

**OWNER**

MAP 6443 Z LOT 27  
 CIBOROWSKI ASSOCIATES, LLC.  
 18 NORTH MAIN STREET, SUITE 202  
 CONCORD, NH 03301

MAP 6443 Z LOT 28  
 PHENIX HALL, LLC.  
 18 NORTH MAIN STREET, SUITE 202  
 CONCORD, NH 03301

**ENGINEER**

NORTHPOINT ENGINEERING, LLC  
 119 STORRS ST., STE 201  
 CONCORD, NH 03301

**ABUTTERS**

MAP 6443 Z LOT 10  
 107 STORRS STREET, LLC.  
 P.O. BOX 2703  
 CONCORD, NH 03302

MAP 6443 Z LOT 25  
 PHENIX LIVERY, LLC.  
 18 NORTH MAIN STREET, SUITE 202  
 CONCORD, NH 03301

MAP 6443 Z LOT 26  
 BERAT HOLDINGS, LLC.  
 64 NORTH MAIN STREET,  
 CONCORD, NH 03301

MAP 6443 Z LOT 29  
 HADGES PROPERTY HOLDINGS, LLC.  
 27 CONANT DRIVE  
 CONCORD, NH 03301

MAP 6443 Z LOT 30  
 JAMES ON DEPOT, LLC.  
 68 INDUSTRIAL WAY  
 WILMINGTON, MA 01887-3434

**ARCHITECT**

SHEERR McCRYSTAL PALSON  
 ARCHITECTURE, INC.  
 30 SOUTH MAIN STREET, BUILDING TWO  
 CONCORD, NH 03301

**SURVEYOR**

RICHARD D. BARTLETT & ASSOC. LLC.  
 214 NORTH STATE STREET  
 CONCORD, NH 03301

MAP 6443 Z LOT 31  
 7-7.5 DEPOT STREET, LLC.  
 119 MAIN STREET  
 NASHUA, NH 03060-2718

MAP 6443 Z LOT 39  
 HAROLD E. & JUDITH A. EKSTROM  
 33 WARREN STREET, SUITE 2  
 CONCORD, NH 03301

MAP 6444 Z LOT 22  
 CAPITAL PLAZA CONCORD, LLC.  
 c/o FOXFIRE PROPERTY MANAGEMENT, INC.  
 P.O. BOX 1438  
 CONCORD, NH 03302

MAP 6444 Z LOT 23  
 VINO, LLC.  
 75 SOUTH MAIN STREET, UNIT 7 PMB135  
 CONCORD, NH 03301-4935

MAP 6444 Z LOT 33  
 PRM HOLDINGS, LLC.  
 40 STARK STREET  
 MANCHESTER, NH 03101-1979

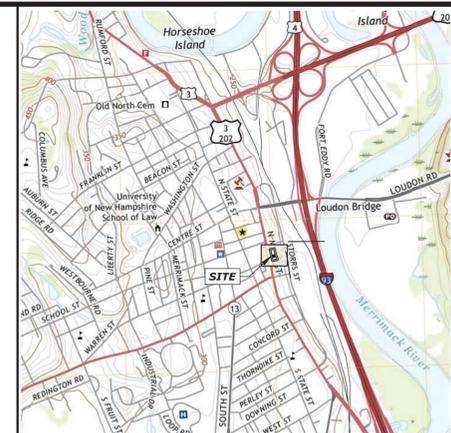
# SITE IMPROVEMENT PLANS

PREPARED FOR:

## PHENIX BLOCK REDEVELOPMENT & PHENIX HALL RENOVATIONS

MAP 6443Z LOTS 27 & 28

34 TO 56 NORTH MAIN STREET  
 CONCORD, NEW HAMPSHIRE



**VICINITY MAP**  
 SCALE: 1"=2,000'±



**AREA PLAN**  
 SCALE: 1"=40'±

**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
□	STONE BOUND	■
○	IRON PIPE/PIN	●
⊙	DRILL HOLE	⊙
⊕	BENCHMARK	⊕
⊗	CATCH BASIN	⊗
⊖	DRAIN MANHOLE	⊖
⊙	SEWER MANHOLE	⊙
○	CLEANOUT	○
○	MONITORING WELL	○
○	UTILITY VALVE	○
○	WATER SHUT-OFF VALVE	○
○	FIRE HYDRANT	○
○	WELL	○
○	SIGN	○
○	BOLLARD	○
○	UTILITY POLE	○
○	GUY WIRE	○
○	TREE	○
○	SHRUB	○
○	WETLAND SYMBOL	○
○	SPOT GRADE	○
○	WETLAND LIMITS	○
○	EDGE OF WATER	○
○	BOUNDARY	○
○	ABUTTER LINE	○
○	EASEMENT	○
○	EDGE OF PAVEMENT	○
○	CONTOUR (2-FT)	○
○	CONTOUR (10-FT)	○
○	WATER LINE	○
○	SEWER LINE	○
○	SEWER FORCE MAIN	○
○	GAS LINE	○
○	DRAINAGE LINE (<12")	○
○	DRAINAGE LINE (>12")	○
○	UNDERDRAIN	○
○	UNDERGROUND UTIL.	○
○	OVERHEAD UTIL.	○
○	STONEMASS	○
○	RET WALL	○
○	FENCE	○
○	SILT FENCE	○
○	TREELINE	○

**SHEET INDEX**

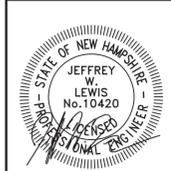
NO.	TITLE	LAST REVISED
--	COVER SHEET	01/21/26
1	EXISTING CONDITIONS PLAN	01/21/26
2	REMOVALS PLAN	01/21/26
3	SITE PLAN	01/21/26
4	GRADING & DRAINAGE PLAN	01/21/26
5	UTILITIES PLAN	01/21/26
6	UTILITIES PROFILES	01/21/26
7	EROSION CONTROL PLAN	01/21/26
8-11	CONSTRUCTION DETAILS	01/21/26
L1 OF 2	SITE LIGHTING LAYOUT	01/21/26
L2 OF 2	LIGHTING FIXTURE SCHEDULE	01/21/26

**APPROVED**  
 UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36  
**CITY PLANNING BOARD**  
 CITY OF CONCORD, NEW HAMPSHIRE  
 In accordance with vote of the board dated: \_\_\_\_\_  
 Approval of this plat is limited to lots as shown.  
 Clerk \_\_\_\_\_ Chair \_\_\_\_\_

**PERMITTING PLANS**  
 -NOT FOR CONSTRUCTION-

**COVER SHEET**  
 PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
 MAP 6443Z LOTS 27 & 28  
 34 TO 56 NORTH MAIN STREET  
 CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.  
 & CIBOROWSKI ASSOCIATES, LLC  
 18 NORTH MAIN STREET, SUITE 202  
 CONCORD, NH 03301



**REVISIONS:**

NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

**NORTHPOINT ENGINEERING, LLC**  
 Civil Engineering Land Planning Construction Services  
 119 Storrs St, Ste 201  
 Concord, NH 03301  
 Tel 603-226-1166  
 Fax 603-226-1160  
 www.northpointeng.com

DATE: OCT. 2025  
 PROJ.: 19017.1  
 SCALE: AS SHOWN  
 SHEET: ----

FILE: G:\\_projects\19017\_1\19017\_1\_COVER.dwg BY: James DATE: 21 Jan 2026 - 2:01pm

**LEGEND**

- PROPERTY LINE
  - EDGE OF PAVEMENT
  - EDGE OF GRAVEL
  - OVERHEAD UTILITY LINES
  - DRAINAGE LINE
  - S
  - G
  - T
  - U
  - UNDERGROUND ELECT.
  - DYL
  - SWL
  - VGC OR SGC
  - EDGE OF WOODS
  - CONCRETE
- CONIFEROUS TREE
  - SHRUB
  - DECIDUOUS TREE
  - ARTESIAN WELL
  - IRON PIPE OR REBAR
  - GRANITE OR CONCRETE BOUND (GB OR CB)
  - UTILITY POLE
  - LIGHT POLE
  - SEWER MANHOLE
  - DRAIN MANHOLE
  - CATCH BASIN
  - HYDRANT
  - WATER SHUTOFF
  - WATER VALVE
  - IRRIGATION CONTROL VALVE
  - GAS SHUTOFF

- 6443Z/22**  
CAPITAL PLAZA COMMON LLC  
PO Box 1438  
Concord, NH 03301  
Vol. 3545, Page 2751  
57-81 North Main Street
- 6444Z/23**  
VINO LLC  
75 South Main Street Unit 7  
Concord, NH 03301  
Vol. 2568, Page 599  
53-55 North Main Street
- 6444Z/33**  
PRM HOLDINGS, LLC  
40 Stark Street  
Manchester, NH 03101  
Vol. 3453, Page 725  
41-51 North Main Street
- 6443Z/39**  
HAROLD A ECKSTROM  
36 Warren Street, Ste 2  
Concord, NH 03301  
Vol. 2133, Page 177  
25-35 North Main Street

**LOT SYNOPSIS**

MAP 6443Z, LOTS 28 & 28A  
TOTAL AREA & USEABLE AREA  
9,550 SQ. FT. OR 0.22 ACRES  
EXISTING LOT COVERAGE

BUILDING	7,279 SQ. FT.
PAVEMENT	2,271 SQ. FT.
EXISTING COVERAGE	9,550 SQ. FT.

