET TO THE MAXIMUM EXTENT FEASIBLE ON ALTERATION PROJECTS AND WHEN STRUCTURALLY PRACTICABLE ON NEW CONSTRUCTION PROJECTS AS REQUIRED BY THE U.S. ACCESS BOARD FOR PUBLIC RIGHTS-OF-WAY.

| | | | | | |
|-----|-----------|-------|---|-------------|-------------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
| 1 | REV STYLE | 11-08 | | DRAWING NO. | CR-2 |
| 2 | NOTE | 5-19 | SIDEWALK RAMP GENERAL | | |

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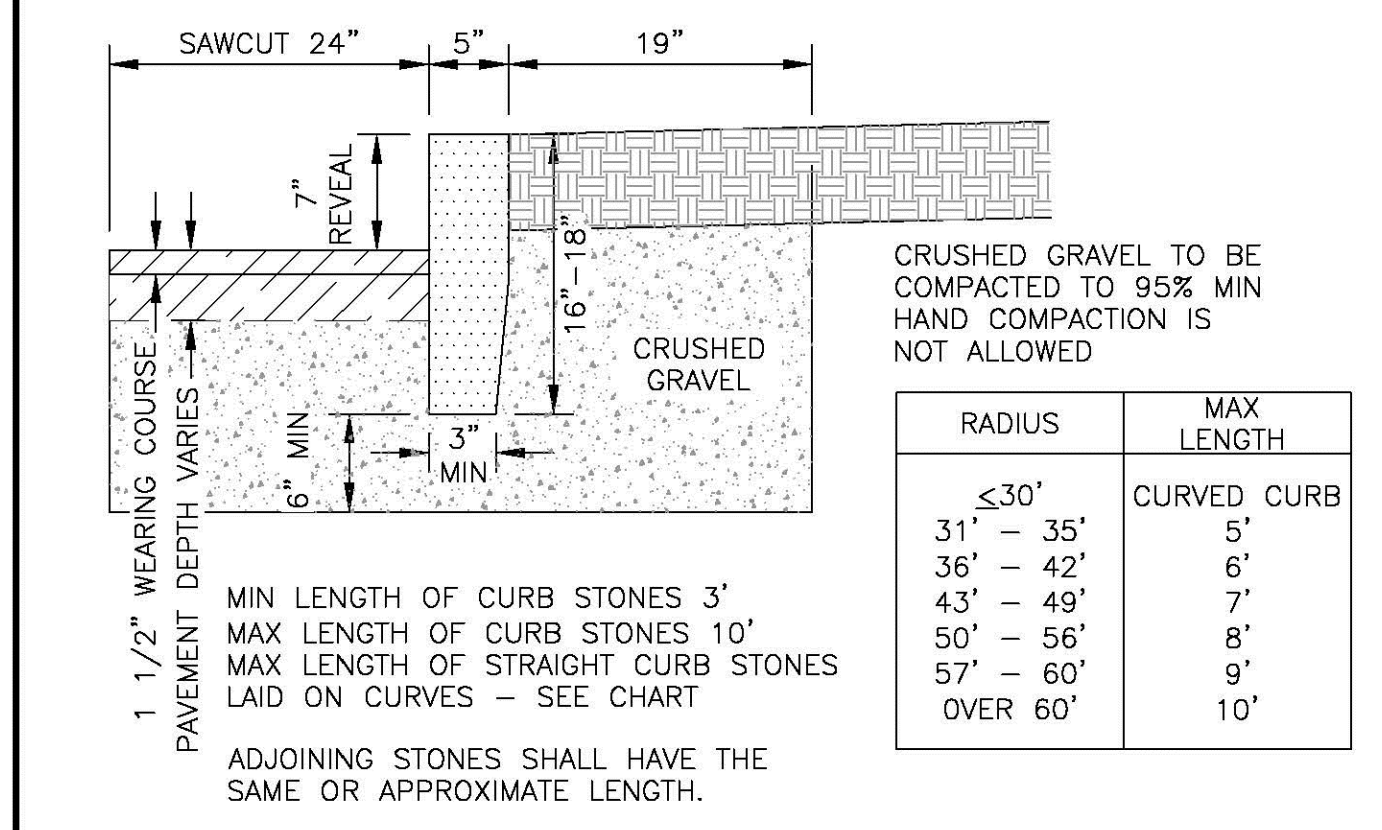
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| | | | | | |
|-----|----------|-------|---|-------------|-------------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
| 1 | DRAFTING | 12-15 | | DRAWING NO. | CR-9 |
| | | | SIDEWALK RAMP TYPE 6, EXAMPLES 3 & 4 | DATE: | 12/08 |
| | | | APPROVED BY: | PAGE: | 1 |

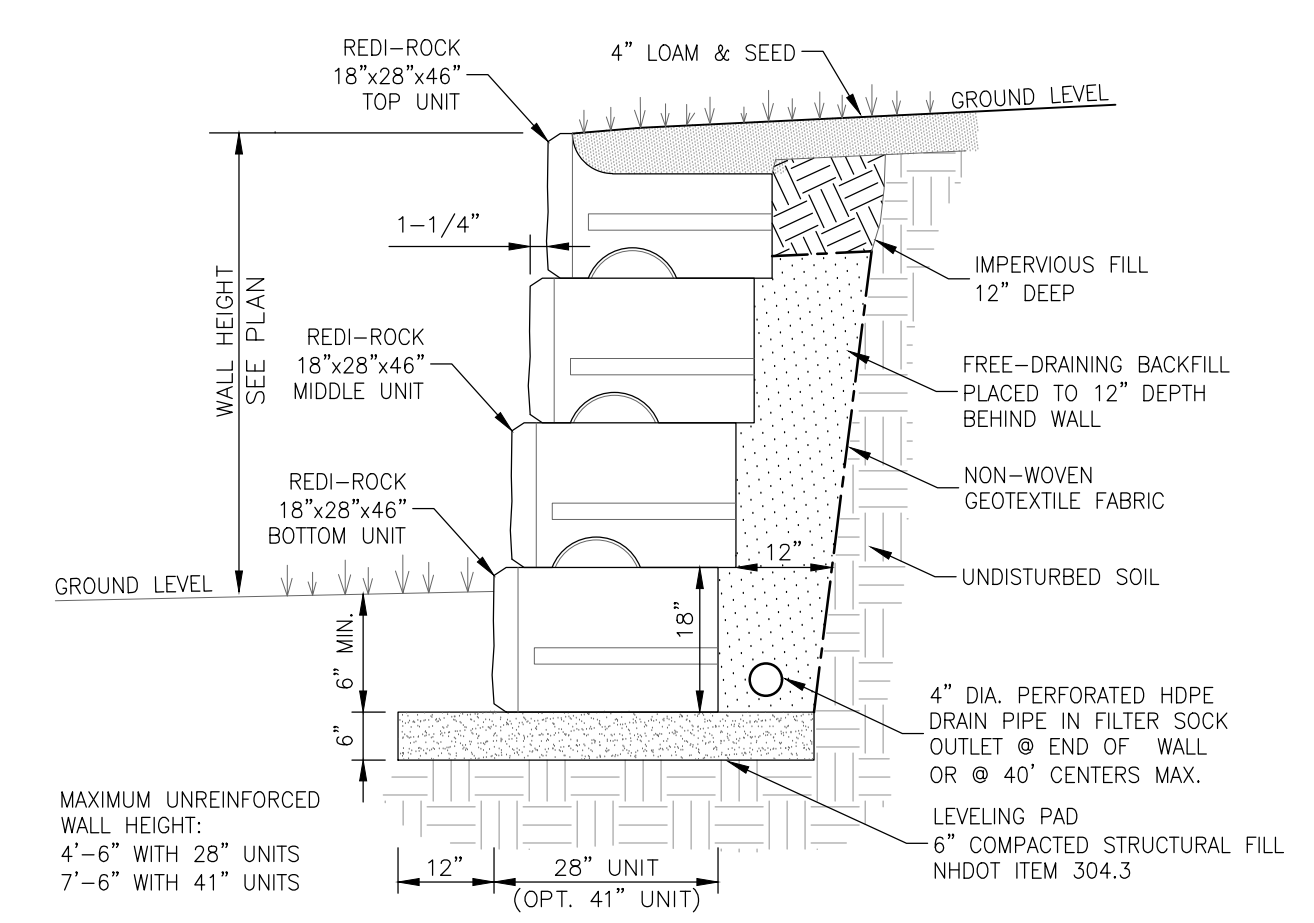
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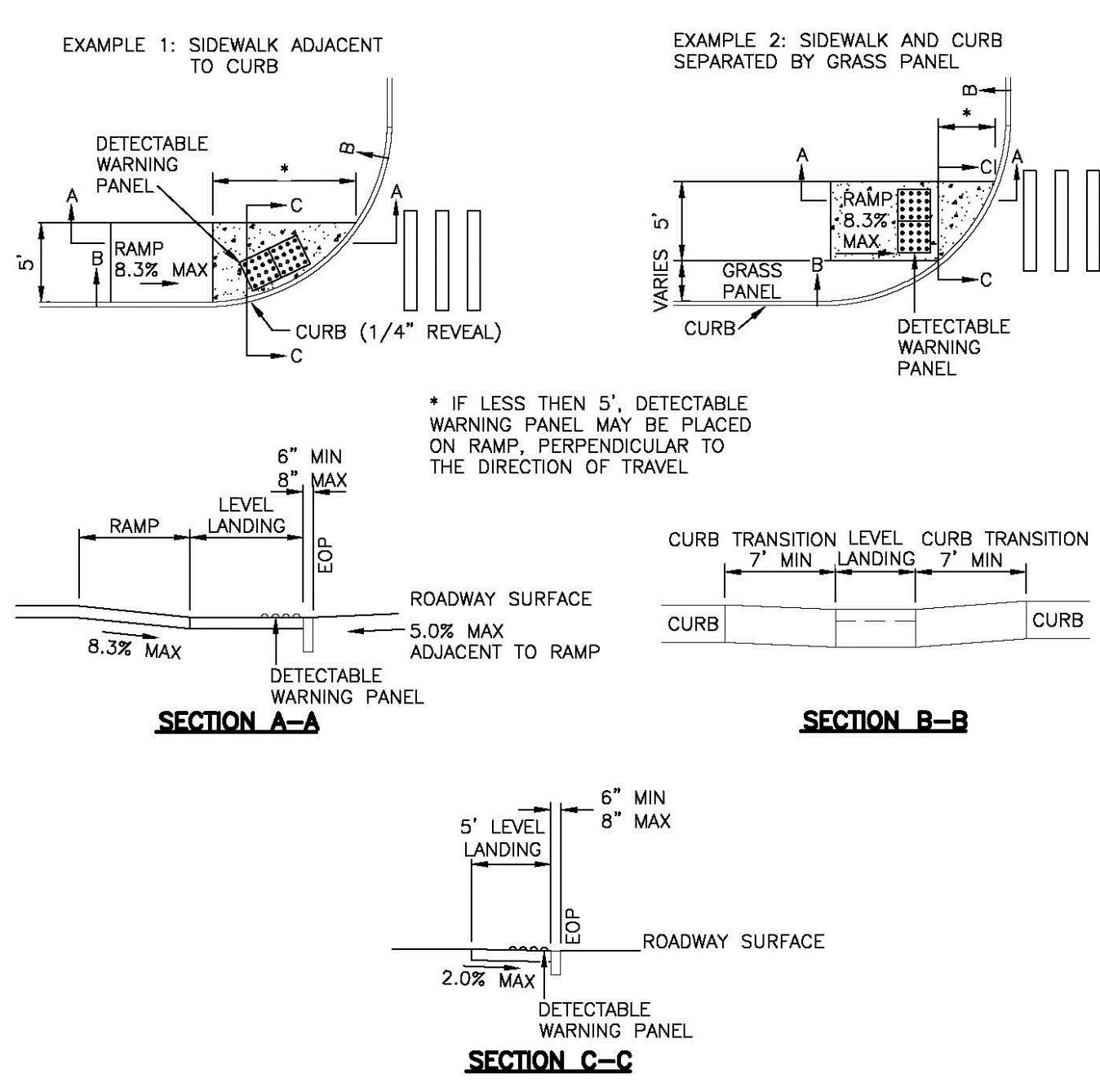
| AREA | FINISH SURFACE | TOLERANCE |
|----------------------|--|--------------------|
| TOP | 5" WIDE OR AS OTHERWISE SHOWN, SAWN TRUE PLANE. | +3/8" TO +3/4" |
| FRONT FACE | RIGHT ANGLE TO TOP, APPROXIMATELY TRUE PLANE. NO DRILL HOLES SHOWING IN TOP 10" | +1" TO +1 1/2" |
| BACK FACE EXPOSED | PLANE PARALLEL WITH FRONT FACE. STRAIGHT SPLIT TO 1/2" BELOW EXPOSED SURFACE. NO LARGER THAN 1/4" SEGMENT OF DRILL HOLES SHOWING IN ARRIS LINES. | +1" TO -1" |
| CONCEALED | BELOW 1/2" FROM EXPOSED SURFACE. | +1 1/2" TO -1 1/2" |
| BOTTOM | APPROXIMATELY PARALLEL TO TOP. MINIMUM WIDTH: 3" | SEE PLANS |
| ENDS EXPOSED PORTION | SQUARE WITH PLANES OF TOP AND FACE | |
| JOINTS EXPOSED | OPTIMUM WIDTH: 1" | |
| CONCEALED | TO BREAK BACK NO MORE THAN 4" | +3/4" TO -3/4" |

| | | | | | |
|-----|----------|-------|---|-------------|-------------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
| 1 | DRAFTING | 12-15 | | DRAWING NO. | C-1 |
| 2 | SAWCUT | 5-19 | VERTICAL GRANITE CURB | DATE: | 12/08 |
| | | | APPROVED BY: | PAGE: | 1 |

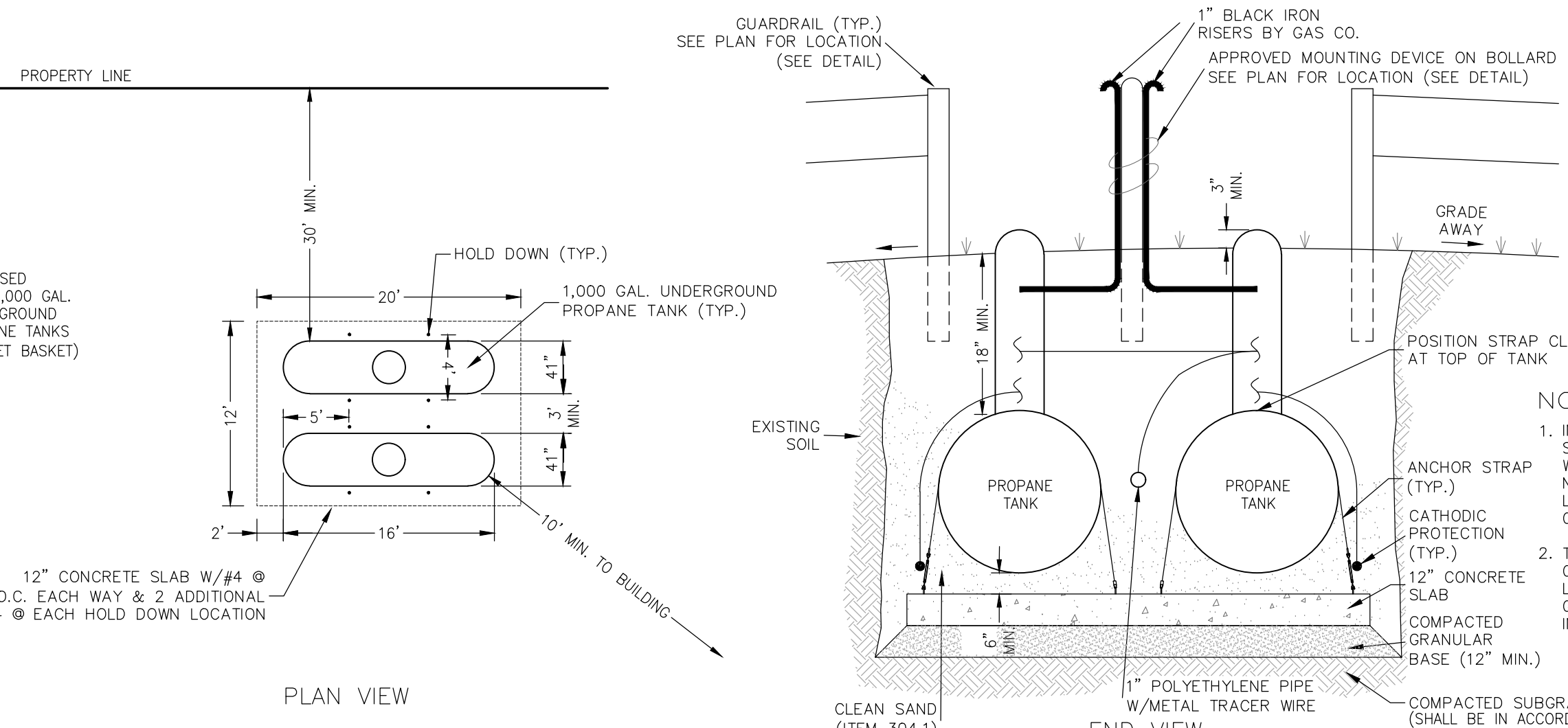


REDI-ROCK RETAINING WALL
UNREINFORCED
SCALE: 1/2"=1'-0"

SINGLE WALK STRAIGHT APPROACH TO PARALLEL RAMP



| | | | | | |
|-----|-----------|-------|---|-------------|-------------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
| 1 | REV STYLE | 11-08 | | DRAWING NO. | CR-3 |
| 2 | SECT C-C | 11-08 | SIDEWALK RAMP TYPE 1 | DATE: | 12/08 |
| | | | APPROVED BY: | PAGE: | 1 |



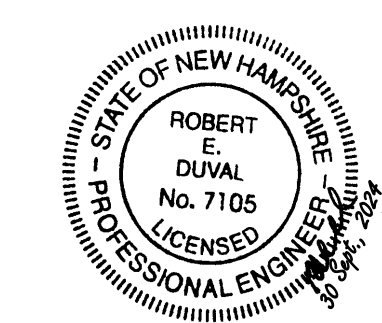
PROPANE TANK INSTALLATION

| | | | | | |
|-----|-----------|-------|---|-------------|-------------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SITE/STREET |
| 1 | REV STYLE | 11-08 | | DRAWING NO. | CR-3 |
| 2 | SECT C-C | 11-08 | SIDEWALK RAMP TYPE 1 | DATE: | 12/08 |
| | | | APPROVED BY: | PAGE: | 1 |

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
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PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
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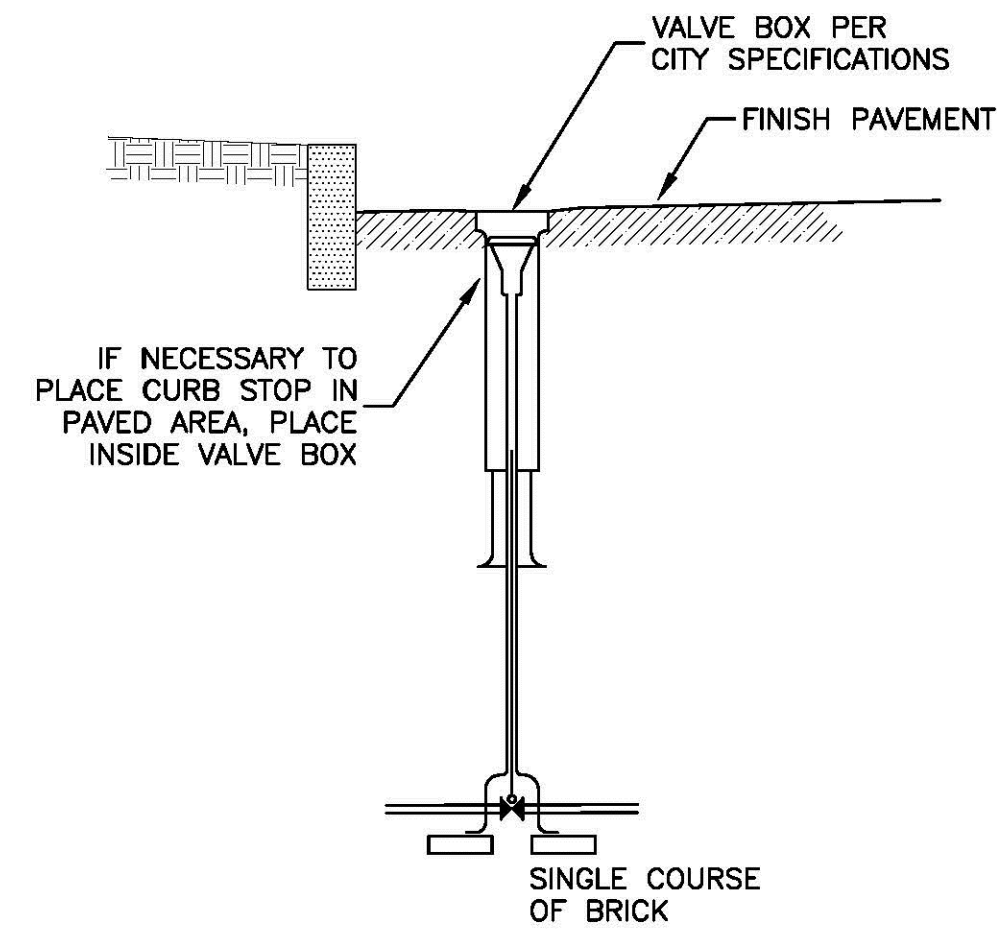


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|-----|-----------|------|---------------------------|-----|-----|
| NO. | REVISION | DATE | DESCRIPTION | BY | CHK |
| 1 | 9/27/2024 | | REVISED PER CITY COMMENTS | JMR | JSH |
| | | | | DR | CK |

| | | | | | | | | | |
|----------|----------|---------|-----|----|--|------------------|--|--|------|
| FILE NO. | 95830.11 | DR | PWH | FB | | | | | |
| CHK | JSH | CADFILE | | | | 95830-11-DETAILS | | | |
| | | | | | | | | | C-15 |

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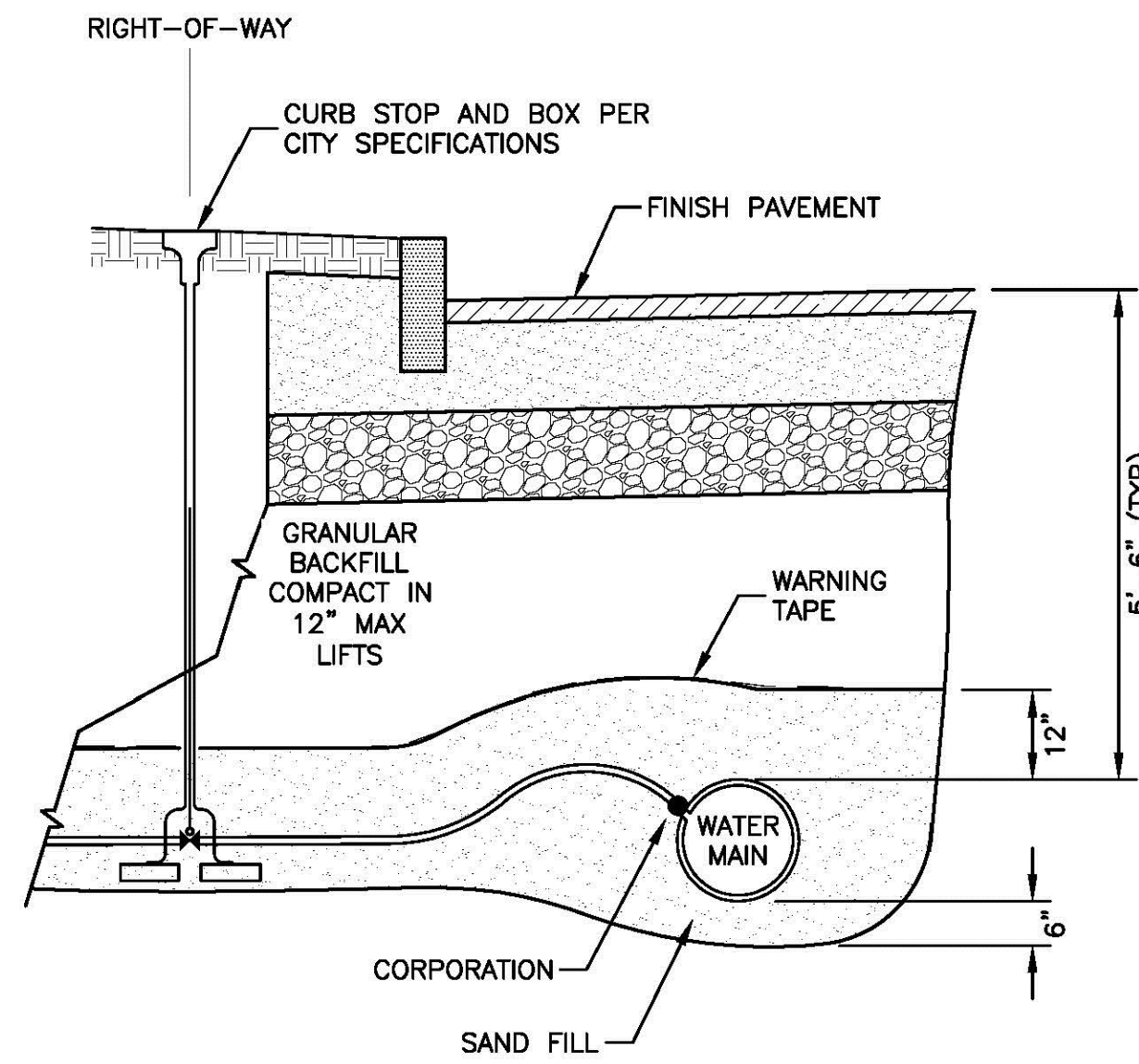
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Bedford, NH 03110
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| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | WATER |
|-----|----------|------|---|-------------|-------|
| - | - | - | | DRAWING NO. | W-13 |
| - | - | - | | DATE: | 3/13 |
| - | - | - | | PAGE: | 1 |

CURB STOP IN PAVEMENT

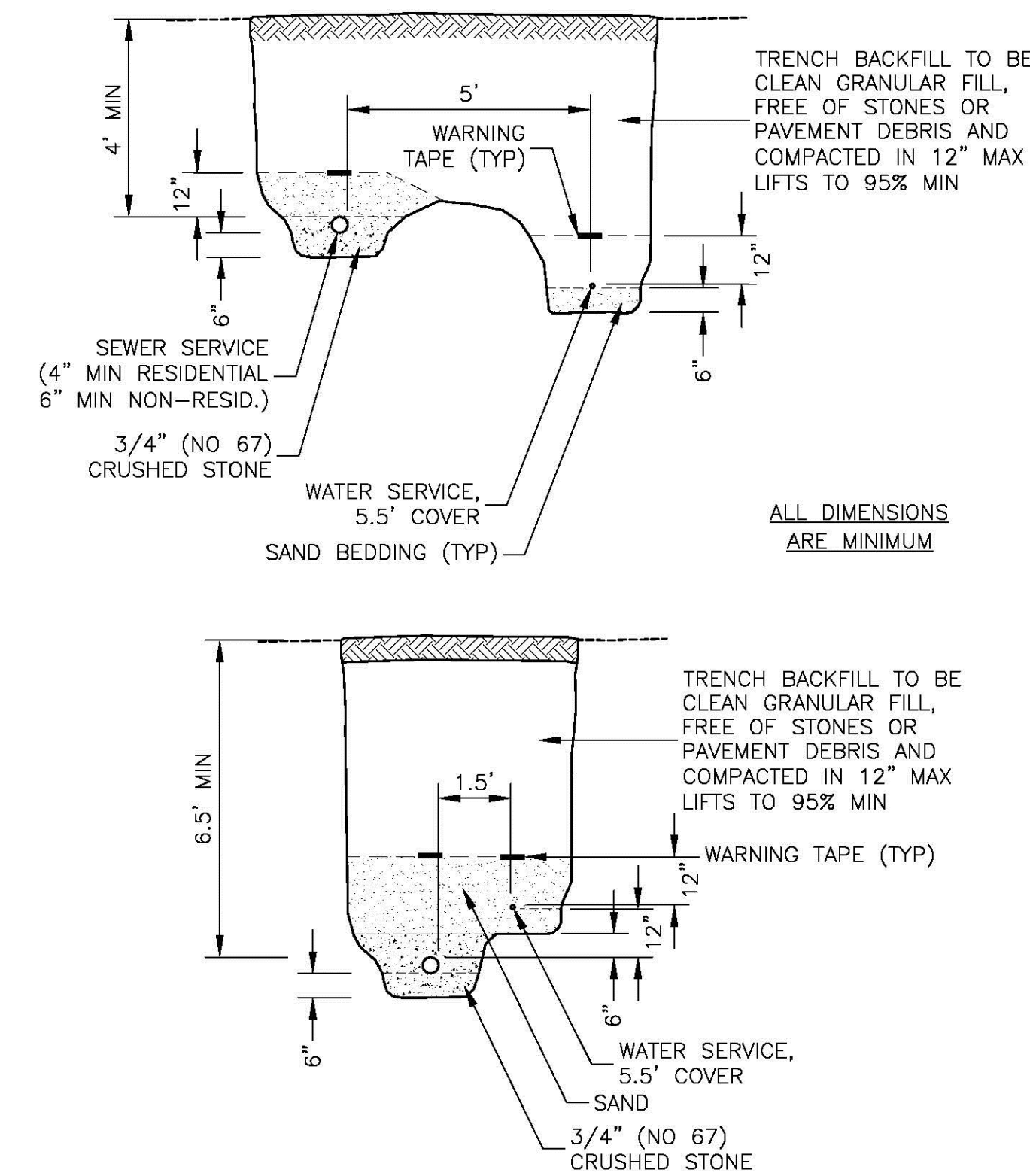
WATR-Curb Stop_2.dwg



| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | WATER |
|-----|--------------|-------|---|-------------|-------|
| 1 | MARKING TAPE | 12/13 | | DRAWING NO. | W-14 |
| - | - | - | | DATE: | 11/11 |
| - | - | - | | PAGE: | 1 |

