

SQUARE FOOTAGE TABLE	
UNIT A	SQ. FTG.
FIRST FLOOR	664
SECOND FLOOR	833
TOTAL LIVING	1,497
UNIT B	SQ. FTG.
FIRST FLOOR	664
SECOND FLOOR	820
TOTAL LIVING	1,484

NOTE:
SQUARE FOOTAGE INCLUDES ALL
WALL STRUCTURE, LIVING SPACE,
CLOSETS, STAIRS, & OPEN SPACE -
HOWEVER, DOES NOT INCLUDE
GARAGE SPACE, DECKS, PATIOS,
OR OPEN AREAS.

TAKE NOTE THAT BUILDER'S SQUARE
FOOTAGE CALCULATIONS MAY VARY
FROM DRAFTER'S.

NOTE:
PLANS DESIGNED TO THE
2021 INTERNATIONAL
BUILDING CODE.

ENERGY EFFICIENCY NOTE:
COMPLIANCE SHALL BE DEMONSTRATED BY EITHER
MEETING THE REQUIREMENTS OF THE 2018 INTERNATIONAL
ENERGY CONSERVATION CODE OR MEETING THE
REQUIREMENTS OF CHAPTER 11 IN THE 2021
INTERNATIONAL RESIDENTIAL CODE

EGRESS NOTE:
AT LEAST ONE WINDOW PER SLEEPING
ROOM TO MEET MINIMUM LOCAL, STATE,
AND NATIONAL REQUIREMENTS OF NET
CLEAR OPENING WIDTH, HEIGHT, AREA
AND SILL HEIGHT FOR EGRESS

NOTE:
WINDOWS SHOWN IN PLAN VIEW ARE APPROX.
ROUGH OPENING SIZE - NOT GLASS SIZE.
SEE WINDOW SCHEDULE & VERIFY R.O. WITH
WINDOW MANUFACTURER.

REFER TO SECTIONS R312.2.1 FOR WINDOW SILL
HEIGHT ABOVE GROUND (OR SURFACE BELOW)
AND TO SECTION 310 FOR EGRESS WINDOWS &
BASEMENTS PRIOR TO PLACING WINDOW ORDER

REFER TO SECTION 311 FOR MEANS OF EGRESS
PRIOR TO ORDERING DOORS

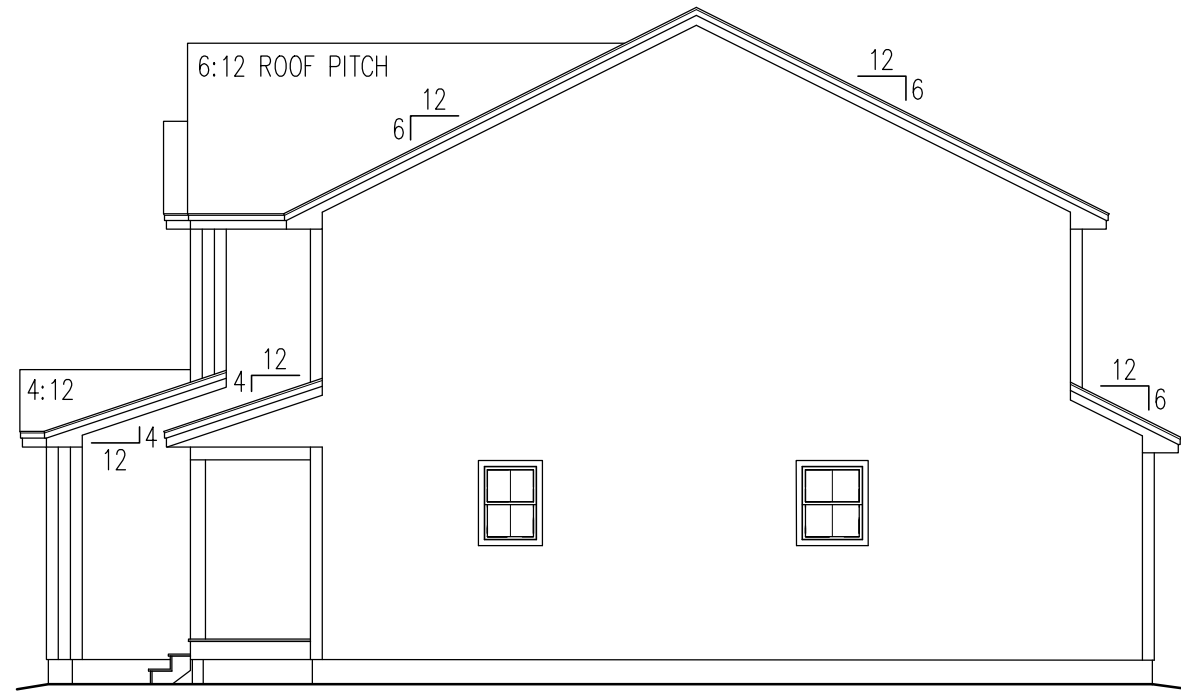
WINDOWS TO HAVE OPENING LIMITING
DEVICES AS PER R312 IRC 2021

WINDOWS TO COMPLY WITH SECTION R308 FOR
TYPE OF GLASS AND SAFETY GLAZING STANDARD

NOTES:
1. DECK(S) NOT SHOWN FOR CLARITY -
CONSULT CONTRACTOR IN FIELD FOR
EXACT SIZE & LOCATION

2. REFER TO FLOOR PLANS FOR EXACT
LOCATION OF WINDOWS & DOORS -
DO NOT SCALE FROM ELEVATIONS

PROVIDE SITE DRAINAGE AWAY FROM BUILDING
FOUNDATION NO LESS THAN 6 INCHES
IN 10 FEET - WHERE LOT LINES, SLOPES OR
OTHER PHYSICAL BARRIERS
PROHIBIT 6" IN 10". PROVIDE DRAINS OR
SWALES FOR WATER DRAINAGE. IMPERVIOUS
SURFACES MUST BE SLOPED 2% AWAY FROM
FROM BUILDING.



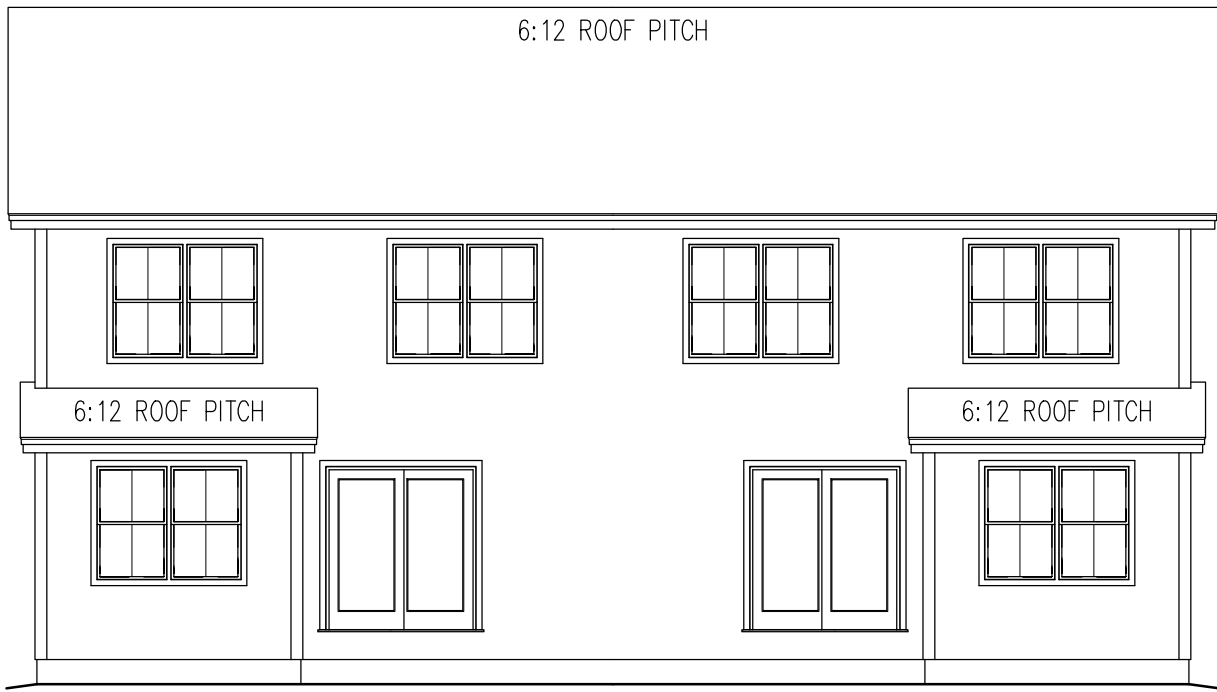
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