EXISTING COVERAGE = 100%

MAP 6443Z, LOT 27  
TOTAL AREA & USEABLE AREA  
14,454 SQ. FT. OR 0.33 ACRES  
EXISTING LOT COVERAGE

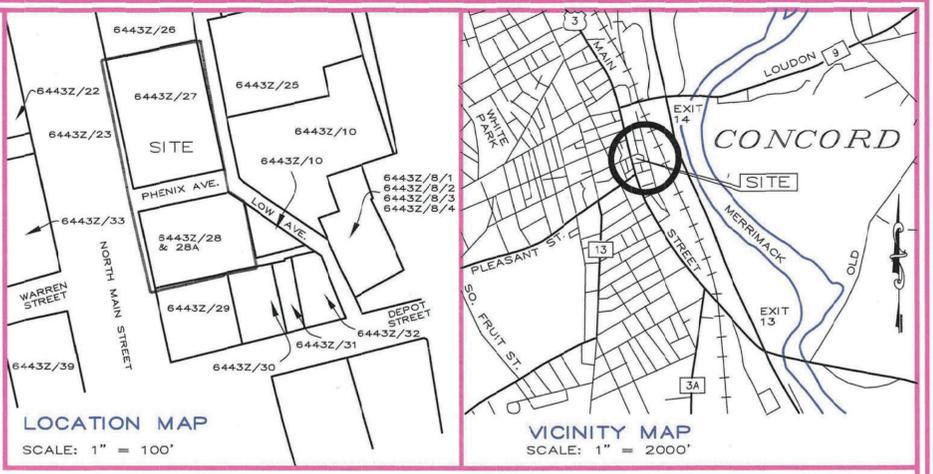
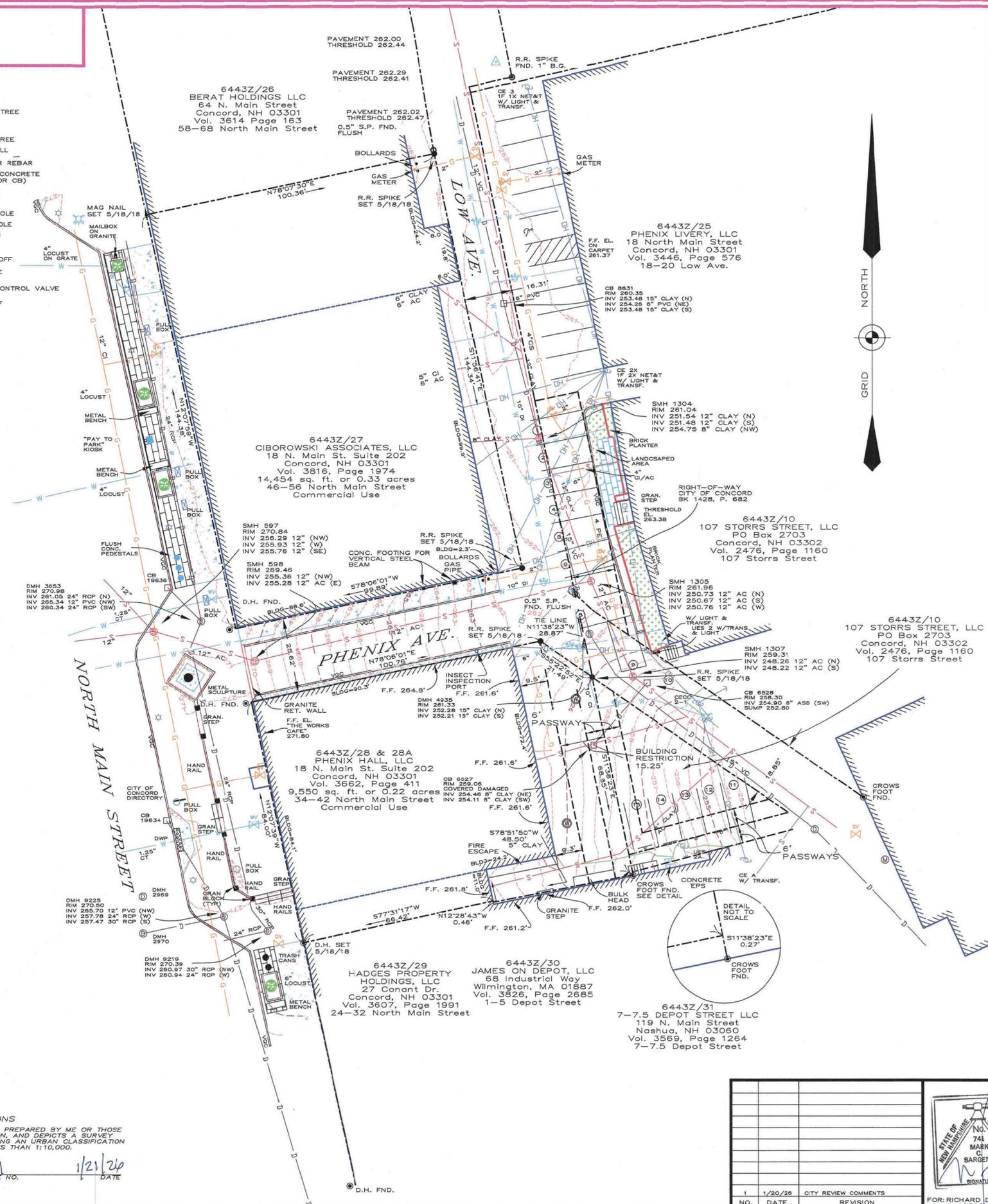
BUILDING	13,248 SQ. FT.
PAVEMENT	1,206 SQ. FT.

EXISTING COVERAGE = 100%

**CERTIFICATIONS**

I, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DERIVES A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.

SIGNATURE: *[Signature]* LICENSE NO. 741 DATE: 1/21/20



- NOTES**
- Survey by total station on April 5, 2018. Control traverse error of closure 1: 69,409. Supplemental survey conducted on November 11, 2023.
  - Horizontal datum based on the NH State Plane Coordinate System, NAD 83.
  - Vertical datum based on NAVD 88.
  - The subject premises are within the Central Business Performance District, Minimum lot frontage = 22', Maximum building height = 50'.
  - The intent of this plat is the depict boundary and detail in the vicinity of Map 6443Z, Lots 27 & 28 and a portion of Low Avenue.
  - Owners of Record: Ciborowski Associates, LLC - 18 N. Main St. Suite 202 Concord, NH 03301 Map 6443Z Lot 27 Vol. 3616, Page 1974  
Phenix Hall, LLC - 18 N. Main St. Suite 202 Concord, NH 03301 Map 6443Z, Lot 28 Vol. 3662, Page 411
  - The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call Dig-SAFE at 811.
  - The subject premises is served by municipal water and sewer.
  - The subject premises is within flood hazard zone "X" Areas determined to be outside of the 500 year flood plain as shown on the Flood Insurance Rate Map, City of Concord, N.H. Community-Panel No. 33013C533E with a revised date of April 19, 2010. The site does not fall within any F1 or F2 Flood Hazard area or within the flood hazard overlay district.
  - The site is not serviced by wells or septic systems, no state, or federal permits are required, there are no restrictions or existing easements, and the site does not contain any water protection areas.
  - The intent of this plat is to depict the existing conditions of 34-56 North Main Street Concord, NH
  - Soil Type: 699B Urban Land 0-8% slopes.
  - The site does not fall within the AP or SP overlay districts.
  - Both the structure located on Lot 27 and the structure located on Lot 28 are historic structures eligible for the National Register of Historic Places. On October 19, 2023 the City of Concord Heritage Commission approved a motion stating that the structure located on Lot 27 does not possess significant historical, cultural or architectural value.
  - The City of Concord owns a strip of land, 6.81' in width, on both sides of Phenix Ave. reference book 896, page 344.

**Tabulations**

Lot 27 Building	Basement (Low Ave Level): 13,258 (Storage/Utility)
Basement (Low Ave Level): 8,516-sf (Storage/Utility)	First Floor (Main Street Level): 13,258-sf (Commercial/Retail)
Upper floor: Unoccupied space	
Lot 28 Building (Phenix Hall)	Basement (Low Ave Level): 8,516-sf (Storage/Utility)
Basement (Low Ave Level): 8,516-sf (Storage/Utility)	First Floor (Main Street Level): 6,871-sf (Restaurant/Retail)
Second Floor: 8,407-sf (Office)	Third Floor: 9,065-sf (Assembly)
Fourth Floor: 4,994-sf (Assembly)	

NO.	DATE	CITY REVIEW COMMENTS	REVISION
1	1/20/26		

**RICHARD D. BARTLETT & ASSOCIATES, LLC**

214 North State Street  
Concord, N.H. 03301  
Tel.: (603) 225-6770

info@richarddbartlett.com  
www.richarddbartlett.com

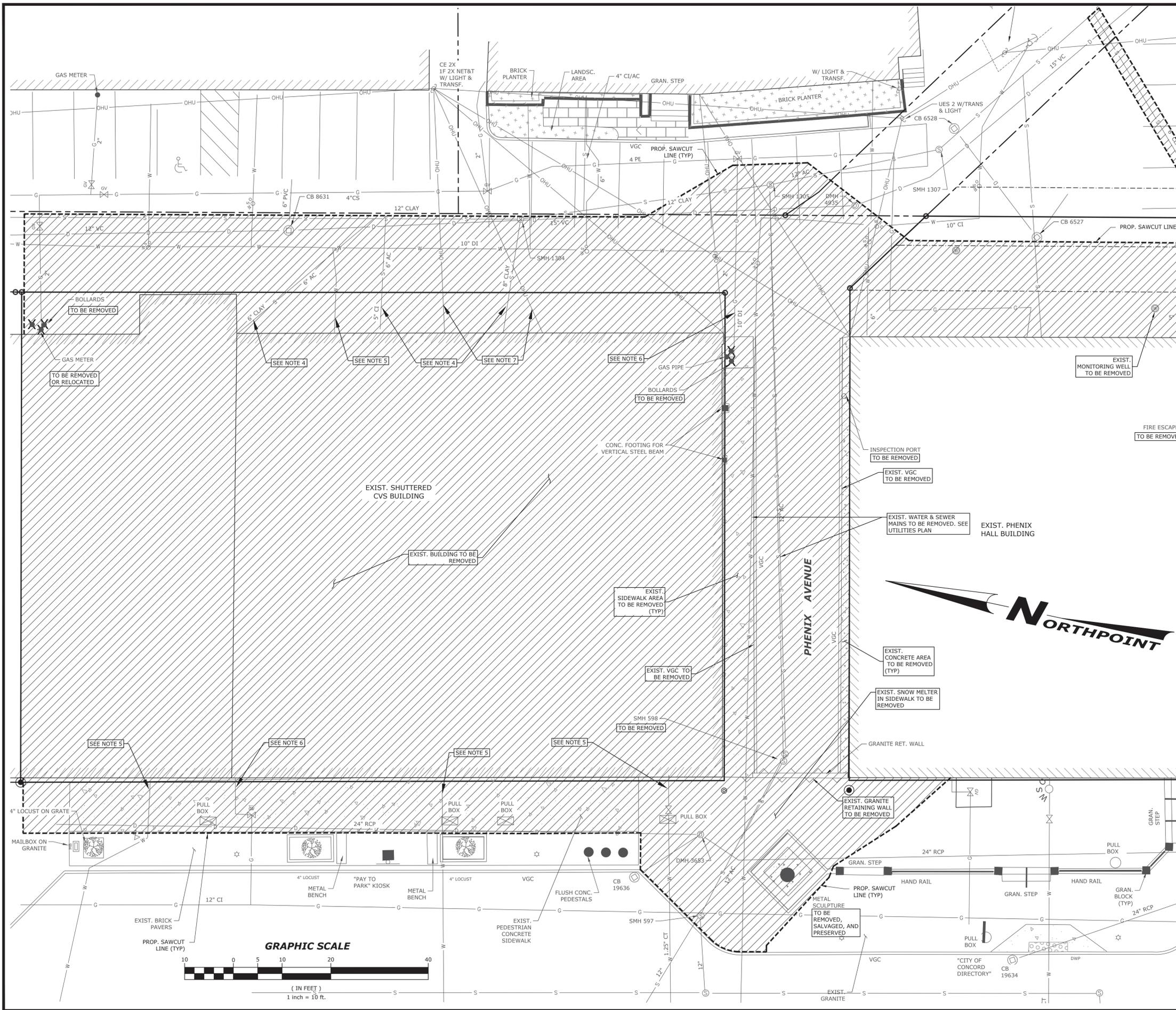
LICENSED LAND SURVEYORS

**EXISTING CONDITIONS PLAT**  
prepared for: CIBOROWSKI ASSOCIATES, LLC & PHENIX HALL, LLC

PROJECT: MAP 6443Z, LOTS 27 & 28  
LOCATION: 34-56 N. MAIN ST. CONCORD, NH

GRAPHIC SCALE: 1" = 20'

DATE: OCTOBER, 2025  
JOB NO.: 318.116  
SHEET 1 OF 1



**LEGEND**

- DEMO AREA TO BE REMOVED
- ITEM TO BE REMOVED
- SAWCUT LINE

**CONSTRUCTION NOTES:**

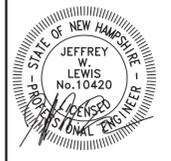
1. PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 1-888-344-7233, NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
2. LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2016 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. EXISTING SEWER SERVICES SHALL BE CUT & CAPPED OUTSIDE OF TRENCH LIMITS OF NEW FOUNDATION AND THEN ABANDONED IN PLACE.
5. EXISTING WATER SERVICES SHALL BE CUT AND CAPPED AT THE WATER MAIN.
6. EXISTING GAS SERVICES TO BE REMOVED. COORDINATE WITH GAS COMPANY.
7. EXISTING OVERHAUL UTILITIES TO BE REMOVED. COORDINATE WITH OWNING UTILITY COMPANY.