WATER SERVICE INSTALLATION

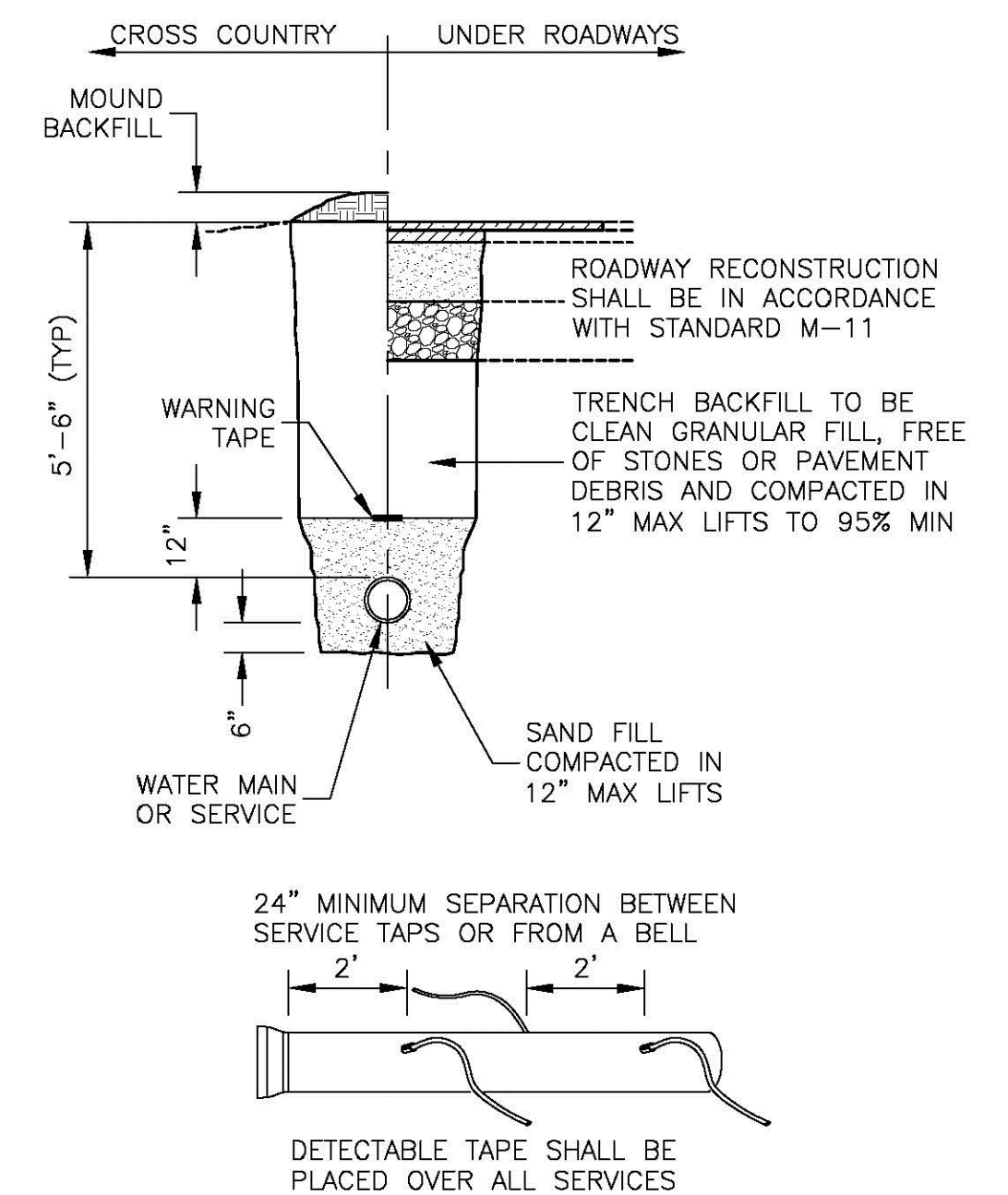
WATR-Service Installation_2.dwg



| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SEWER-WATR |
|-----|----------|------|---|-------------|------------|
| - | - | - | | DRAWING NO. | SS-7 |
| - | - | - | | DATE: | 03/15 |
| - | - | - | | PAGE: | 1 |

WATER AND SEWER SERVICE TRENCH

SEWR-Service Trench_3.dwg



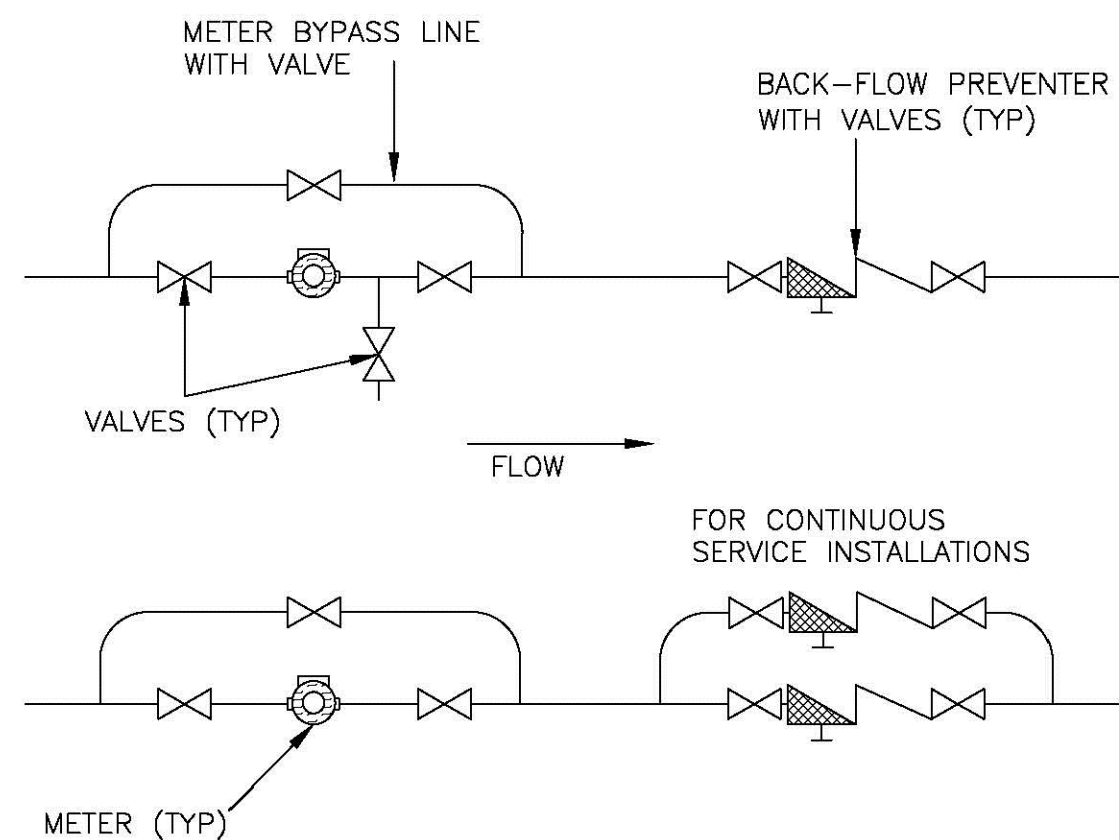
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SEWER |
|-----|------------|------|---|-------------|-------|
| 1 | NEW FORMAT | 4.15 | | DRAWING NO. | W-1 |
| - | - | - | | DATE: | 12/08 |
| - | - | - | | PAGE: | 1 |

WATER MAIN/SERVICE TRENCH

WATR-Main-Service Trench_3.dwg

Go To Details

Go To TOC



ON ALL WATER SERVICES WITH A METER SIZE OF 1 1/2" OR LARGER, A BYPASS LINE WITH A 2" TEST OUTLET IS REQUIRED.

AN IDLER OR METER SPACER WITH GASKETS AND BOLTS CAN BE OBTAINED FROM THE CITY UTILITY BILLING OFFICE TO ASSIST WITH METER PLUMBING.

NO OBSTRUCTIONS ARE ALLOWED:
 BEFORE THE METER 5 x D
 BEFORE A METER WITH STRAINER 3 x D
 AFTER THE METER 2 x D
 WHERE D = PIPE DIAMETER

| LAYING LENGTH OF METERS: | |
|--------------------------|-----------|
| 5/8" x 3/4" | = 7 1/2" |
| 1" x 1" | = 10 3/4" |
| 1 1/2" x 1 1/2" | = 13" |
| 2" x 2" | = 17" |
| 3" TURBO x 3" | = 16" |
| TURBO x 3" | = 14" |

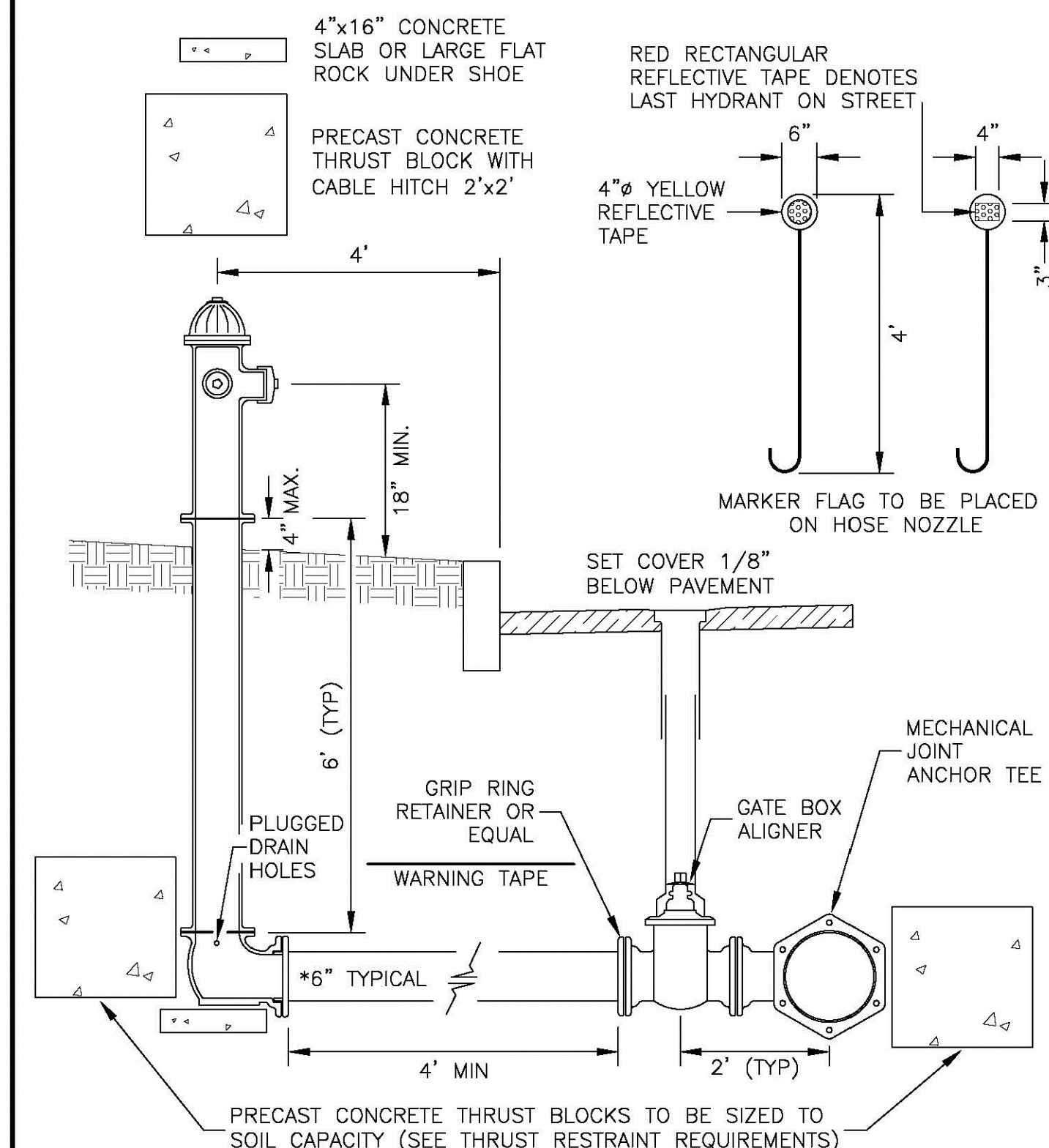
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | WATER |
|-----|-------------|------|---|-------------|-------|
| 1 | REM 2" TEST | 4.15 | | DRAWING NO. | W-9 |
| - | - | - | | DATE: | 12/08 |
| - | - | - | | PAGE: | 1 |

WATER METER INSTALLATION

W9_WATR-Meters_1.dwg

Go To Details

Go To TOC



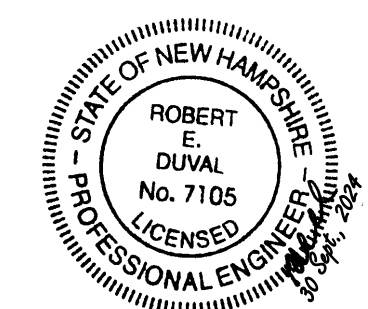
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | WATER |
|-----|---------------|-------|---|-------------|-------|
| 1 | FLANGE HEIGHT | 11.11 | | DRAWING NO. | W-2 |
| 2 | DRAFTING | 11.11 | | DATE: | 12/08 |
| 3 | Nozzle Height | 02.19 | | PAGE: | 1 |

FIRE HYDRANT

W2_WATR-Hydrant.dwg

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224



SCALE: AS SHOWN

JULY 15, 2024



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 Structural Engineers
 Traffic Engineers
 Land Surveyors
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 Scientists

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| REV | DATE | DESCRIPTION | DR | JSH | FB | CK |
|-----|-----------|---------------------------|-----|-----|----|----|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH | | |

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| 95830.11 | DR | PWH | FB | | | |
| | CK | JSH | CADFILE | 95830-11-DETAILS | | |

C-16

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SEWER SERVICE NOTES

1) MINIMUM SIZE PIPE FOR SEWER SERVICE SHALL BE SIX (6) INCHES.

2) PIPE AND JOINT MATERIALS:
A. PLASTIC SEWER PIPE
1. PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING ASTM STANDARDS:

| ASTM STANDARDS | GENERIC PIPE MATERIAL | SIZES APPROVED |
|----------------|------------------------|-----------------------------|
| D3034 | *PVC (SOLID WALL) | 8" THROUGH 15" (SDR 35) |
| F679 | PVC (SOLID WALL) | 18" THROUGH 27" (T-1 & T-2) |
| F789 | PVC (SOLID WALL) | 4" THROUGH 18" (T-1 TO T-3) |
| F794 | PVC (RIBBED WALL) | 8" THROUGH 36" |
| D2680 | *ABS (COMPOSITES WALL) | 8" THROUGH 15" |

*PVC: POLY VINYL CHLORIDE
*ABS: ACRYLONITRILE-BUTADIENE-STYRENE

2. JOINTS SEALS FOR PVC PIPE SHALL BE OIL RESISTANT COMPRESSION RINGS OF ELASTOMERIC MATERIAL CONFORMING TO ASTM D-3212 & 214 AND SHALL BE PUSH-ON, BELL AND SPIGOT TYPE.

ABS TRUSS PIPE AND FITTINGS SHALL CONFORM TO ASTM D-2680, POLYMER COMPOUNDING SHALL BE TO ASTM D-1788 (CLASS 322).

JOINTS FOR ABS TRUSS PIPE SHALL BE CHEMICAL WELDED COUPLINGS TYPE SC IN ACCORDANCE WITH ASTM D-2680, FORMING A CHEMICAL WELDED JOINT.

B. DUCTILE-IRON PIPE, FITTINGS AND JOINTS.

1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE UNITED STATES OF AMERICA STANDARDS INSTITUTE:
A21.50 THICKNESS DESIGN OF DUCTILE IRON PIPE AND WITH ASTM A-536 DUCTILE IRON CASTINGS.
A21.51 DUCTILE IRON PIPE, CENTRIFUGALLY CAST IN METAL MOLDS OR SAND-LINED MOLDS FOR WATER OR OTHER LIQUIDS.
2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH-ON TYPE. JOINTS AND GASKETS SHALL CONFORM TO:
A21.11 RUBBER GASKETS JOINTS FOR CAST IRON PRESSURE PIPE & FITTINGS

3) DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.

4) JOINTS SHALL BE DEPENDENT UPON A NEOPRENE OR ELASTOMERIC GASKET FOR WATER-TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATCHED WITH THE PIPE MATERIALS USED. WHERE DIFFERING MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER WYE OR AT THE FOUNDATION WALL, APPROPRIATE MANUFACTURED ADAPTERS SHALL BE USED.

5) TEES AND WYES: WHERE A TEE OR WYE IS NOT AVAILABLE IN THE EXISTING STREET SEWER, AN APPROPRIATE CONNECTION SHALL BE MADE, FOLLOWING MANUFACTURERS' INSTRUCTIONS USING A BOLTED, CLAMPED OR EPOXY-CEMENTED SADDLE TAPPED INTO A SMOOTHLY DRILLED OR SAWN OPENING IN THE SEWER. THE PRACTICE OF BREAKING AN OPENING WITH A SLEDGE HAMMER, STUFFING CLOTH OR OTHER SUCH MATERIAL AROUND THE JOINT, OR APPLYING MORTAR TO HOLD THE CONNECTION, AND ANY OTHER SIMILAR CRUDE PRACTICES OR INEPT OR HASTY IMPROVISATIONS WILL NOT BE PERMITTED. THE CONNECTION SHALL BE CONCRETE ENCASED AS SHOWN IN THE DETAIL UP TO AND INCLUDING 15" DIAMETER.

6) SEWER SERVICE INSTALLATION: THE PIPE SHALL BE HANDLED, PLACED AND JOINTED IN ACCORDANCE WITH THE INSTRUCTIONS OF THE APPROPRIATE MANUFACTURER. IT SHALL BE CAREFULLY BEDDED ON A 4 INCH LAYER OF CRUSHED STONE AND/OR GRAVEL AS SPECIFIED IN NOTE 10. BEDDING AND RE-FILL FOR DEPTH OF 12 INCHES ABOVE THE TOP OF THE PIPE SHALL BE CAREFULLY AND THOROUGHLY TAMPED BY HAND OR WITH APPROPRIATE MECHANICAL DEVICES.

THE PIPE SHALL BE LAID AT A CONTINUOUS AND CONSTANT GRADE FROM THE STREET SEWER CONNECTION TO THE FOUNDATION AT A GRADE OF NOT LESS THAN 1/4" INCH PER FOOT. PIPE JOINTS MUST BE MADE UNDER DRY CONDITIONS. IF WATER IS PRESENT, ALL NECESSARY STEPS SHALL BE TAKEN TO DRY THE TRENCH.

7) ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING.

(A) ALL NEW GRAVITY SEWERS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF LOW-PRESSURE AIR TESTS.

(B) LOW-PRESSURE AIR TESTING SHALL BE IN CONFORMANCE WITH THE FOLLOWING STANDARDS IN EFFECT AT THE TIME THE TEST IS CONDUCTED:

(1) ASTM F1417 "STANDARD TEST METHOD FOR INSTALLATION ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR", AVAILABLE AS NOTED IN APPENDIX D; OR

(2) UNI-BELL PVC PIPE ASSOCIATION UNI-B-6, "LOW-PRESSURE AIR TESTING OF INSTALLED SEWER PIPE", AVAILABLE AS NOTED IN APPENDIX D.

(C) ALL NEW GRAVITY SEWERS SHALL BE:

(1) CLEANED AND VISUALLY INSPECTED USING A LAMP TEST AND BY INTRODUCING WATER TO DETERMINE THAT THERE IS NO STANDING WATER IN THE SEWER; AND
(2) TRUE TO LINE AND GRADE FOLLOWING INSTALLATION AND PRIOR TO USE.

(D) ALL PLASTIC SEWER PIPE SHALL BE VISUALLY INSPECTED AND DEFLECTION TESTED NOT LESS THAN 30 DAYS NOR MORE THAN 90 DAYS FOLLOWING INSTALLATION.

(E) THE MAXIMUM ALLOWABLE DEFLECTION OF FLEXIBLE SEWER PIPE SHALL BE 5% PERCENT OF AVERAGE INSIDE DIAMETER. A RIGID BALL OR MANDREL WITH A DIAMETER OF AT LEAST 95% OF THE AVERAGE INSIDE PIPE DIAMETER SHALL BE USED FOR TESTING PIPE DEFLECTION. THE DEFLECTION TEST SHALL BE CONDUCTED WITHOUT MECHANICAL PULLING DEVICES.

8) ILLEGAL CONNECTIONS: NOTHING BUT SANITARY WASTE FLOW FROM TOILETS, SINKS, LAUNDRY ETC. SHALL BE PERMITTED. ROOF LEADERS, FOOTING DRAINS, SUMP PUMPS OR OTHER SIMILAR CONNECTIONS CARRYING RAIN WATER, DRAINAGE OR GROUND WATER SHALL NOT BE PERMITTED.

9) WATER SERVICE SHALL NOT BE LAID IN SAME TRENCH AS SEWER SERVICE.

10) BEDDING: SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

| | |
|------------------|-----------------|
| 100% PASSING | 1 INCH SCREEN |
| 90%-100% PASSING | 3/4 INCH SCREEN |
| 20%-55% PASSING | 3/8 INCH SCREEN |
| 0%-10% PASSING | #4 SIEVE |
| 0%-5% PASSING | #8 SIEVE |

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1 1/2 INCH SHALL BE USED.

11) LOCATION: THE LOCATION OF THE TEE OR WYE SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IN ADDITION, A FERROUS METAL ROD OR PIPE SHALL BE PLACED OVER THE TEE OR WYE AS DESCRIBED IN THE TYPICAL "CHIMNEY" DETAIL, TO AID IN LOCATING THE BURIED PIPE WITH A DIP NEEDLE OR PIPEFINDER.

12) CHIMNEYS: IF VERTICAL DROP INTO SEWER IS GREATER THAN 4 FEET, A CHIMNEY SHALL BE CONSTRUCTED FOR THE SEWER CONNECTION. CHIMNEY INSTALLATION AS RECOMMENDED BY THE PIPE MANUFACTURER MAY BE USED IF APPROVED BY THE ENGINEER.

13) THE PIPE SAND BLANKET MATERIAL SHALL BE GRADED SAND FREE FROM ORGANIC MATERIALS, GRADED SUCH THAT 100 PERCENT PASSES A 1/2-INCH SIEVE AND A MAXIMUM OF 15 PERCENT PASSES A #200 SIEVE.

14) TRENCH BACKFILL MATERIAL IN ROADWAY LOCATIONS SHALL BE NATURAL MATERIALS EXCAVATED FROM THE TRENCH DURING CONSTRUCTION, EXCLUDING:

- (1) DEBRIS;
- (2) PIECES OF PAVEMENT;
- (3) ORGANIC MATTER;
- (4) TOP SOIL;
- (5) WET OR SOFT MUCK;
- (6) PEAT OR CLAY;
- (7) EXCAVATED LEDGE MATERIAL;
- (8) ROCKS OVER 6 INCHES IN THE LARGEST DIMENSION; AND
- (9) ANY MATERIAL NOT APPROVED BY THE ENGINEER.

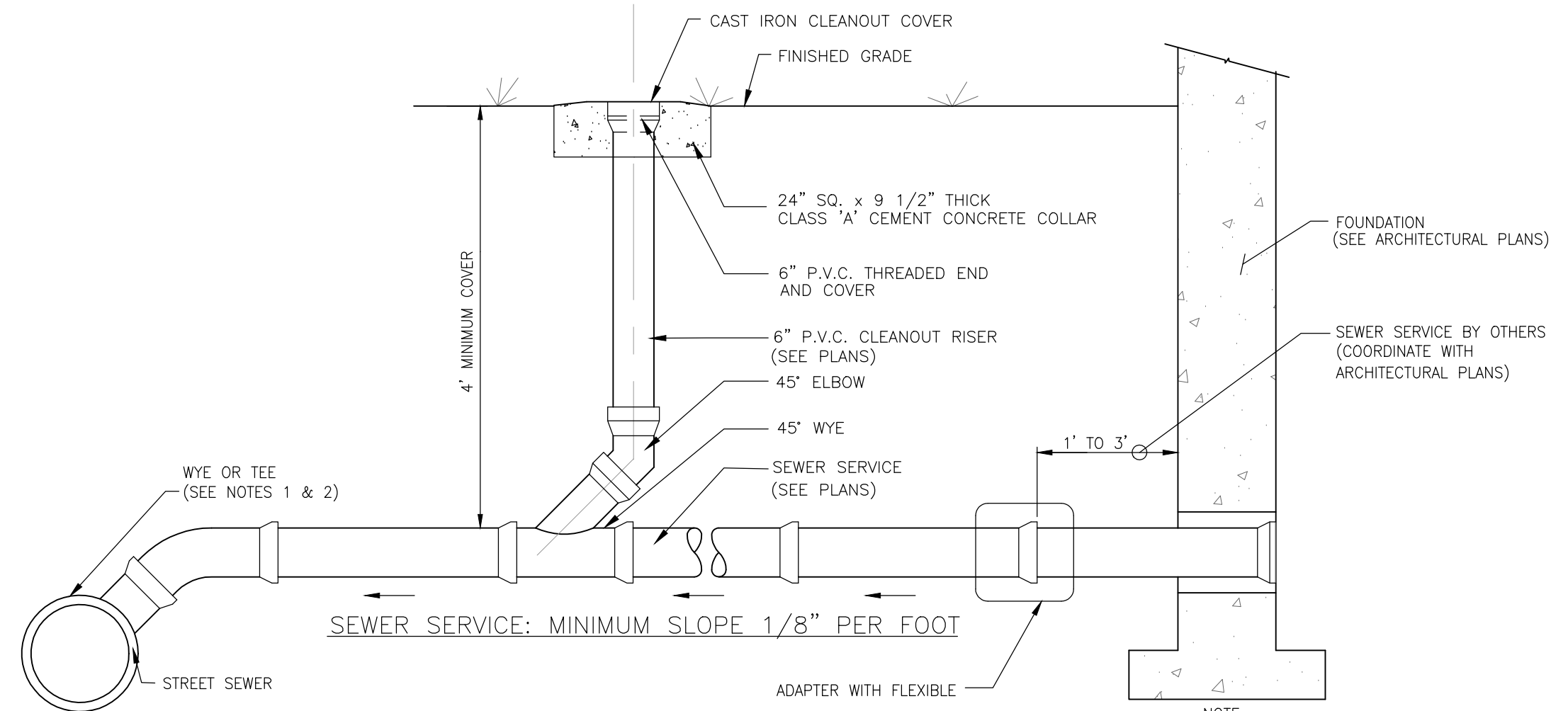
15) FOR EXCAVATION IN LEDGE, EXCAVATION SHALL EXTEND AT LEAST 12" BELOW THE BOTTOM OF THE SEWER PIPE PER ENV-WQ

704.11 (O).

NOTES:

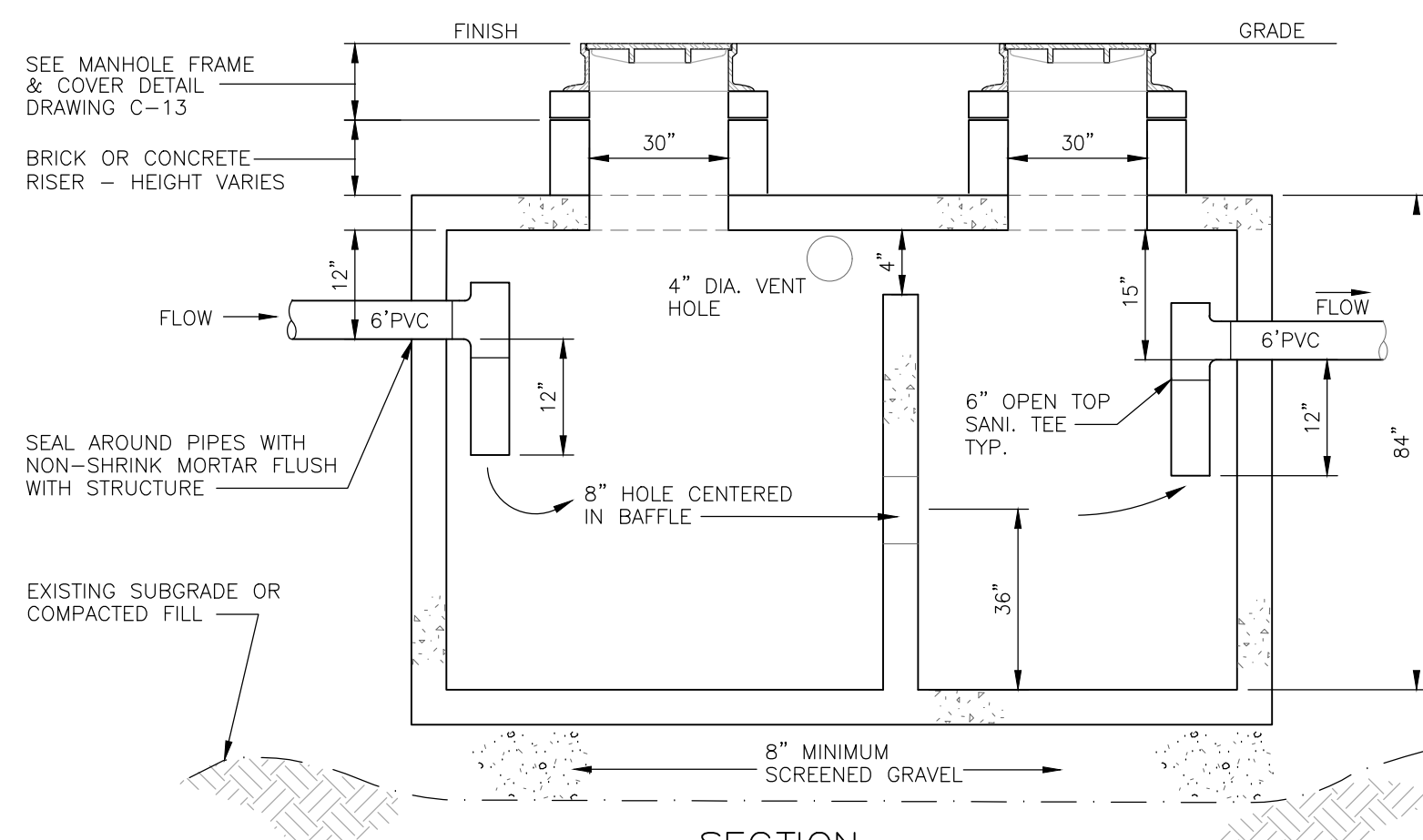
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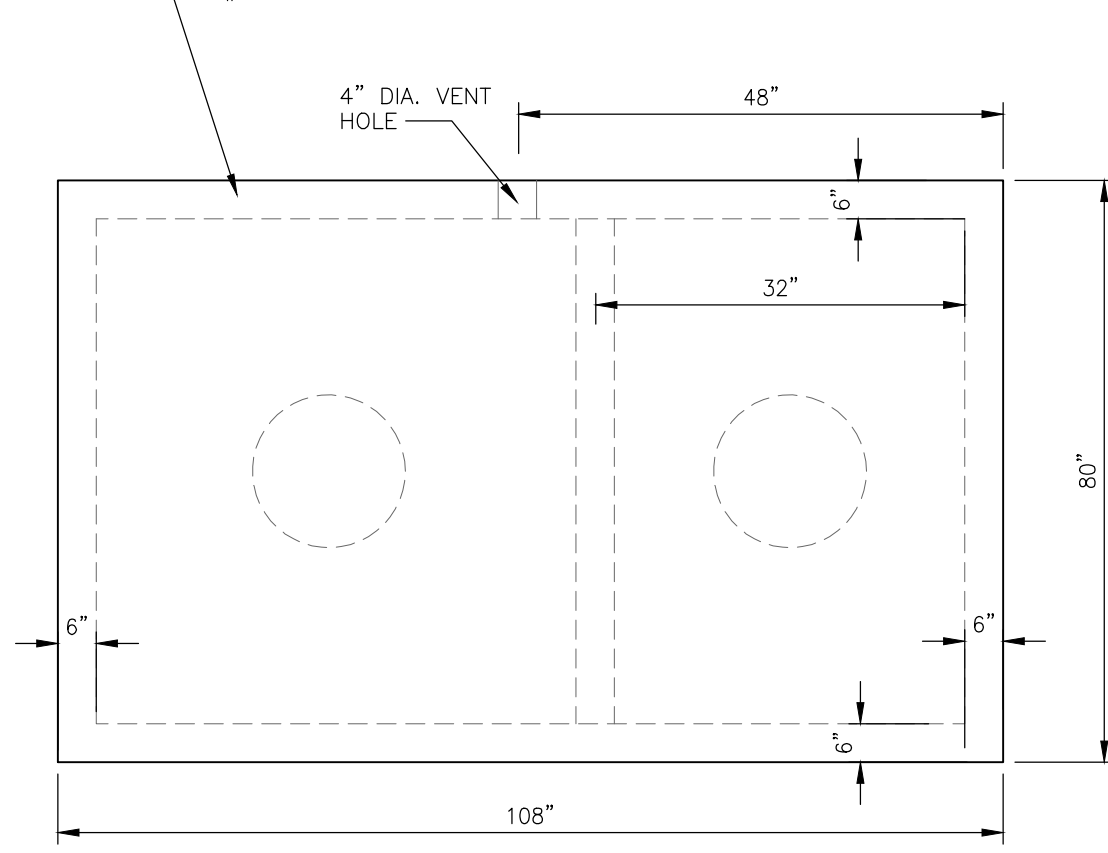
SEWER SERVICE & CLEANOUT

NOT TO SCALE



SECTION

NOTE:
4500 PSI CONCRETE
#28 DAYS REINF. W/
#4 BARS OR 60 12" C.C.E.W.
FOR BASE SLAB AND WALLS
#5 BARS 8" C.C. FOR TOP SLAB