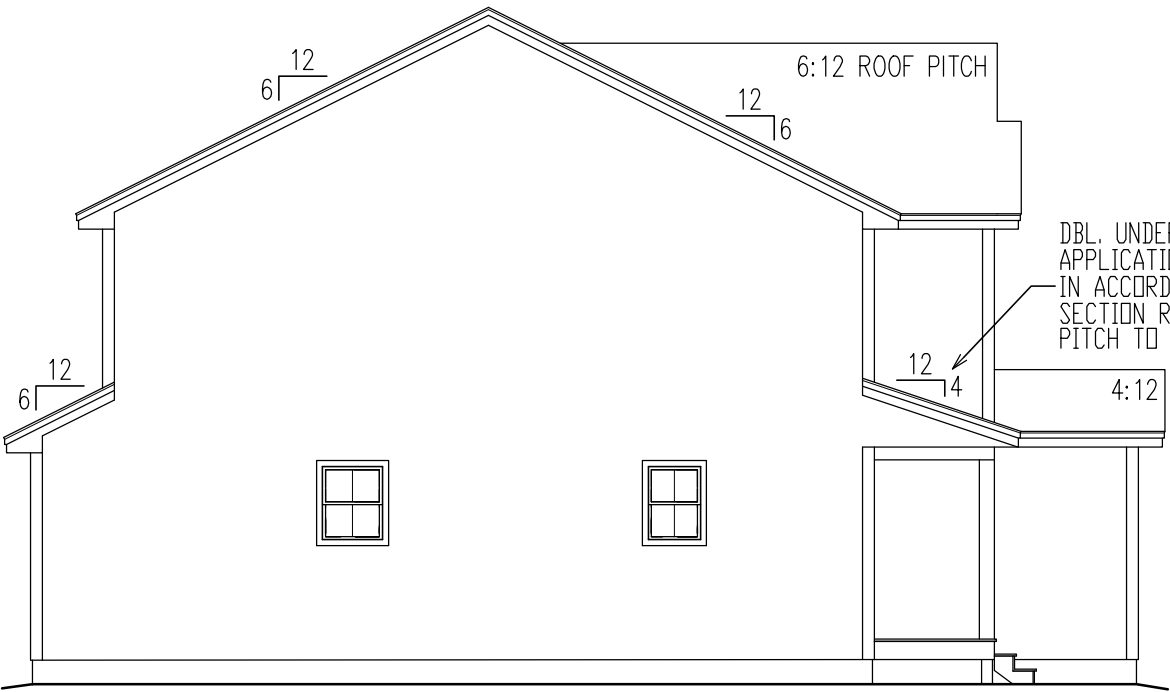
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

SEE SECTIONS R801 -
R806.5 (2021 IRC) FOR DETAILS
ON THE DESIGN AND
CONSTRUCTION OF ALL
ROOF/CLG. SYSTEMS FOR
ALL BUILDINGS

TOP PLATE
17'-0 1/4" A.F.F.

6" CORNER BRDS.
(TYPICAL)

VINYL SIDING

DBL. UNDERLAYMENT
APPLICATION IS REQ'D
IN ACCORDANCE WITH
SECTION R905.2.2 (2:12
PITCH TO 4:12 PITCH)

SECOND FLR
8'-11 1/8" A.F.F.

2x FLOOR JSTS. (SEE
FRAMING NOTES FOR
EXACT SIZES) - SEE
SECTIONS R501 - R507
(IRC) FOR DETAILS ON
THE DESIGN AND
CONSTRUCTION OF ALL
FLOORS FOR ALL
BUILDINGS

FIRST FLR
0'-0" A.F.F.

NOTE:
PORCHES, BALCONIES, RAMPS,
OR RAISED FLOOR SURFACES
LOCATED MORE THAN 30" ABOVE
THE FLOOR OR GRADE BELOW SHALL
HAVE GUARDS NOT LESS THAN 36"
IN HEIGHT.- SEE SECTION R312.1 (IRC)

EXTERIOR FINISH SIDING (VERIFY)
ON TYVEK (OR EQ.) WIND BARRIER ON
A MINIMUM 7/16" PERFORMANCE
CATEGORY WOOD STRUCTURAL
SHEATHING ON TOP OF 2x6 WOOD
STUDS SPACED 16" O.C.

SEE CHAPTER 6 OF THE 2021 IRC
FOR DETAILS ON THE DESIGN AND
CONSTRUCTION OF ALL WALLS &
PARTITIONS FOR ALL BUILDINGS
-BUILDINGS SHALL BE BRACED IN
ACCORDANCE WITH SECTION R602.10
OF THE I.R.C. 2021 (PORTAL FRAME)

NOTE:
EXACT GRADING TO BE DETERMINED
IN THE FIELD - REFER TO SITE PLAN.
PROVIDE RETAINING WALLS
AND/OR STEP FNDN. WALL & FOOTINGS
AS PER SITE CDONATIONS REQUIRE.

DBL. UNDERLAYMENT
APPLICATION IS REQ'D
IN ACCORDANCE WITH
SECTION R905.2.2 (2:12
PITCH TO 4:12 PITCH)

ADMISSION OF ERROR, OMISSION AND/OR OVERSIGHT:
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AS THE DRAFTING COMPANY, WILL RELY ON THE EXPERIENCE
AND JUDGMENT OF THE ARCHITECT, ENGINEER, AND/OR
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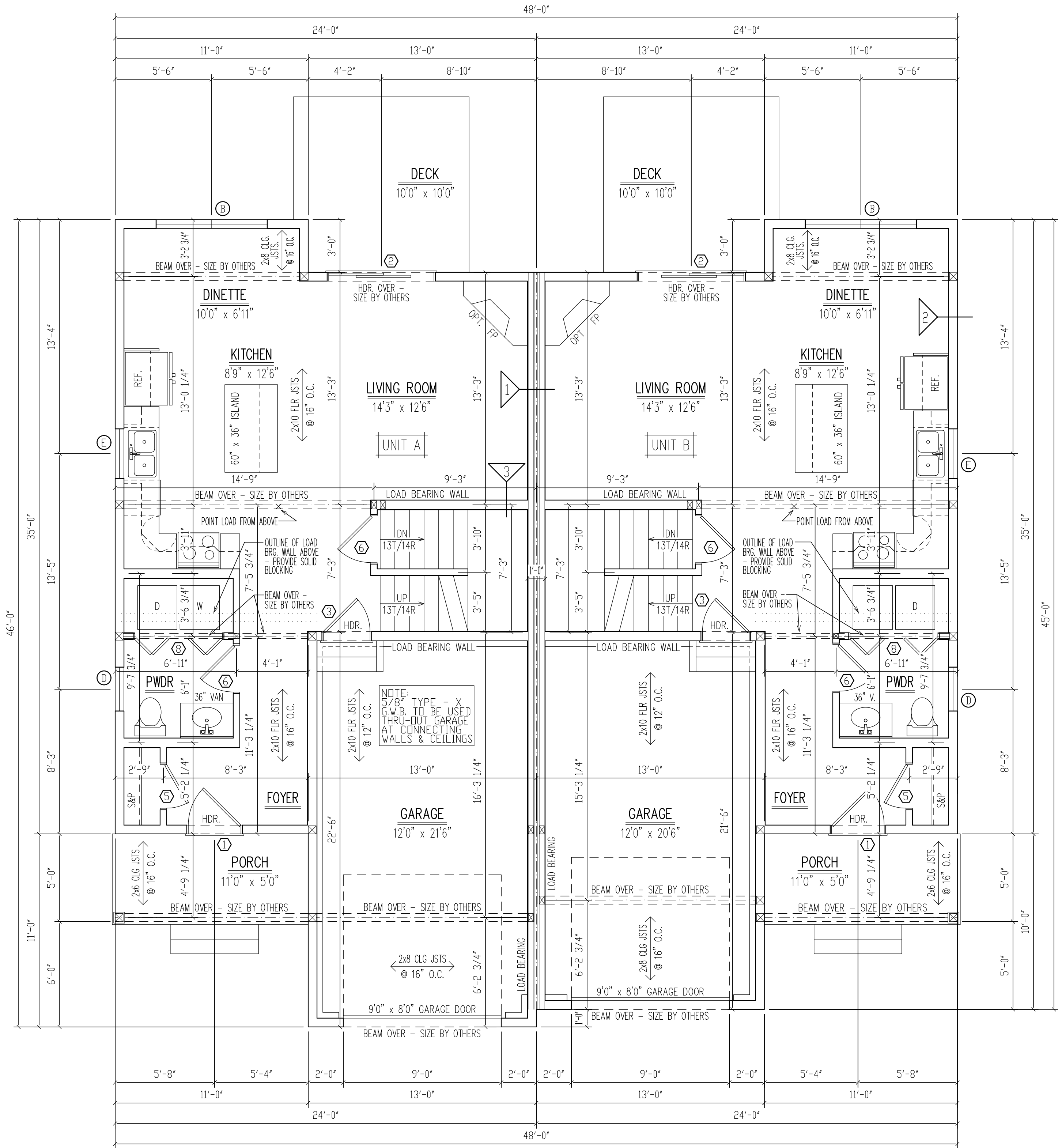
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PREPARED FOR:
EASTERN DEVELOPMENT
LOCATION:
CONCORD, N.H. NEW CONSTRUCTION

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CHECKED BY: JW
DATE DRAWN: 8/11/25
DATE ISSUED: 8/11/25
SCALE: AS INDICATED
JOB NO.: FSM25-050MF