**PERMITTING PLANS**  
-NOT FOR CONSTRUCTION-



**REMOVALS PLAN**  
PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
MAP 6443Z LOTS 27 & 28  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.  
& CIBOROWSKI ASSOCIATES, LLC  
18 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301



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**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering Land Planning Construction Services  
119 Storr's St, Ste 201  
Concord, NH 03301  
Tel 603-226-1166  
Fax 603-226-1160  
www.northpointeng.com

DATE: OCT. 2025  
PROJ.: 19017.1  
SCALE: 1"=10'  
SHEET: 2 OF 11

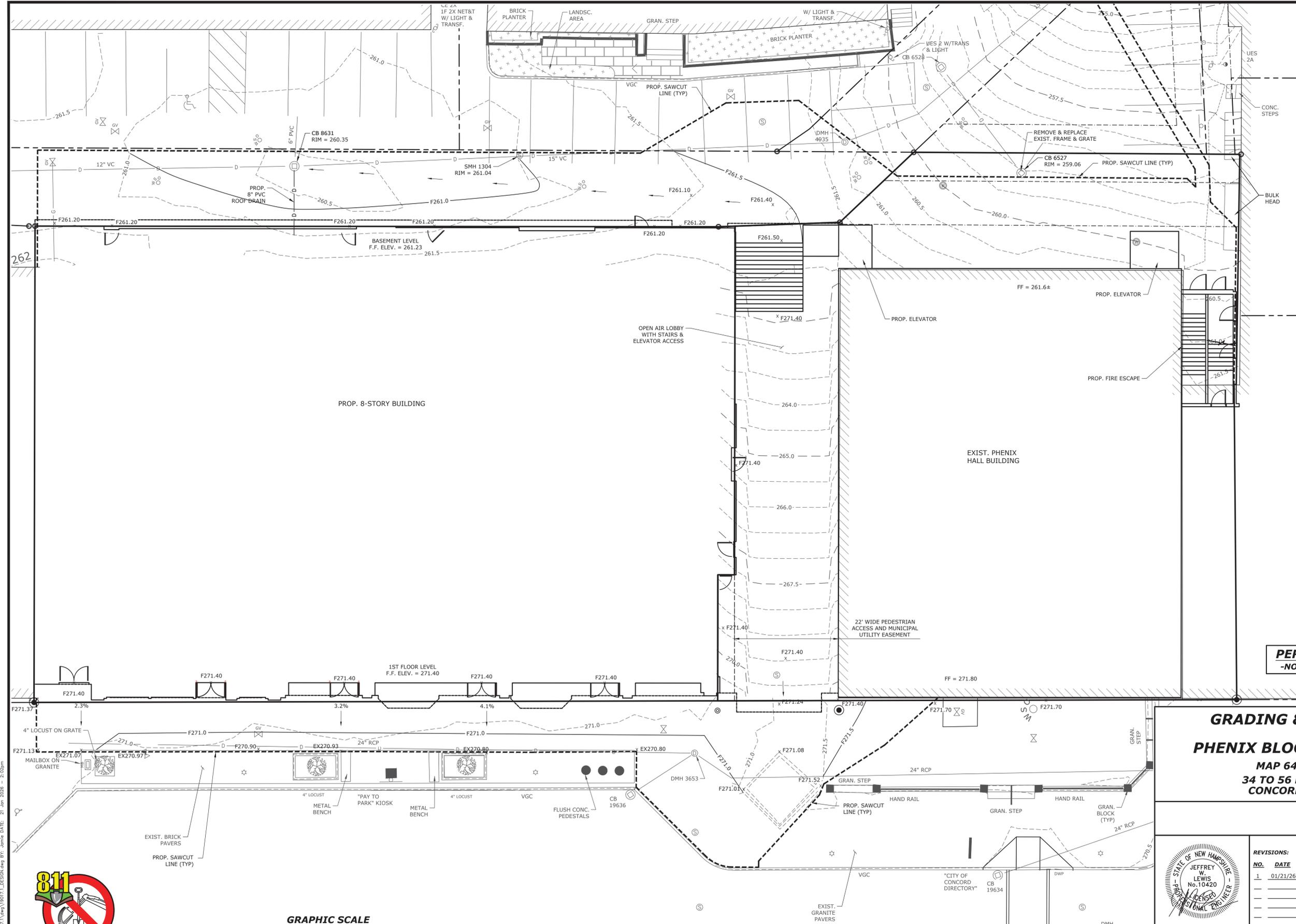
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**CONSTRUCTION NOTES:**

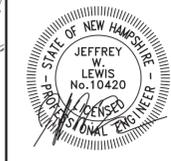
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2. LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
3. ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2016 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
4. PRIOR TO THE START OF CONSTRUCTION THE LIMITS OF CLEARING SHALL BE STAKED OUT. NO TREES SHALL BE CUT BEYOND THE LIMITS SHOWN ON THIS PLAN AND TEMPORARY FENCING SHALL BE INSTALLED AROUND THE LIMITS OF CLEARING PRIOR TO CLEARING TO ENSURE THAT NO ADDITIONAL TREES ARE DAMAGED DURING CONSTRUCTION. IMMEDIATELY AFTER CLEARING HAS OCCURRED, ALL TEMPORARY EROSION CONTROL MEASURES SHOWN ON THE EROSION CONTROL PLAN SHALL BE INSTALLED AND SHALL REMAIN IN PLACE AT ALL TIMES DURING CONSTRUCTION, AND UNTIL FINAL STABILIZATION HAS OCCURRED.
5. ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
6. ALL CONSTRUCTION DEBRIS, SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF PROPERLY OFFSITE, UNLESS OTHERWISE APPROVED.
7. THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
8. PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION.



**PERMITTING PLANS**  
-NOT FOR CONSTRUCTION-

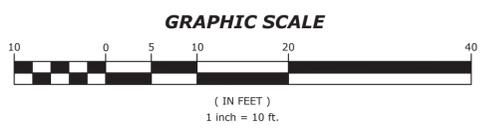
**GRADING & DRAINAGE PLAN**  
 PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
 MAP 6443Z LOTS 27 & 28  
 34 TO 56 NORTH MAIN STREET  
 CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.  
 & CIBOROWSKI ASSOCIATES, LLC  
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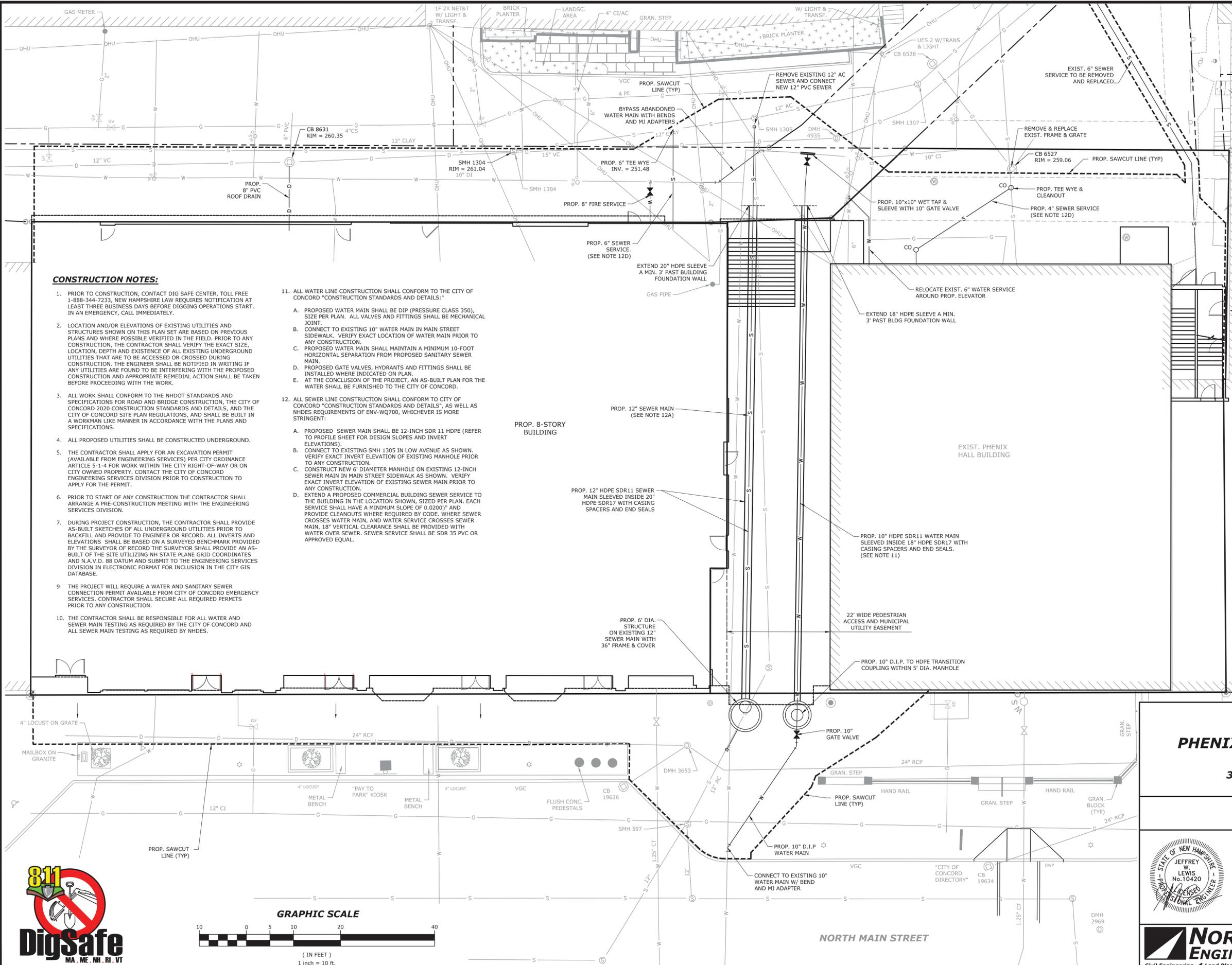


REVISIONS:

NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS



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**CONSTRUCTION NOTES:**

- PRIOR TO CONSTRUCTION, CONTACT DIG SAFE CENTER, TOLL FREE 1-888-344-7233, NEW HAMPSHIRE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE DIGGING OPERATIONS START. IN AN EMERGENCY, CALL IMMEDIATELY.
- LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THIS PLAN SET ARE BASED ON PREVIOUS PLANS AND WHERE POSSIBLE VERIFIED IN THE FIELD. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT SIZE, LOCATION, DEPTH AND EXISTENCE OF ALL EXISTING UNDERGROUND UTILITIES THAT ARE TO BE ACCESSED OR CROSSED DURING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING IF ANY UTILITIES ARE FOUND TO BE INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE NHDOT STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE CITY OF CONCORD 2020 CONSTRUCTION STANDARDS AND DETAILS, AND THE CITY OF CONCORD SITE PLAN REGULATIONS, AND SHALL BE BUILT IN A WORKMAN LIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED UNDERGROUND.
- THE CONTRACTOR SHALL APPLY FOR AN EXCAVATION PERMIT (AVAILABLE FROM ENGINEERING SERVICES) PER CITY ORDINANCE ARTICLE 5-1-4 FOR WORK WITHIN THE CITY RIGHT-OF-WAY OR ON CITY OWNED PROPERTY. CONTACT THE CITY OF CONCORD ENGINEERING SERVICES DIVISION PRIOR TO CONSTRUCTION TO APPLY FOR THE PERMIT.
- PRIOR TO START OF ANY CONSTRUCTION THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION.
- DURING PROJECT CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AS-BUILT SKETCHES OF ALL UNDERGROUND UTILITIES PRIOR TO BACKFILL AND PROVIDE TO ENGINEER OR RECORD. ALL INVERTS AND ELEVATIONS SHALL BE BASED ON A SURVEYED BENCHMARK PROVIDED BY THE SURVEYOR OF RECORD THE SURVEYOR SHALL PROVIDE AN AS-BUILT OF THE SITE UTILIZING NH STATE PLANE GRID COORDINATES AND N.A.D. 83 DATUM AND SUBMIT TO THE ENGINEERING SERVICES DIVISION IN ELECTRONIC FORMAT FOR INCLUSION IN THE CITY GIS DATABASE.
- THE PROJECT WILL REQUIRE A WATER AND SANITARY SEWER CONNECTION PERMIT AVAILABLE FROM CITY OF CONCORD EMERGENCY SERVICES. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER AND SEWER MAIN TESTING AS REQUIRED BY THE CITY OF CONCORD AND ALL SEWER MAIN TESTING AS REQUIRED BY NHDES.
- ALL WATER LINE CONSTRUCTION SHALL CONFORM TO THE CITY OF CONCORD "CONSTRUCTION STANDARDS AND DETAILS."