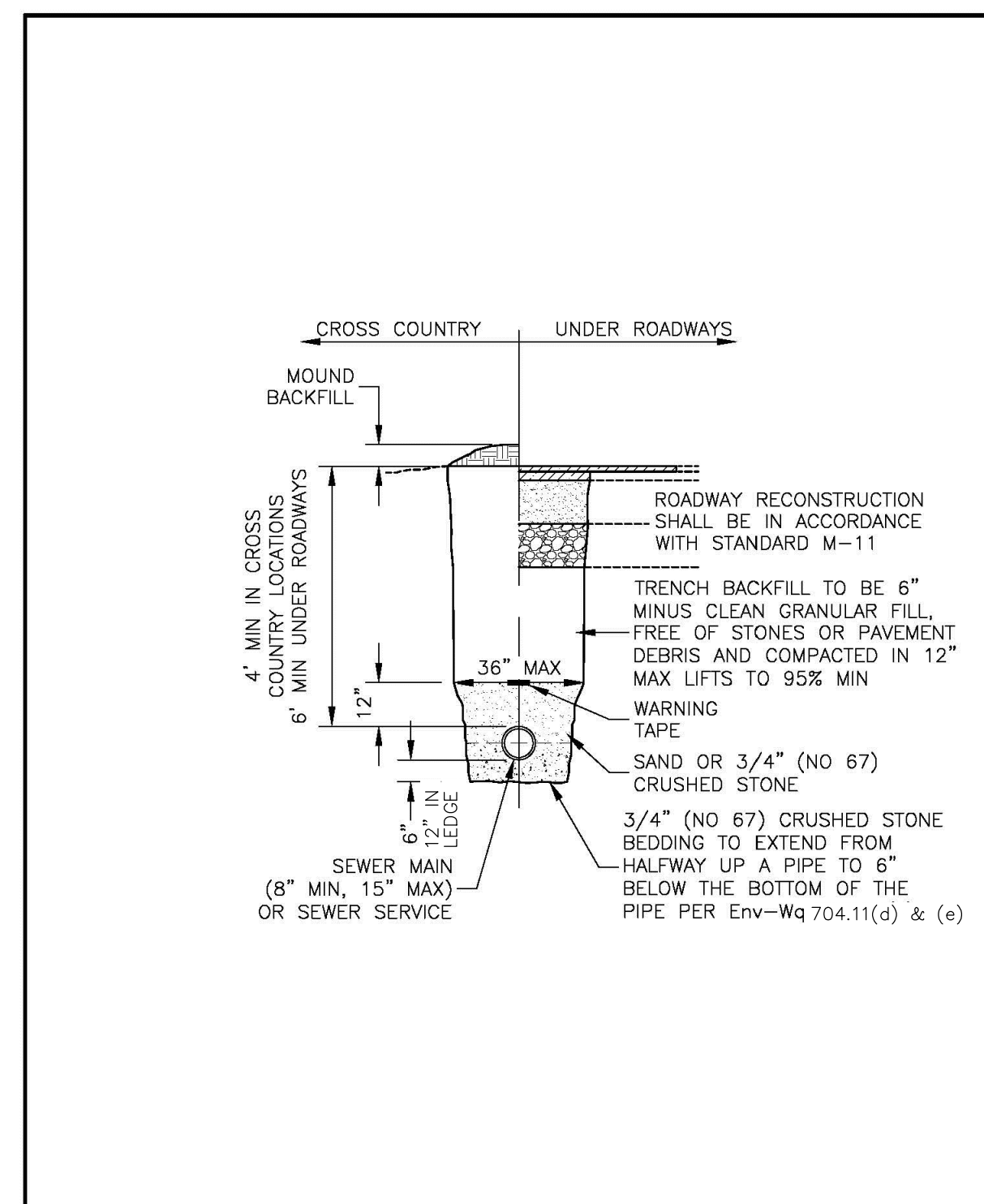


PLAN

GREASE TRAP CHAMBER

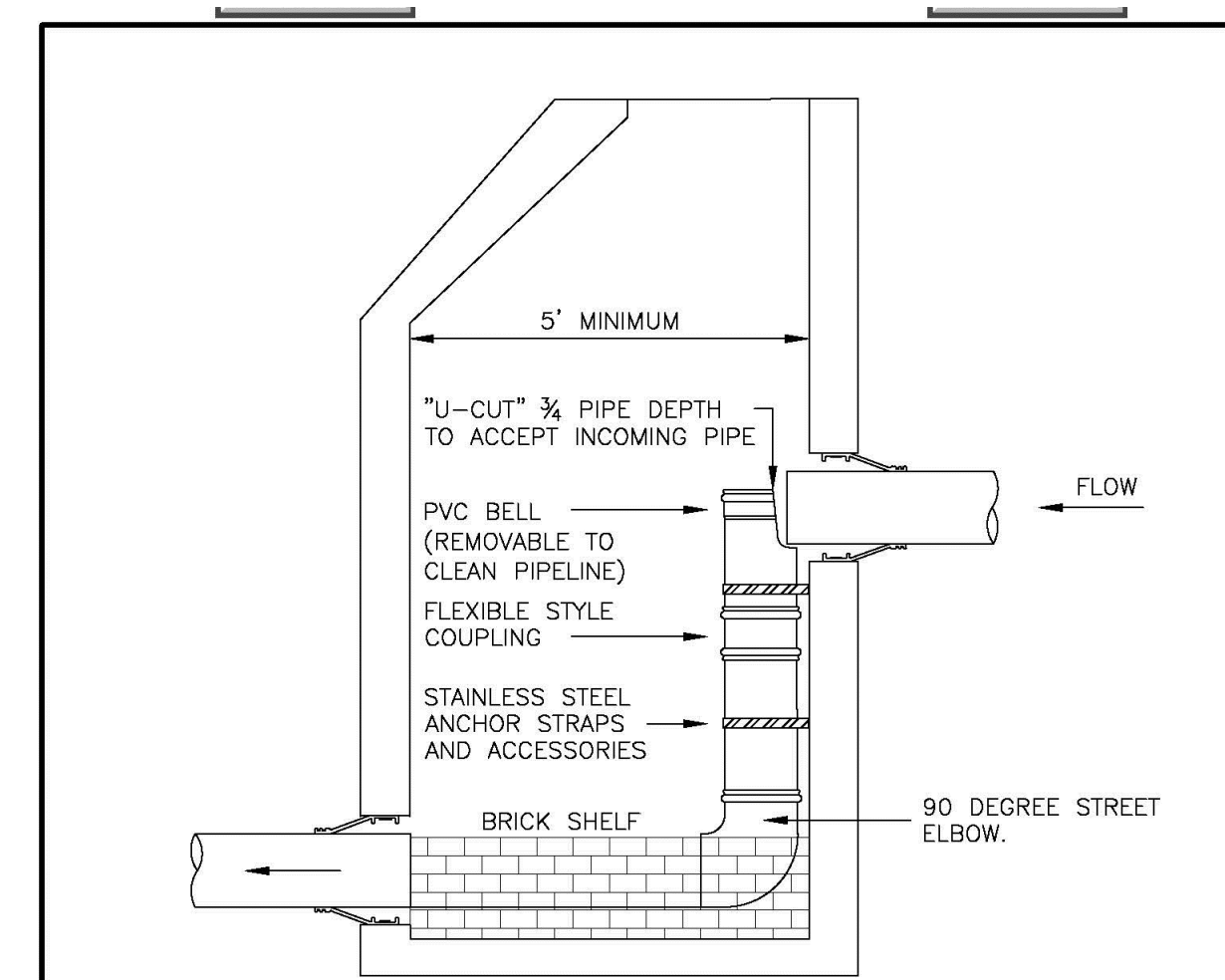
SINGLE TANK - 1500 GALLONS MIN.

NOT TO SCALE



| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SEWER |
|-----|------------|------|---|-------------|-------|
| 1 | NOTES/DIM. | 3/19 | | DRAWING NO. | SM-1 |
| | | | | DATE: | 08/13 |
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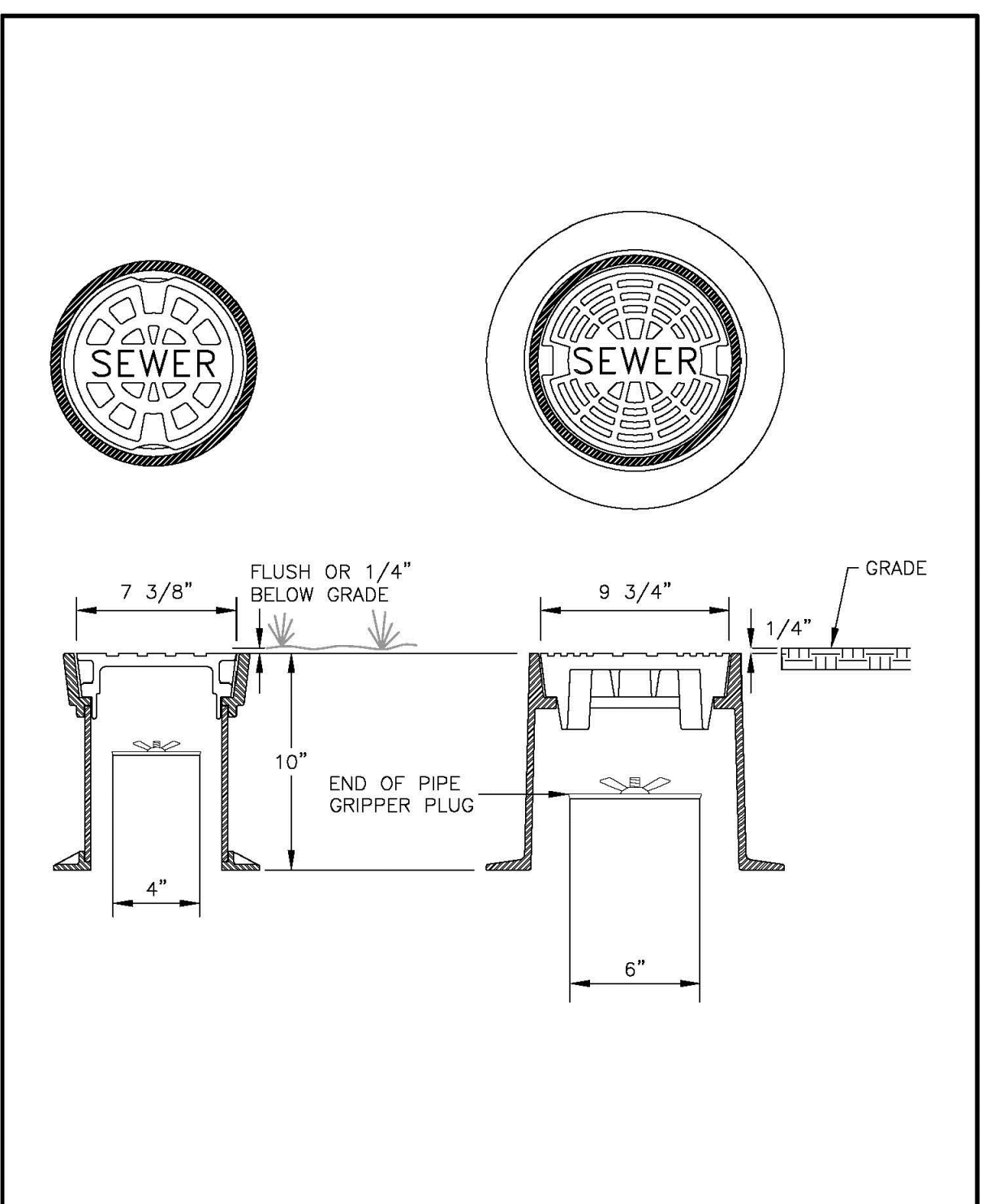


NOTES:

1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE TO THE CITY OF CONCORD STANDARDS FOR SANITARY MANHOLE CONSTRUCTION
2. INSIDE DROP MANHOLES SHALL HAVE A MINIMUM 5' INSIDE DIAMETER
3. IF CONNECTING TO AN EXISTING MANHOLE THAT HAS NO OTHER DROP PIPING, A SINGLE 8" INSIDE DROP WILL BE ALLOWED
4. ANCHOR STRAPS (MINIMUM OF 2) AND BOLTS TO BE 304 OR 316 STAINLESS STEEL AND NOT MORE THAN 3" ON CENTER. SECURE AS DIRECTED: STRAPS - 1" WIDE, BOLTS - 3/8" X 2 1/2" LONG

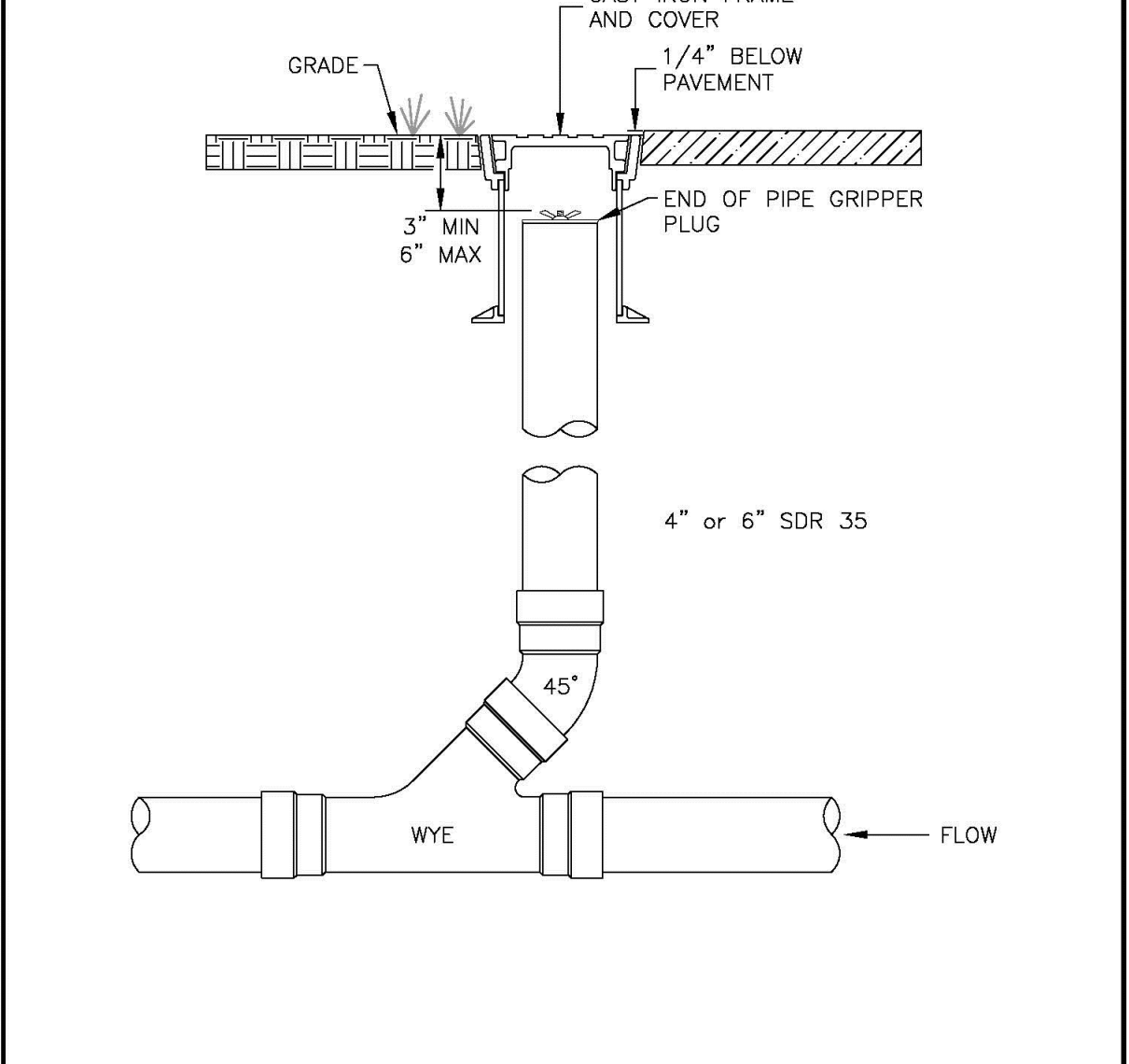
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| 1 | NOTES/DIM. | 3/19 | | DRAWING NO. | SM-5 |
| | | | | DATE: | 12/08 |
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| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SEWER |
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| 1 | NOTES/DIM. | 3/19 | | DRAWING NO. | SS-4 |
| | | | | DATE: | 12/08 |
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|-----|------------|------|---|-------------|-------|
| 1 | NOTES/DIM. | 3/19 | | DRAWING NO. | SS-3 |
| | | | | DATE: | 12/08 |
| | | | | PAGE: | 1 |

APPROVED BY: [Signature]

SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN JULY 15, 2024

| | | |
|------------|----------------------|-----------------------|
| TFM | Civil Engineers | 48 Constitution Drive |
| | Structural Engineers | Bedford, NH 03110 |
| | Traffic Engineers | Phone (603) 472-4488 |
| | Land Surveyors | Fax (603) 472-9747 |
| | Landscape Architects | www.tfmoran.com |
| | Scientists | |

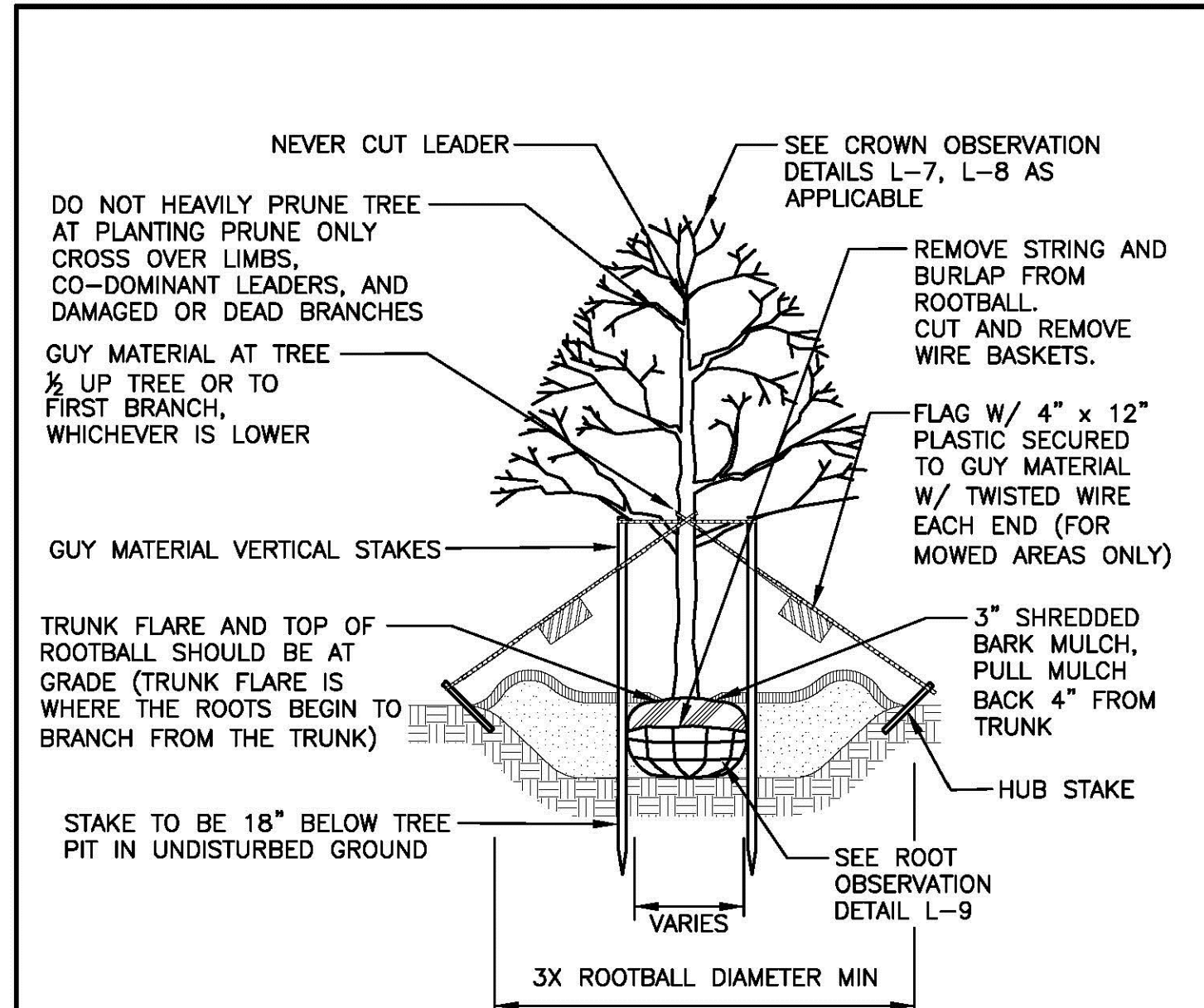
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| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | SEWER |
|-----|-----------|---------------------------|---|----------|-------|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR JSH | | |
| | | | DR | | |
| | | | PKH | | |
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| | | | JKH | | |
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95830.11

C-17



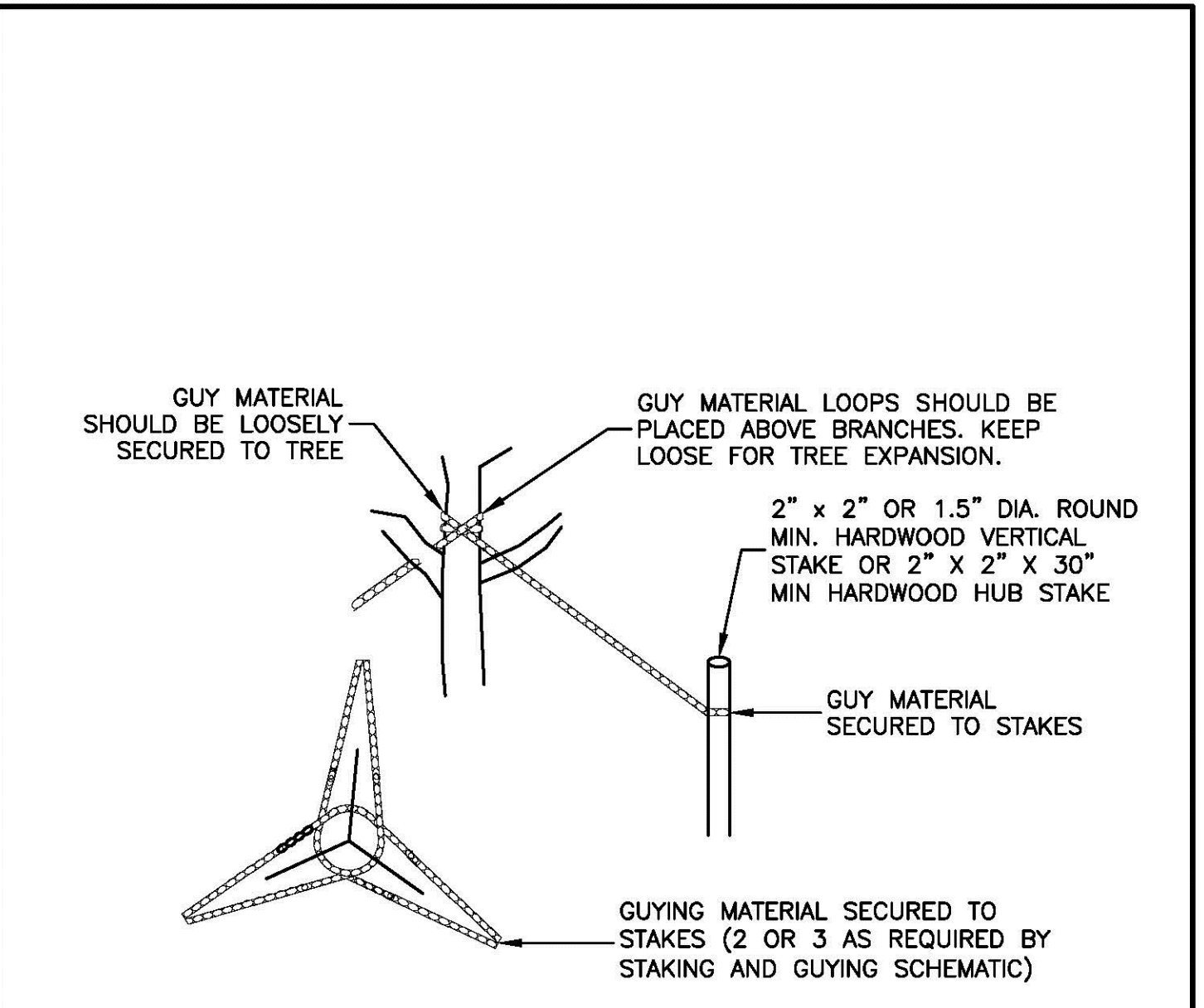
- NOTES:**
- GUYING AND STAKING TO BE DETERMINED IN THE FIELD BY THE LANDSCAPE ARCHITECT. LOCAL FIELD CONDITIONS AS WELL AS PLANT CHARACTERISTICS WILL DETERMINE THE NECESSITY OF GUYING AND STAKING.
 - TYPICALLY ONLY TREES WITH A 3" OR GREATER CALIPER NEED TO BE STAKED. TREES WITH LESS THAN A 3" CALIPER NEED TO BE STAKED ONLY AS REQUIRED BY LANDSCAPE ARCHITECT.
 - ONLY WRAP TREE TRUNKS AS REQUIRED BY LANDSCAPE ARCHITECT.
 - TREE SHALL BE SET PLUMB, AFTER SETTLEMENT.
 - LOAM FOR BACKFILLING SHALL BE AMENDED AS REQUIRED BY LANDSCAPE ARCHITECT.
 - CITY TREES PLANTED ON PRIVATE PROPERTY, ADJACENT TO A PUBLIC RIGHT-OF-WAY, NEED TO BE PLANTED A MINIMUM OF 10 FEET FROM THE EDGE OF THE CITY SIDEWALK.
 - ALL NURSERY TAGS, TAPE, AND SIMILAR MATERIALS SHALL BE REMOVED.

| | | | | | |
|-----|----------|------|---|-------------|-----------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | LANDSCAPE |
| 1 | NOTES | 4.15 | | DRAWING NO. | L-1 |
| | | | | DATE: | 12/08 |
| | | | | PAGE: | 1 |

APPROVED BY: _____

DECIDUOUS TREE PLANTING

USC-Landscape_1.dwg



- NOTE:**
- ONLY USE PLASTIC CHAINLOCK (LANDSCAPE QUALITY AND SUITABLE FOR GUYING TREES) OR EQUIVALENT GUYING MATERIAL.

| | | | | | |
|-----|----------|------|---|-------------|-----------|
| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | LANDSCAPE |
| | | | | DRAWING NO. | L-2 |
| | | | | DATE: | 12/08 |
| | | | | PAGE: | 1 |

APPROVED BY: _____

DECIDUOUS TREE - GUYING & STAKING

USC-Landscape_1.dwg

LANDSCAPE SPECIFICATIONS

- PLANTING**
- EXCAVATE PITS, PLANTERS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
 - ANY LEDGE OR RUBBLE MATERIAL SHALL BE FRACTURED TO A DEPTH OF 3 FEET AND EXCAVATED TO A DEPTH OF 30 INCHES FOR TREE POCKETS AND 18 INCHES FOR SHRUB BEDS. THIS PROCEDURE SHALL BE HANDLED BY THE SITE CONTRACTOR. SITE TOPSOIL SHALL BE DEPOSITED IN ALL EXCAVATED POCKETS.
 - DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL OR USE AS BACKFILL.
 - FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
 - DISH TOP OF BACKFILL TO ALLOW FOR MULCH - PLANT SAUCERS SHALL BE AS SHOWN ON DETAIL SHEETS, 6" DIAMETER FOR ALL DECIDUOUS TREES, AND FOR EVERGREEN TREES A RADIUS 2" BEYOND THE OUTER MOST BRANCHES.
 - MULCH TREES, SHRUBS, PLANTERS AND BEDS. PROVIDE NOT LESS THAN 3" THICKNESS OF BARK MULCH, 3/8"-2" OF WIDTH, AND WORK INTO TOP OF BACKFILL. FINISH LEVEL WITH ADJACENT FINISH GRADES AS DIRECTED IN THE FIELD.
 - STAKE AND GUY TREES IMMEDIATELY AFTER PLANTING (TREE SUPPORT STAKES SHALL BE 2" X 3" X 8'0", WOOD STAKES, GUYING WIRE SHALL BE NO. 12 GAUGE GALVANIZED SOFT STEEL WIRE. HOSE FOR COVERING WIRE SHALL BE NEW OR USED TWO PLY RUBBER HOSE NOT LESS THAN 1/2 INCH INSIDE DIAMETER. (PLASTIC "ONCH-TIES" OR EQUIVALENT FASTENING DEVICE MAY BE AN ACCEPTABLE GUY WIRE AND HOSE PROTECTOR SUBSTITUTE.)
 - ALL PLANT MATERIALS SHALL HAVE DEAD OR DAMAGED BRANCHES REMOVED AT TIME OF PLANTING. ALL TAGS AND RIBBONS SHALL BE REMOVED AT THIS TIME.
 - TREES TO REMAIN STAKED FOR 1 FULL GROWING SEASON.
 - THE CONTRACTOR SHALL REQUEST A FINAL OBSERVATION BY THE OWNER'S REPRESENTATIVE UPON COMPLETION OF INSTALLATION.

LANDSCAPE MAINTENANCE

- LAWN**
- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE LAWN IS ESTABLISHED, BUT NOT LESS THAN THE FOLLOWING PERIODS:
 - A. SEEDED LAWNS: 60 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - B. SODDED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - C. PLUGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - D. SPRIGGED LAWNS: 30 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - MAINTAIN AND ESTABLISH LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING, AND ROLL REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - A. IN AREAS WHERE MULCH HAS BEEN DISTURBED BY WIND OR MAINTENANCE OPERATIONS, ADD NEW MULCH - ANCHOR AS REQUIRED TO PREVENT DISPLACEMENT.
 - WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP LAWN UNIFORMLY MOIST TO A DEPTH OF FOUR INCHES (100 mm).
 - A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - B. WATER LAWN AT A MINIMUM RATE OF ONE INCH (25 mm) PER WEEK.
 - MOW LAWN AS SOON AS TOP GROWTH IS TALL ENOUGH TO CUT. REPEAT MOWING TO MAINTAIN SPECIFIC HEIGHT WITHOUT CUTTING MORE THAN 40 PERCENT OF GRASS HEIGHT. REMOVE NO MORE THAN 40 PERCENT OF GRASS-LEAF GROWTH IN INITIAL OR SUBSEQUENT MOWINGS. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET. SCHEDULE INITIAL AND SUBSEQUENT MOWINGS TO MAINTAIN THE FOLLOWING GRASS HEIGHT.
 - A. MOW GRASS TO 1/2 INCH (13 mm) HIGH OR LESS.
 - B. MOW GRASS 1/2 TO 1 INCH (13 TO 25 mm) HIGH OR LESS.
 - C. MOW GRASS 1 TO 2 INCHES (25 TO 50 mm) HIGH OR LESS.
 - D. MOW GRASS 1-1/2 TO 2 INCHES (38 TO 50 mm) HIGH OR LESS.
 - E. MOW GRASS 2 TO 3 INCHES (50 TO 75 mm) HIGH OR LESS.
 - LAWN POSTFERTILIZATION: APPLY FERTILIZER AFTER INITIAL MOWING AND WHEN GRASS IS DRY.
 - A. USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 lb/1,000 SF (0.45 kg/92.9 SM) TO LAWN AREA.