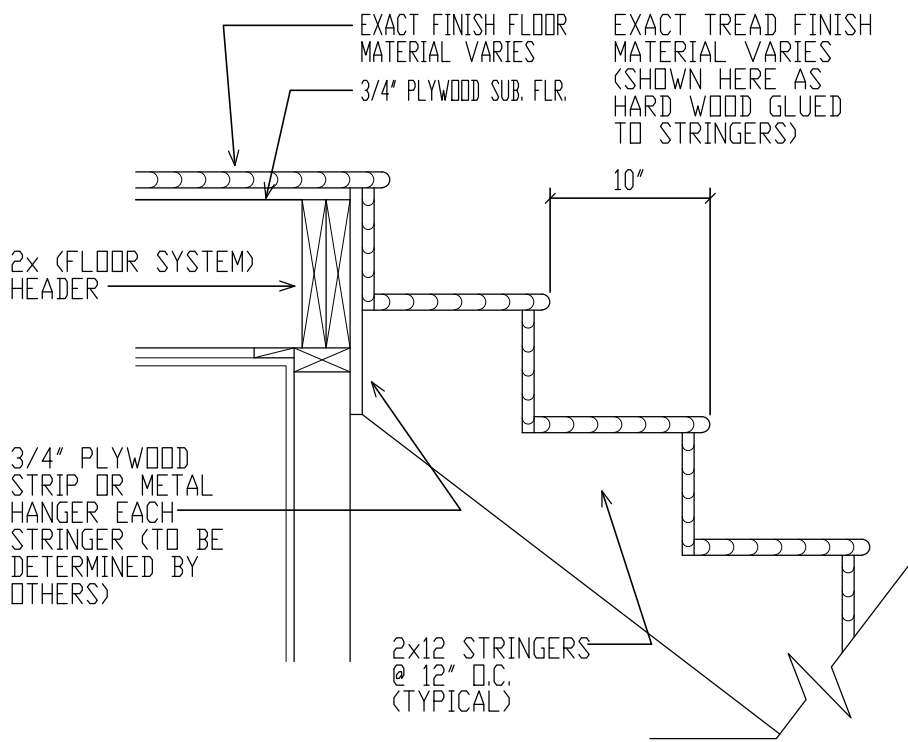
REVISIONS	1	2	3	4	5
7/23/25	PRELIMINARY PLANS RELEASED FOR REVIEW	8/11/25	WORKING DRAWINGS RELEASED FOR REVIEW		

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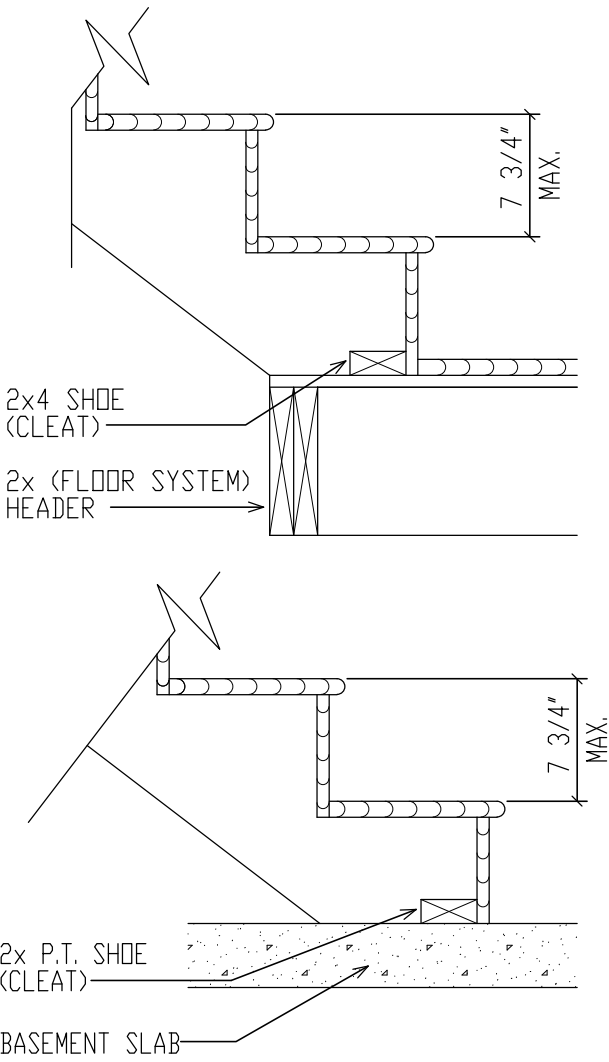
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



GENERIC STAIR DETAILS

SCALE: 1' = 1'-0"



DOOR SCHEDULE				
MARK	QTY	SIZE	RSD	NOTES
1		3'-0" x 6'-8"		FRONT EXTERIOR DOOR
2		6'-0" x 6'-8"		EXT. GLASS SLIDER
3		2'-8" x 6'-8"		INT. FIRE RATED
4		1'-6" x 6'-8"		INTERIOR
5		2'-6" x 6'-8"		INTERIOR
6		2'-8" x 6'-8"		INTERIOR
7		4'-0" x 6'-8"		INTERIOR BI-FOLD DOORS
8		5'-0" x 6'-8"		INTERIOR BI-FOLD DOORS
9				
10				

RSD TO BE DETERMINED BY DOOR MANUFACTURER-
CONTRACTOR TO DETERMINE FINAL DOOR COUNT

WINDOW SCHEDULE				
MARK	QTY	UNIT	RSD	NOTES
A		30410		DOUBLE HUNG (EGRESS)
B		30410-2		2 WIDE DBL. HUNG (EGRESS)
C		CX145		CASEMENT WINDOW (EGRESS)
D		2432		DOUBLE HUNG
E		2832		DOUBLE HUNG
F				

CONTRACTOR TO DETERMINE FINAL WINDOW COUNT
WINDOWS TO HAVE OPENING LIMITING DEVICES AS PER R312 IRC 2021
WINDOWS TO COMPLY WITH SECTION R308 FOR TYPE OF
GLASS AND SAFETY GLAZING STANDARD

(NOTE: ANDERSEN 400 SERIES SIZES ARE GIVEN
ABOVE ONLY FOR THE PURPOSE OF PROVIDING A REFERENCE
FOR COMPARING ROUGH OPENING SIZES WITH ANOTHER
MANUFACTURER. CONSULT CONTRACTOR FOR THE EXACT RD
& WINDOW MANUFACTURER CHOSEN FOR THIS HOME)

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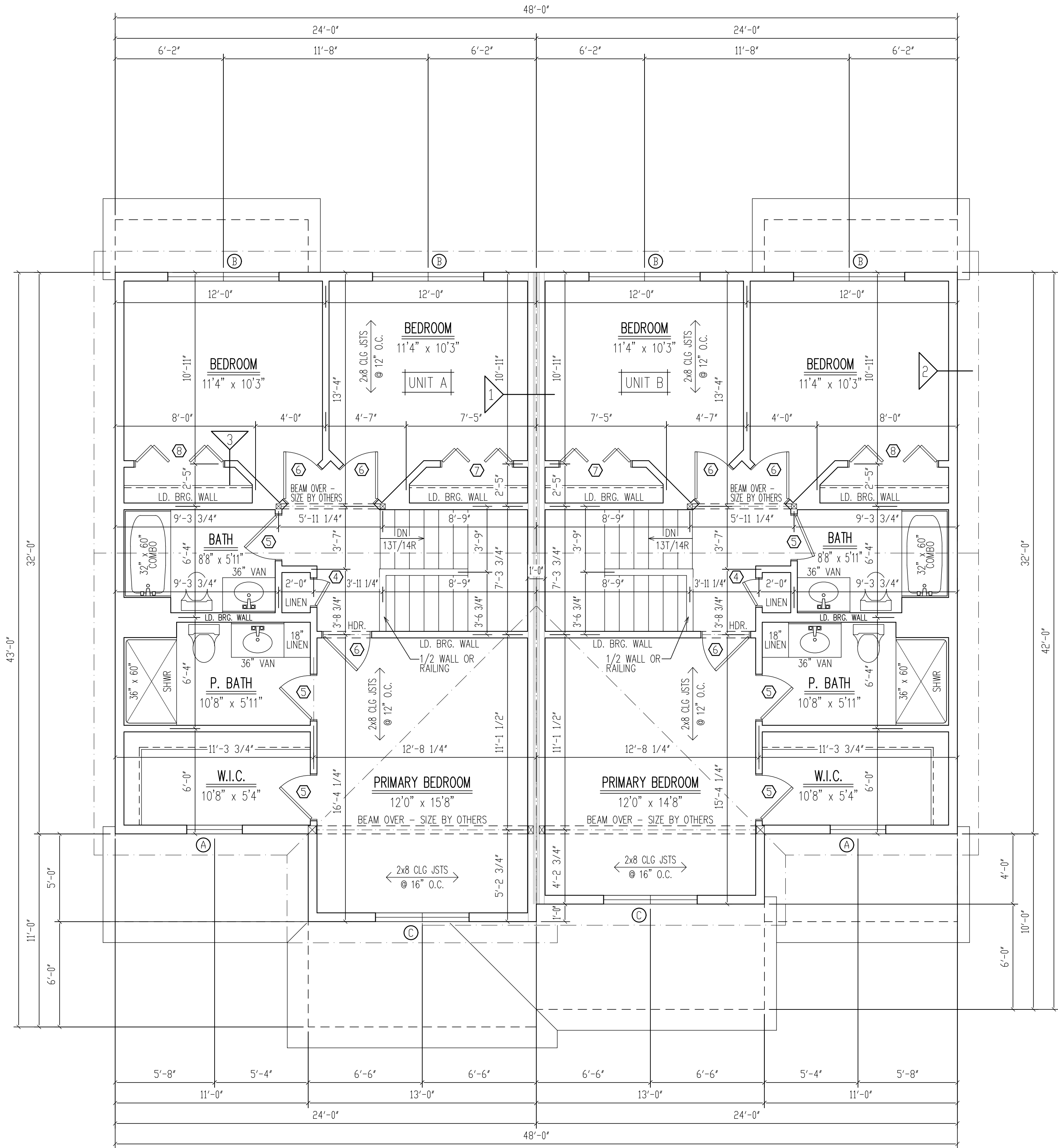
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3						
4						
5						

2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTE:
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2021 INTERNATIONAL
BUILDING CODE.