  - PROPOSED WATER MAIN SHALL BE DIP (PRESSURE CLASS 350), SIZE PER PLAN. ALL VALVES AND FITTINGS SHALL BE MECHANICAL JOINT.
  - CONNECT TO EXISTING 10" WATER MAIN IN MAIN STREET SIDEWALK. VERIFY EXACT LOCATION OF WATER MAIN PRIOR TO ANY CONSTRUCTION.
  - PROPOSED WATER MAIN SHALL MAINTAIN A MINIMUM 10-FOOT HORIZONTAL SEPARATION FROM PROPOSED SANITARY SEWER MAIN.
  - PROPOSED GATE VALVES, HYDRANTS AND FITTINGS SHALL BE INSTALLED WHERE INDICATED ON PLAN.
  - AT THE CONCLUSION OF THE PROJECT, AN AS-BUILT PLAN FOR THE WATER SHALL BE FURNISHED TO THE CITY OF CONCORD.

- ALL SEWER LINE CONSTRUCTION SHALL CONFORM TO CITY OF CONCORD "CONSTRUCTION STANDARDS AND DETAILS", AS WELL AS NHDES REQUIREMENTS OF ENV-WQ700, WHICHEVER IS MORE STRINGENT:
  - PROPOSED SEWER MAIN SHALL BE 12-INCH SDR 11 HDPE (REFER TO PROFILE SHEET FOR DESIGN SLOPES AND INVERT ELEVATIONS).
  - CONNECT TO EXISTING SMH 1305 IN LOW AVENUE AS SHOWN. VERIFY EXACT INVERT ELEVATION OF EXISTING MANHOLE PRIOR TO ANY CONSTRUCTION.
  - CONSTRUCT NEW 6" DIAMETER MANHOLE ON EXISTING 12-INCH SEWER MAIN IN MAIN STREET SIDEWALK AS SHOWN. VERIFY EXACT INVERT ELEVATION OF EXISTING SEWER MAIN PRIOR TO ANY CONSTRUCTION.
  - EXTEND A PROPOSED COMMERCIAL BUILDING SEWER SERVICE TO THE BUILDING IN THE LOCATION SHOWN, SIZED PER PLAN. EACH SERVICE SHALL HAVE A MINIMUM SLOPE OF 0.0200' AND PROVIDE CLEANOUTS WHERE REQUIRED BY CODE. WHERE SEWER CROSSES WATER MAIN, AND WATER SERVICE CROSSES SEWER MAIN, 18" VERTICAL CLEARANCE SHALL BE PROVIDED WITH WATER OVER SEWER. SEWER SERVICE SHALL BE SDR 35 PVC OR APPROVED EQUAL.

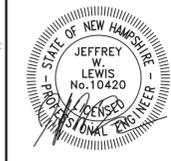
**EXISTING DRAINAGE TABLE**

Manhole ID	Material	Notes
CB 6527	15" CLAY	RIM 259.06, COVERED DAMAGED
CB 6528	8" ASB	RIM 258.30, SUMP 252.80
CB 8631	15" CLAY	RIM 260.35
DMH 3653	24" RCP	RIM 270.98
DMH 4935	15" CLAY	RIM 261.33
DMH 9219	30" RCP	RIM 270.39
DMH 9225	12" PVC	RIM 270.50
SMH 597	12" NW	RIM 270.84
SMH 598	12" NW	RIM 269.46
SMH 1304	12" CLAY	RIM 261.04
SMH 1305	12" AC	RIM 261.96
SMH 1307	12" AC	RIM 259.31

**PERMITTING PLANS**  
-NOT FOR CONSTRUCTION-

**UTILITIES PLAN**  
PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
MAP 6443Z LOTS 27 & 28  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.  
& CZBOROWSKI ASSOCIATES, LLC  
18 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301

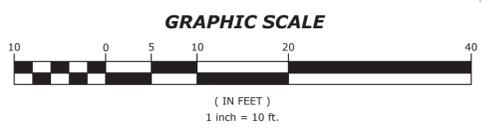


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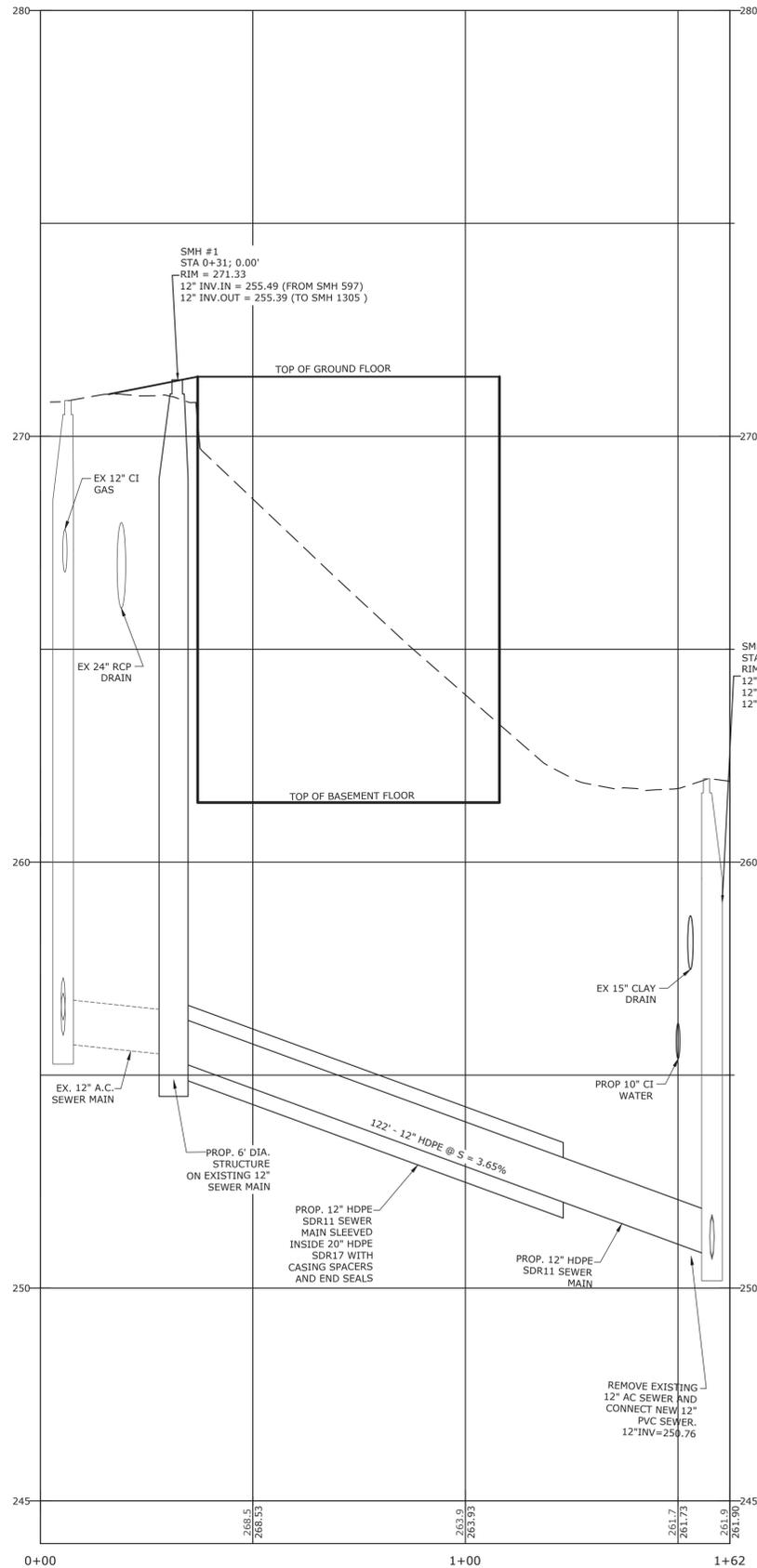
NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering Land Planning Construction Services  
119 Storr's St, Ste 201  
Concord, NH 03301  
Tel 603-226-1166  
Fax 603-226-1160  
www.northpointeng.com

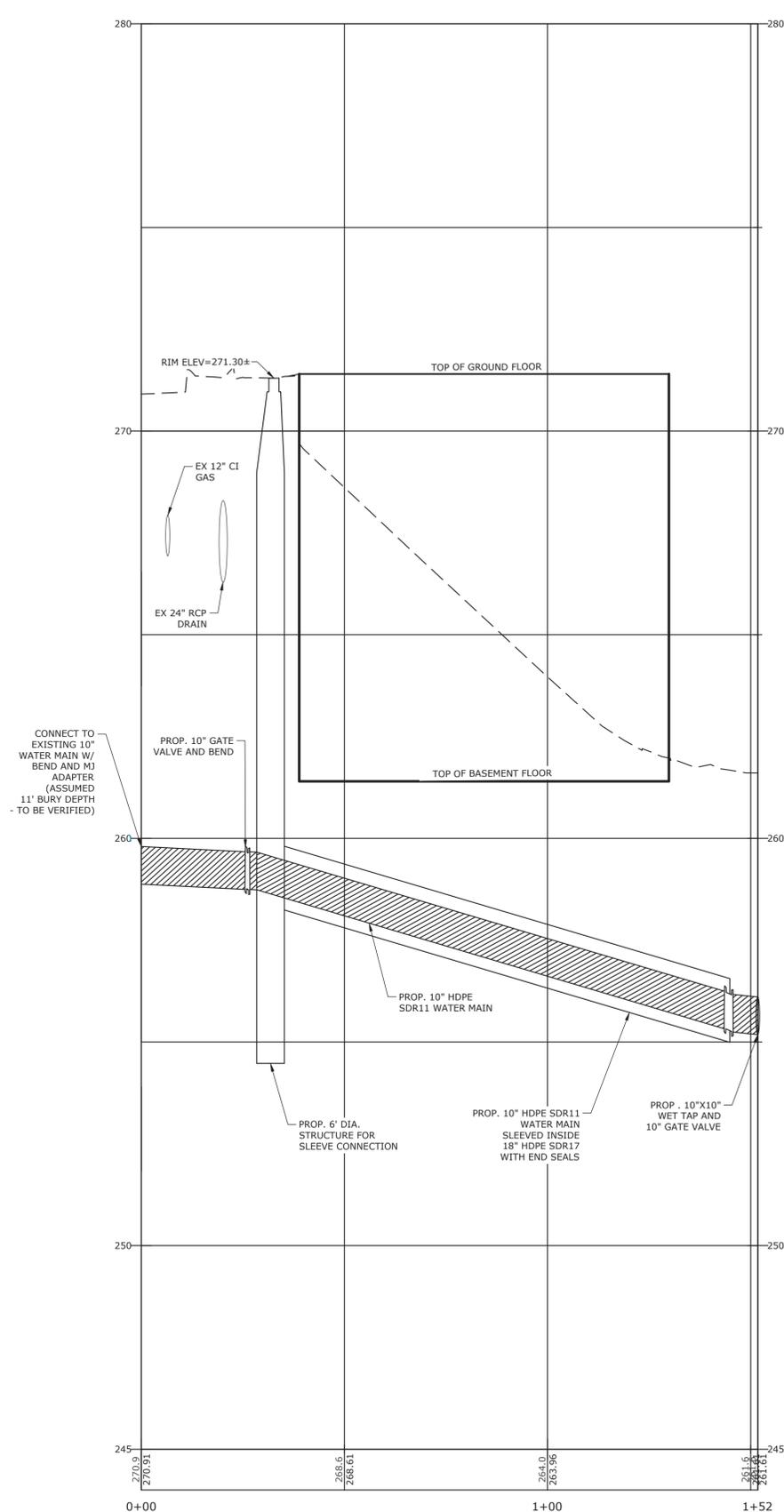
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PROJ.: 19017.1  
SCALE: 1"=10'  
SHEET: 5 OF 11



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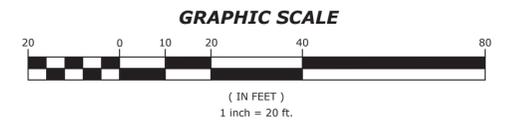
**SEWER PROFILE**  
 SCALE: 1"=20' (HORZ.)  
 1"=2' (VERT.)