- MEADOW**
- BEGIN MAINTENANCE IMMEDIATELY AFTER EACH AREA IS PLANTED AND CONTINUE UNTIL ACCEPTABLE MEADOW IS ESTABLISHED, BUT FOR NOT LESS THAN 40 DAYS FROM DATE OF SUBSTANTIAL COMPLETION.
 - MAINTAIN AND ESTABLISH MEADOW BY WATERING, WEEDING, MOWING, TRIMMING, REPLANTING, AND OTHER OPERATIONS. ROLL, REGRADE, AND REPLANT BARE OR ERODED AREAS AND REMULCH.
 - WATERING: PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN-WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES AND KEEP MEADOW UNIFORMLY MOIST.
 - A. SCHEDULE WATERING TO PREVENT WILTING, PUDDLING, EROSION, AND DISPLACEMENT OF SEED OR MULCH. LAY OUT TEMPORARY WATERING SYSTEM TO AVOID WALKING OVER MUDDY OR NEWLY PLANTED AREAS.
 - B. WATER LAWN AT A MINIMUM RATE OF 1/2 INCH (13 mm) PER WEEK FOR 4 WEEKS.

- TREES AND SHRUBS:**
- PRUNING SHOULD BE STARTED EARLY AND KEPT UP AT REGULAR INTERVALS. TREES SHOULD BE PRUNED AND SHAPED TO AVOID SPLITTING LATER IN LIFE. BROKEN TOPS AND BRANCHES SHOULD BE REMOVED AS SOON AS POSSIBLE AFTER INJURY. BROKEN, WEAK OR DISEASED BRANCHES SHOULD BE REMOVED FIRST, DEAD BRANCHES SECOND AND HEALTHY BRANCHES LAST.
 - TREES AND SHRUBS SHOULD BE PROTECTED AGAINST DAMAGE INCURRED WITH LAWN MOWERS AND GARDEN EQUIPMENT. KEEPING GRASS AWAY FROM TREE TRUNKS WITH THE USE OF MULCH IS RECOMMENDED.
 - THE USE OF ROAD SALT AROUND TREES AND SHRUBS SHOULD BE AVOIDED OR MINIMIZED.
 - LANDSCAPED AREAS SHALL BE ROUTINELY MAINTAINED FREE OF DEBRIS AND LITTER. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

LANDSCAPE SPECIFICATIONS

- SITE AND SOIL PREPARATION**
- WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR LEDGE, NOTIFY LANDSCAPE ARCHITECT/ENGINEER BEFORE PLANTING.
 - ALL DISTURBED AREAS & PLANTING AREAS, INCLUDING AREAS TO BE SODDED, SHALL RECEIVE THE FOLLOWING SOIL PREPARATION PRIOR TO PLANTING: A MINIMUM OF 4 INCHES OF LIGHTLY COMPACTED TOPSOIL SHALL BE INSTALLED OVER THE SUBSOIL IF TOPSOIL HAS BEEN REMOVED OR IS NOT PRESENT.
 - LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN TWO INCHES (2" IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS). THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.6. LOAM SHALL CONTAIN A MINIMUM OF THREE PERCENT (3%) AND A MAXIMUM OF TWENTY PERCENT (20%) ORGANIC MATTER AS DETERMINED BY LOSS BY IGNITION. NOT MORE THAN SIXTY-FIVE PERCENT (65%) SHALL PASS A NO. 200 SIEVE AS DETERMINED BY THE WASH TEST IN ACCORDANCE WITH ASTM D1140. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES.
 - NATURAL TOPSOIL NOT CONFORMING TO THE PARAGRAPH ABOVE OR CONTAINING EXCESSIVE AMOUNTS OF CLAY OR SAND SHALL BE TREATED BY THE CONTRACTOR TO MEET THOSE REQUIREMENTS.
 - SUBMIT TEST RESULTS OBTAINED FROM SOURCE TO ENGINEER/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL, PRIOR TO SPREADING OPERATIONS.
 - APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT TO USE THE TOPSOIL WILL DEPEND UPON THE RESULTS OF THE SOIL TESTS.
 - THE BURDEN OF PROOF OF SOIL AMENDMENT INSTALLATION RESTS WITH THE CONTRACTOR. SOIL TESTS MAY BE REQUIRED AT THE CONTRACTOR'S EXPENSE IN ORDER TO CONFIRM AMENDMENT INSTALLATION.

- SODDING**
- ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANTING IN ANY GIVEN AREA OF THE PROJECT SITE.
 - SODDING SHALL BE DONE BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 15. AFTER OCTOBER 15 DISTURBED SOILS SHALL BE PROTECTED IN ACCORDANCE WITH THE WINTER CONSTRUCTION NOTES.
- ACCEPTABLE SEED MIXES ARE AS FOLLOWS:
- TYPICAL SOD MIX (MIN. 200 LBS/ACRE):
- PREMIUM KENTUCKY BLUE GRASS SOD
 - 25% JUMPSTART KB
 - 25% LEGEND KB
 - 25% IMPACT KB
 - 25% NUGLADE KB

NOTES:

THE SPECIES OF SOD SELECTED SHOULD BE ADAPTED TO BOTH THE SITE AND THE INTENDED PURPOSE. PRIOR TO LAYING THE SOD, 6" MINIMUM OF ACCEPTABLE TOP SOIL SHALL BE FREE OF TRASH, DEBRIS, ROOTS, BRACHNES, STONES AND CLODS LARGER THAN 1.5" IN DIAMETER. FILL OR LEVEL LOW SPOTS TO AVOID STANDING WATER. RAKE OR HARROW THE SITE TO ACHIEVE A SMOOTH AND MOWABLE FINAL GRADE. ROLL OR CULTIPACK TO FIRM THE SOIL. REFRAME FROM THE USE OF HEAVY EQUIPMENT ON THE AREA TO BE SODDED. FINISH GRADE SHALL BE APPROXIMATELY 1" BELOW SIDEWALKS, HEADERS, CURBS OR OTHER IMPROVEMENTS TO WHICH THE SOD IS TO BE MATCHED.

TURFGRASS SOD SHALL BE HARVESTED, DELIVERED AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS, UNLESS A SUITABLE PRESERVATION METHOD IS APPROVED PRIOR TO DELIVERY. TURFGRASS SOD NOT TRANSPLANTED WITHIN THIS PERIOD SHALL BE INSPECTED AND APPROVED BY THE INSPECTING OFFICER OR HIS REPRESENTATIVE PRIOR TO ITS INSTALLATION.

APPLY AGRICULTURAL LIMESTONE OR EQUAL AT A RATE OF 2 TONS PER ACRE (90 LBS PER 1,000 SF).

FERTILIZE AT A RATE OF 1,000 LBS PER ACRE (25 LBS PER 1,000 SF) OF 10-10-10.

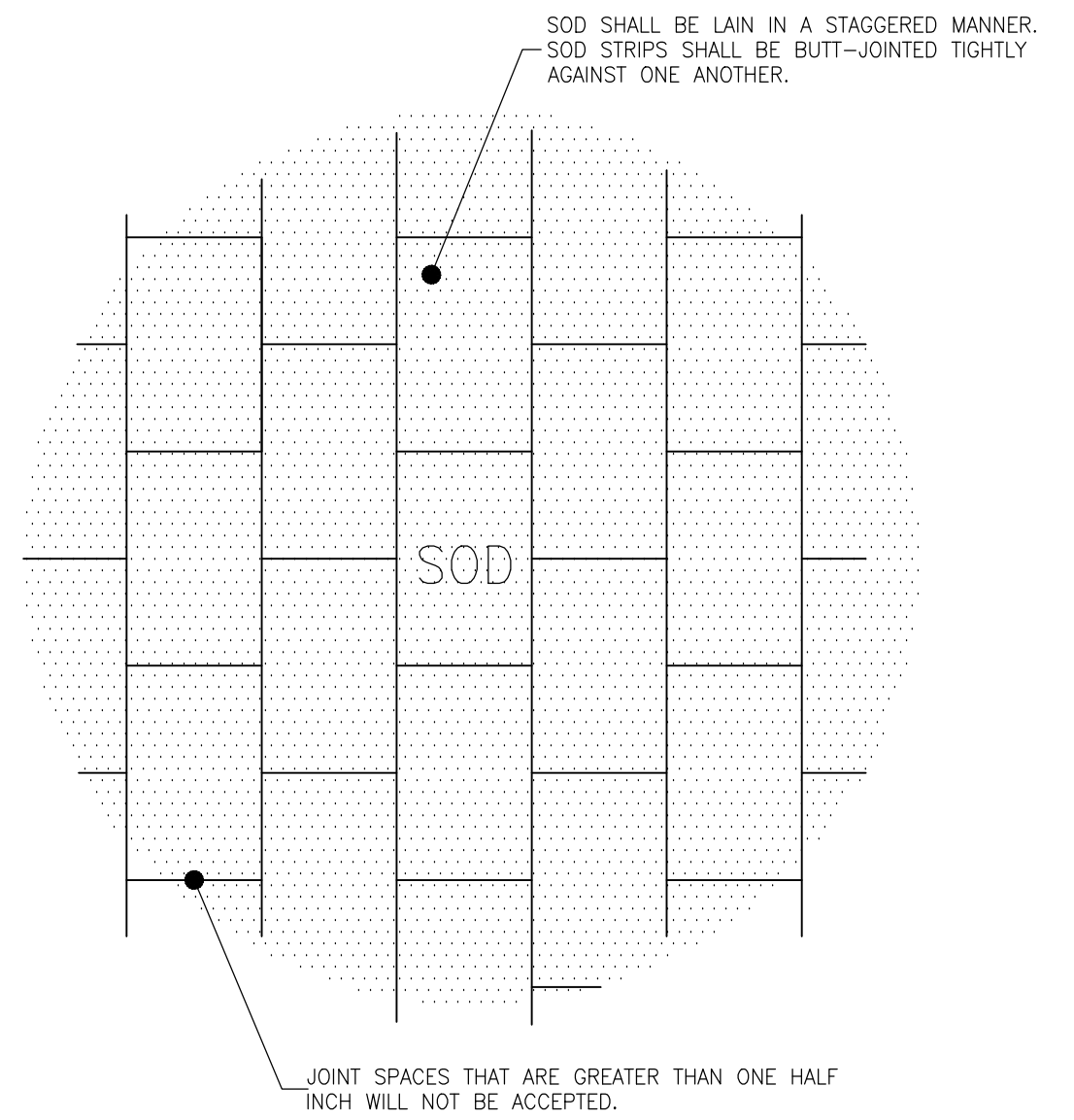
RAKE THE SOIL SURFACE TO BREAK THE CRUST JUST BEFORE LAYING SOD. DURING THE SUMMER, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY BEFORE LAYING THE SOD TO COOL THE SOIL AND REDUCE ROOT BURNING AND DIEBACK.

AFTER INSTALLATION OF SOD IS COMPLETED, USE A WEIGHTED ROLLER ON THE SOD TO PROVIDE FIRM CONTACT BETWEEN THE ROOTS AND SOIL.

AFTER ROLLING, IRRIGATE UNTIL THE SOIL IS WET AT LEAST 6" BELOW THE SOD.

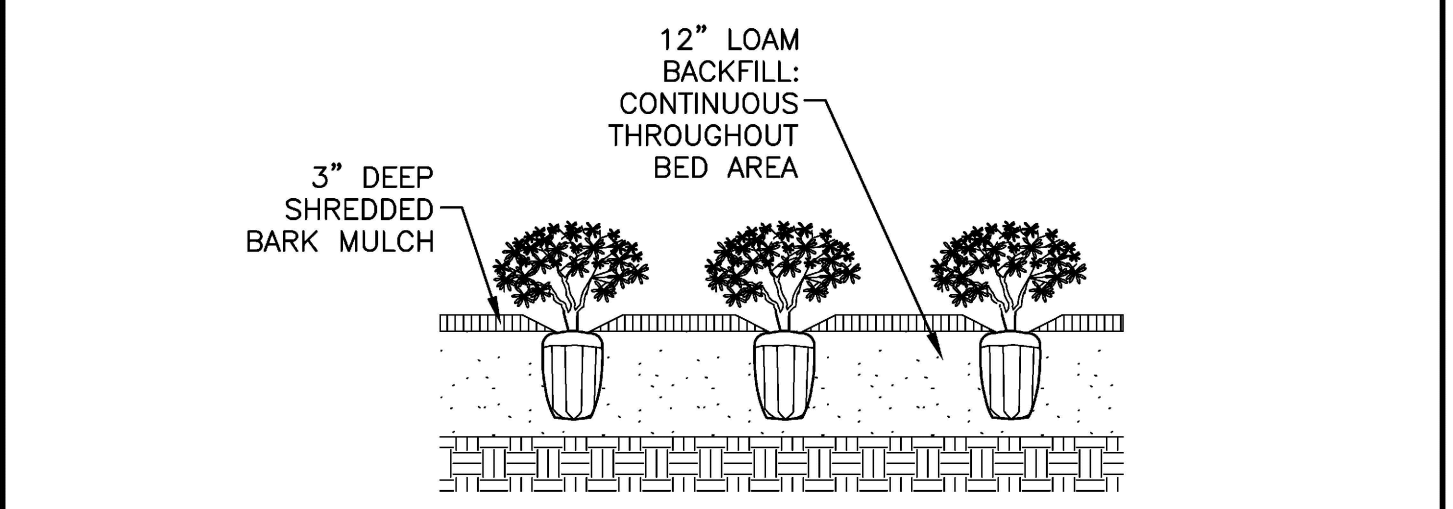
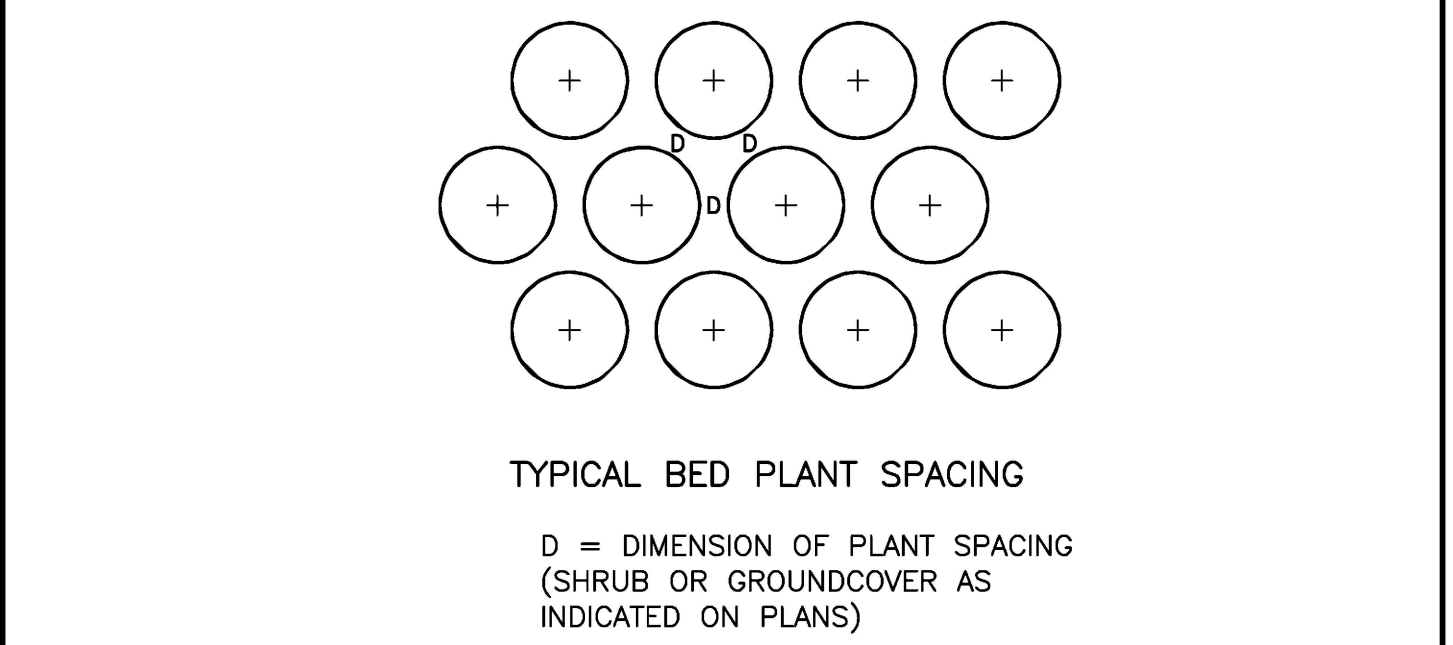
KEEP SODDED AREA MOIST TO A DEPTH OF 4" UNTIL THE GRASS TAKES ROOT. THIS CAN BE DETERMINED BY GENTLY TUGGING ON THE SOD. RESISTANCE INDICATES THAT ROOTING HAS OCCURRED.

MOWING SHOULD NOT BE ATTEMPTED UNTIL THE SOD IS FIRMLY ROOTED, USUALLY 2 TO 3 WEEKS.



SOD DETAIL

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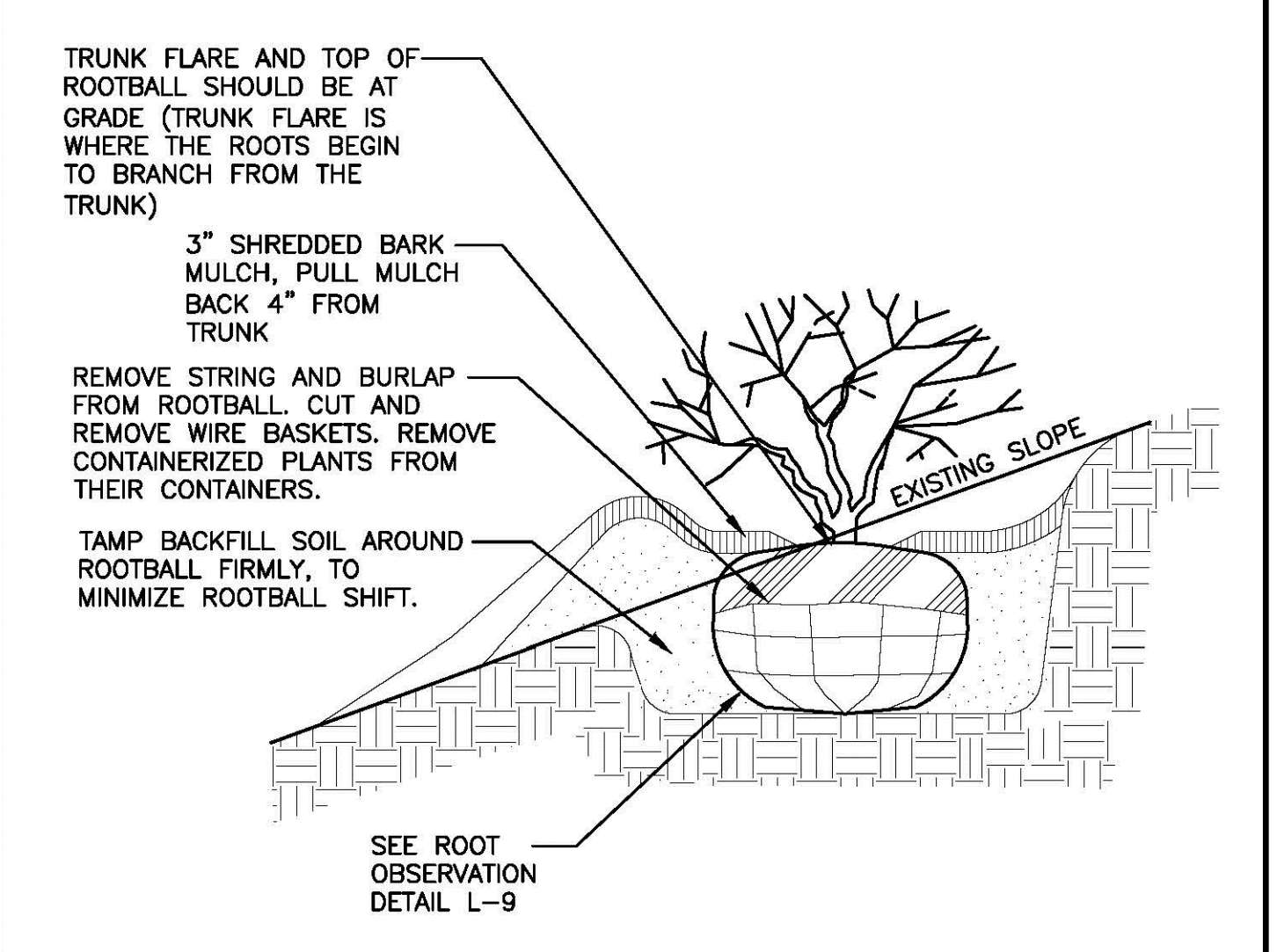


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| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | LANDSCAPE |
| | | | | DRAWING NO. | L-5 |
| | | | | DATE: | 12/08 |
| | | | | PAGE: | 1 |

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GROUNDCOVER PLANTING

LT-LB_LBSC Landscape



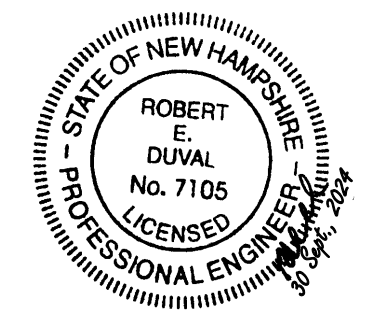
- NOTES:**
- DO NOT HEAVILY PRUNE SHRUB AT PLANTING, PRUNE ONLY CROSSOVER LIMBS AND DAMAGED OR DEAD BRANCHES.
 - BACKFILL WITH LOAM, AMEND AS REQUIRED BY LANDSCAPE ARCHITECT.
 - SHRUBS & GROUNDCOVER PLANTED ADJACENT TO CITY SIDEWALKS NEED TO BE PLACED SO THE PLANTS, AT THEIR MATURE HEIGHT & WIDTH, WILL NOT ENROACH INTO THE CITY'S SIDEWALK.
 - TREE TO BE SET PLUMB, AFTER SETTLEMENT.
 - ALL NURSERY TAGS, TAPE, AND SIMILAR MATERIALS SHALL BE REMOVED.

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| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: | LANDSCAPE |
| 1 | NOTES | 4.15 | | DRAWING NO. | L-4 |
| | | | | DATE: | 12/08 |
| | | | | PAGE: | 1 |

APPROVED BY: _____

SHRUB PLANTING

USC-Landscape_1.dwg



SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5

CONSTRUCTION DETAILS

PHASE 2C SITE PLANS

MERCHANTS WAY, CONCORD, NH

OWNED BY/ PREPARED FOR

INTERCHANGE DEVELOPMENT L.L.C.

152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN JULY 15, 2024

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| REV | DATE | DESCRIPTION | DR | CK |
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

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|-------------|---------------------------|-------------|-------------|-------------|-------------|-------------|--|
| FILE NO. | 95830.11 | DR | JMR | PWH | FB | FB | |
| DATE | 9/27/2024 | CHK | JSH | CHK | FILE | FILE | |
| DESCRIPTION | REVISED PER CITY COMMENTS | DESCRIPTION | DESCRIPTION | DESCRIPTION | DESCRIPTION | DESCRIPTION | |
| PROJECT | 95830-11-DETAILS | PROJECT | PROJECT | PROJECT | PROJECT | PROJECT | |
| SHEET | C-18 | SHEET | SHEET | SHEET | SHEET | SHEET | |



48 Constitution Drive
Bedford, NH 03110
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www.tfmoran.com

CONSTRUCTION SEQUENCE NOTES

1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CUT AND CLEAR TREES WITHIN AREA OF DISTURBANCE UNLESS OTHERWISE NOTED.
3. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES PRIOR TO ANY EARTH MOVING OPERATION.
4. ROUGH GRADE SITE OR PHASED WORK AREA. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72 HOURS AFTER CONSTRUCTION ACTIVITY CEASES. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21 DAYS, THE AREA SHALL BE STABILIZED.

AN AREA SHALL BE CONSIDERED STABILIZED IF:

- A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- B) A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- C) A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED, OR
- D) EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

5. CONSTRUCT CULVERTS, SUBSURFACE INFILTRATION BASINS, WET POND AND INFILTRATION BASIN. PLACE HEADWALLS, RIP-RAP AND OTHER DRAINAGE FACILITIES ACCORDING TO PLAN. THE CONTRACTOR SHALL STABILIZE ALL CONTRIBUTING AREAS PRIOR TO DIRECTING FLOW TO THEM.
6. INSTALL ALL UNDERGROUND UTILITIES.
7. CONSTRUCT BUILDINGS.
8. CONSTRUCT PARKING AND FINISH GRADE SITE ACCORDING TO PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
9. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES PERIODICALLY AND IMMEDIATELY AFTER STORM EVENTS.
10. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
11. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.

- * REFER TO THE STORM WATER MANAGEMENT PLAN FOR EROSION CONTROL MEASURES AND SPECIFIC INFORMATION.

GENERAL NOTES

1. ALL IN PAVEMENT MANHOLES SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
4. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
5. EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THESE DETAILS SERVE AS A GUIDE ONLY.
6. REFER TO THE TOWN STANDARD DETAILS, LATEST REVISION, FOR ADDITIONAL INFORMATION AND CRITERIA.
7. THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING FLOW TO THEM.
8. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

WINTER CONSTRUCTION

IN ADDITION TO THE OTHER NOTES CONTAINED ON THIS PLAN, THE FOLLOWING MUST BE IMPLEMENTED:

1. WINTER EXCAVATION AND EARTHWORK SHALL BE COMPLETED AS SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
2. AN AREA WITHIN 100 FEET OF A PROTECTED NATURAL RESOURCE MUST BE PROTECTED WITH A DOUBLE ROW OF SEDIMENT BARRIER.
3. TEMPORARY MULCH MUST BE APPLIED WITHIN 7 DAYS OF SOIL EXPOSURE OR PRIOR TO ANY STORM EVENT, BUT AFTER EVERY WORKDAY IN AREAS WITHIN 100 FEET FROM A PROTECTED NATURAL RESOURCE.
4. AREAS THAT HAVE BEEN BROUGHT TO FINAL GRADE MUST BE PERMANENTLY MULCHED THE SAME DAY.
5. IN THE EVENT OF A SNOWFALL GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM THE AREAS DUE TO BE SEEDED AND MULCHED.
6. LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
7. A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIPRAP.

OVERWINTER STABILIZATION

1. PERMANENT STABILIZATION CONSISTS OF AT LEAST 85% VEGETATION, PAVEMENT/GRAVEL BASE OR RIPRAP.
2. DO NOT EXPOSE SLOPES OR LEAVE SLOPES EXPOSED OVER THE WINTER OR FOR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY PROTECTED WITH MULCH.
3. APPLY HAY MULCH AT TWICE THE STANDARD RATE (150 LBS. PER 1,000 SF). THE MULCH MUST BE THICK ENOUGH SUCH THAT THE GROUND SURFACE WILL NOT BE VISIBLE AND MUST BE ANCHORED.
4. USE MULCH AND MULCH NETTING OR AN EROSION CONTROL MULCH BLANKET OR MIX FOR ALL SLOPES GREATER THAN 8% OR OTHER AREAS EXPOSED TO DIRECT WIND.
5. INSTALL AN EROSION CONTROL BLANKET IN ALL DRAINAGE WAYS (BOTTOM AND SIDES) WITH A SLOPE GREATER THAN 3%.
6. SEE THE VEGETATION MEASURES FOR MORE INFORMATION ON SEEDING DATES AND TYPES.

TEMPORARY LAWN MIX: (MIN. 47 LBS/ACRE)
100% ANNUAL RYE

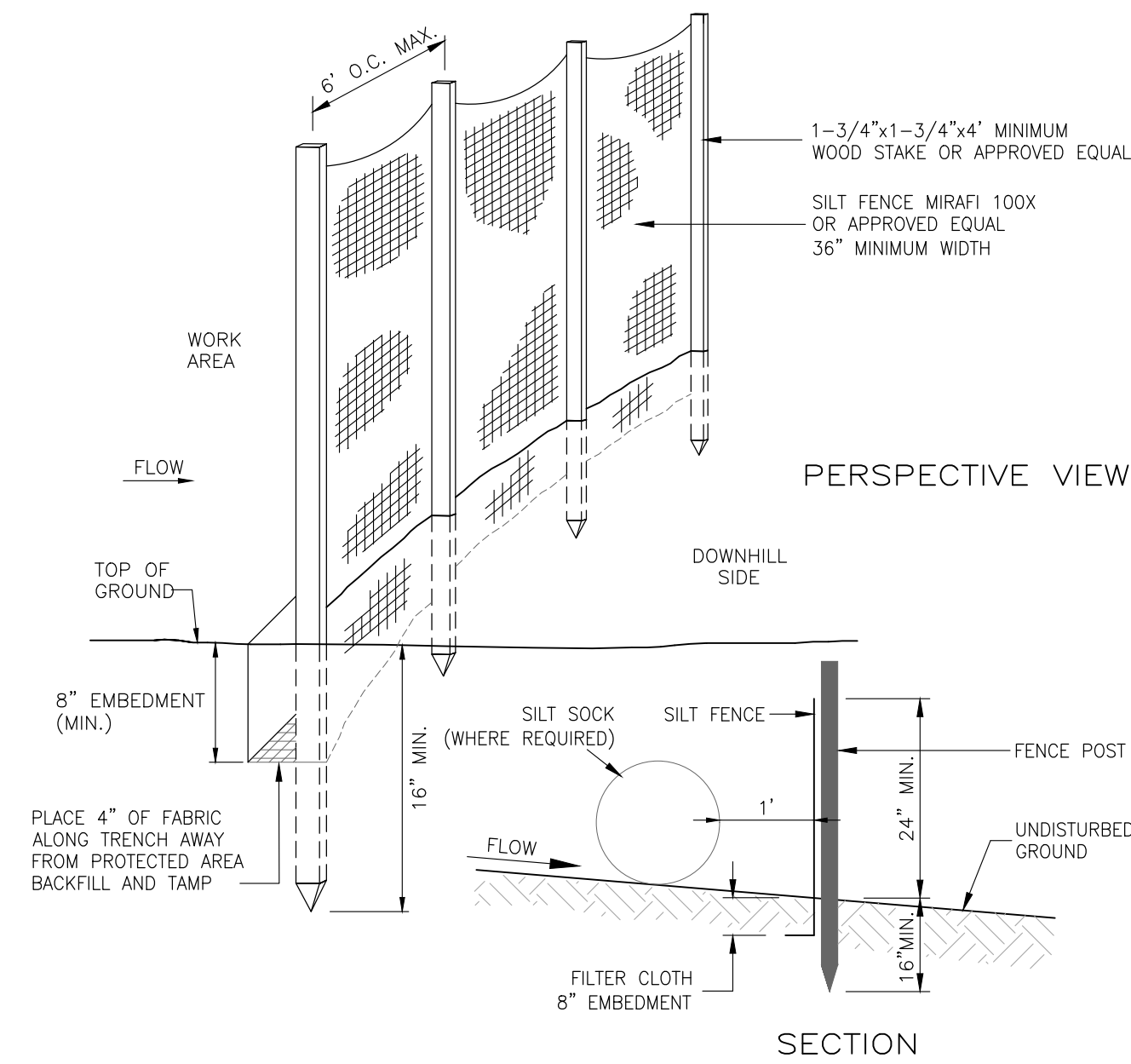
WILDFLOWER SLOPE (NHDOT TYPE 45) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

| | |
|-------------------------|--------------------|
| 38% CREEPING RED FESCUE | (MIN. 60 LBS/ACRE) |
| 32% PERENNIAL RYEGRASS | (MIN. 51 LBS/ACRE) |
| 5% REDTOP | (MIN. 8 LBS/ACRE) |
| 5% ALSIKE CLOVER | (MIN. 8 LBS/ACRE) |
| 5% BIRDFOOT TREFOIL | (MIN. 8 LBS/ACRE) |
| 3% LANCE-LEAF COREOPSIS | (MIN. 3 LBS/ACRE) |
| 3% OXEYE DAISY | (MIN. 3 LBS/ACRE) |
| 3% BUTTERFLY WEED | (MIN. 3 LBS/ACRE) |
| 3% BLACKWEED SUSAN | (MIN. 3 LBS/ACRE) |
| 3% WILD LUPINE | (MIN. 3 LBS/ACRE) |

GENERAL SLOPE (NHDOT TYPE 44) MIX 3:1 OR GREATER SLOPES (MIN. 160 LBS/ACRE):