ENERGY EFFICIENCY NOTE:
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CONTRACTOR TO DETERMINE FINAL WINDOW COUNT

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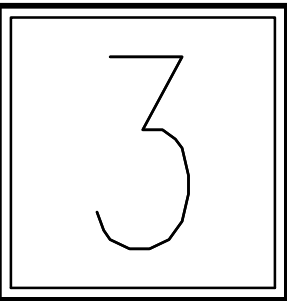
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PREPARED FOR:	EASTERN DEVELOPMENT	
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LOCATION:		

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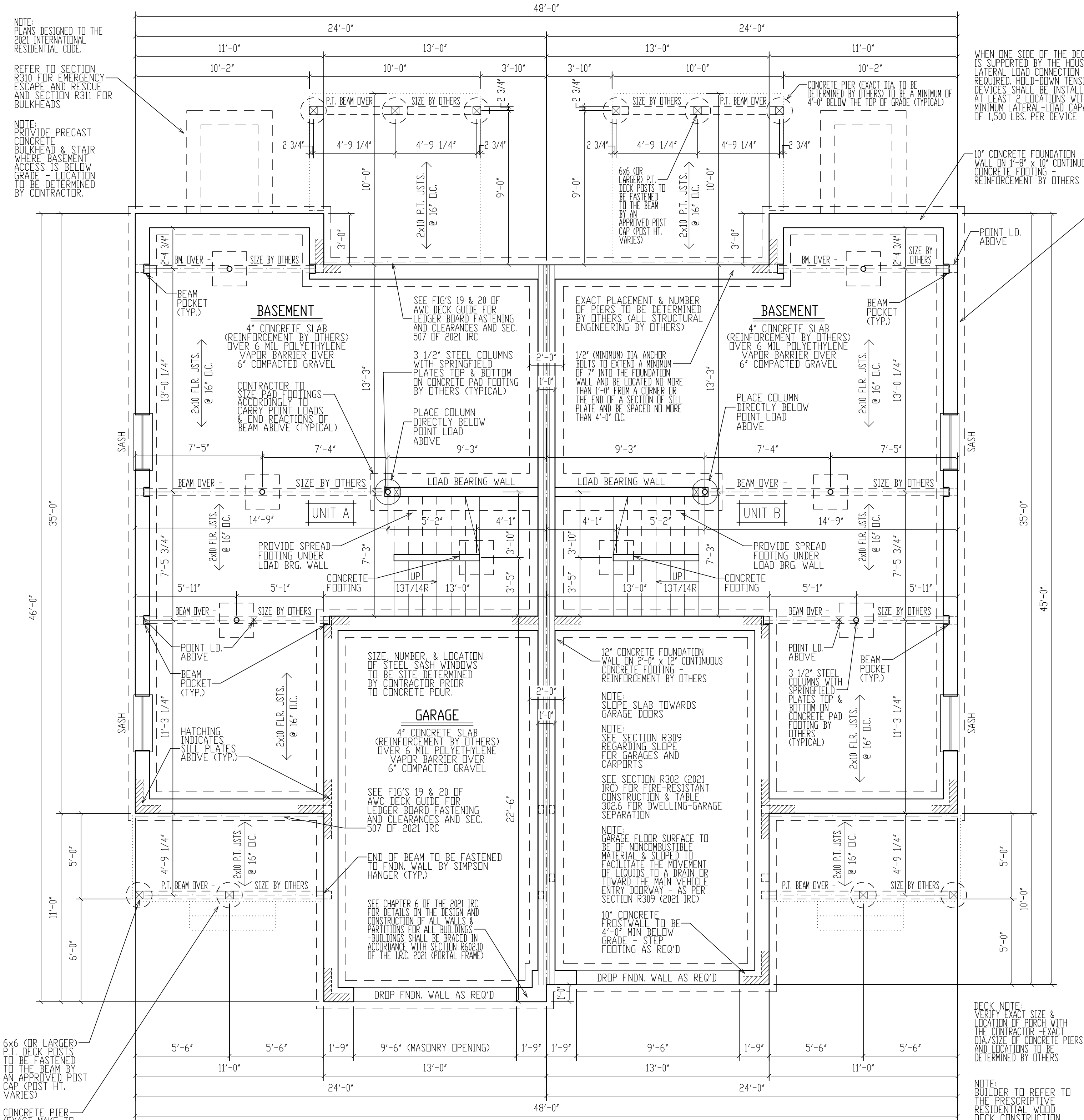
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	1	7/23/25	2	8/11/25	
	1		3		
	2		4		
			5		



NOTE:
PLANS DESIGNED TO THE
2021 INTERNATIONAL
RESIDENTIAL CODE.

REFER TO SECTION
R310 FOR EMERGENCY
ESCAPE AND RESCUE
AND SECTION R311 FOR
BULKHEADS

NOTE:
PROVIDE PRECAST
CONCRETE
BULKHEAD & STAIR
WHERE BASEMENT
ACCESS IS BELOW
GRADE - LOCATION
TO BE DETERMINED
BY CONTRACTOR.



WHEN ONE SIDE OF THE DECK
IS SUPPORTED BY THE HOUSE, A
LATERAL LOAD CONNECTION IS
REQUIRED. HOLD-DOWN TENSION
DEVICES SHALL BE INSTALLED IN
AT LEAST 2 LOCATIONS WITH A
MINIMUM LATERAL-LOAD CAPACITY
OF 1,500 LBS. PER DEVICE

PROVIDE DIAGONAL BRACING
PARALLEL TO THE BEAM AT
EACH CORNER POST GREATER
THAN 2'-0" AS SHOWN IN THE
AWC'S DECK GUIDE FOR
PREScriptive CODE DECK
CONSTRUCTION. DIAGONAL
BRACING IS PROHIBITED FROM
CENTER POSTS. BRACING SHALL
BE FASTENED TO POSTS AND
BEAM WITH 1/2" DIA. LAG
SCREWS.

SEE CHAPTER 4 OF THE 2021
IRC FOR DETAILS ON THE
DESIGN AND CONSTRUCTION
OF THE FOUNDATION AND
FOUNDATION SPACES FOR
ALL BUILDINGS

BALCONIES & DECKS TO BE CONSTRUCTED USING
THE PRESCRIPTIVE WOOD DECK CONSTRUCTION
GUIDE PUBLISHED BY THE AMERICAN WOOD
COUNCIL REFERENCED TO IN THE IRC 2009,
2012, AND 2015. GUIDE AVAILABLE ONLINE AT
AWC WEBSITE OR BY SEARCHING FOR
AWC-DC62015-DECKGUIDE-1405 - SECTION
R507.0, 2021 IRC HAS SIMILAR DETAILS,
TABLES, AND GUIDELINES FOR THE BUILDER

PROVIDE SITE DRAINAGE AWAY FROM
BUILDING FOUNDATION NO LESS
THAN 6 INCHES IN 10 FEET WHERE LOT
LINES, SLOPES OR OTHER PHYSICAL
BARRIERS PROHIBIT 6" IN 10". PROVIDE
DRAINS OR SWALES FOR WATER DRAINAGE.
IMPERVIOUS SURFACES MUST BE SLOPED 2%
AWAY FROM FROM BUILDING.

FOUNDATION GENERAL NOTES:

FOUNDATION NOTES:
FOUNDATION DROPS, PLACEMENT
OF BULKHEAD (IF REQUIRED), AND
NUMBER, SIZE & LOCATION OF
BASEMENT WINDOWS TO BE SITE
DETERMINED - VERIFY IN FIELD
WITH CONTRACTOR PRIOR TO POUR.

CONCRETE FOUNDATIONS:
CONCRETE FOUNDATIONS ARE TO BE
CONSTRUCTED IN ACCORDANCE WITH
CHAPTER 4 OF THE IRC, 2021 -
PAY PARTICULAR ATTENTION TO
SECTION R404 (FOUNDATION WALLS) AND
TABLE R405.1 (PROPERTIES OF SOILS).
REINFORCE FOUNDATION AS PER CODE

FOR VERTICAL REINFORCEMENT
OF FOUNDATION REFER TO TABLE
R405.1 (FOR SOILS CLASSIFICATIONS)
AND TABLE R404.1.2(8) OF THE
IRC 2021 FOR 8"-12" WALLS

SEE TABLE R401.41 FOR PRESUMPTIVE
LOAD-BEARING VALUES OF
FOUNDATION MATERIALS

SEE TABLE R402.2 FOR MINIMUM
SPECIFIED COMPRESSIVE STRENGTH
OF CONCRETE

GEOTECHNICAL ENGINEERING
SERVICES (ON EXISTING CONDITIONS
AND PROPOSED CONSTRUCTION) TO
BE BY OTHERS

SEE SECTIONS R401 - R408
(IRC) FOR DETAILS ON THE
DESIGN AND CONSTRUCTION
OF THE FOUNDATION AND
FOUNDATION SPACES FOR
ALL BUILDINGS
-FOUNDATION WALLS SHALL BE
CONSTRUCTED AS SET FORTH IN
TABLES R404.1.1(1) - R404.1.1(4) AND
SHALL ALSO COMPLY WITH THE
APPLICABLE PROVISIONS OF
SECTIONS R606 - R608
-FOUNDATION CONSTRUCTION SHALL
BE CAPABLE OF ACCOMMODATING ALL
LOADS ACCORDING TO SECTION R301
AND OF TRANSMITTING THE RESULTING
LOADS TO THE SUPPORTING SOIL.