**WATER PROFILE**  
 SCALE: 1"=20' (HORZ.)  
 1"=2' (VERT.)



**PERMITTING PLANS**  
 -NOT FOR CONSTRUCTION-



**UTILITIES PROFILES**  
 PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
 MAP 6443Z LOTS 27 & 28  
 34 TO 56 NORTH MAIN STREET  
 CONCORD, NEW HAMPSHIRE

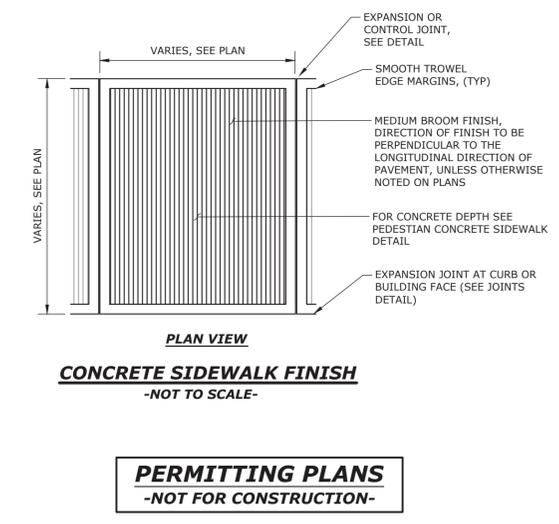
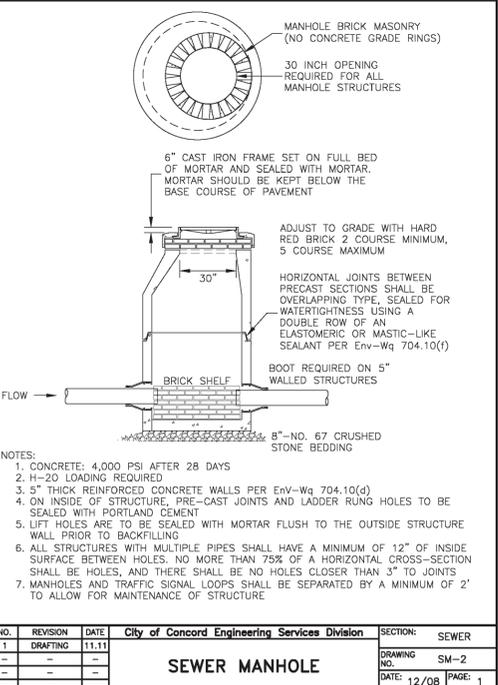
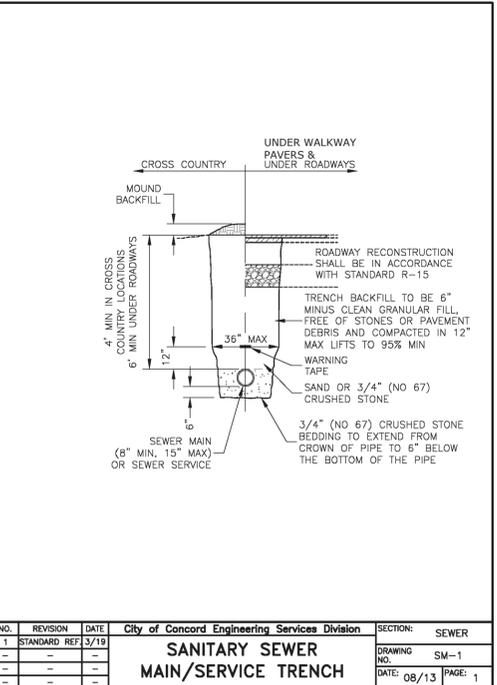
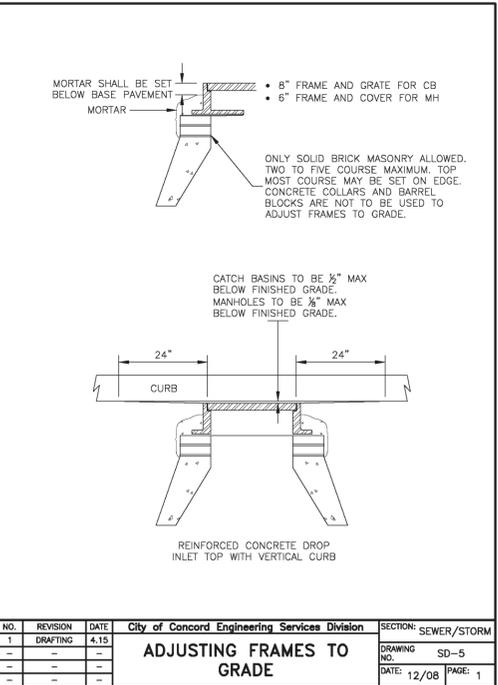
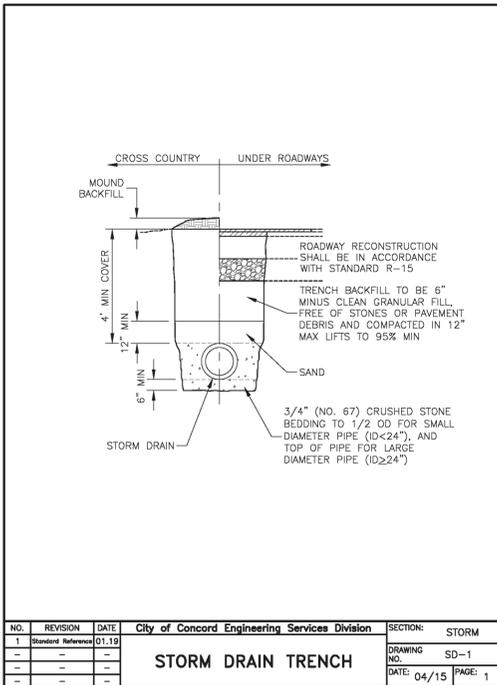
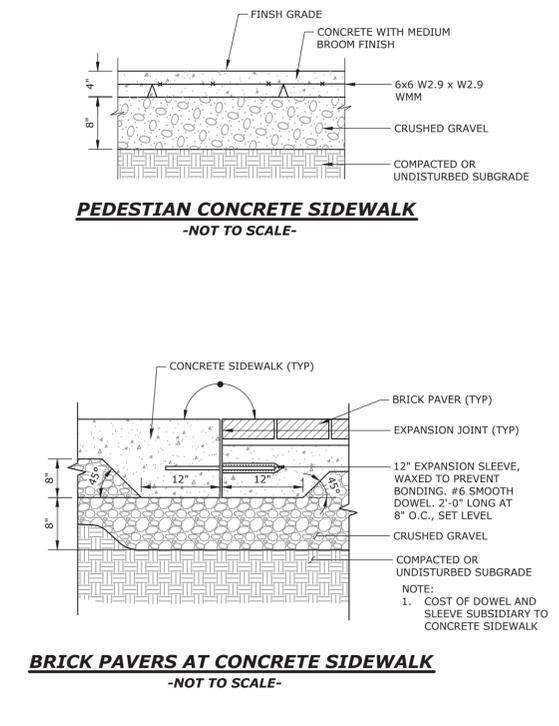
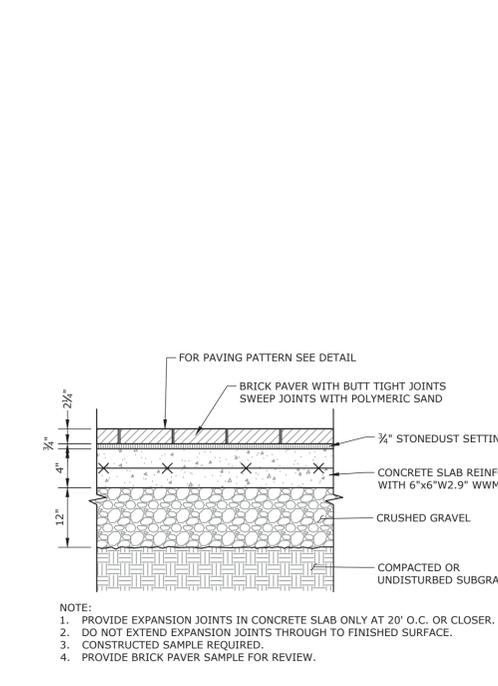
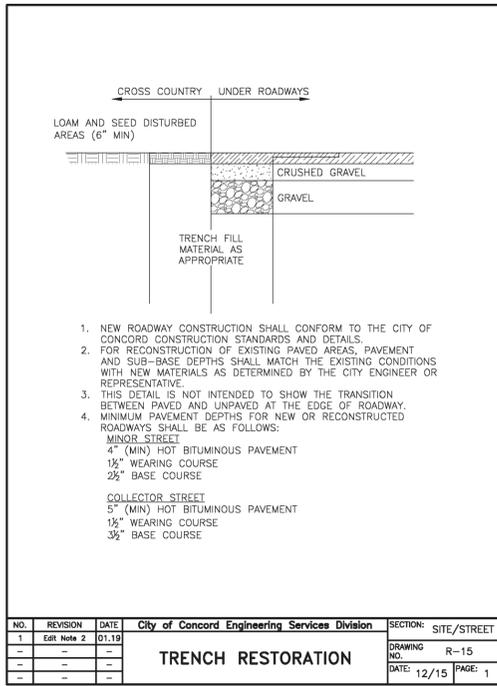
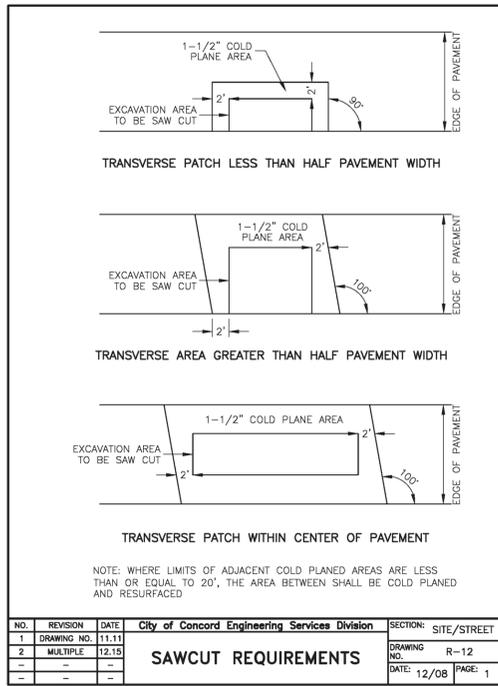
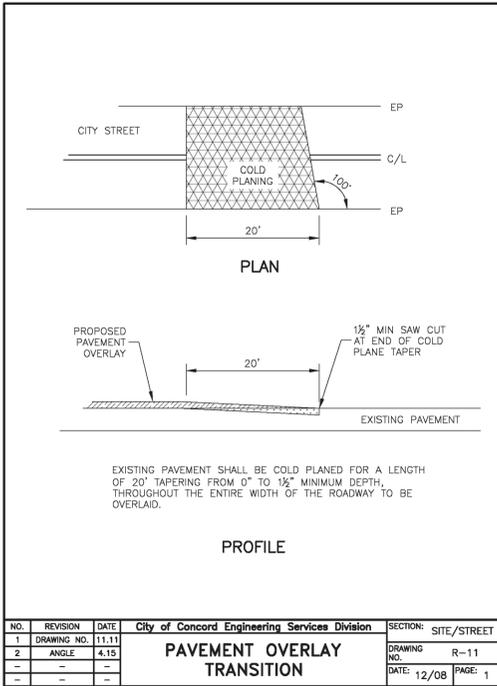
OWNER: PHENIX HALL, LLC.  
 & CIBOROWSKI ASSOCIATES, LLC  
 18 NORTH MAIN STREET, SUITE 202  
 CONCORD, NH 03301