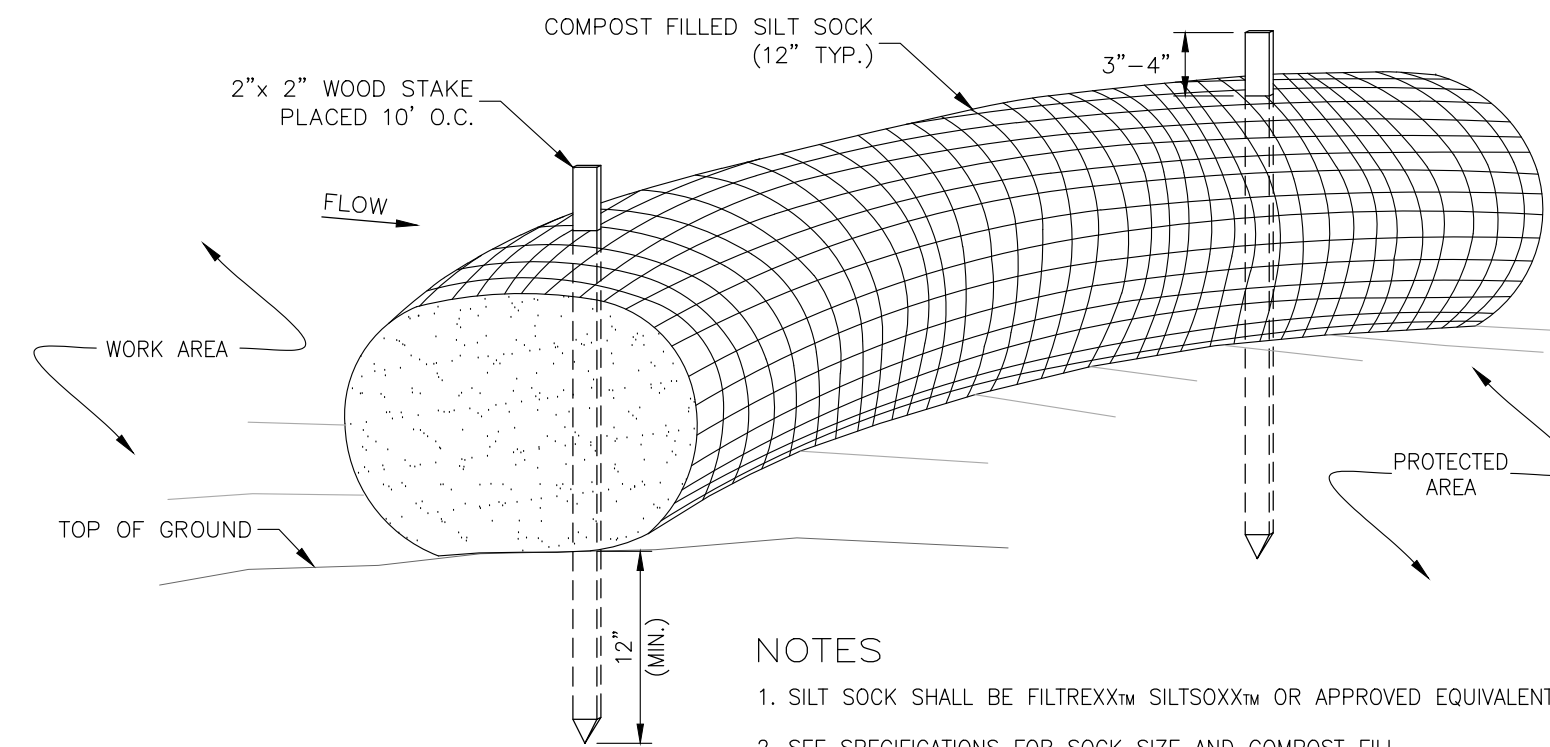
| | |
|-------------------------|--------------------|
| 44% CREEPING RED FESCUE | (MIN. 70 LBS/ACRE) |
| 38% PERENNIAL RYEGRASS | (MIN. 60 LBS/ACRE) |
| 6% REDTOP | (MIN. 10 LBS/ACRE) |
| 6% ALSIKE CLOVER | (MIN. 10 LBS/ACRE) |
| 6% BIRDFOOT TREFOIL | (MIN. 10 LBS/ACRE) |

1. PLACING LOAM ON SITE
 - a. ALL SUBGRADE ELEVATIONS SHOULD BE UNIFORMLY GRADED TO RECEIVE LOAM AND SHALL BE INSPECTED AND APPROVED BY THE GENERAL CONTRACTOR PRIOR TO PLACEMENT OF LOAM.
 - a. PLACE LOAM TO FORM A MINIMUM DEPTH OF 4" WHEN ROLLED, UNLESS OTHERWISE INDICATED. ALL DEPRESSIONS EXPOSED DURING THE ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM.
2. SEED BED PREPARATION
 - a. AFTER FINISH GRADING AND JUST BEFORE SEEDING, THE AREAS TO BE SEEDED SHALL BE LOOSENEED TO PROVIDE A ROUGH, FIRM BUT FINELY PULVERIZED SEEDBED. THE INTENT IS A TEXTURE CAPABLE OF RETAINING WATER, SEED AND FERTILIZER WHILE REMAINING STABLE AND ALLOWING SEED TIME TO GERMINATE. SEED SHALL BE APPLIED TO THE CONDITIONED SEEDBED NOT MORE THAN 48 HOURS AFTER THE SEEDBED HAS BEEN PREPARED.
3. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.
4. HAY MULCH OR JUTE MATTING SHALL BE USED WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.
6. WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS, IN ACCORDANCE WITH NHDES GUIDELINES.



SILT FENCE

NOT TO SCALE

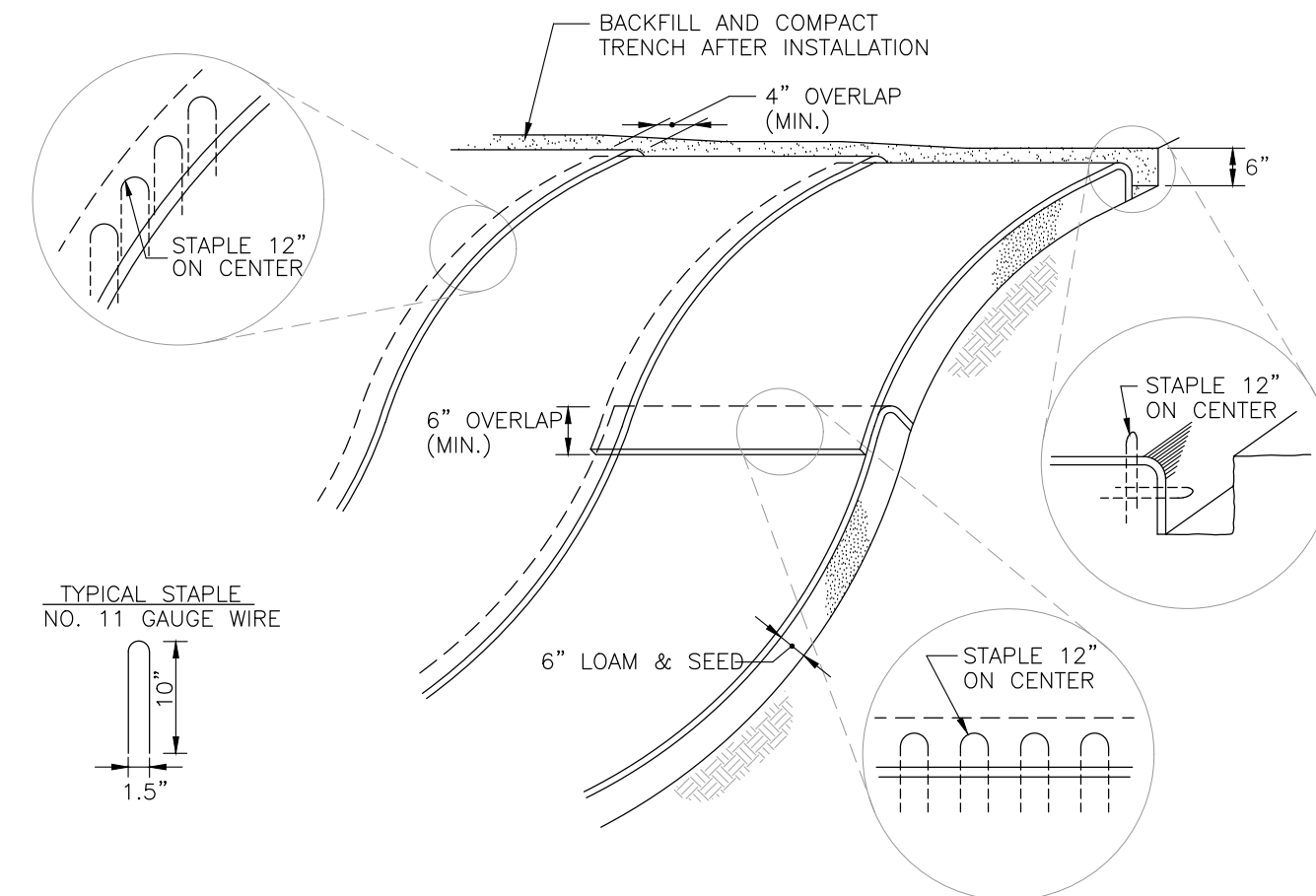


SILT SOCK

NOT TO SCALE

NOTES

1. SILT SOCK SHALL BE FILTREXXSM SILTSOXXSM OR APPROVED EQUIVALENT.
2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

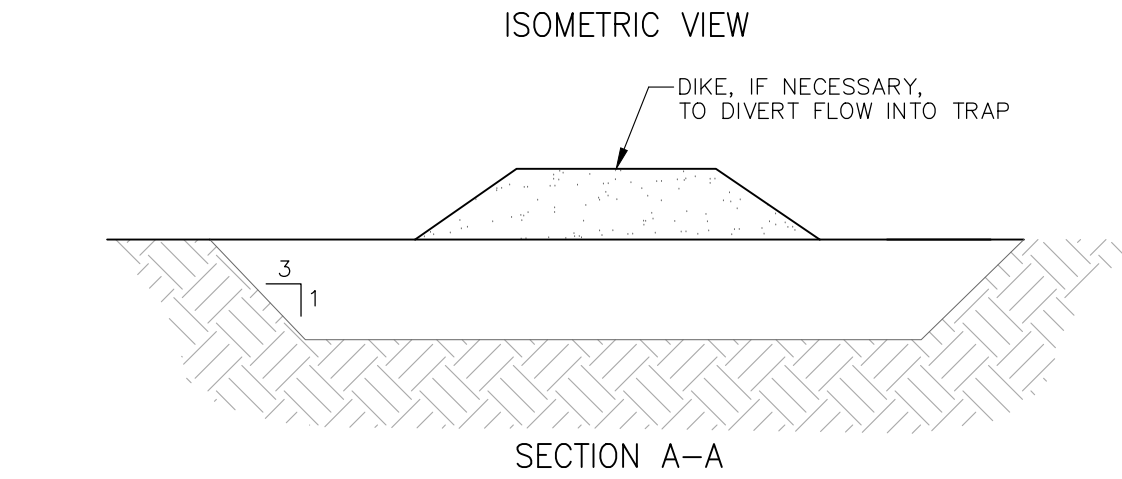


1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH. BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
3. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
4. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE BLANKET END OVER END WITH 6 INCH (MIN.) OVERLAP AND ANCHOR DOWN SLOPE BLANKET IN A 6 INCH DEEP TRENCH.
5. BLANKET SHALL BE NORTH AMERICAN GREEN C125BN, EAST COAST EROSION CONTROL ECC-2B, AMERICAN EXCELSIOR COMPANY CURLEX III FIBRENET, ROLANKA GEONATURAL EROSION & SEDIMENT CONTROL MATTE JUTEMAT OR BIOD-OCF 30, OR APPROVED EQUAL.
6. BLANKET SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, MULTI-FILAMENT, OR MONO-FILAMENT POLYPROPYLENE NETTING OR MESH.

BLANKET SLOPE PROTECTION

FOR EROSION CONTROL

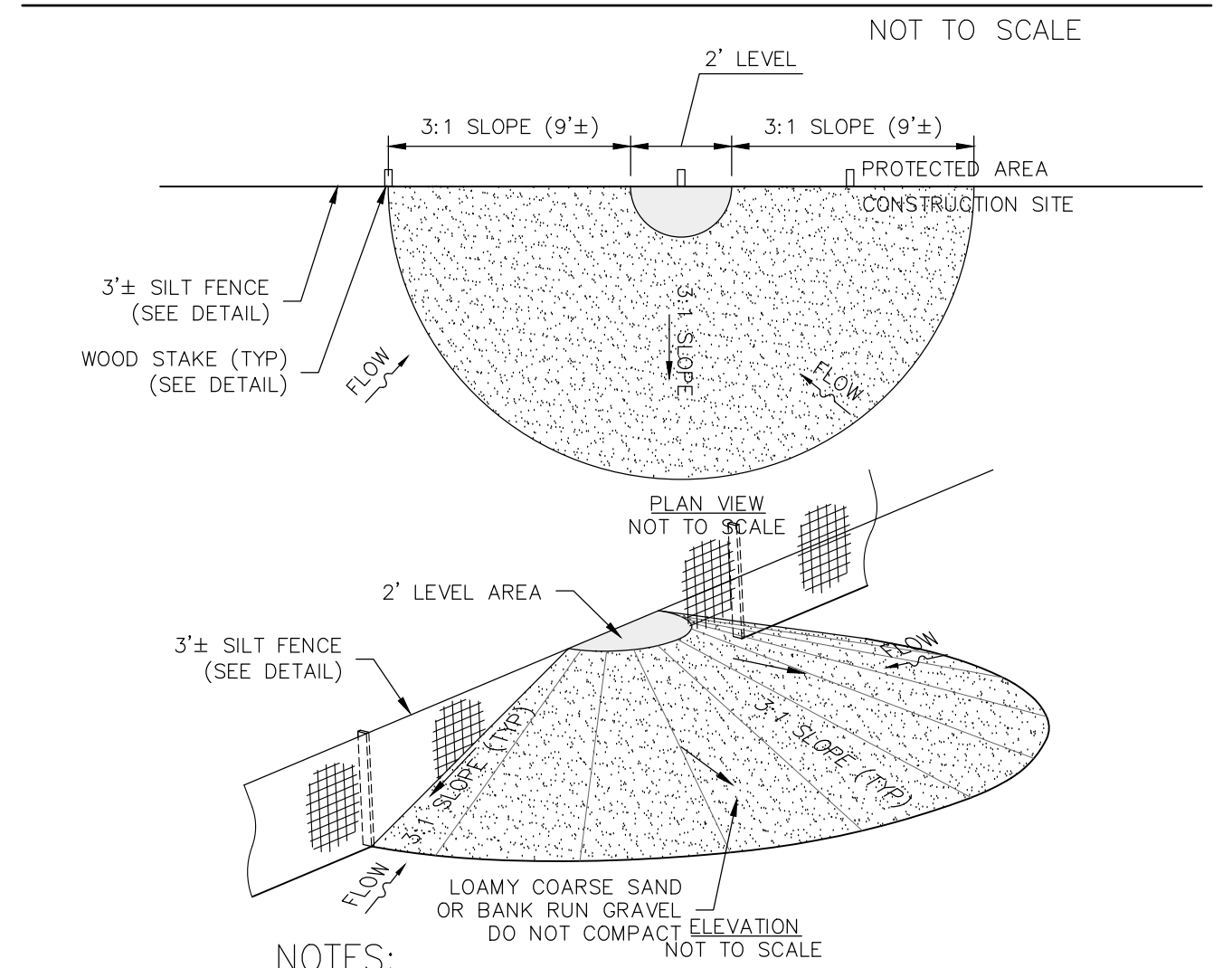
NOT TO SCALE



NOTES

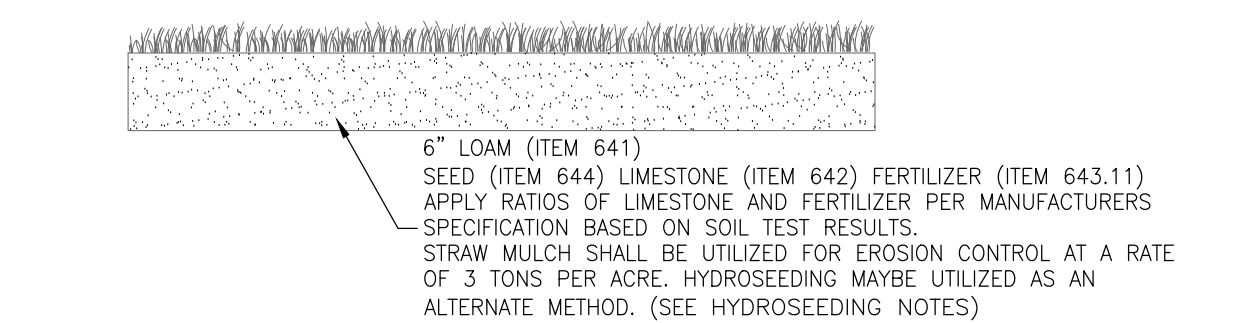
1. SEDIMENT TRAPS AND/OR BASINS SHOULD BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED.

SEDIMENT TRAP



SILTATION FENCE WILDLIFE RAMP

NOT TO SCALE



LOAM & SEED

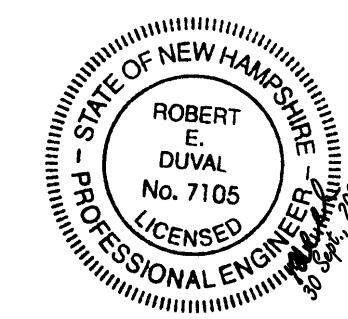
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SITE DEVELOPMENT PLANS

TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN

JULY 15, 2024



| REV. | DATE | DESCRIPTION | DR | CHK |
|------|-----------|---------------------------|-----|-----|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

| FILE NO. | DR | PWH | FB | DATE | DESCRIPTION | DR | CHK |
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| 95830.11 | CK | JSH | CAD/FILE | - | 95830-11_DETAILS | | |



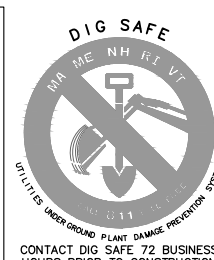
Civil Engineers
Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

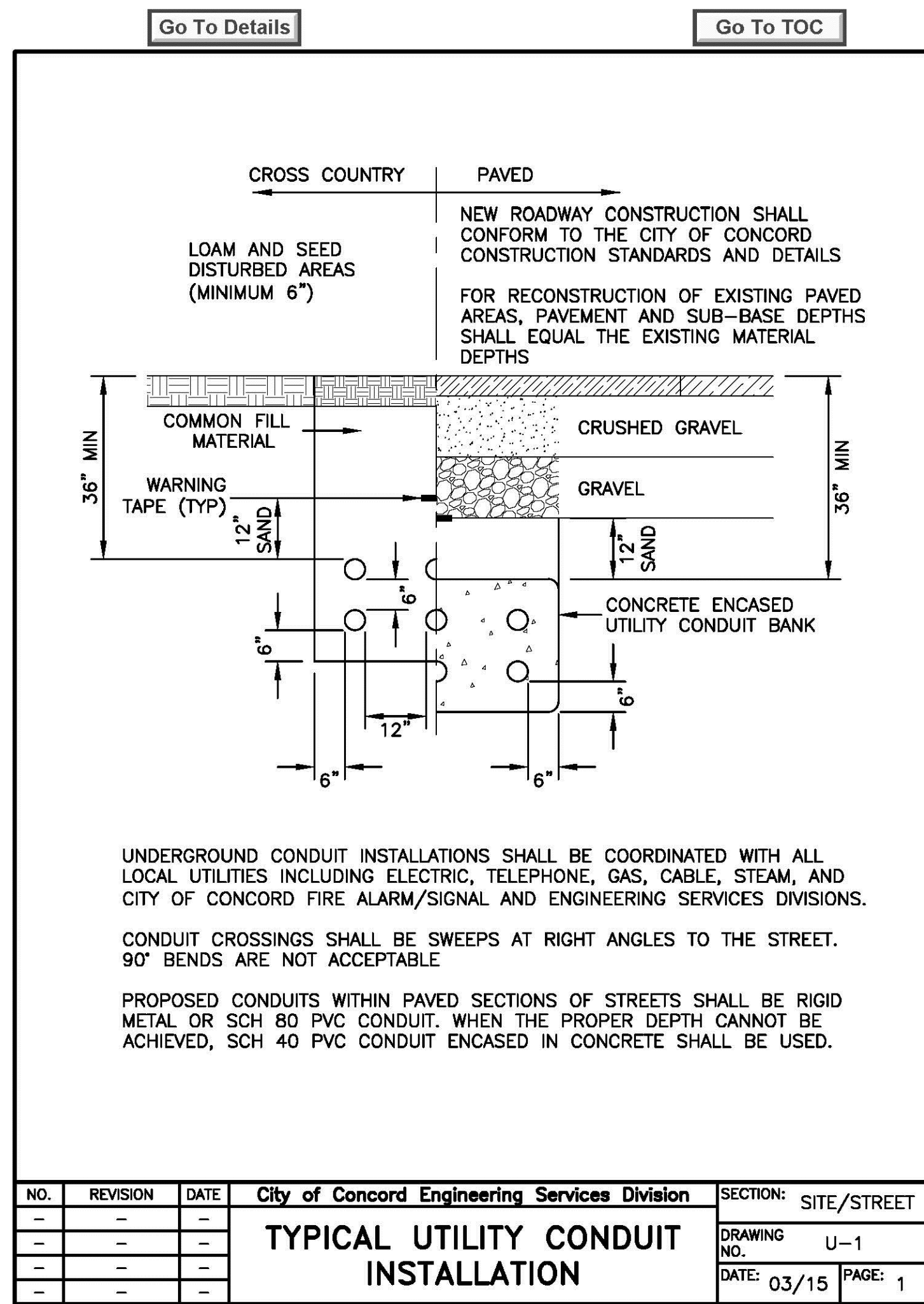
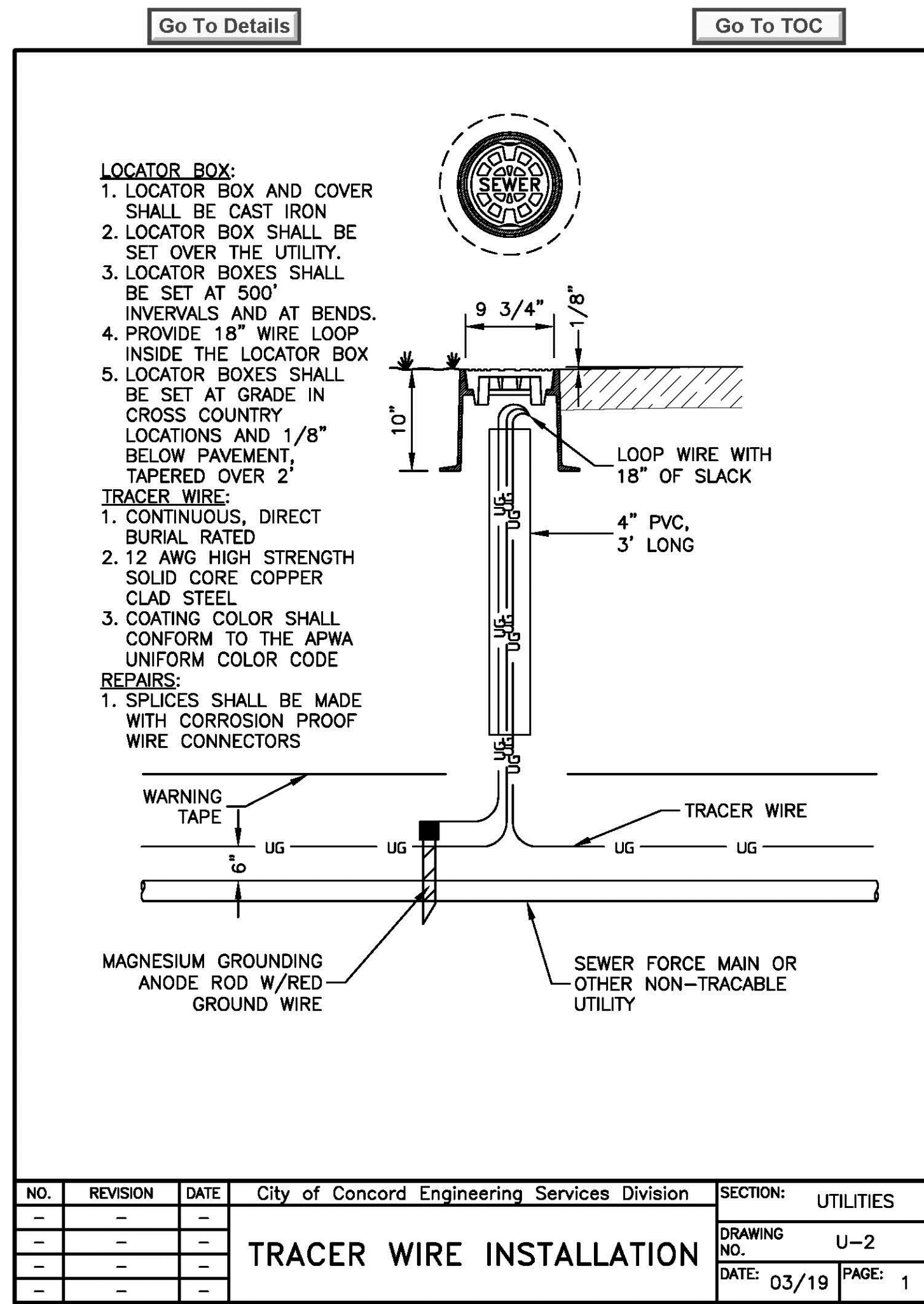
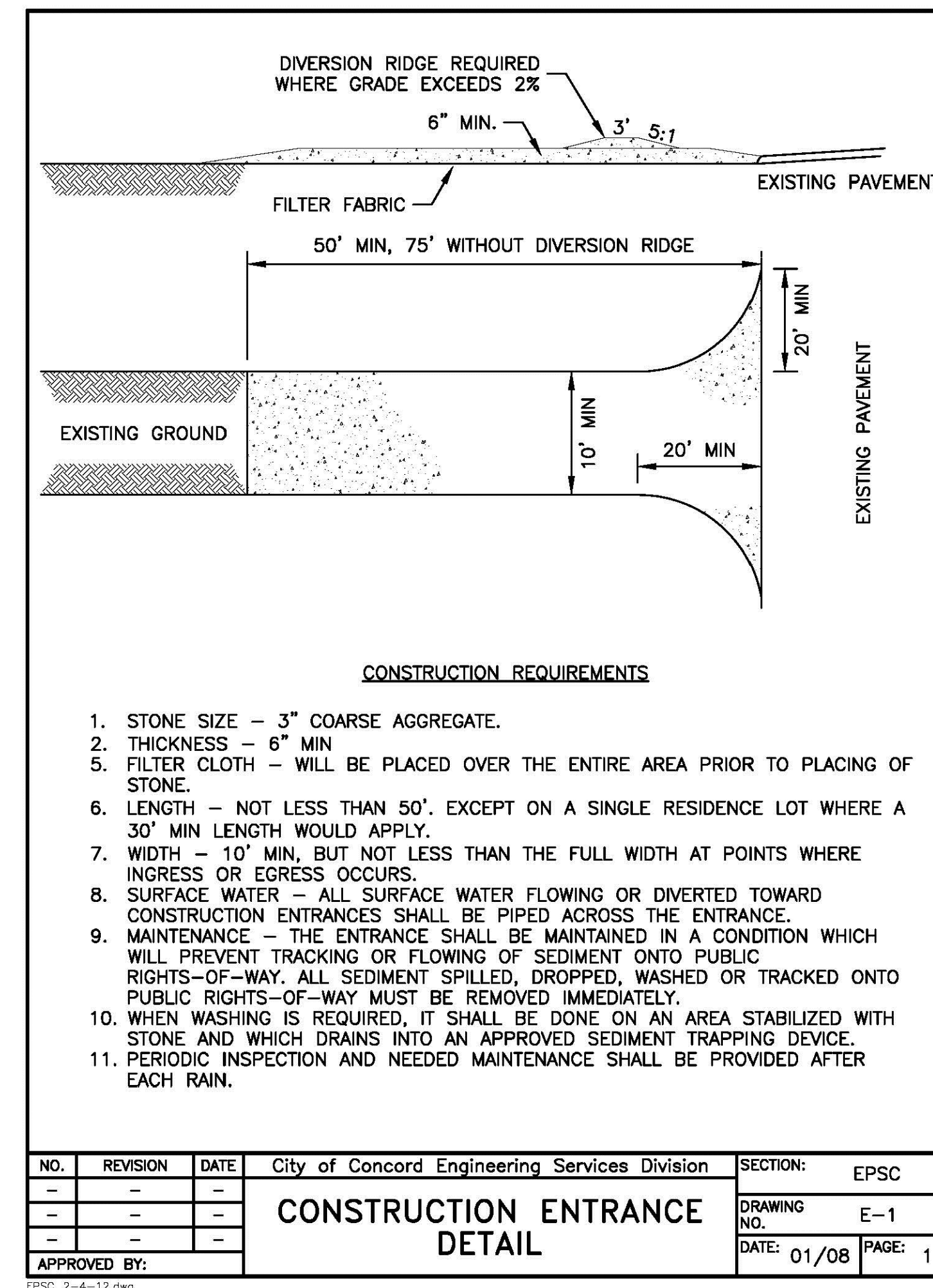
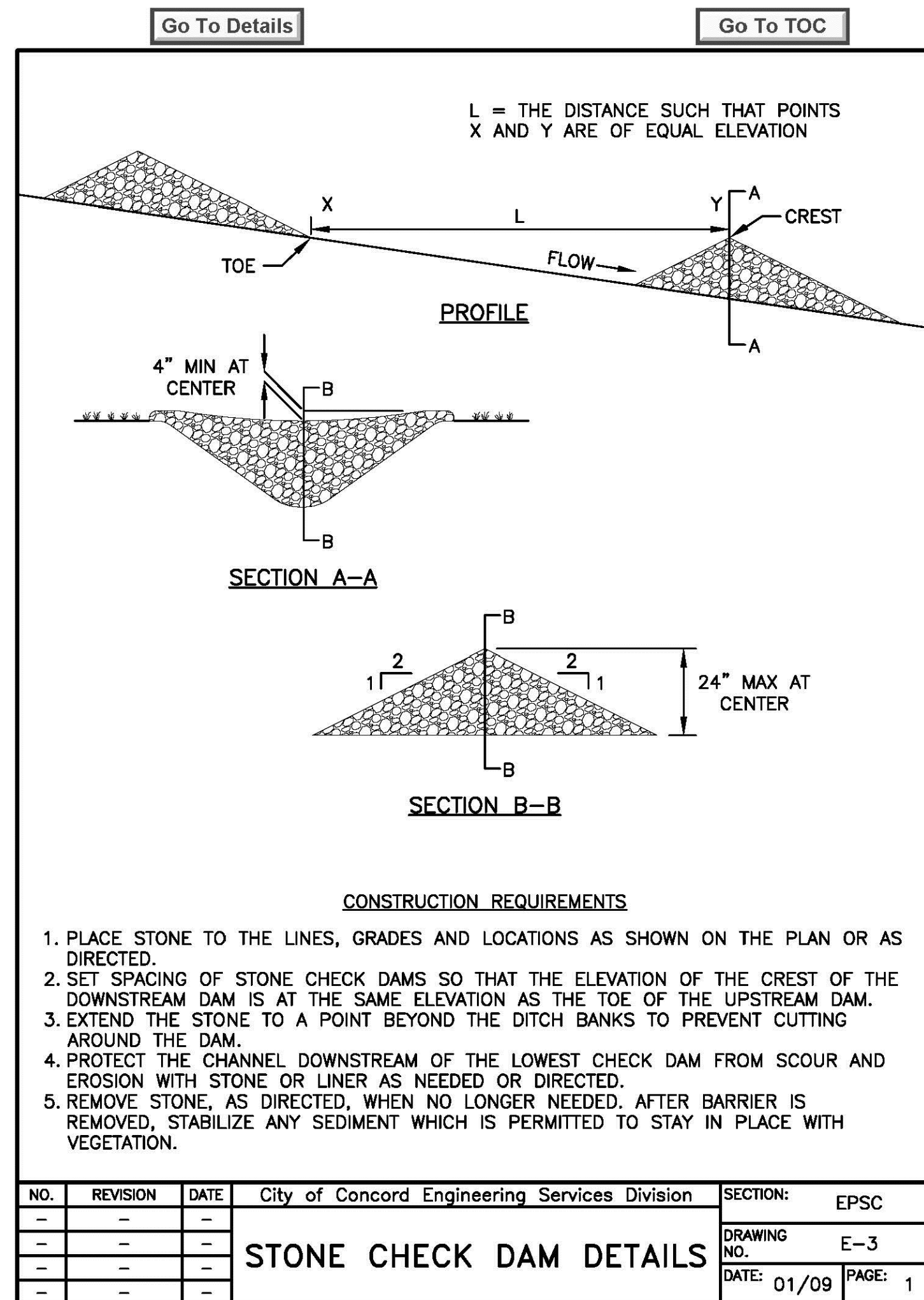
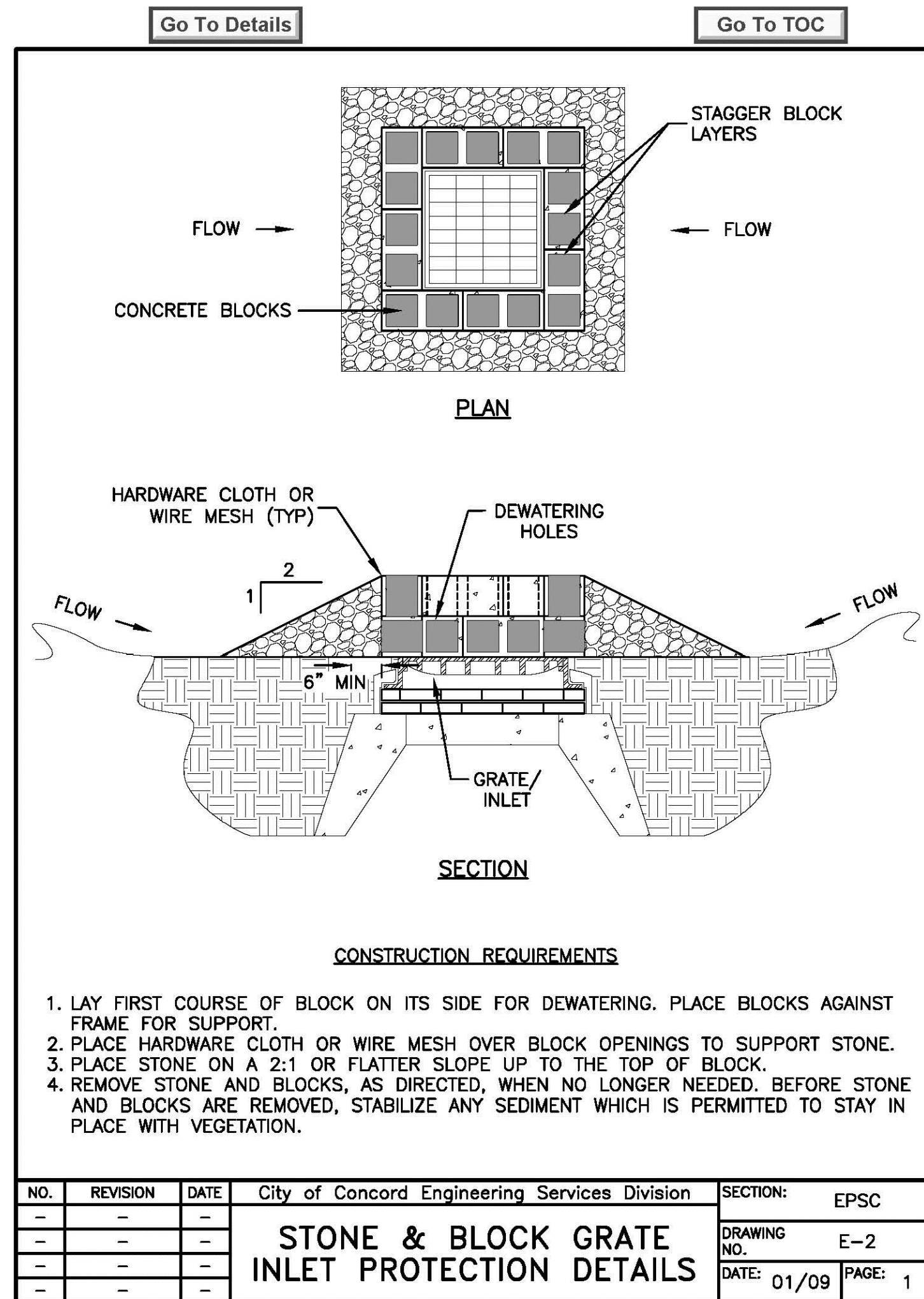
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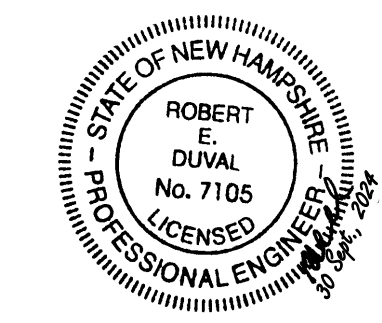
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SITE DEVELOPMENT PLANS
 TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224