ALL ENGINEERED STEEL/WOOD
BEAMS TO BE CHECKED AND VERIFIED FOR
LOCATION AND SPAN PRIOR TO START OF
BUILDING CODES, INCLUDING ENERGY CODES,
CONSTRUCTION BY CONTRACTOR AND OR
BEAM MANUFACTURER (TYPICAL)

FABRICATION AND MATERIALS SUPPLIED
AND INSTALLED SHALL CONFORM TO ALL
APPLICABLE LOCAL, STATE & NATIONAL
BUILDING CODES, INCLUDING ENERGY CODES,
LIFE SAFETY CODES, AND WHERE APPLICABLE
THE REQUIREMENTS OF THE AMERICAN
DISABILITIES ACT.

CONCRETE FOOTINGS SHALL BE OF
SUFFICIENT DESIGN TO ACCOMMODATE
ALL LOADS ACCORDING TO SECTIONS
R301 & R403
-FOOTINGS SHALL BE SUPPORTED ON
UNDISTURBED NATURAL SOILS OR
ENGINEERED FILL
-MINIMUM SIZES FOR CONCRETE AND
MASDNRY FOOTINGS SHALL BE AS
SET FORTH IN TABLES R403.1(1) THRU
R403.1(3)
-THE FOOTING WIDTH SHALL BE BASED ON
THE LOAD BEARING VALUE OF THE SOIL
IN ACCORDANCE WITH TABLE R401.41

CONTRACTOR TO PROVIDE ADEQUATE
VAPOR BARRIERS UNDER ALL CONCRETE SLABS

DOUBLE UP FLOOR JOISTS @
LOCATIONS OF NON-LOAD
BEARING WALLS AND UNDER
ALL BATHROOMS (I.E. BATHING
TUBS/WHIRLPOOLS), KITCHENS,
LAUNDRY ROOMS, ETC.
(TYPICAL)

NOTE:
EXACT GRADING TO BE DETERMINED
IN THE FIELD DUE TO UNKNOWN SITE
CONDITIONS. PROVIDE RETAINING WALLS
AND/OR STEP FNDN. WALL & FOOTINGS
AS PER SITE CONDITIONS REQUIRE
-EXACT DOOR & WINDOW LOCATIONS
IN BASEMENT TO BE DETERMINED ON SITE

MINIMUM SPECIFIED COMPRESSIVE
STRENGTH OF CONCRETE (TABLE R402.2)

3,000 P.S.I. WALL, FOUNDATIONS & OTHER
CONCRETE NOT EXPOSED TO WEATHER

2,500 P.S.I. CONCRETE FOR BASEMENT SLABS,
INTERIOR SLABS, EXCEPT GARAGE SLABS

3,000 P.S.I. CONCRETE FOR BASEMENT WALLS,
FOUNDATION WALLS, EXTERIOR WALLS, &
OTHER VERTICAL CONCRETE WORK EXPOSED
TO THE WEATHER

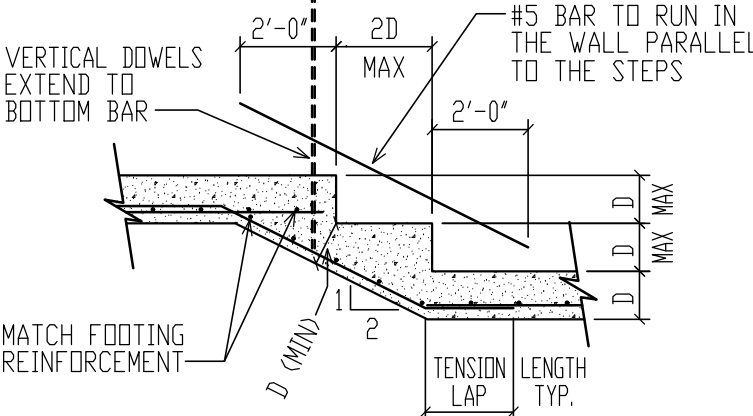
3,500 P.S.I. CONCRETE FOR PORCHES, CARPORT SLABS,
STEPS EXPOSED TO WEATHER, & GARAGE FLOOR SLABS

CONTRACTOR TO PROVIDE ADEQUATE
HEADERS OVER ALL WINDOWS AND DOORS
ON EXTERIOR LOAD-BEARING WALLS (TYP)

CONTRACTOR TO PROVIDE ADEQUATE
BLOCKING AND BRIDGING BETWEEN FLOOR
JOISTS AS REQUIRED (TYPICAL)

2x FLOOR JSTS. (SEE
FRAMING NOTES FOR
EXACT SIZES)
-SEE SECTIONS R501 - R507
(IRC) FOR DETAILS ON THE
DESIGN AND CONSTRUCTION
OF ALL FLOORS FOR ALL
BUILDINGS

STEP FOOTING & FNDN. WALL
TO MAINTAIN 48" MIN. COVER
ABOVE FOOTING AS GRADE
SLOPES - FIELD ADJUST TO
CONDITIONS ON SITE



SIMILAR FOOTING STEP DETAIL

SCALE: 1/4" = 1'-0"