NO.	DATE	DESCRIPTION
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

DATE: OCT. 2025  
 PROJ.: 19017.1  
 SCALE: 1"=##'  
 SHEET: 6 OF 11

FILE: G:\projects\19017\19017\_L\_PROFILES.dwg BY: JAMES DATE: 21 Jun 2025 = 2:03pm





**CONSTRUCTION DETAILS**  
PREPARED FOR:

**PHENIX BLOCK REDEVELOPMENT**  
MAP 6443Z LOTS 27 & 28  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC.  
& CIBOROWSKI ASSOCIATES, LLC  
38 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301

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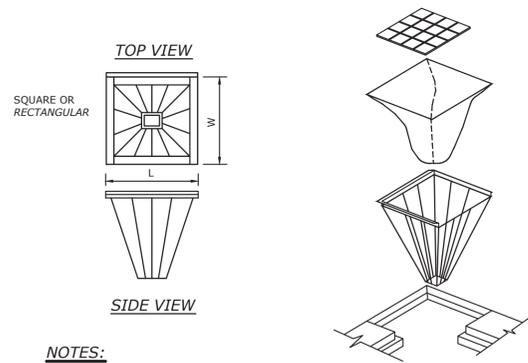
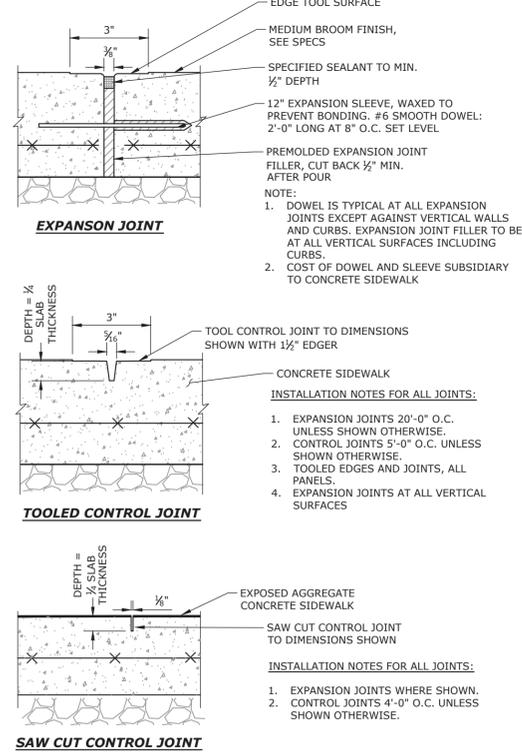
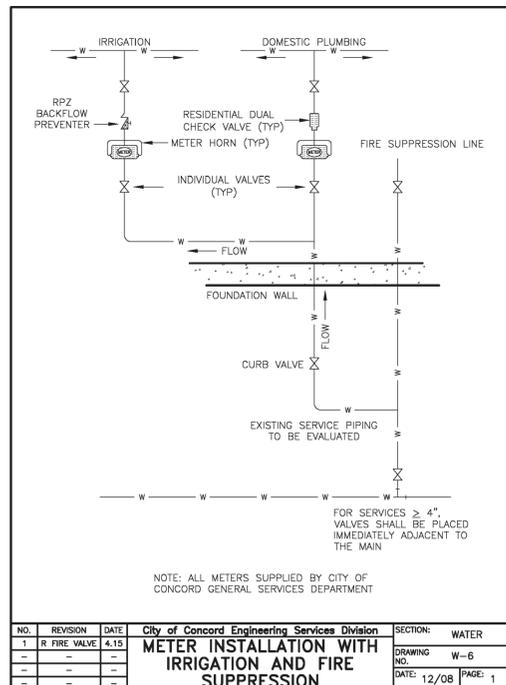
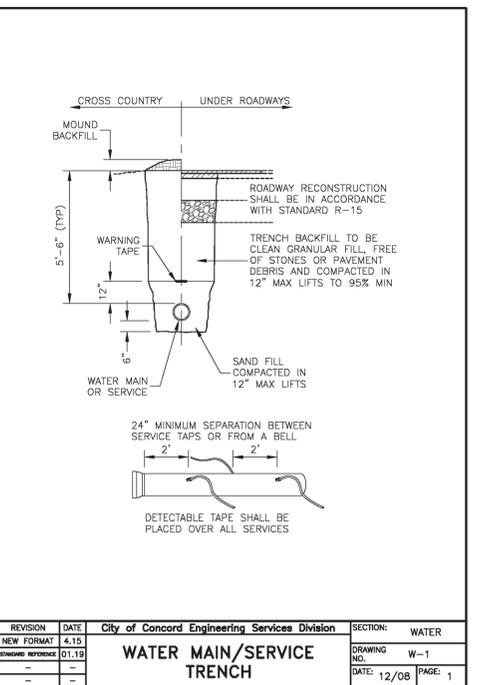
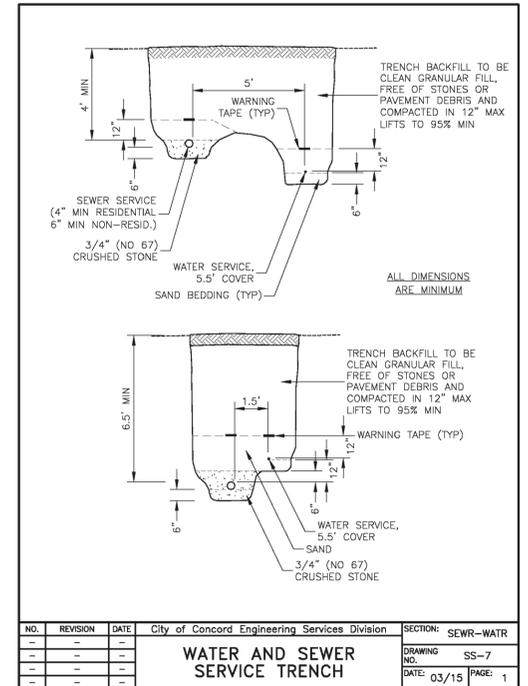
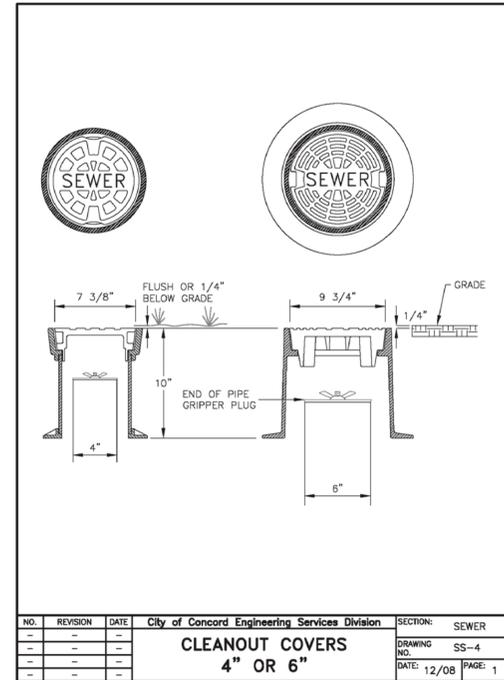
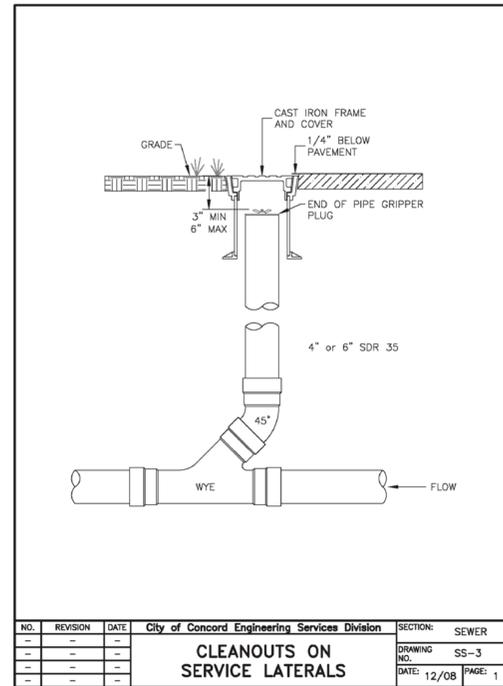
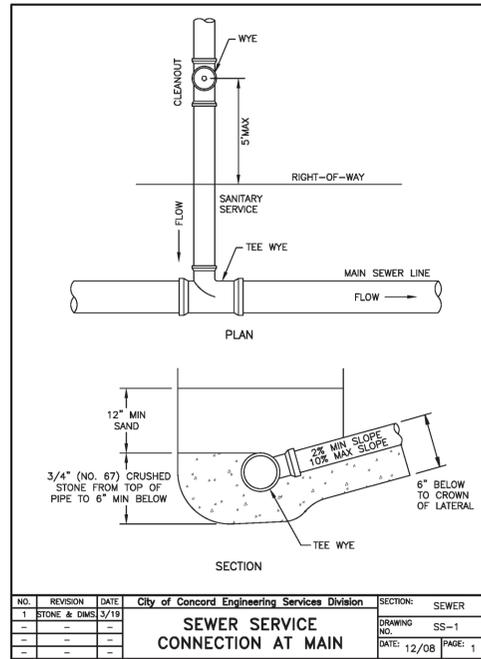
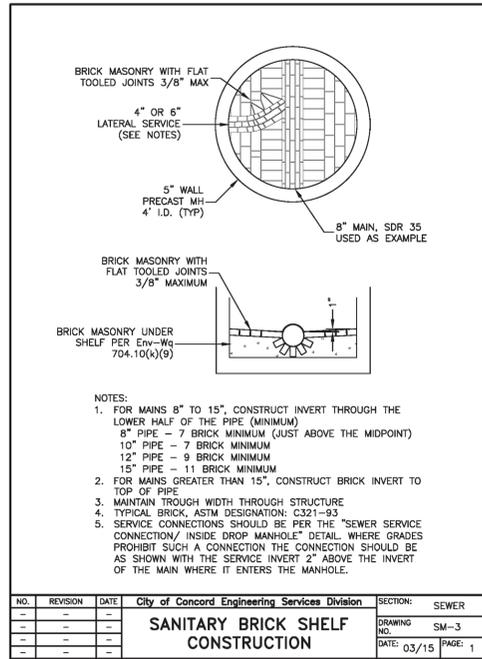
STATE OF NEW HAMPSHIRE  
JEFFREY W. LEWIS  
No. 10420  
LICENSED PROFESSIONAL ENGINEER