SCALE: AS SHOWN JULY 15, 2024



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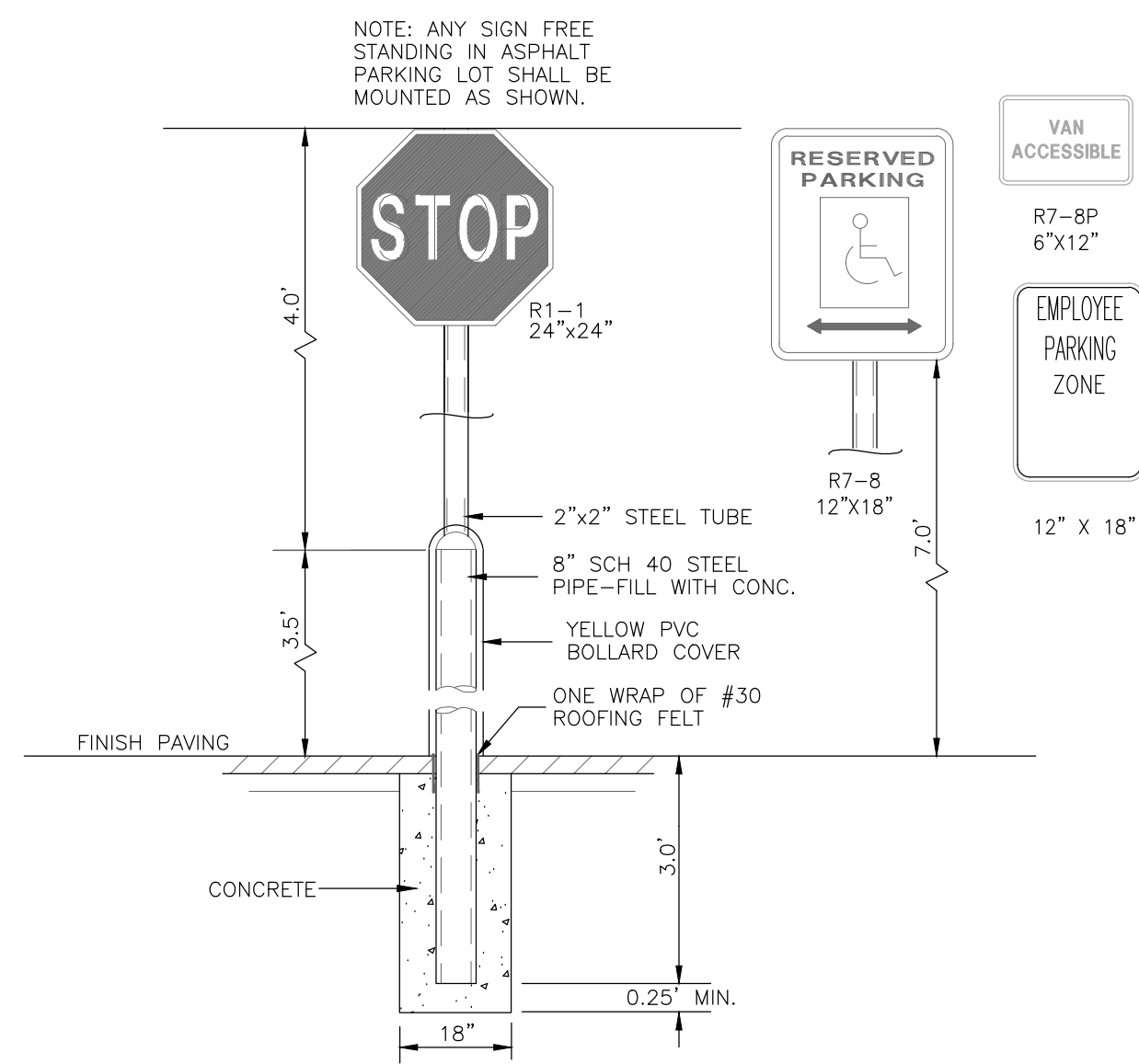


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| REV. | DATE | DESCRIPTION | DR | CK |

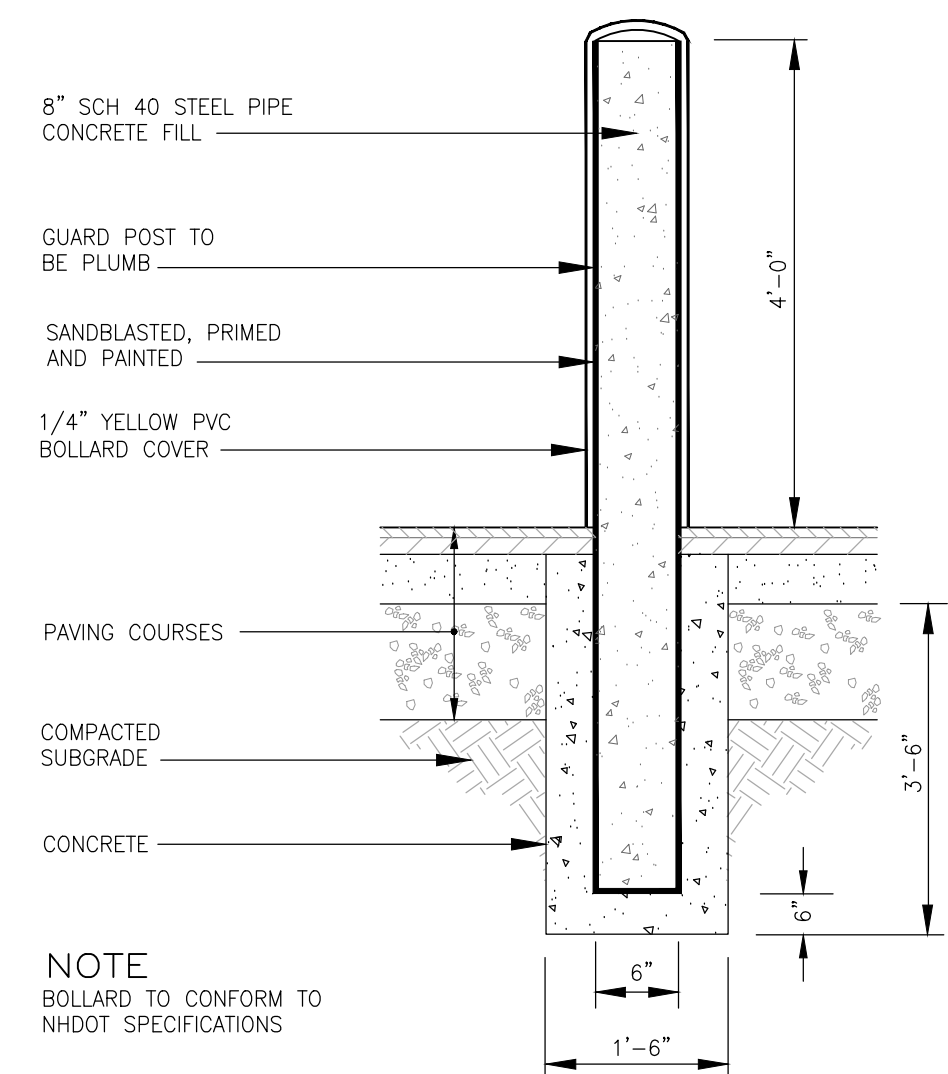
TFM Civil Engineers
 Structural Engineers
 Traffic Engineers
 Land Surveyors
 Landscape Architects
 Scientists

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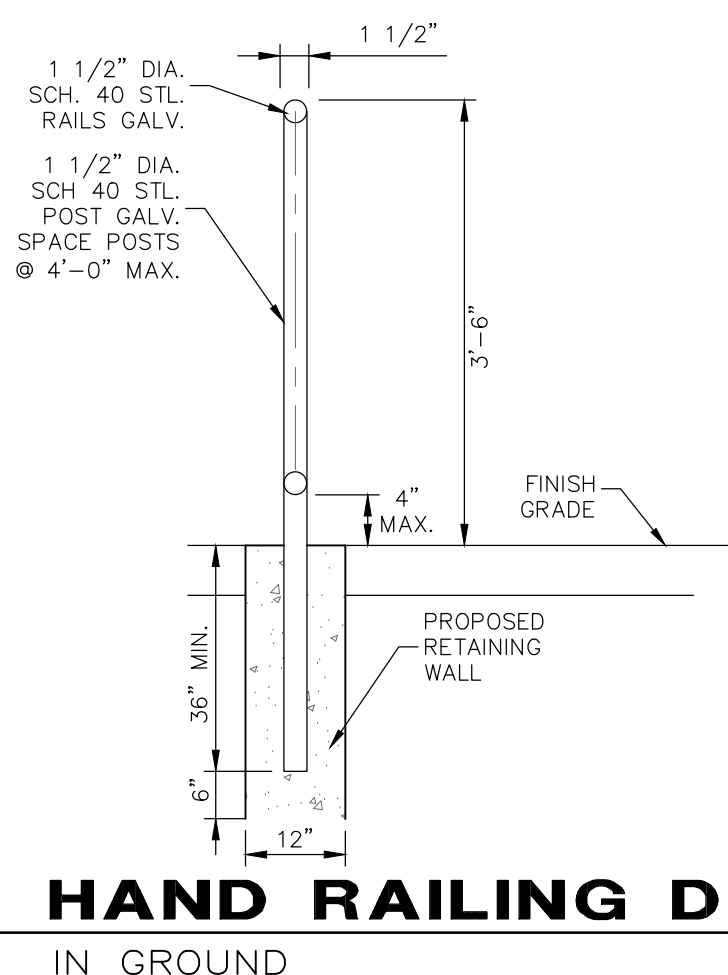
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 CK: JSH, CADFILE 95830-11-DETAILS



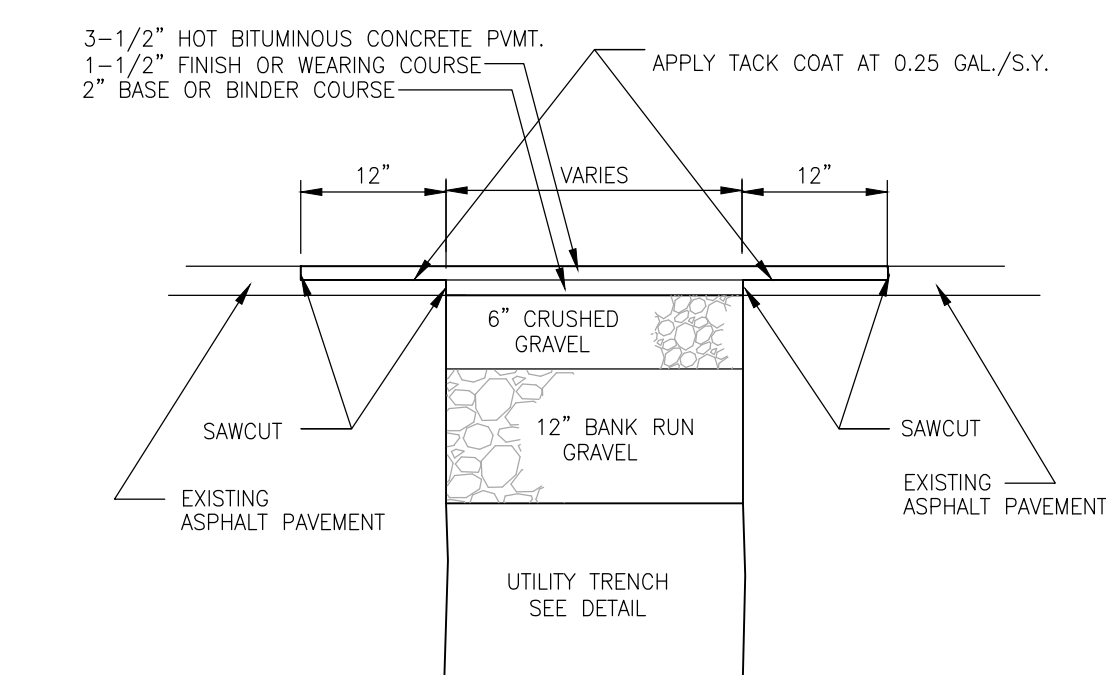
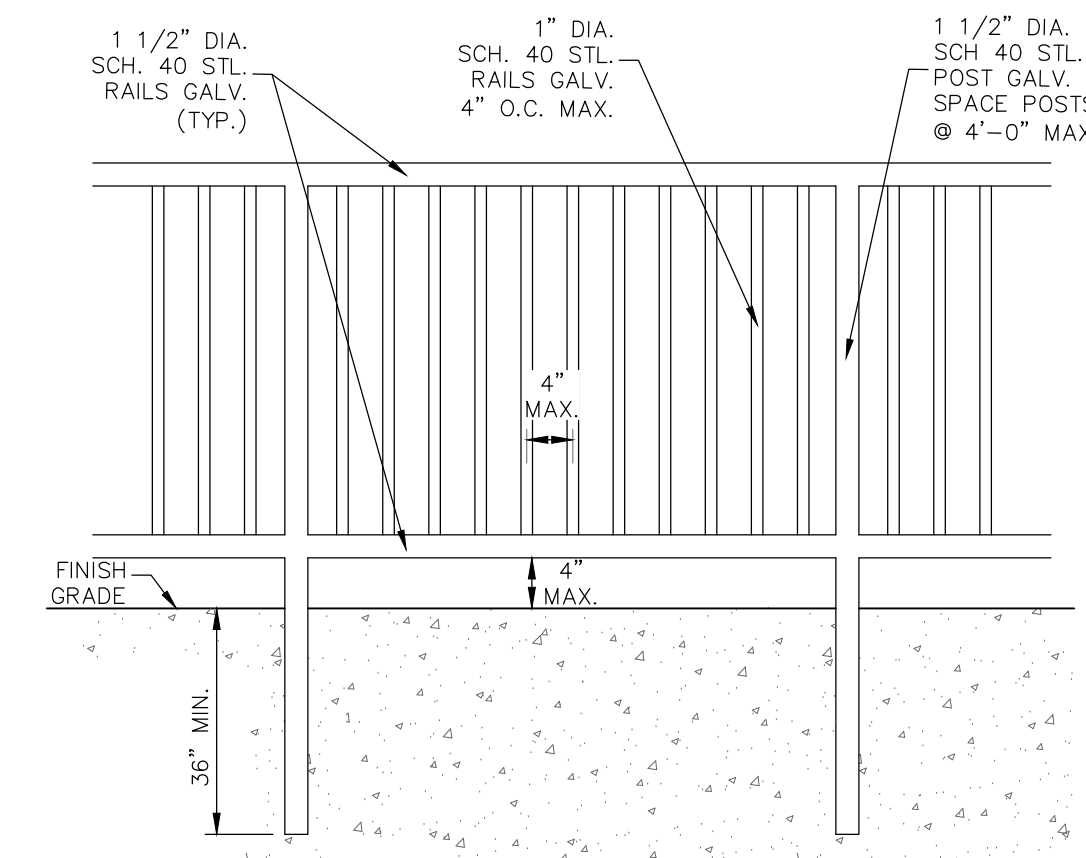
SIGN POLE IN PAVEMENT
FOR POLES IN SIDEWALKS NOT TO SCALE



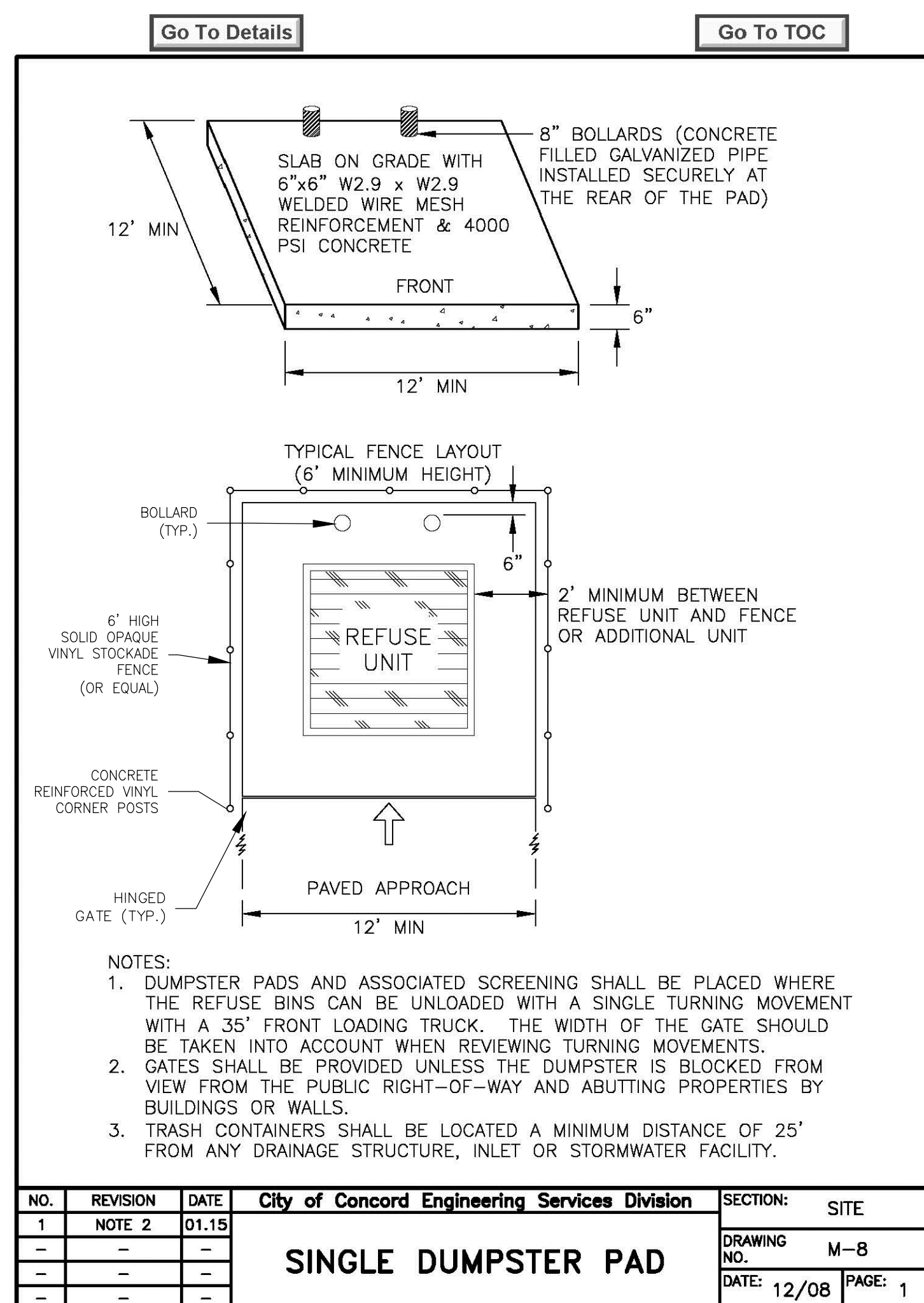
BOLLARD
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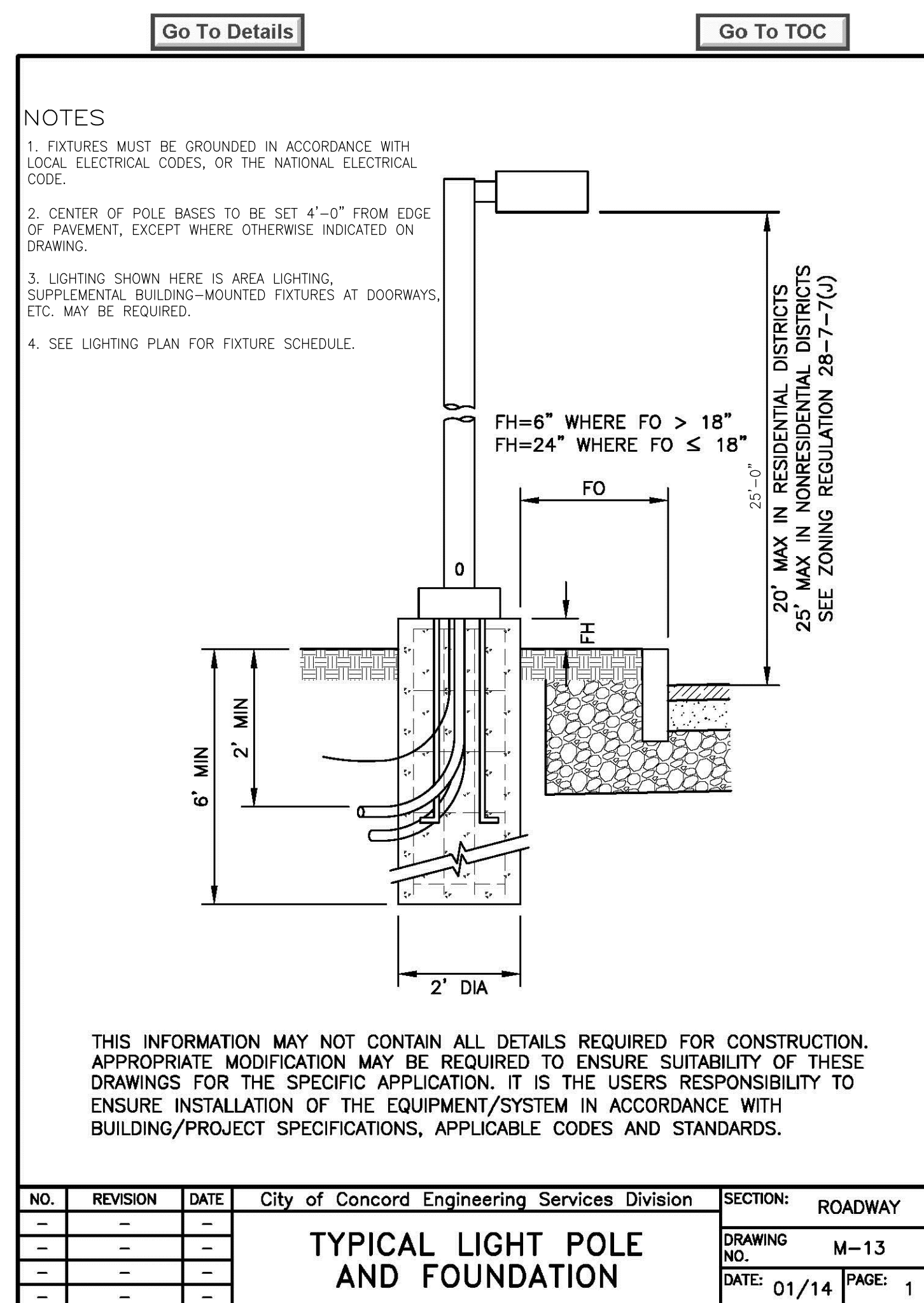
HAND RAILING DETAIL
IN GROUND NOT TO SCALE



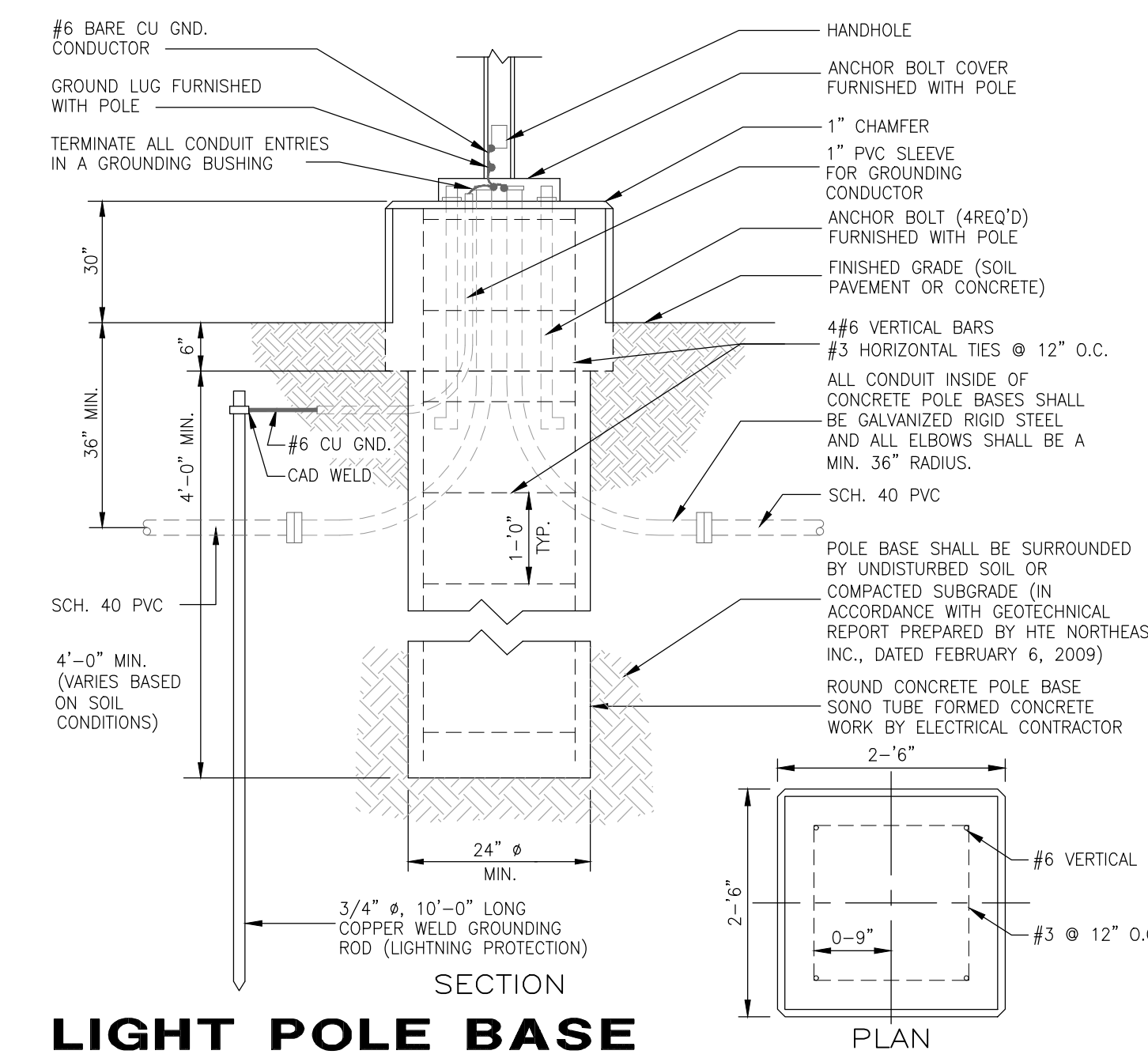
PAVEMENT TRENCH PATCH
FLUSH NOT TO SCALE



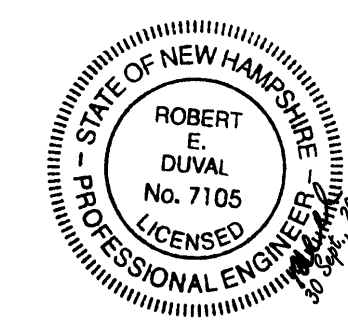
SINGLE DUMPSTER PAD
M8-MB_SITE-Dumpster Pad_5.dwg