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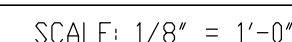
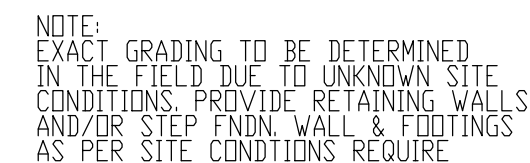
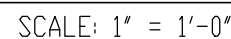
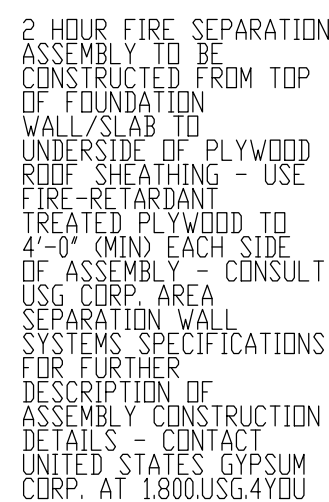
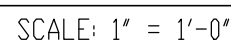
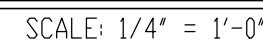
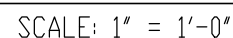
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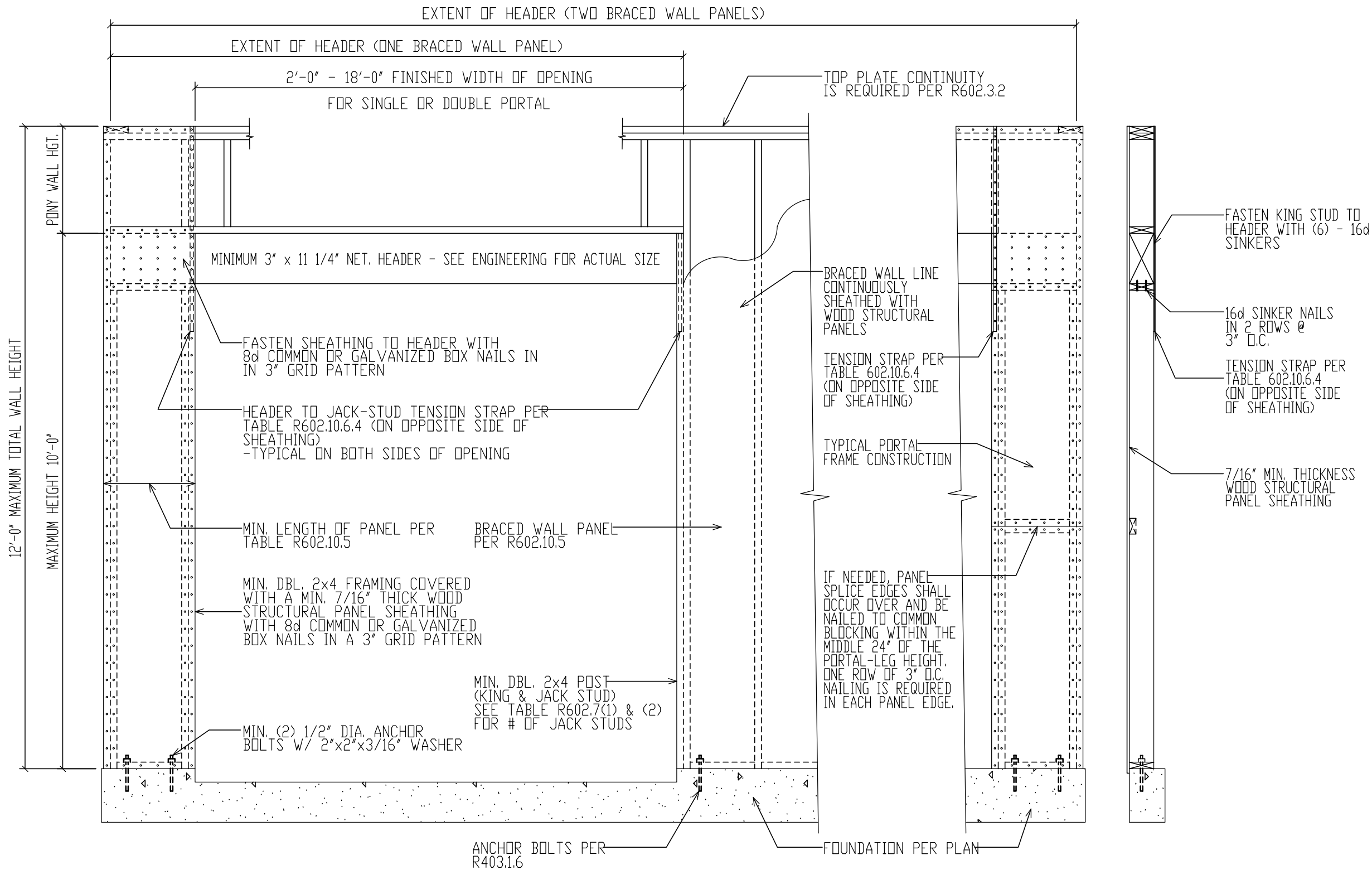
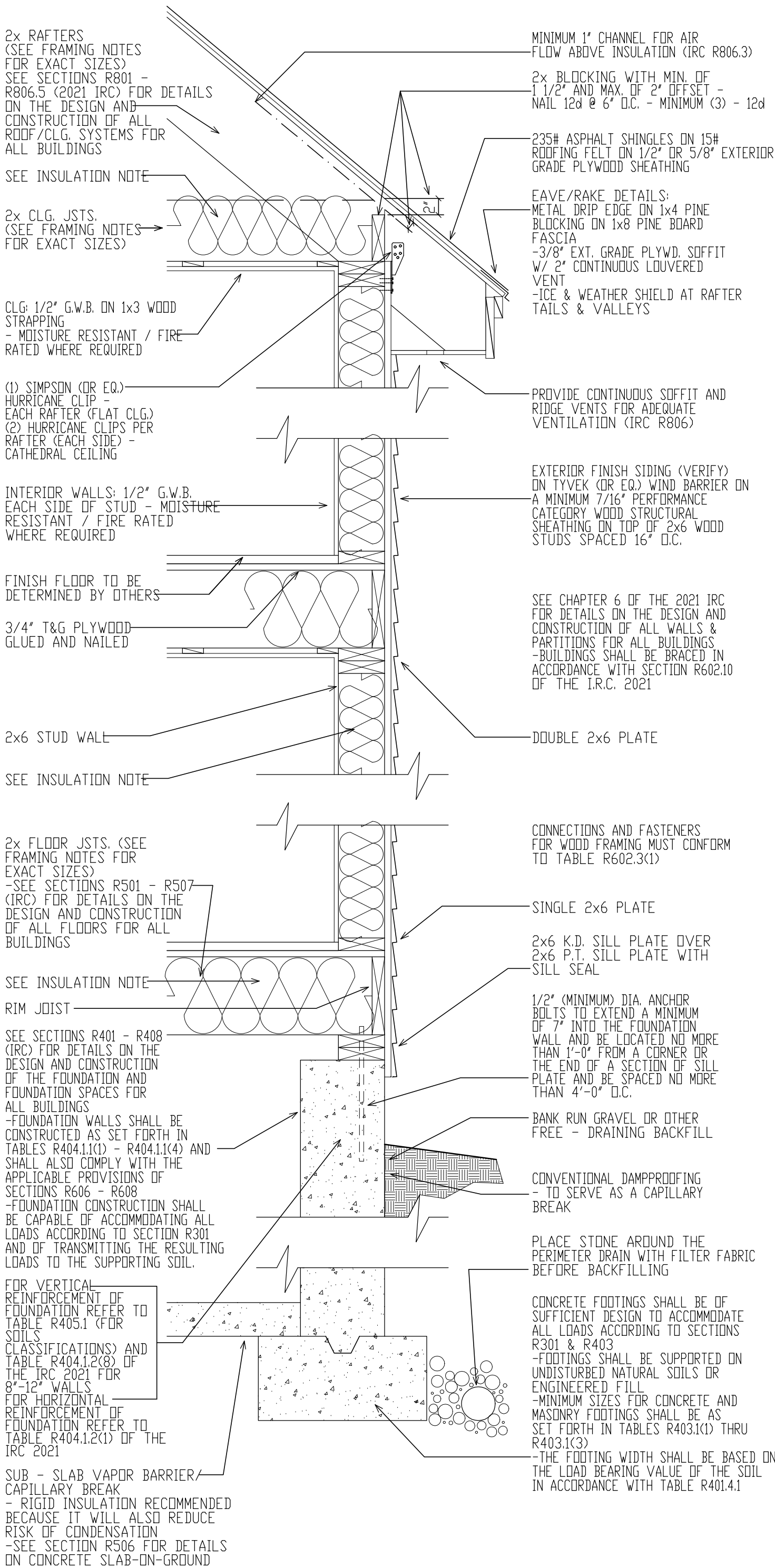
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FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



6



METHOD CS-PF (PORTAL FRAME CONSTRUCTION)

SIMILAR TO FIGURE R602.10.6.4 2021 IRC

GENERAL NOTES:

CONCRETE FOUNDATIONS:
SEE FOUNDATION PLAN (SHEET A-5) FOR FOUNDATION SIZES AND NOTES.

REFER TO FOUNDATION DETAILS (SHEET A-5) FOR REINFORCEMENT SCHEDULE.

ALSO SEE SECTIONS R401 - R408 (2021 IRC) FOR ADDITIONAL DETAILS ON THE DESIGN AND CONSTRUCTION OF THE FOUNDATION AND FOUNDATION SPACES FOR ALL BUILDINGS

CONTRACTOR TO PROVIDE ADEQUATE VAPOR BARRIERS UNDER ALL CONCRETE SLABS

CONTRACTOR TO PROVIDE ADEQUATE HEADERS OVER ALL WINDOWS AND DOORS ON EXTERIOR LOAD-BEARING WALLS (TYP.)

LIFE SAFETY CODES, AND WHERE APPLICABLE THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT.

DOUBLE UP FLOOR JOISTS @ LOCATIONS OF NON-LOAD BEARING WALLS AND UNDER ALL BATHROOMS (I.E. BATHING TUBS/WHIRLPOLLS), KITCHENS, LAUNDRY ROOMS, ETC. (TYPICAL)

CONTRACTOR TO PROVIDE ADEQUATE BLOCKING AND BRIDGING BETWEEN FLOOR JOISTS AS REQUIRED (TYPICAL)

NOTE:
SEE NEW HAMPSHIRE STATE BUILDING CODE (IBC, IPC, IMC, IECC, IRC, & IEBC) AS PUBLISHED BY THE ICC AND THE NATIONAL ELECTRICAL CODE AS PUBLISHED BY THE NFPA FOR IN DEPTH DETAILS ON BUILDING IN ACCORDANCE WITH CITY BUILDING REGULATIONS

IBC INTERNATIONAL BUILDING CODE
IPC INTERNATIONAL PLUMBING CODE
IMC INTERNATIONAL MECHANICAL CODE
IECC INTERNATIONAL ENERGY CONSERVATION CODE
IRC INTERNATIONAL RESIDENTIAL CODE
IEBC INTERNATIONAL EXISTING BUILDING CODE
ICC INTERNATIONAL CODE COUNCIL
NFPA NATIONAL FIRE PROTECTION ASSOCIATION
NEC NATIONAL ELECTRICAL CODE

FABRICATION AND MATERIALS SUPPLIED AND INSTALLED SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES, INCLUDING ENERGY CODES, LIFE SAFETY CODES, AND WHERE APPLICABLE THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT.

ENERGY EFFICIENCY NOTE:
COMPLIANCE SHALL BE DEMONSTRATED BY EITHER MEETING THE REQUIREMENTS OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE OR MEETING THE REQUIREMENTS OF CHAPTER 11 IN THE 2021 INTERNATIONAL RESIDENTIAL CODE

ALL ENGINEERED STEEL/WOOD BEAMS TO BE CHECKED AND VERIFIED FOR LOCATION AND SPAN PRIOR TO START OF CONSTRUCTION BY CONTRACTOR AND OR BEAM MANUFACTURER (TYPICAL)

THE CONTRACTOR IS TO ENSURE WINDOWS MEET PREVAILING BUILDING AND LIFESAFETY CODES FOR MINIMUM EGRESS CLEAR OPENING HEIGHT, WIDTH, AND AREA - THE CONTRACTOR WILL ADJUST WINDOW SCHEDULE ACCORDINGLY.