**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering / Land Planning / Construction Services

119 Storr's St, Ste 201  
Concord, NH 03301  
Tel 603-226-1166  
Fax 603-226-1160  
www.northpointeng.com

DATE: OCT. 2025  
PROJ.: 19017.1  
SCALE: AS SHOWN  
SHEET: 8 OF 11

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**PERMITTING PLANS -NOT FOR CONSTRUCTION-**

**CONSTRUCTION DETAILS**  
PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
MAP 6443Z LOTS 27 & 28  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC & CIBOROWSKI ASSOCIATES, LLC  
18 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301

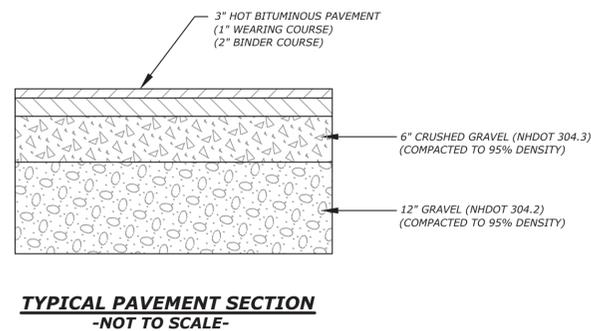
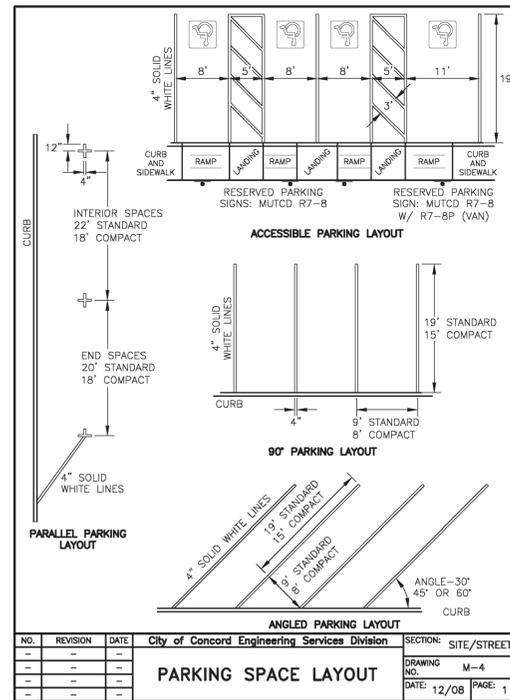
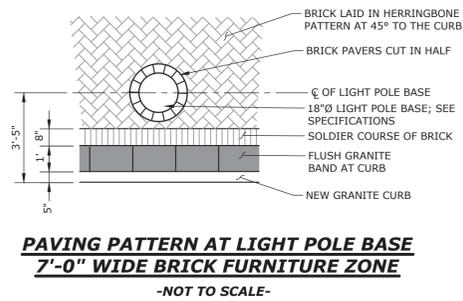
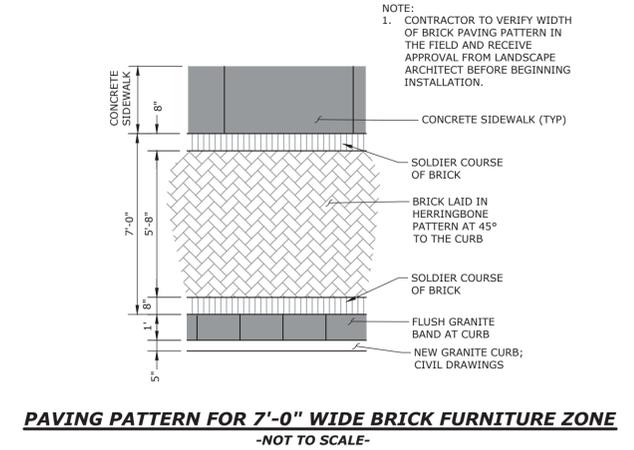
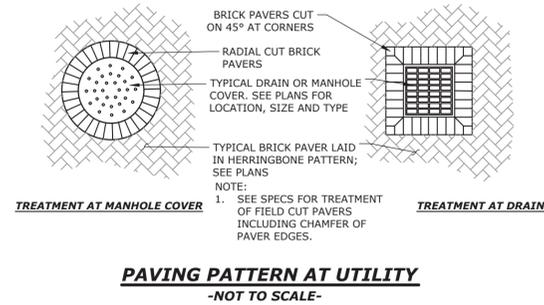
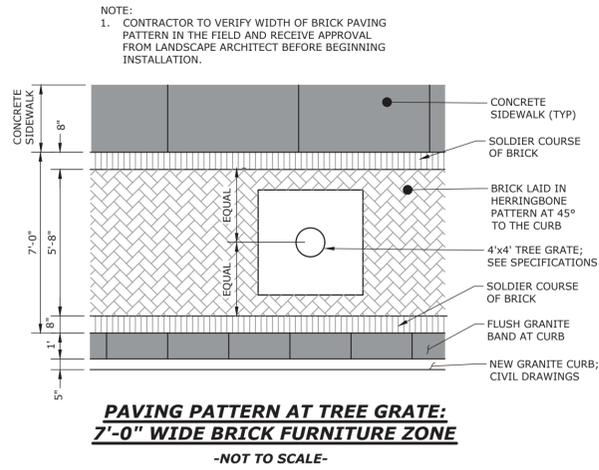
NO.	DATE	DESCRIPTION
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JEFFREY W. LEWIS  
No. 10420  
PROFESSIONAL ENGINEER

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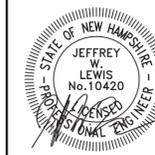
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PROJ.: 19017.1  
SCALE: AS SHOWN  
SHEET: 9 OF 11



**PERMITTING PLANS**  
-NOT FOR CONSTRUCTION-

**CONSTRUCTION DETAILS**  
PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
MAP 6443Z LOTS 27 & 28  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: PHENIX HALL, LLC  
& CIBOROWSKI ASSOCIATES, LLC  
18 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301



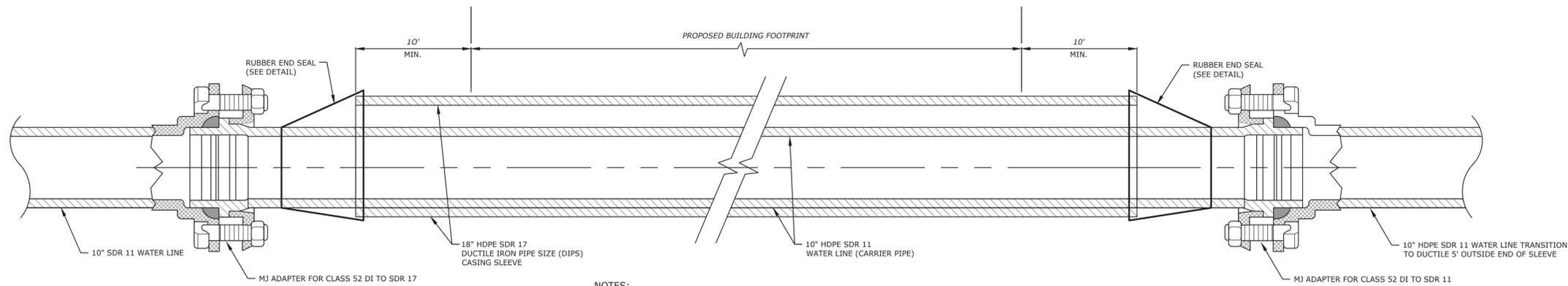
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**NORTHPOINT ENGINEERING, LLC**  
Civil Engineering / Land Planning / Construction Services

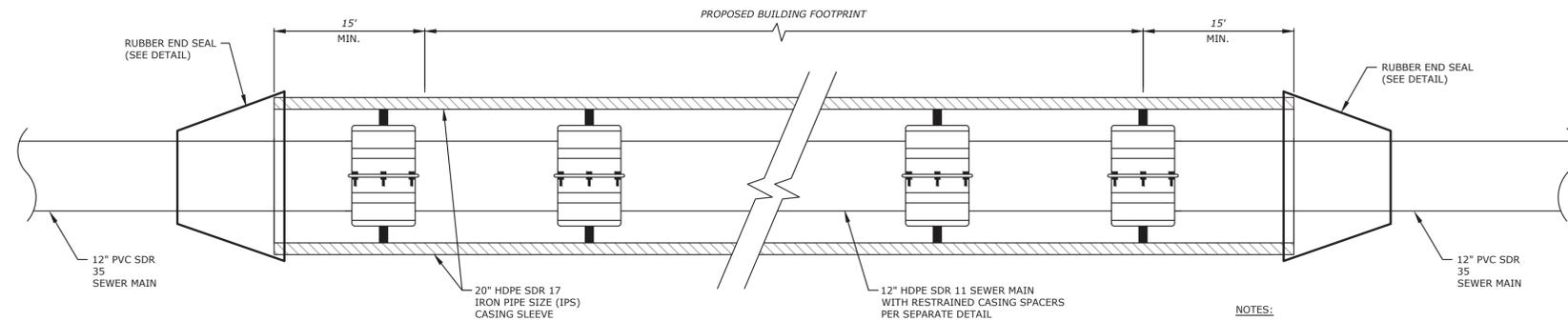
119 Storrs St, Ste 201  
Concord, NH 03301  
Tel 603-226-1166  
Fax 603-226-1160  
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DATE: OCT. 2025  
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SHEET: 10 OF 11



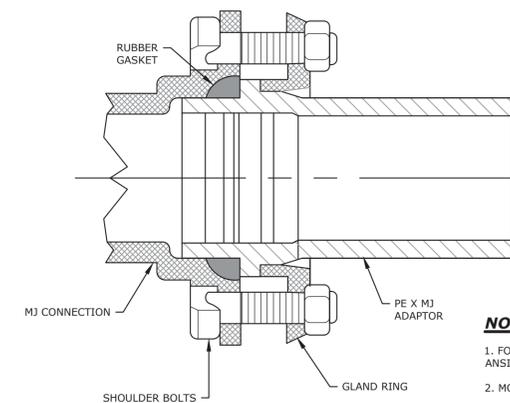
- NOTES:**
- 1) 10" HDPE WATER LINE (CARRIER PIPE) SHALL REST ON BOTTOM OF 18" HDPE CASING SLEEVE.
  - 2) SLEEVE SHALL EXTEND A MINIMUM OF 10-FEET BEYOND THE OUTSIDE EDGE OF BUILDING FOUNDATION WALLS.

**WATER LINE SLEEVE & FITTING DETAIL**  
-NOT TO SCALE-



- NOTES:**
1. SLEEVE SHALL EXTEND A MINIMUM OF 15-FEET BEYOND THE OUTSIDE EDGE OF BUILDING FOUNDATION WALLS.

**SEWER MAIN SLEEVE DETAIL**  
-NOT TO SCALE-



- NOTES:**
1. FOR JOINING IPS OR DI SIZE POLYETHYLENE PIPE TO ANY ANSI/AWWA C153 DUCTILE IRON COMPACT FITTING AND VALVE.
  2. MOLDED FROM A NSF LISTED HIGH DENSITY RESIN.
  3. FULLY COMPLIES WITH AWWA C901, 906.
  4. POLYETHYLENE MJ ADAPTORS REQUIRE LONGER T-HEAD BOLTS FOR EASE OF ASSEMBLY.