TYPICAL LIGHT POLE AND FOUNDATION
M13_SITE-Light Pole Base_2.dwg



LIGHT POLE BASE
NOT TO SCALE



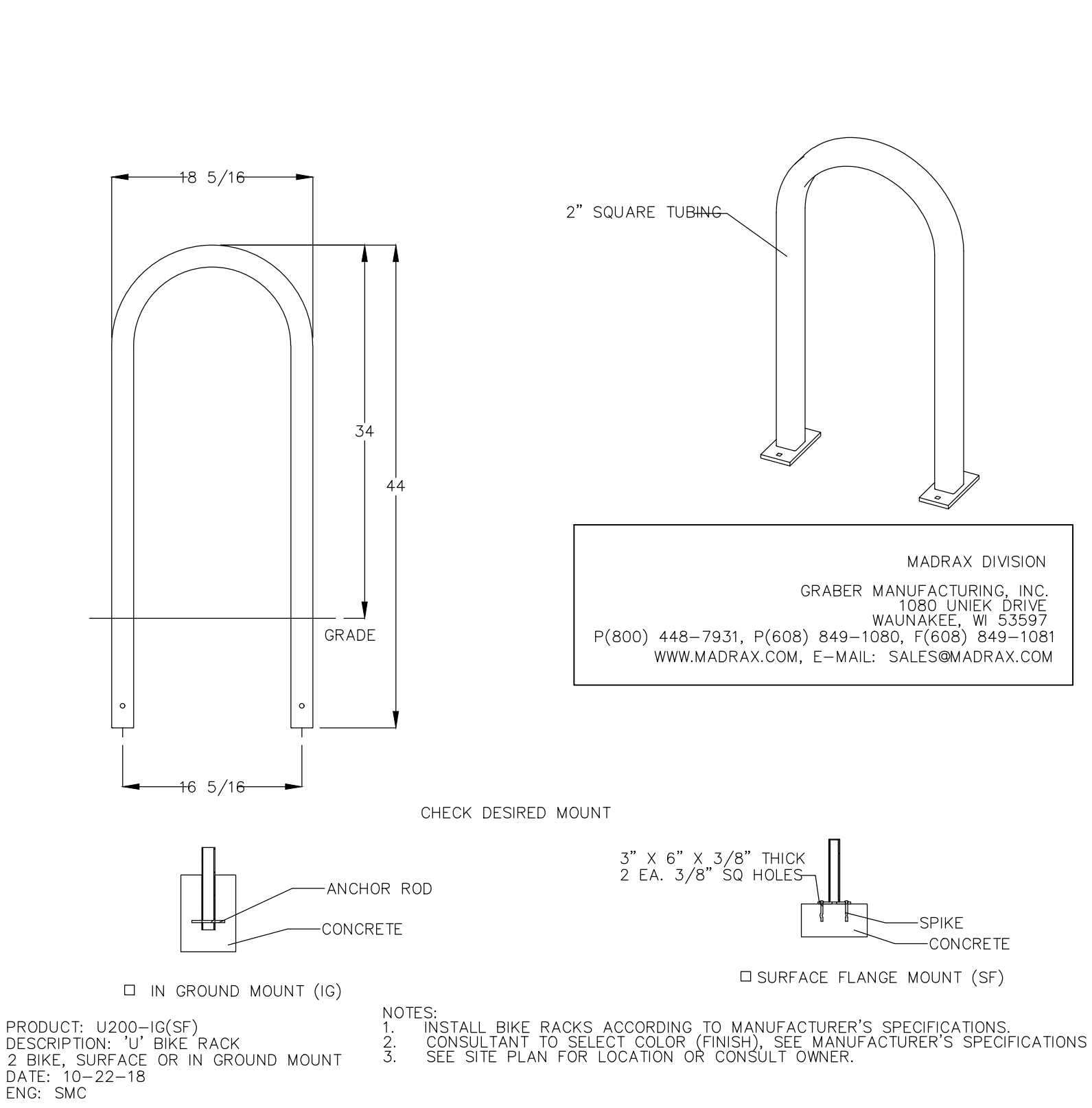
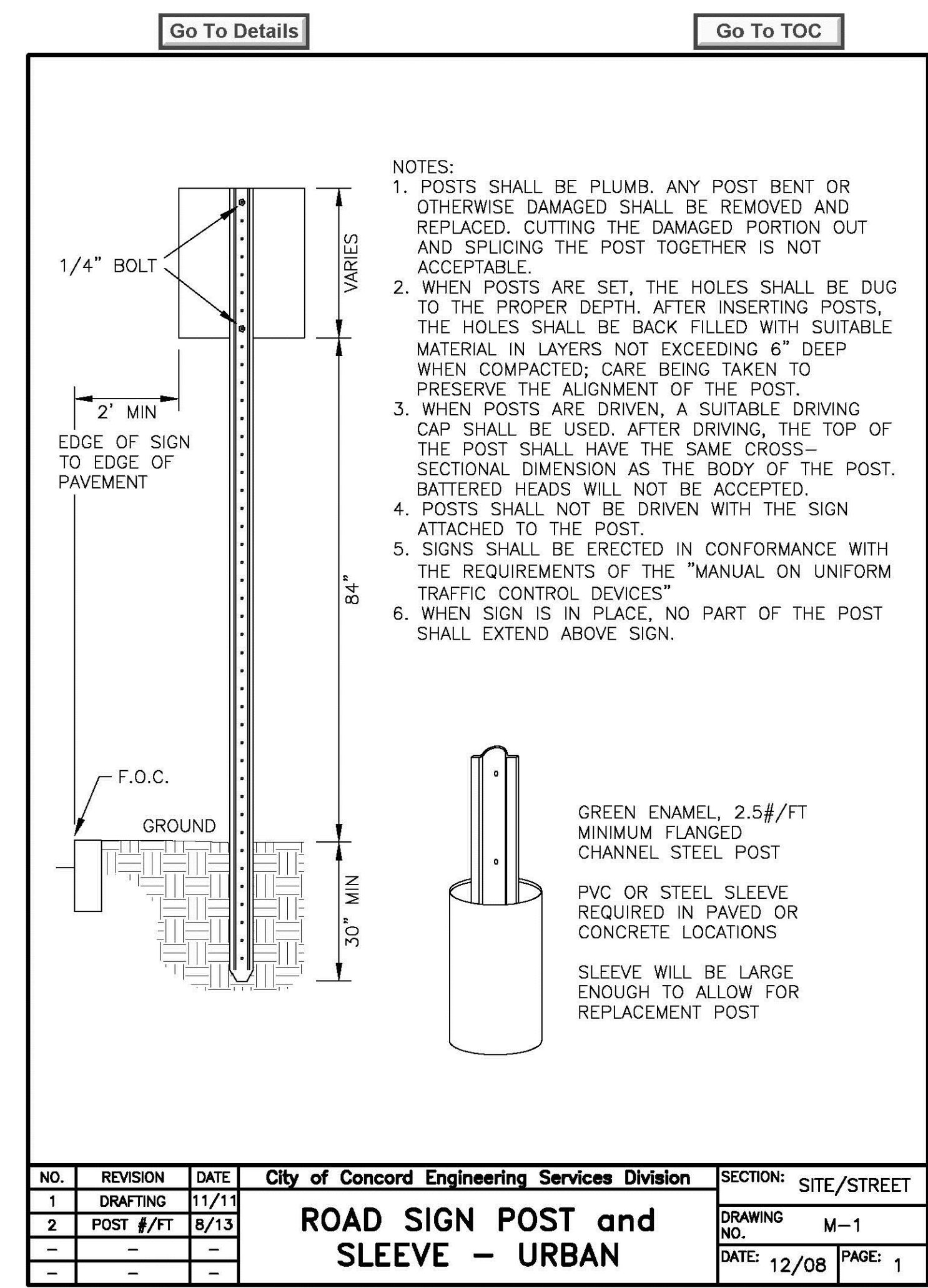
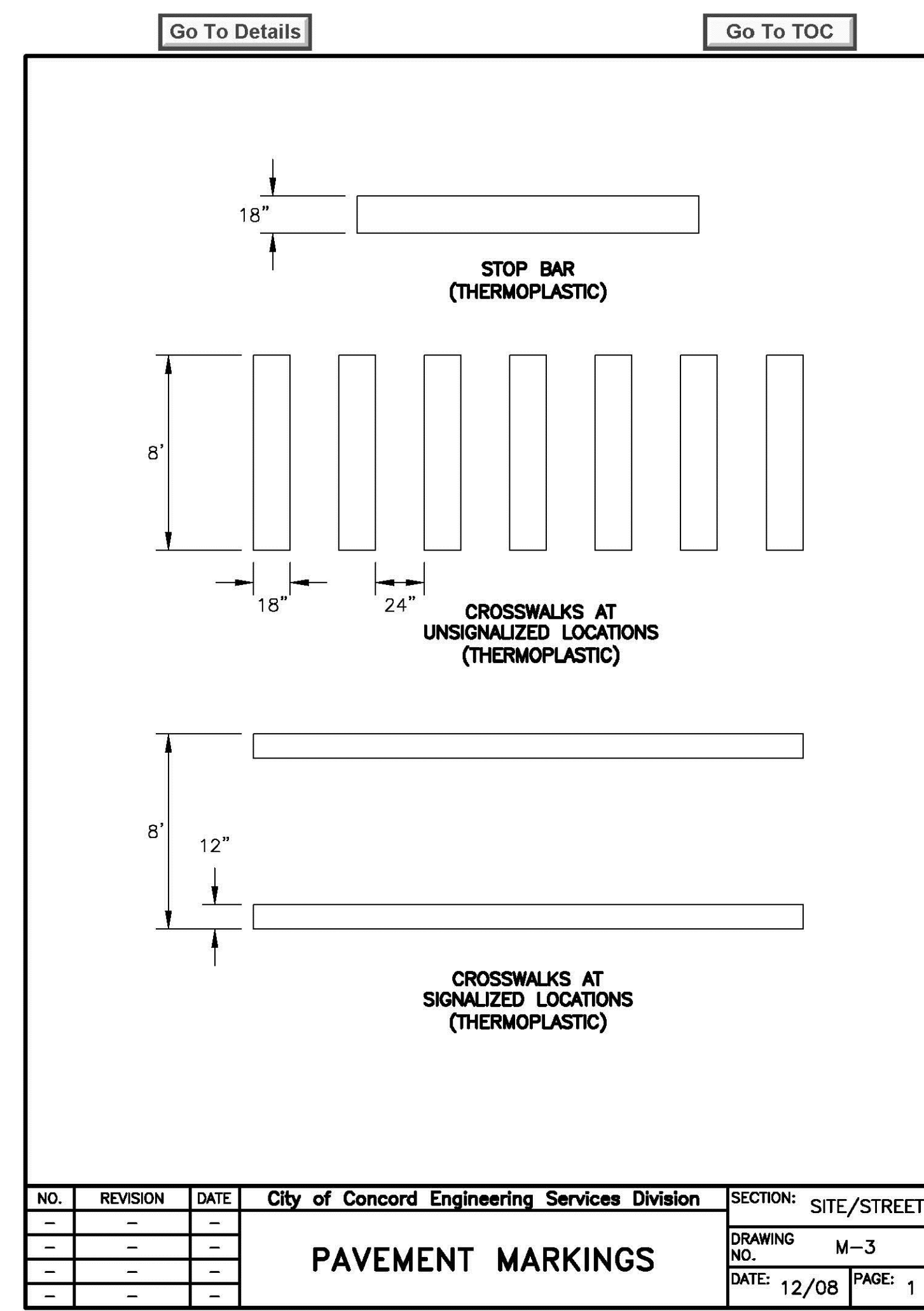
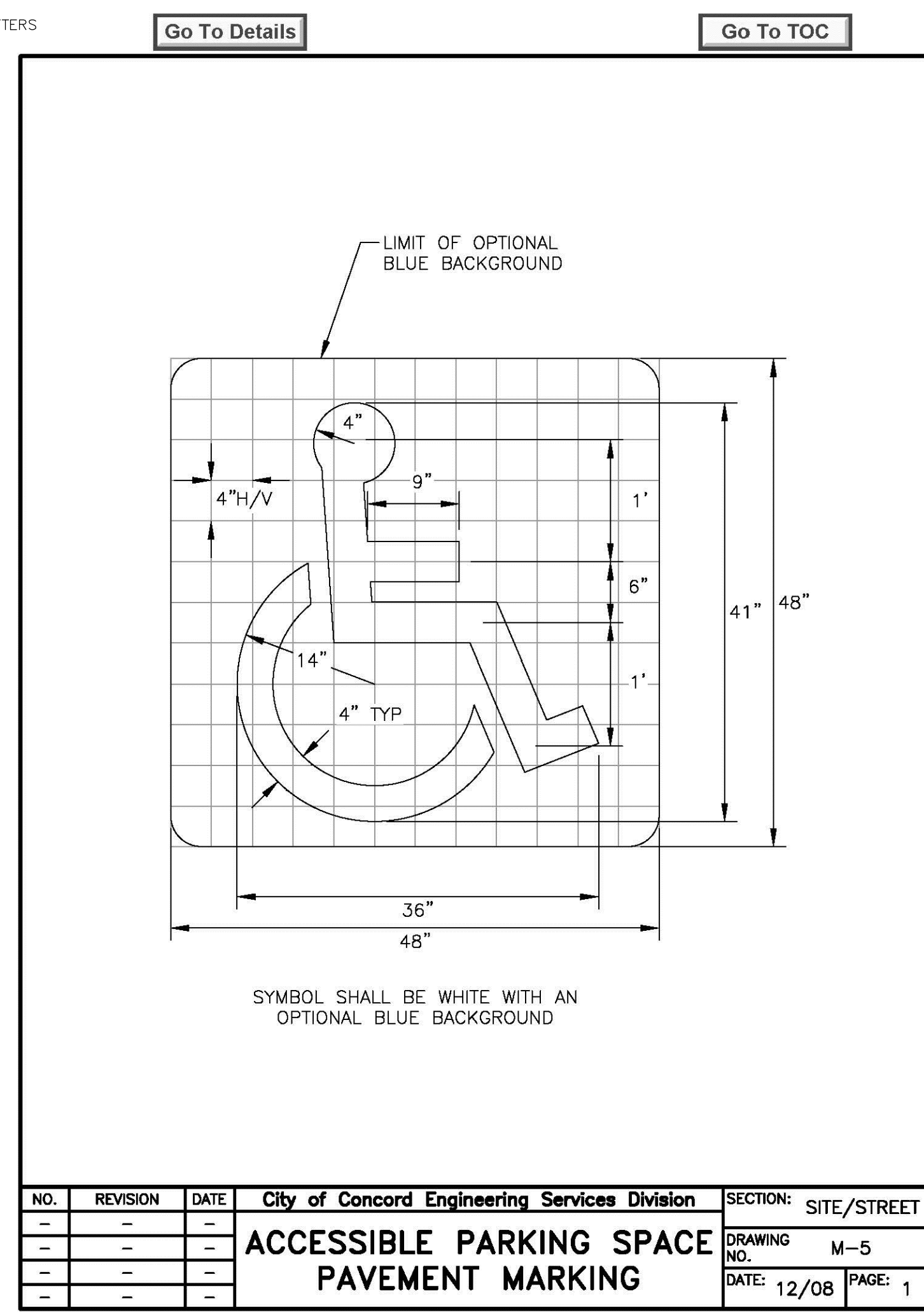
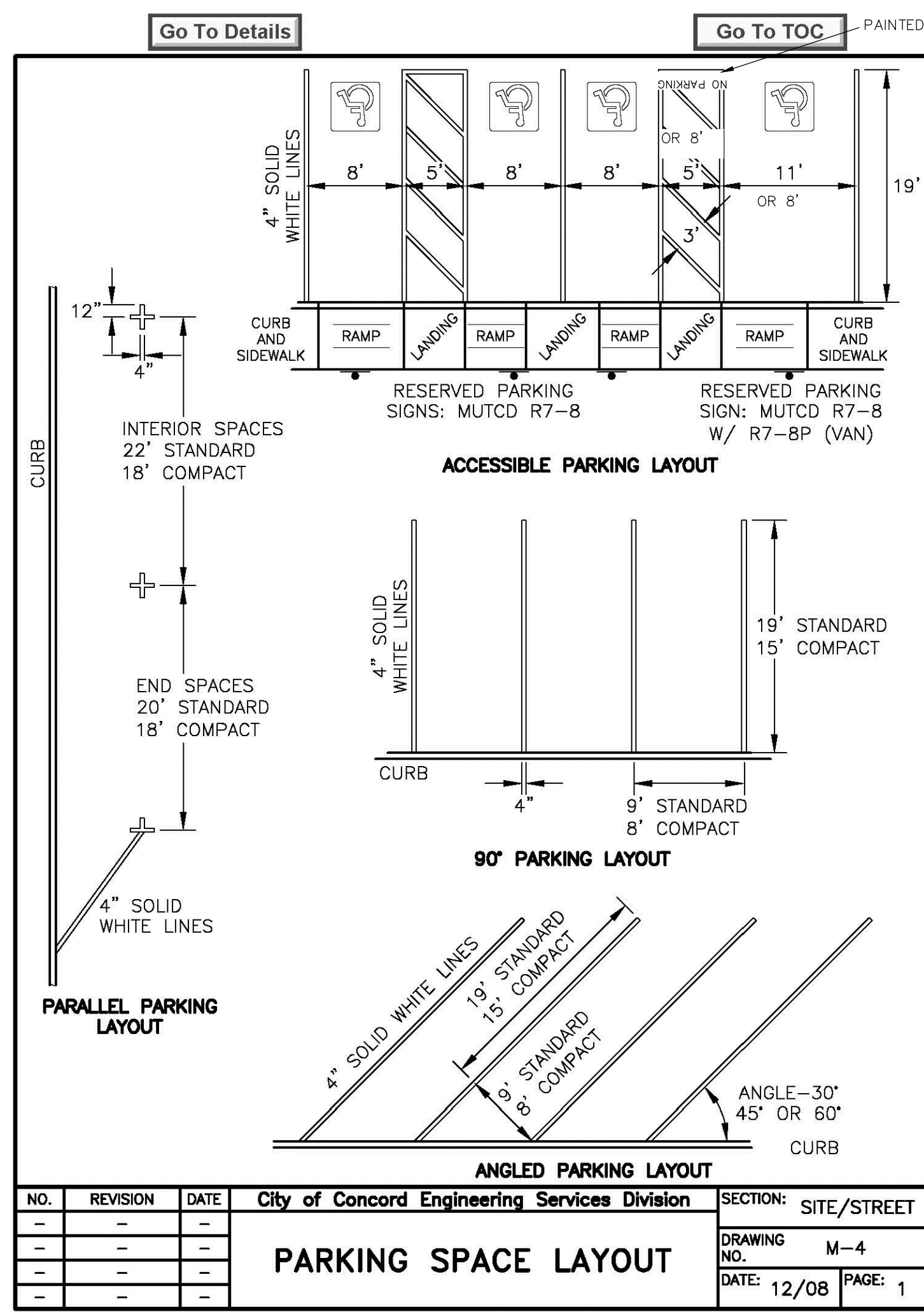
SITE DEVELOPMENT PLANS
TAX MAP 06P LOT 5
CONSTRUCTION DETAILS
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY / PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
152 MORRILL ROAD, CANTERBURY, NH 03224
SCALE: AS SHOWN **JULY 15, 2024**

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| 95830.11 | DR | PWH | FB | - | - | - |
| | CK | JSH | CADFILE | 95830-11_DETAILS | | |



BICYCLE RACK
MADRAX OR EQUAL

NOT TO SCALE

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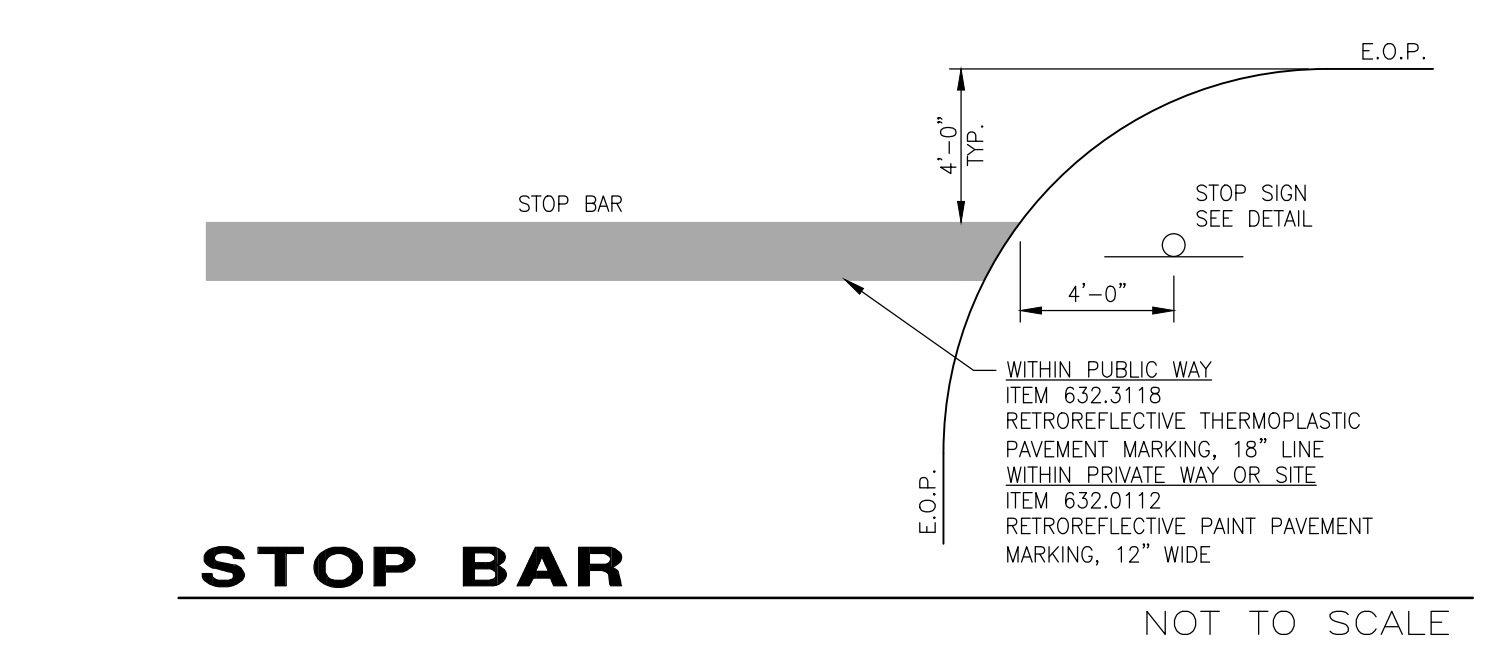
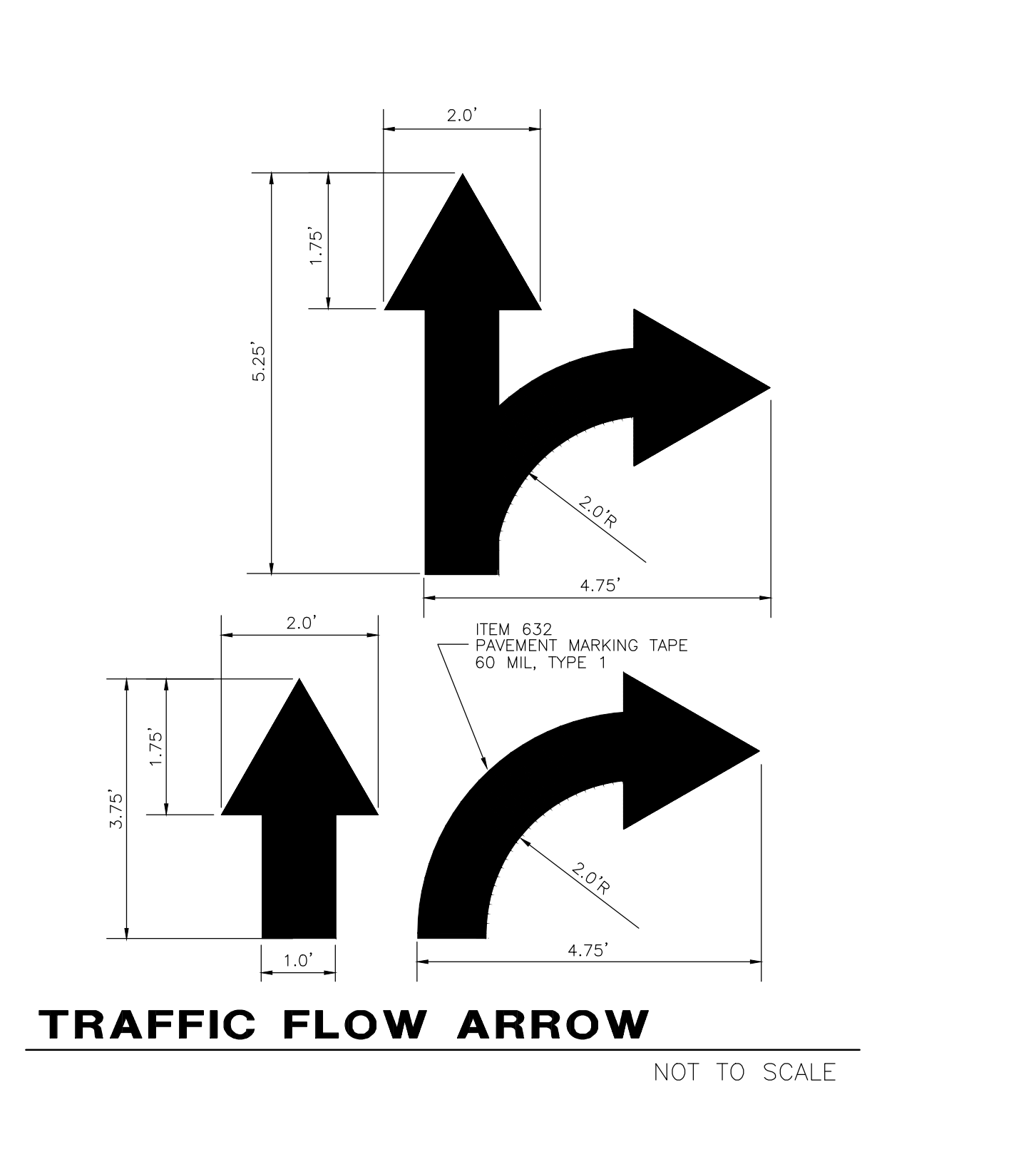
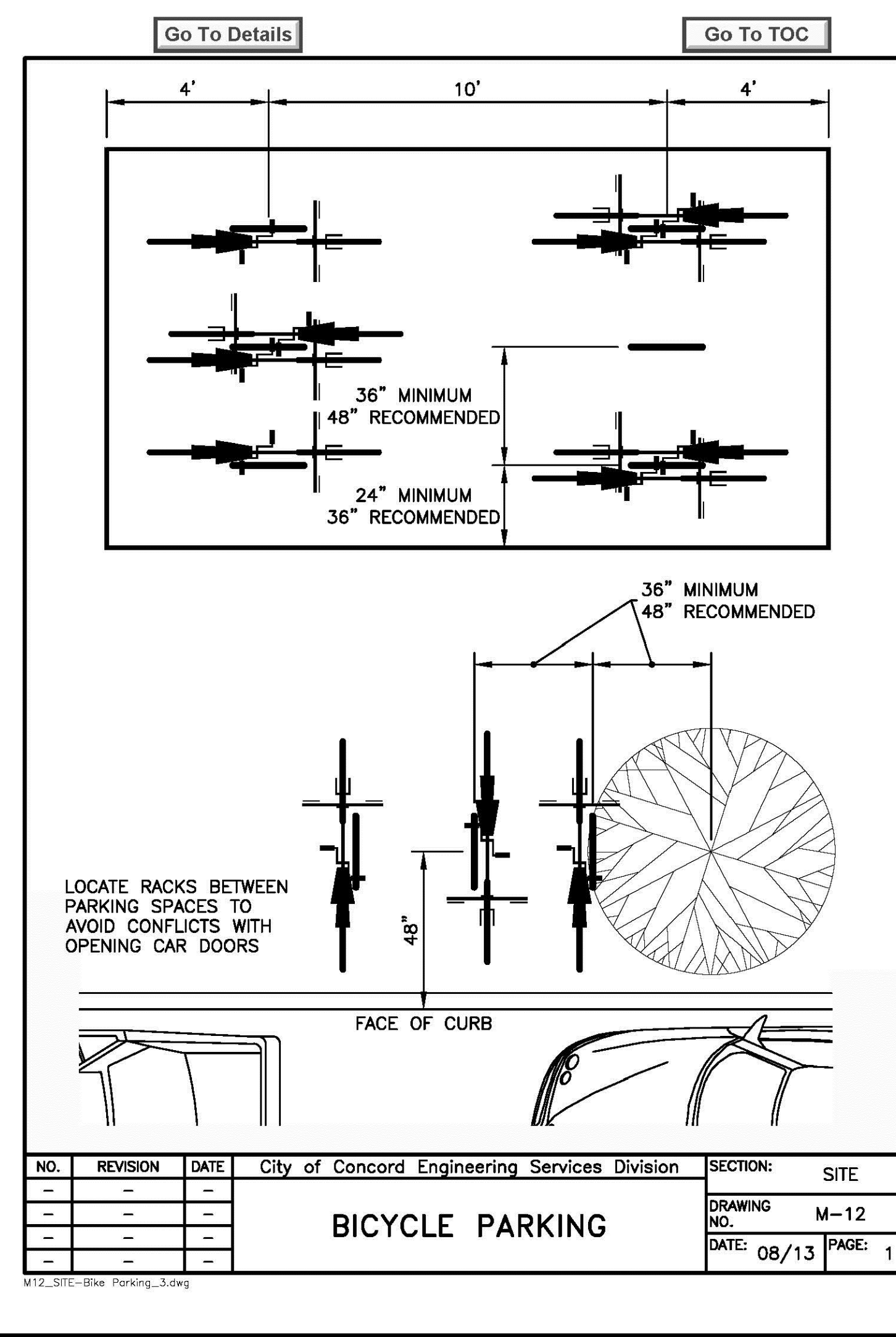
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DIG SAFE

CONTACT 800.999.72 ADDRESS HOME PROTECT CONSTRUCTION

| NO. | REVISION | DATE | City of Concord Engineering Services Division | SECTION: SITE |
|-----|----------|------|---|---------------|
| 1 | | | | |
| 2 | | | | |
| 3 | | | | |
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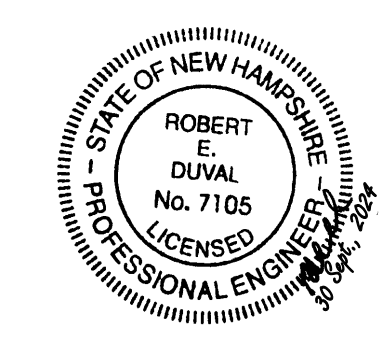
BICYCLE PARKING
DRAWING NO. M-12
DATE: 08/13
PAGE: 1



SITE DEVELOPMENT PLANS
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Structural Engineers
Traffic Engineers
Land Surveyors
Landscape Architects
Scientists