REFER TO SECTIONS R312.2.1 FOR WINDOW SILL HEIGHT ABOVE GROUND (OR SURFACE BELOW) AND TO SECTION 310 FOR EGRESS WINDOWS & BASEMENTS PRIOR TO PLACING WINDOW ORDER

REFER TO SECTION 311 FOR MEANS OF EGRESS PRIOR TO ORDERING DOORS

MOISTURE VAPOR RETARDERS SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE 2021 I.R.C. SECTIONS R318.1, AND R702.7 MOISTURE CONTROL

ADMISSION OF ERROR, OMISSION AND/OR OVERSIGHT:
WHILE IT IS OUR INTENT TO DELIVER OUR SERVICES FREE OF ERROR, OMISSION OR OVERSIGHT, WE WILL ADMIT TO BE HUMAN, AND, THEREFORE, FSM DRAWINGS LLC, ACTING SOLELY AS THE DRAFTING COMPANY, WILL RELY ON THE EXPERIENCE AND KNOWLEDGE OF THE CONTRACTOR AND ARCHITECT FOR DIMENSIONS, ACCURACY, CONFLICTS, AND APPROPRIATENESS. THE CONTRACTOR USING THESE PLANS ASSUMES ALL RESPONSIBILITY FOR THEM AND WILL IF HE/SHE DEEMS NECESSARY HIRE A LICENSED PROFESSIONAL ENGINEER TO ASSIST IN THE REVIEW.

FSM
DRAWINGS
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PREPARED FOR:
EASTERN DEVELOPMENT

LOCATION:
CONCORD, N.H. NEW CONSTRUCTION

DRAWN BY: AD
CHECKED BY: JW
DATE DRAWN: 8/11/25
DATE ISSUED: 8/11/25
SCALE: AS INDICATED
JOB NO.: FSM25-050MF

REVISIONS	1	7/13/25	PRELIMINARY PLANS RELEASED FOR REVIEW
	2	8/11/25	WORKING DRAWINGS RELEASED FOR REVIEW
	3		
	4		
	5		

7

From: [Hall, David](#)
To: [Skinner, AnneMarie](#)
Subject: FW: City of Concord NH: Your permit application is being reviewed: BP-1367-2025
Date: Tuesday, August 12, 2025 8:32:26 AM
Attachments: [image001.jpg](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.jpg](#)
[Attachment A - Waiver Request - 08.12.25.pdf](#)
[Request for Waiver of Transportation and Recreation Fees - 08.12.25.pdf](#)
[25-050MF - V.2.0 - EASTERN DEVELOPMENT - DUPLEX - CONCORD, NH - Final - 08.11.25.pdf](#)
[image007.jpg](#)

David V. Hall
Code Administrator



City of Concord, NH
Code Administration
603.230.3647
dhall@concordnh.gov

STATEMENT OF CONFIDENTIALITY: The information contained in this electronic message and any attachments to this message may contain confidential and/or privileged information and is intended for the exclusive use of the addressee(s). Please notify Concord's Code Administration office immediately at 603.225.8580 or reply to this email if you are not the intended recipient and destroy all copies of this electronic message and any attachments.

Please use the link below to apply for and manage City of Concord permits:

https://egselfservice.concordnh.gov/EnerGov_Prod/SelfService#/home

From: Massicotte, Jason <JMassicotte@ConcordNH.gov>
Sent: Tuesday, August 12, 2025 8:06 AM
To: Hall, David <DHall@ConcordNH.gov>
Subject: FW: City of Concord NH: Your permit application is being reviewed: BP-1367-2025

Thank you,

Jason Massicotte

Housing | Building Inspector



Code Administration | City of Concord

37 Green St

Concord, NH 03301

603-230-3649 Direct

603-225-2580 Office

[Jmassicotte@ConcordNH.gov](mailto:jmassicotte@ConcordNH.gov)

<https://www.concordnh.gov/>



Please note: As of July 22nd 2022 the City of Concord has transitioned to an online permit application system, please visit:

https://egselfservice.concordnh.gov/EnerGov_Prod/SelfService#/home

From: Ryan Taber <ryan@eastern-development.com>

Sent: Tuesday, August 12, 2025 7:45 AM

To: Massicotte, Jason <JMassicotte@ConcordNH.gov>

Subject: RE: City of Concord NH: Your permit application is being reviewed: BP-1367-2025

[CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe]

Jason,

Plans were sent over in another email, also attached here. Please confirm acceptance of those plans.

Concord has impact fees and incredibly high property taxes; it doesn't make sense.

Please see the attached formal request for waiver of the fees. If this needs to be sent to someone else, please let me know and I will forward it.

The building permit must be ready for issuance prior to the variance decision. I need confirmation that the application will be fully processed and complete before the variance meeting so there is no administrative delay. This can be in an "approval" status pending the variance decision.

I cannot wait another 30 days after the hearing for the variance for the permit to be issued if the

variance is granted.

Please review and let me know.

Thanks,

Ryan Taber
Eastern Development
(603) 333-0147

From: Massicotte, Jason <JMassicotte@ConcordNH.gov>
Sent: Tuesday, August 5, 2025 9:57 AM
To: Ryan Taber <ryan@eastern-development.com>
Subject: RE: City of Concord NH: Your permit application is being reviewed: BP-1367-2025

Ryan,
Impact fees are a onetime fee and have no impact on the property taxes. The planning and zoning department can give you more in-depth information about the fees.

Please send over detailed construction plans for the duplex to include foundation, floor and roof or truss information. I will also need an EC-1 form or Rescheck.

Thank you,

Jason Massicotte

Housing | Building Inspector



Code Administration | City of Concord
37 Green St
Concord, NH 03301
603-230-3649 Direct
603-225-2580 Office
Jmassicotte@ConcordNH.gov
<https://www.concordnh.gov/>



Please note: As of July 22nd 2022 the City of Concord has transitioned to an online permit application system, please visit:

https://egselfservice.concordnh.gov/EnerGov_Prod/SelfService#/home

From: Ryan Taber <ryan@eastern-development.com>
Sent: Tuesday, August 5, 2025 8:13 AM
To: Do Not Reply <donotreply@concordnh.gov>; douglas.dorn@libertyutilities.com
Cc: Massicotte, Jason <JMassicotte@ConcordNH.gov>
Subject: RE: City of Concord NH: Your permit application is being reviewed: BP-1367-2025

[CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe]

Hey Jason,

What are transportation and recreation impact fees? Is there a reduction in property taxes with the assessed impact fees?

Thanks,

Ryan Taber
Eastern Development
(603) 333-0147

From: donotreply@concordnh.gov <donotreply@concordnh.gov>
Sent: Monday, August 4, 2025 8:57 AM
To: Ryan Taber <ryan@eastern-development.com>; douglas.dorn@libertyutilities.com
Cc: jmassicotte@concordnh.gov
Subject: City of Concord NH: Your permit application is being reviewed: BP-1367-2025

Hello Ryan Taber,

I am reviewing your building permit application.
The description of work contains one or more new dwelling units.
All new dwelling units will be assessed transportation and recreation impact fees.

Permit Type: "CD - Building" permit.
Address: Sewalls Falls Rd

Before the application can be approved:

- Conformance with the Energy Code will need to be verified, including continuous insulation.
- A driveway permit may need to be issued.
- The Engineering Division may need to issue Utility permits for water and sewer connections.
- The Planning and Zoning Division may need to sign-off for approval.

- The Engineering Division may need to sign-off for approval.

Before a Certificate of Occupancy can be issued:

- The dwelling unit must be connected to the City sewer or a NH DES septic Approval For Operation will be required.
- The dwelling unit must be connected to the City water system or a well water test result will be required demonstrating the water is potable and free of: total coliform bacteria, e-coli bacteria, nitrates, and nitrites.
- A blower door test result demonstrating 5.0 or less ACH will be required.
- All impact fees must be paid.

If you have questions please call so I can help.

[Click here to manage your permits.](#)

Sincerely,

Jason Massicotte - Housing / Building Inspector
37 Green Street
Concord, NH 03301
603-230-3649



From: [Ryan Taber](#)
To: [Skinner, AnneMarie](#)
Cc: [Hall, David](#)
Subject: RE: Impact fees for duplex at Sewalls Falls Rd
Date: Wednesday, August 13, 2025 12:30:34 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[Attachment A - Waiver Request - Sewalls Falls- 08.12.25.pdf](#)
[Independent Impact Fee Calculation - Impact Fee Waiver request Sewalls Falls Road - 08.13.25.pdf](#)
[Request for Waiver of Transportation and Recreation Fees - Sewalls Falls - 08.12.25.pdf](#)
[Attachment A - Waiver Request - 3 Palm St. - 08.12.25.pdf](#)
[Independent Impact Fee Calculation - Impact Fee Waiver Request 3 Palm St. - 08.13.25.pdf](#)
[Request for Waiver of Transportation and Recreation Fees - 3 Palm St. - 08.12.25.pdf](#)

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AnneMarie,

While you assert that the impact fees were *determined* on August 7, 2025, by attaching a worksheet to the building permit application, such action does not constitute a lawful or enforceable *determination* for purposes of triggering the waiver deadline. No direct written notice of this determination was provided to me, there is no attachment to this in the permit portal at this time and the fees were neither invoiced nor issued as a payable obligation.

Under Section 29.2-1-2(e)(1), the waiver deadline is tied to the “date of the determination of the impact fee.” A determination that is never formally communicated to the applicant cannot start the clock on a deadline that would cut off a substantive right. This interpretation is consistent with fundamental principles of procedural fairness and due process under New Hampshire law, which require that an affected party receive clear and timely notice before a legal right can be forfeited. Moreover, the ordinance does not prohibit the submission of a waiver request after a preliminary internal calculation but before the formal issuance of an invoice or bill. Without proper notification, there is no legal or equitable basis to treat an uncommunicated internal calculation as the final, binding determination contemplated by the ordinance.

Please see the attached waiver, attachment A and proposed fee calculation for both Sewalls Falls Road and 3 Palm Street.

Please review and advise on next steps.

Ryan Taber
Eastern Development
(603) 333-0147

From: Skinner, AnneMarie <ASkinner@ConcordNH.gov>
Sent: Wednesday, August 13, 2025 12:03 PM
To: Ryan Taber <ryan@eastern-development.com>
Cc: Hall, David <DHall@ConcordNH.gov>
Subject: RE: Impact fees for duplex at Sewalls Falls Rd

Ryan,

I did determine the fees on August 7, 2025, and attached the worksheet to the building permit application available online. Code Administration has not invoiced the fees, but the ordinance specifically states "prior to the date of the determination of the impact fee" and says nothing about notification or invoicing; therefore, I believe the waiver request is still not valid. You feel the waiver request is valid. Regardless of validity, the waiver request from the entirety of the impact fees is denied.

If you wish to pursue a reduction in the impact fee amount, please submit a proposed fee calculation with your methodology and reasoning as soon as possible. I will be happy to review your proposal and discuss whether we can agree on a reduced impact fee for this project. If we cannot come to an agreement, you may pursue your reduction request with the Planning Board.

AnneMarie Skinner, AICP

City Planner



City of Concord
41 Green Street, Concord NH 03301
(603) 230-3636

askinner@concordnh.gov

www.concordnh.gov



From: Ryan Taber <ryan@eastern-development.com>

Sent: Wednesday, August 13, 2025 11:18 AM

To: Skinner, AnneMarie <ASkinner@ConcordNH.gov>

Cc: Hall, David <DHall@ConcordNH.gov>

Subject: RE: Impact fees for duplex at Sewalls Falls Rd

[CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe]

AnneMarie,

When was the fee assigned because I have not seen the actual fee, not has it been sent to me electrically or by physical mail. It is also not in the portal. Thus, there is no fee assigned by the clerk that has been presented to me so the waiver request should stand.

Please advise.

Thanks,

Ryan Taber
Eastern Development
(603) 333-0147

From: Skinner, AnneMarie <ASkinner@ConcordNH.gov>

Sent: Wednesday, August 13, 2025 10:44 AM

To: Ryan Taber <ryan@eastern-development.com>

Cc: Hall, David <DHall@ConcordNH.gov>

Subject: Impact fees for duplex at Sewalls Falls Rd

Ryan,

Section 29.2-1-2(e)(1) states: "An applicant may apply for a waiver of all or part of the impact fees that are payable with respect to new development or redevelopment, as provided in this section. The applicant must request a waiver prior to the date of the determination of the impact fee by the Clerk."

The date of the determination of the impact fee was August 7, 2025. Your waiver request was received on August 12, 2025, which is **after** the impact fee determination date; therefore, the waiver request is not valid.

Under Section 29.2-1-2(b)(5)-(9), an applicant may elect to dispute the amount of an impact fee. In so doing, the applicant "may prepare and submit to the Clerk an independent fee calculation study for the new development that is proposed."

(6) The Clerk shall review such study, but is not required to accept any study deemed to be inaccurate or unreliable.

(7) If an acceptable independent fee calculation study is presented, the Clerk may, but is not obligated to, adjust the amount of the impact fee for the new development, taking into consideration the information and data presented in the independent fee calculation study.

(8) All costs incurred by the City to review the applicant's independent fee calculation study (including the cost to hire an outside consultant to review the study) shall be paid by the applicant in advance.

(9) If an applicant cannot agree with the Clerk as to the appropriate adjustment to an impact fee based upon an independent fee calculation, the applicant may request a hearing before the Planning Board on the appropriate adjustment to an impact fee based upon an independent fee calculation. The Planning Board's decision on the issue shall be final.

If you wish to pursue a reduction in the impact fee amount, please submit a proposed fee calculation with your methodology and reasoning as soon as possible. I will be happy to review your proposal and discuss whether we can agree on a reduced impact fee for this project. If we cannot come to an agreement, you may pursue your reduction request with the Planning Board.

Thank you,

AnneMarie Skinner, AICP

City Planner



City of Concord

41 Green Street, Concord NH 03301

(603) 230-3636

askinner@concordnh.gov

www.concordnh.gov



Attachment A - Impact Fee Proportionality Analysis

Project: Two-Unit Residential Duplex - Sewalls Falls Road (Map 202, Block Z, Lot 21)

I. Applicable Legal Authority

Authority	Provision	Relevance
RSA 674:21, V(e)	Requires waiver/reduction when actual impacts are less than those assumed by the fee schedule.	Statutory authority for proportional adjustments.
Concord Code §29.2-2(b)	Authorizes the Planning Board/Code Administrator to grant fee waivers when impacts are less than the adopted schedule.	Local ordinance basis for adjustment.
Banfield v. Town of Sanbornton (1992)	Fees must relate to actual impacts; disproportionate fees are impermissible exactions.	NH Supreme Court precedent.
Home Builders Association of N.H. v. Town of Milton (2010)	Affirms proportionality standard and limits on municipal impact fees.	NH Supreme Court precedent.

II. Fee Assessment vs. Actual Project Impact

Category	City Assumption (Fee Schedule)	Actual Project Impact	Variance
Transportation Impact Fee	Assumes avg. weekday trips for general residential; future capital demand.	Two units in a built-out area; no road extensions, signals, or capital upgrades needed.	Actual demand, negligible
Recreation Impact Fee	Per-unit share of city-wide recreation facility expansion.	No measurable increase in demand; nearby facilities have available capacity.	No proportional need
Total Assessed Fees	\$3,000+ (combined categories)	Actual proportional cost is near \$0 in new capital facilities.	>90% over-assessment

III. Demonstrated Disproportionality

- Scale of project: Only two units; far below baseline assumptions used in the fee schedule.
- Location context: Infill lot within an existing infrastructure network.
- Policy conflict: Non-residential uses are exempt despite higher impacts.

IV. Requested Adjustment

In accordance with RSA 674:21, V(e) and Concord Code §29.2-2(b):

- 1) Full waiver of both transportation and recreation impact fees; or
- 2) Reduction proportionate to actual impact (suggested reduction $\geq 90\%$).

Ryan Taber
Eastern Development
P.O. Box 2671
Concord, NH 03302
ryan@eastern-development.com

August 12, 2025

Director of Planning
City of Concord – Planning Division
41 Green Street
Concord, NH 03301

Re: Formal Request for Waiver or Reduction of Transportation and Recreation Impact Fees

Project Type and Location: Two-Unit Residential Duplex, Sewalls Falls Road Concord, NH
(Lot Map 202, Block Z, Lot 21)

To Whom It May Concern,

I respectfully request a waiver or substantial reduction of the transportation and recreation impact fees for the proposed duplex noted above. This request is made under RSA 674:21, V(e) and Chapter 29.2 of the Concord Code of Ordinances, both of which provide for relief when a project's actual impacts are less than those assumed by the adopted fee schedule.

1. Legal Basis

- RSA 674:21, V(e) requires a waiver or reduction where a development “will not have an impact proportional to that which is typically assessed.”
- Concord Code §29.2-2(b) authorizes the Planning Board or Code Administrator to grant such relief.
- In *Banfield v. Town of Sanbornton*, 136 N.H. 517 (1992), the NH Supreme Court held that municipal fees must have a rational relationship to the actual demand generated; disproportionate or arbitrary fees are impermissible exactions.
- In *Home Builders Association of N.H. v. Town of Milton*, 161 N.H. 61 (2010), the Court reaffirmed that impact fees must meet the proportionality standard.

2. Disproportionate Effect on This Project

- Total fees exceed \$3,000, a significant cost relative to this small-scale infill project.

- The lot is fully served by existing streets, sidewalks, and utilities; no additional capital facilities are required.
- Actual transportation and recreation demand from two dwelling units is negligible compared to the baseline assumptions used in the fee schedule.

3. Policy Inconsistency

- Concord exempts non-residential development from these fees, even where such uses generate far greater traffic and infrastructure demand.
- A small duplex is fully assessed despite producing minimal measurable impact. This disparity lacks a rational basis and conflicts with Concord's Master Plan goals for infill housing and affordability.

4. Local Context

- Chapter 29.2 expressly permits waivers when impacts are demonstrably less than standard rates.
- In recent Planning Board discussions (2025), members have recognized that the current fee structure burdens small-scale housing while exempting high-impact commercial projects.
- Granting this request would be consistent with Concord's stated housing objectives and equitable fee administration.

5. Relief Requested

Pursuant to RSA 674:21, V(e) and Chapter 29.2, I request that the Planning Division:

1. Waive the transportation and recreation impact fees in full; or
2. Reduce the fees proportionally to reflect the minimal actual impact of this project.

Please confirm receipt and advise if any additional documentation is required to proceed.

Thank you for your consideration.

Sincerely,

Ryan Taber
Eastern Development