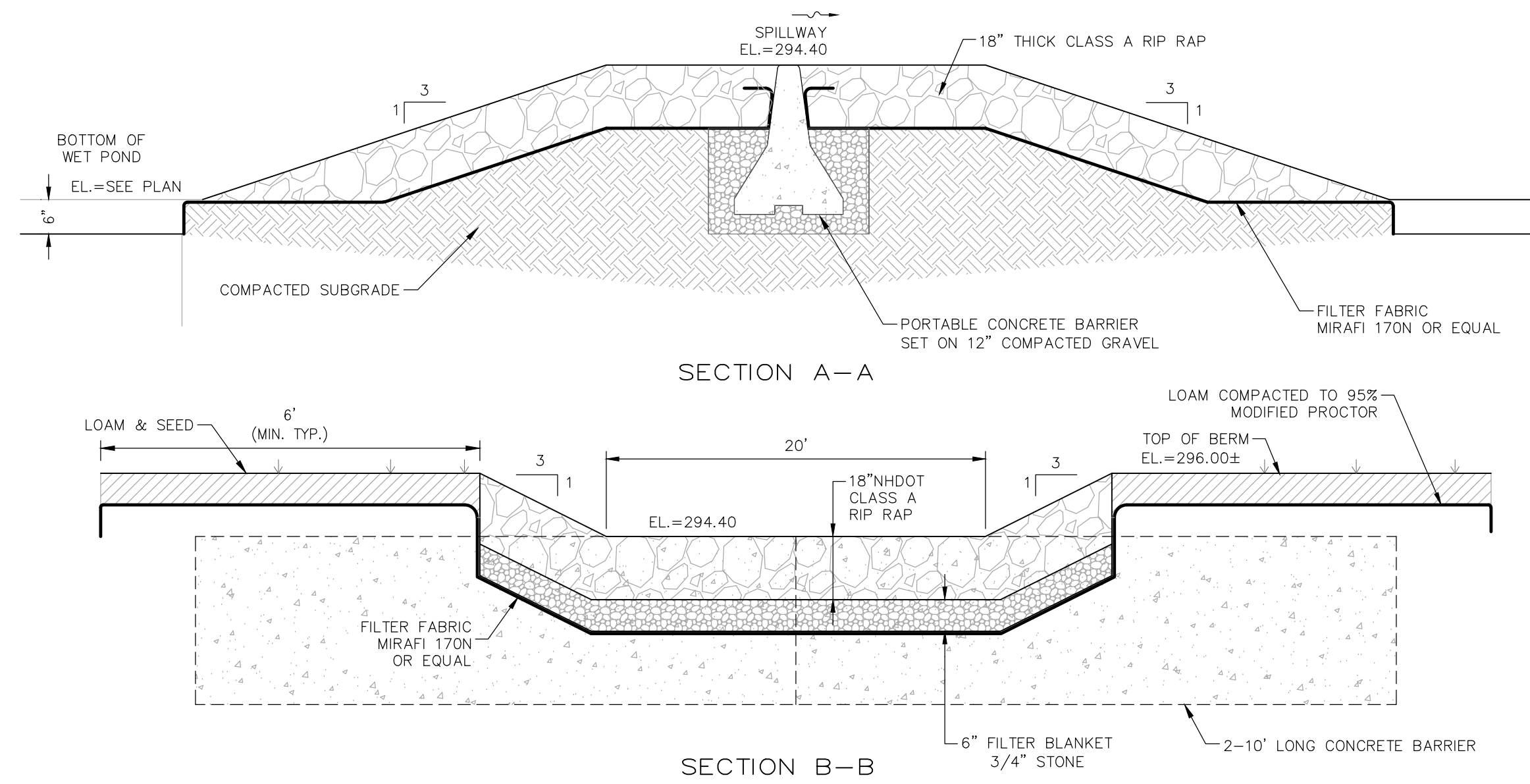
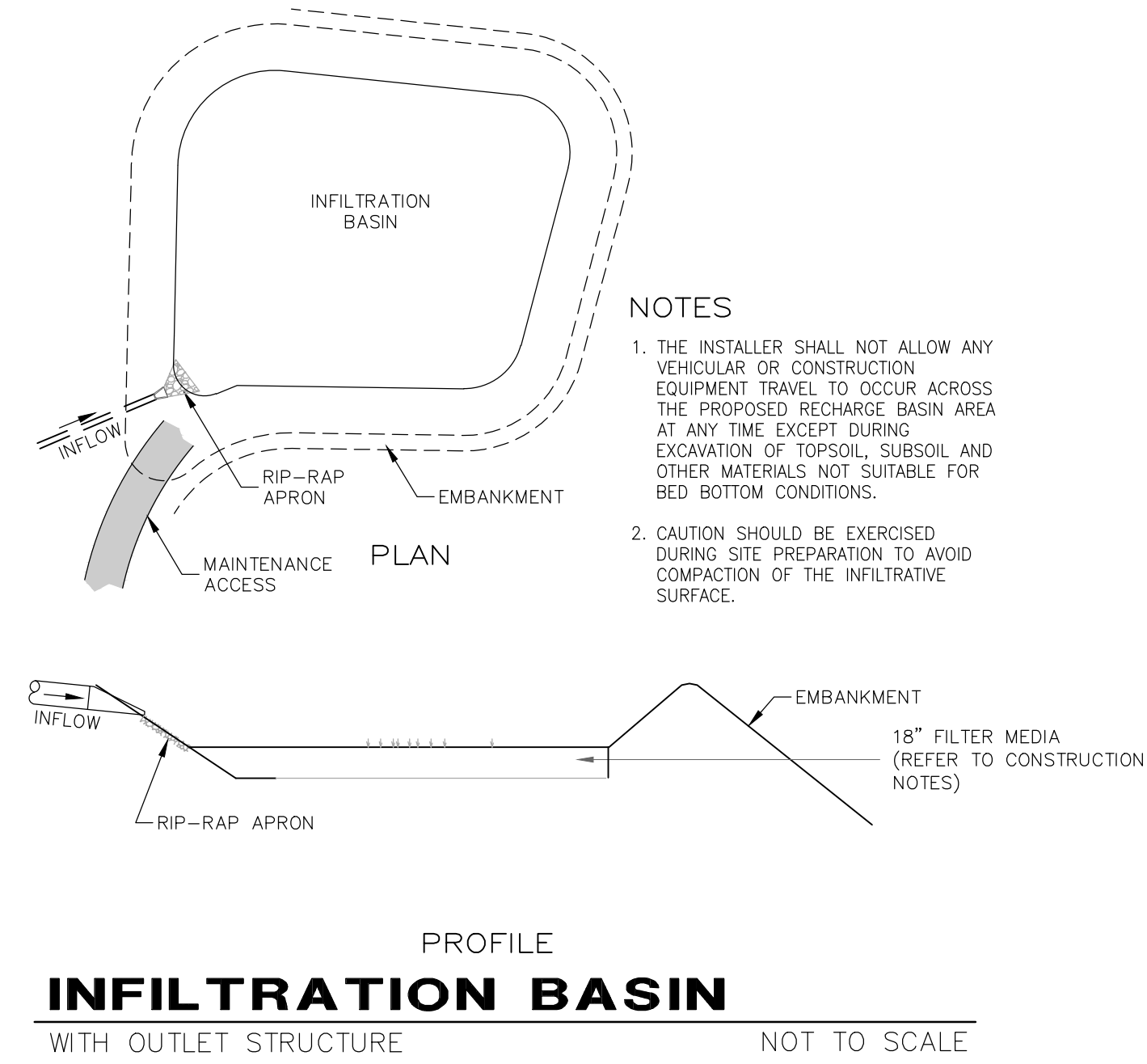
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95830.11

DR PWJ FB
CK JSH CAD/FILE

95830-11-DETAILS

C-22



FILTRATION SYSTEM CONSTRUCTION

GRADE FILTRATION SYSTEM AREAS ACCORDING TO PLAN AND DETAILS. SIDE SLOPES SHALL HAVE 4" LOAM AND SEED. BOTTOM OF FILTRATION AREAS TO BE CONSTRUCTED WITH MULCH, MANUFACTURED SOIL, PEA STONE AND CRUSHED STONE

SOIL MIXTURE SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES EXCLUDING MULCH. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE AREA THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVIDE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATION.

TOPSOIL/LOAM SHALL CONSIST OF LOOSE FRIABLE TOPSOIL WITH NO ADMIXTURE OF REFUSE OR MATERIAL TOXIC TO PLANT GROWTH. LOAM SHALL BE FREE FROM STONES, LUMPS, STUMPS, OR SIMILAR OBJECTS LARGER THAN ONE INCH (1") IN GREATEST DIAMETER, SUBSOIL, ROOTS, AND WEEDS. THE MINIMUM AND MAXIMUM PH VALUE SHALL BE FROM 5.5 TO 7.2. LOAM SHALL CONTAIN A MINIMUM OF FOUR PERCENT (4%) AND A MAXIMUM OF FIVE AND A HALF PERCENT (5.5%) ORGANIC MATTER AS DETERMINED BY WEIGHT. NOT MORE THAN TWENTY-FIVE PERCENT (25%) SHALL PASS A NO. 200 SIEVE. IN NO INSTANCE SHALL MORE THAN 20% OF THAT MATERIAL PASSING THE #4 SIEVE CONSIST OF CLAY SIZE PARTICLES. THE RATIO OF THE PARTICLE SIZE FOR 80% PASSING (D80) TO THE PARTICLE SIZE FOR 30% PASSING (D30) SHALL BE 6.0 OR LESS (D80/D30 ≤ 6.0). SATURATED HYDRAULIC CONDUCTIVITY OF TOPSOIL/LOAM SHALL BE BETWEEN 3 INCHES/HOUR AND 10 INCHES/HOUR ACCORDING TO ASTM D5856-95 WHEN COMPACTED TO A MINIMUM OF 88% STANDARD PROCTOR, ASTM 698.

FILTER MEDIA

FILTER MEDIA SHALL CONFORM TO THE FOLLOWING:
 20% TO 30% BY VOLUME OF MODERATELY FINE SHREDDED BARK OR WOOD FIBER MULCH THAT HAS NO MORE THAN 5% FINES PASSING THE NUMBER 200 SIEVE, WITH 70 TO 80% BY VOLUME LOAMY COARSE SAND USED IN THE MIXTURE MEETING THE FOLLOWING SIEVE ANALYSIS SPECIFICATION:
 FROM 85 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 10 SIEVE;
 FROM 70 TO 100 PERCENT BY WEIGHT SHALL PASS THE NUMBER 20 SIEVE;
 FROM 15 TO 40 PERCENT BY WEIGHT SHALL PASS THE NUMBER 60 SIEVE; AND
 FROM 8 TO 15 PERCENT BY WEIGHT SHALL PASS THE NUMBER 200 SIEVE;

SEEDING FOR SIDE SLOPES SHALL HAVE A MINIMUM OF 4" LOAM MIXTURE INSTALLED WITH TYPICAL LAWN MIX (MIN. 200 LBS/ACRE):

33% CREEPING RED FESCUE (MIN. 66 LBS/ACRE)
 42% PERENNIAL RYEGRASS (MIN. 84 LBS/ACRE)
 21% KENTUCKY BLUEGRASS (MIN. 42 LBS/ACRE)
 4% REDTOP (MIN. 8 LBS/ACRE)

SEEDING FOR BASIN SHALL BE NEW ENGLAND WETLAND PLANTS, INC. NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DETENTION BASINS AND MOIST SITES (MIN. 35 LBS/ACRE).

THE DRAINAGE LAYER MATERIAL SHALL BE PLACED WITH ONLY NOMINAL COMPACTION APPLIED BY A DOZER OR GRADER. FORMAL COMPACTION USING A VIBRATORY STEEL DRUM ROLLER SHALL NOT BE USED AS DENSIFICATION WILL REDUCE THE PERMEABILITY AND ABILITY FOR THE MANUFACTURED SOIL TO PROPERLY DRAIN. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT EQUIPMENT & VEHICLE TRAFFIC FROM DRIVING IN THE AREA OF THE PROPOSED FILTRATION AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT SMEARING OF THE SUBGRADE DURING CONSTRUCTION.

FILTRATION AREA INSPECTION & MAINTENANCE

INSPECTION & MAINTENANCE SCHEDULE TO BEGIN AFTER CONSTRUCTION SITE IS STABILIZED AND FLOW DIRECTED TO BASIN.

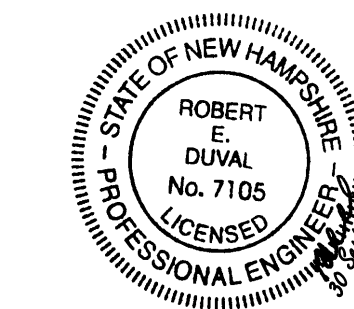
MAINTENANCE REQUIREMENTS

- ONCE ANNUALLY, EACH BIO-RETENTION SYSTEM SHALL BE INSPECTED BY THE DESIGN ENGINEER OR OTHER QUALIFIED PARTY. THE RESULTS OF THE INSPECTION SHALL BE PROVIDED TO DEPARTMENT OF PUBLIC WORKS.
- SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
- PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
- TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION. ALL SEDIMENT AND TRASH SHOULD BE HANDLED PROPERLY AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL GUIDELINES AND REGULATIONS.
- AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF FILTRATION SYSTEM DOES NOT DRAIN WITHIN 72-HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

VEGETATION - SHALL BE INSPECTED AND MAINTAINED IN A HEALTHY CONDITION BY REMOVING/REPLACING DEAD OR DISEASED VEGETATION AND REMOVING INVASIVE SPECIES. THE VEGETATED AREAS SHALL BE PROTECTED FROM DAMAGE BY TRAFFIC AND DENSE WEED GROWTH. VEGETATION MAINTENANCE A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED.

BOTTOM OF BASIN - BOTTOM OF BASIN SHALL BE INSPECTED FOR EROSION, SEDIMENT ACCUMULATION, TRASH & DEBRIS. REPAIR ANY ERODED AREA OF THE FILTRATION AREA WITH APPROPRIATE GRASS COVER AFTER REPLACING ANY LOST FILL MATERIAL AND LOAM. REMOVED SEDIMENT, TRASH & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY.

INLET/OUTLET - CONDITIONS OF PIPES/RIPRAP SHALL BE NOTED AND REPAIRS MADE IF NEEDED. ACCUMULATED SEDIMENT & DEBRIS SHALL BE REMOVED AND DISPOSED OF PROPERLY. IF EROSION HAS OCCURRED, THEN MEASURES SHALL BE TAKEN TO STABILIZE AND PROTECT THE AREAS.



SITE DEVELOPMENT PLANS

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SCALE: AS SHOWN

JULY 15, 2024

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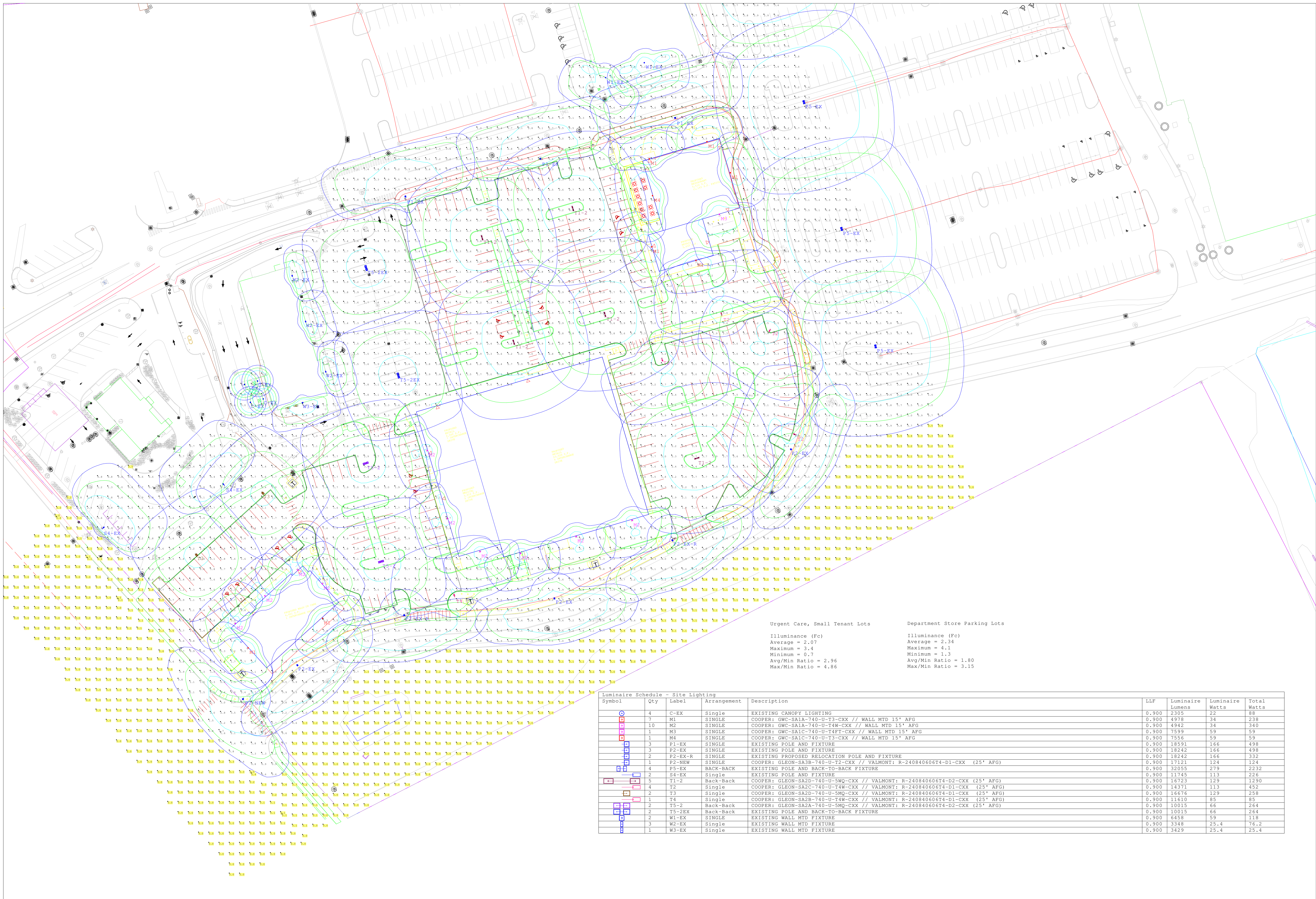
| REV | DATE | DESCRIPTION | JMR | JSH | ZR | CK |
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| | CK | JSH | CADFILE | | | | |



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Urgent Care, Small Tenant Lots
 Illuminance (Fc)
 Average = 2.07
 Maximum = 3.4
 Minimum = 0.7
 Avg/Min Ratio = 2.96
 Max/Min Ratio = 4.96

Department Store Parking Lots
 Illuminance (Fc)
 Average = 2.34
 Maximum = 4.1
 Minimum = 1.3
 Avg/Min Ratio = 1.80
 Max/Min Ratio = 3.15

| Luminaire Schedule - Site Lighting | | | | LLF | Luminaire Lumens | Luminaire Watts | Total Watts |
|------------------------------------|-----|---------|-------------|---|------------------|-----------------|-------------|
| Symbol | Qty | Label | Arrangement | Description | | | |
| ⊙ | 4 | C-EX | Single | EXISTING CANOPY LIGHTING | 0.900 | 2305 | 88 |
| ⊙ | 7 | M1 | SINGLE | COOPER: GWC-SA1A-740-U-T3-CXX // WALL MTD 15' AFG | 0.900 | 4978 | 238 |
| ⊙ | 10 | M2 | SINGLE | COOPER: GWC-SA1A-740-U-T4W-CXX // WALL MTD 15' AFG | 0.900 | 4942 | 340 |
| ⊙ | 1 | M3 | SINGLE | COOPER: GWC-SA1C-740-U-T4FT-CXX // WALL MTD 15' AFG | 0.900 | 7599 | 59 |
| ⊙ | 1 | M4 | SINGLE | COOPER: GWC-SA1C-740-U-T3-CXX // WALL MTD 15' AFG | 0.900 | 7556 | 59 |
| ⊙ | 3 | P1-EX | SINGLE | EXISTING POLE AND FIXTURE | 0.900 | 18591 | 166 |
| ⊙ | 3 | P2-EX | SINGLE | EXISTING POLE AND FIXTURE | 0.900 | 18242 | 166 |
| ⊙ | 2 | P2-EX-R | SINGLE | EXISTING PROPOSED RELOCATION POLE AND FIXTURE | 0.900 | 18242 | 166 |
| ⊙ | 1 | P2-NEW | SINGLE | COOPER: GLEON-SA3B-740-U-T2-CXX // VALMONT: R-240840606T4-D1-CXX (25' AFG) | 0.900 | 17121 | 124 |
| ⊙ | 4 | P5-EX | BACK-BACK | EXISTING POLE AND BACK-TO-BACK FIXTURE | 0.900 | 32055 | 279 |
| ⊙ | 2 | S4-EX | Single | EXISTING POLE AND FIXTURE | 0.900 | 11745 | 113 |
| ⊙ | 5 | T1-2 | Back-Back | COOPER: GLEON-SA2D-740-U-5WQ-CXX // VALMONT: R-240840606T4-D2-CXX (25' AFG) | 0.900 | 16723 | 129 |
| ⊙ | 4 | T2 | Single | COOPER: GLEON-SA2C-740-U-T4W-CXX // VALMONT: R-240840606T4-D1-CXX (25' AFG) | 0.900 | 14371 | 113 |
| ⊙ | 2 | T3 | Single | COOPER: GLEON-SA2D-740-U-5WQ-CXX // VALMONT: R-240840606T4-D1-CXX (25' AFG) | 0.900 | 16676 | 129 |
| ⊙ | 1 | T4 | Single | COOPER: GLEON-SA2B-740-U-T4W-CXX // VALMONT: R-240840606T4-D1-CXX (25' AFG) | 0.900 | 11610 | 85 |
| ⊙ | 2 | T5-2 | Back-Back | COOPER: GLEON-SA2A-740-U-5WQ-CXX // VALMONT: R-240840606T4-D2-CXX (25' AFG) | 0.900 | 10015 | 66 |
| ⊙ | 2 | T5-2EX | Back-Back | EXISTING POLE AND BACK-TO-BACK FIXTURE | 0.900 | 10015 | 66 |
| ⊙ | 2 | W1-EX | SINGLE | EXISTING WALL MTD FIXTURE | 0.900 | 6458 | 59 |
| ⊙ | 3 | W2-EX | Single | EXISTING WALL MTD FIXTURE | 0.900 | 3348 | 25.4 |
| ⊙ | 1 | W3-EX | Single | EXISTING WALL MTD FIXTURE | 0.900 | 3429 | 25.4 |



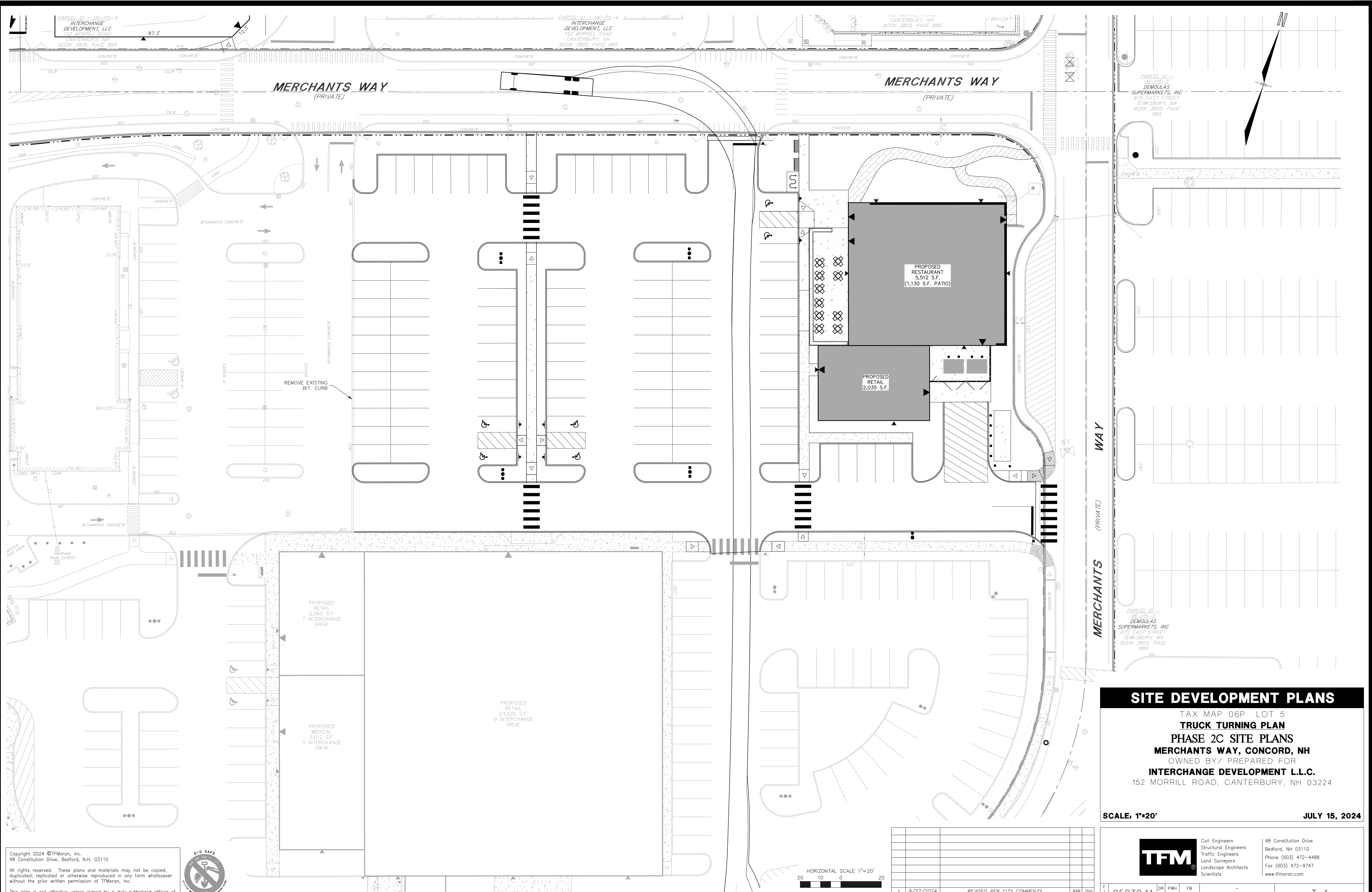
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Revisions

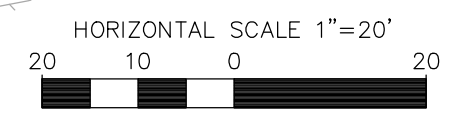
Drawn By: MJO
 Checked By:
 Date: 8/21/2024

Scale: NTS

Updated Interchange Development - Exit 17 Site Lighting
 Concord, NH



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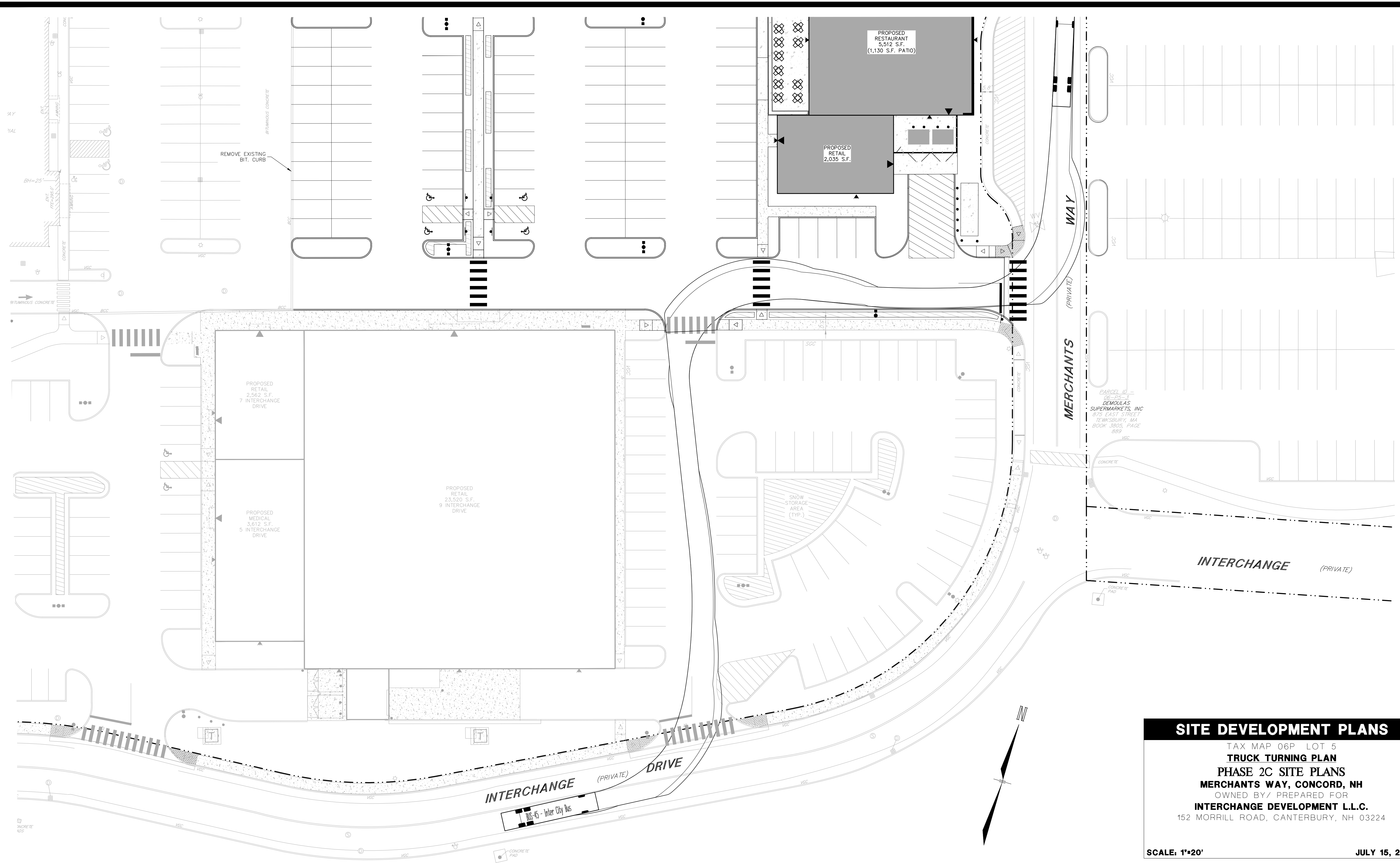


| REV# | DATE | DESCRIPTION | DESIGNED | CHECKED |
|------|-----------|---------------------------|----------|---------|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |
| | | | DR | CR |

SITE DEVELOPMENT PLANS
 TAX MAP 06P LOT 5
TRUCK TURNING PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
 OWNED BY/ PREPARED FOR
INTERCHANGE DEVELOPMENT L.L.C.
 152 MORRILL ROAD, CANTERBURY, NH 03224
 SCALE: 1"=20' JULY 15, 2024

| | | |
|------------|----------------------|-----------------------|
| TFM | Civil Engineers | 48 Constitution Drive |
| | Structural Engineers | Bedford, NH 03110 |
| | Traffic Engineers | Phone (603) 472-4488 |
| | Land Surveyors | Fax (603) 472-9747 |
| | Landscape Architects | www.tfmoran.com |
| | Scientists | |

| | | | |
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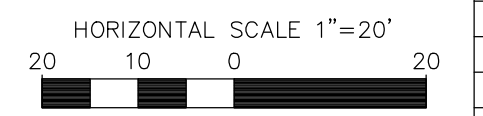


PARCEL ID -
06-02-1
DEMIGULAS
SUPERMARKETS, INC
875 EAST STREET
TEWKSURY, MA
BOOK 3805, PAGE
889

SITE DEVELOPMENT PLANS
TAX MAP 06P LOT 5
TRUCK TURNING PLAN
PHASE 2C SITE PLANS
MERCHANTS WAY, CONCORD, NH
OWNED BY/ PREPARED FOR
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| REV# | DATE | DESCRIPTION | DR | CHK |
|------|-----------|---------------------------|-----|-----|
| 1 | 9/27/2024 | REVISED PER CITY COMMENTS | JMR | JSH |

| | | | | | |
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| FILE 95830.11 | DR | PWH | FB | - | T-2 |
| | CK | JSH | CADFILE | 95830-11_SITE PLANS | |

TFM Civil Engineers, Structural Engineers, Traffic Engineers, Land Surveyors, Landscape Architects, Scientists. 48 Constitution Drive, Bedford, NH 03110. Phone (603) 472-4488. Fax (603) 472-9747. www.tfmoran.com