**POLYETHYLENE MJ ADAPTOR**  
-NOT TO SCALE-

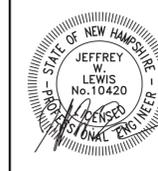
**PRELIMINARY**  
-NOT FOR CONSTRUCTION-

**CONSTRUCTION DETAILS**

PREPARED FOR:  
**PHENIX BLOCK REDEVELOPMENT**  
(MBL 6443Z - 28 & 28A; 6443Z - 27)  
34 TO 56 NORTH MAIN STREET  
CONCORD, NEW HAMPSHIRE

OWNER: **PHENIX HALL, LLC**  
& **CIBOROWSKI ASSOCIATES, LLC**  
38 NORTH MAIN STREET, SUITE 202  
CONCORD, NH 03301

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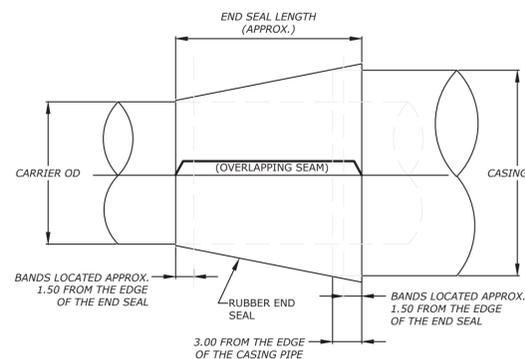
**NORTHPOINT ENGINEERING, LLC**  
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SCALE: AS SHOWN  
SHEET: 11 OF 11

**CASING SPACERS (STAINLESS STEEL) SPECIFICATIONS**

CASING SPACER SHALL BE A TWO-PIECE SHELL PER CARRIER PIPE AND MADE FROM T-304 STAINLESS STEEL OF A MINIMUM 14 GAUGE THICKNESS. EACH SHELL SECTION SHALL BE LINED WITH A 0.090" THICK, RIBBED PVC EXTRUSION WITH A RETAINING SECTION THAT OVERLAPS THE EDGES OF THE SHELL AND PREVENTS SLIPPAGE. BEARING SURFACES (RUNNERS) SHALL BE ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE (UHMW) TO PROVIDE ABRASION RESISTANCE AND A LOW COEFFICIENT OF FRICTION (0.12). THE RUNNERS SHALL BE ATTACHED TO SUPPORT STRUCTURES (RISERS) AT APPROPRIATE POSITIONS TO PROPERLY SUPPORT THE CARRIER PIPE WITHIN THE CASING PIPE AND TO EASE INSTALLATION. THE RUNNERS SHALL BE MECHANICALLY BOLTED TO THE RISER. THE BOLT HEADS ARE WELDED TO THE INSIDE OF THE RISERS FOR STRENGTH. RISERS SHALL BE MADE OF T-304 STAINLESS STEEL OF A MAXIMUM 10 GAUGE. ALL RISERS SHALL BE MIG WELDED TO THE SHELL. BOTTOM RISERS 6" AND OVER IN HEIGHT SHALL BE REINFORCED. ALL REINFORCING PLATES SHALL BE 10 GA. T-304 STAINLESS STEEL AND SHALL BE MIG WELDED TO MATING PARTS. **RESTRAINED POSITIONING WITHIN THE CASING PIPE** SHALL BE SIZED SUCH THAT THE CARRIER RESTS NEAR THE BOTTOM OF THE CASING PIPE AND THE HEIGHT OF THE RISERS AND RUNNERS ARE TO PROVIDE A BOTTOM CLEARANCE NOT LESS THAN ONE-HALF INCH BETWEEN THE CASING PIPE AND THE EXTREME OUTSIDE DIAMETER OF THE JOINT (BELL, SEAM WELD, JOINT CLAMP, ...) OF THE CARRIER PIPE AND A TOP CLEARANCE OF THREE-FOURTHS INCH MINIMUM. CASING SPACERS SHALL BE MODEL CCS AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OF YORKVILLE, IL OR APPROVED EQUAL.

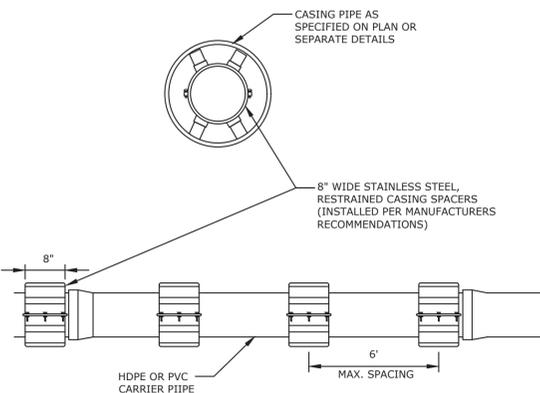


- CASCADE MODEL CCES END SEALS**
- PULL OVER THE CASING AND CARRIER PIPES AFTER INSTALLATION TO PROVIDE A BARRIER TO BACKFILL DEBRIS AND SEEPAGE.
- MODEL SPECIFICATIONS:**
- SEAL - NEOPRENE  
BANDS - T-304 STAINLESS STEEL

**RUBBER END SEALS SPECIFICATIONS**

RUBBER END SEALS SHALL BE A PULL-OVER TYPE CONSTRUCTION AND MADE FROM NEOPRENE WITH T-304 STAINLESS STEEL BANDS FOR SECURING THE ENDS OF THE END SEAL TO THE CASING PIPE AND CARRIER PIPE. CASING SPACER END SEALS SHALL BE MODEL CCES AS MANUFACTURED BY CASCADE WATERWORKS MFG. CO. OF YORKVILLE, IL OR APPROVED EQUAL.

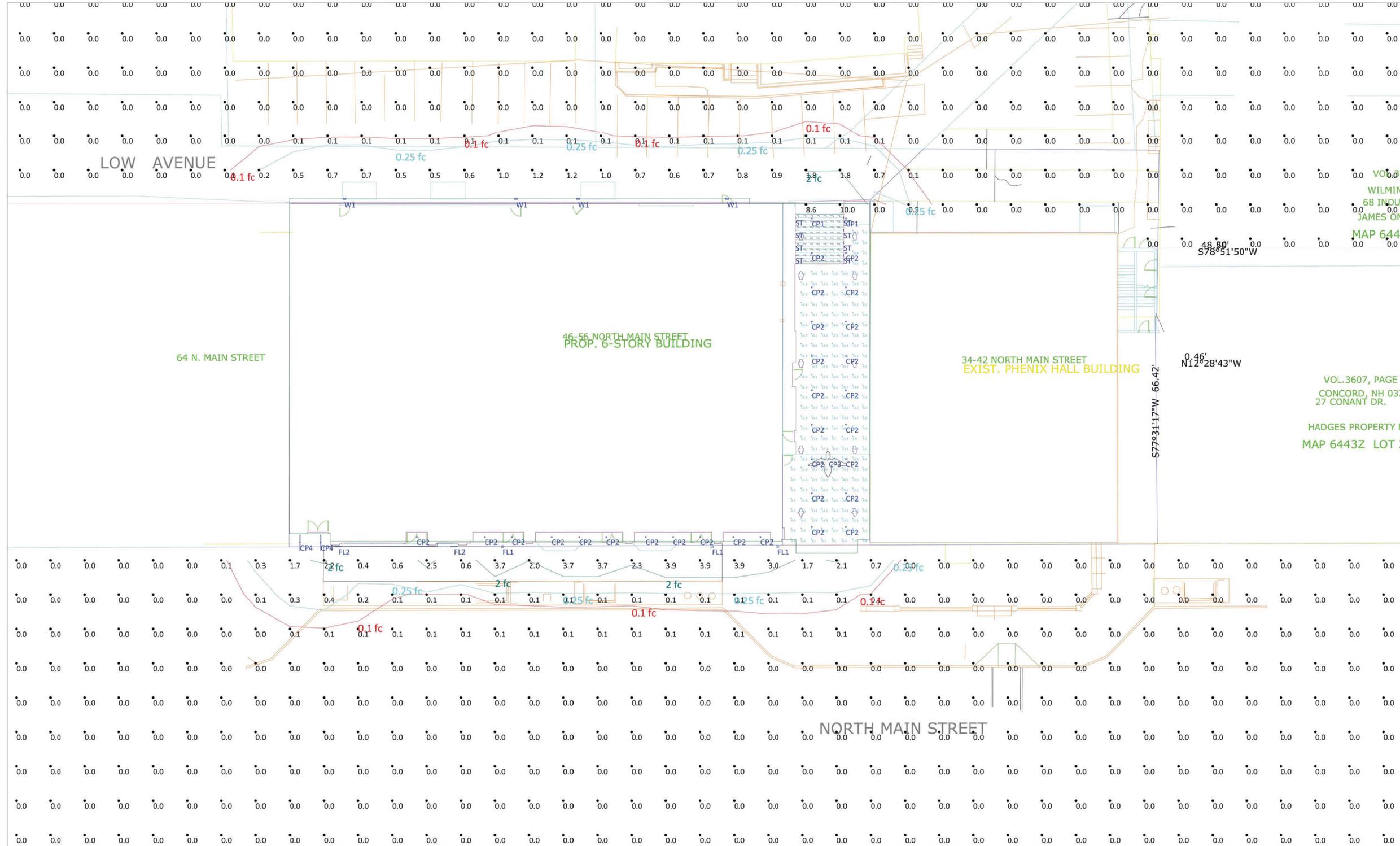
**RUBBER END SEALS DETAIL**  
-NOT TO SCALE-



**CASING SPACER DETAIL**  
-NOT TO SCALE-

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
BACK GRADE_Planar	0.0	10.0	0.0	N.A.	N.A.
FRONT GRADE_Top	0.0	3.9	0.0	N.A.	N.A.
OPEN LOBBY	13.1	49.4	1.4	9.4	35.3
pass thru stair_Planar	12.5	18.4	7.3	1.7	2.5

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
  - 2) CALCULATIONS MAY or MAY NOT SHOW THE EFFECT OF SHADOWING CAUSED BY BUILDINGS AND OBJECTS WITHIN THE CALCULATED SPACE OR IN THE SITE AREA.
  - 3) READINGS SHOWN ARE INITIAL HORIZONTAL FOOT CANDLES ON A FLAT SITE WITHOUT REFLECTIONS OR OBSTRUCTIONS UNLESS OTHERWISE INDICATED.
  - 4) THIS CALCULATION IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO EXPOSURE/ESS AND STANDARD ASSUMPTIONS OF THE SPACE AND/OR SITE.
  - 5) CONFORMANCE TO CODES AND OTHER LOCAL REQUIREMENTS AS DETERMINED BY THE AHJ ARE THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REP.
  - 6) THIS LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
  - 7) DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY APPEAR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.



NOTICE: THE INTENT OF THIS LIGHTING LAYOUT IS TO SUGGEST BEST UTILIZATION OF LIGHTING FIXTURES INDICATED. THIS LAYOUT IS PROVIDED USING IES DATA FILES PROVIDED BY THE MANUFACTURER. ANY VARIATION IN PERFORMANCE OR RESULTS IS NOT THE RESPONSIBILITY OF THE MANUFACTURER, EXPOSURE/ESS OR ITS EMPLOYEES.



#	Date	Comments
1	01/21/26	REVISED TO ADDRESS CITY REVIEW COMMENTS

Revisions

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 PH: 603-601-8080 - exposure2lighting.com  
 Date: 1/21/2026  
 Generated for: SMP & NORTHPOINT  
 XXX  
 Scale: Not to Scale

**PHENIX BLOCK REDEVELOPMENT  
 CONCORD, NH  
 SITE LIGHTING LAYOUT**

FILE: G:\projects\19071\19071.dwg DATE: 21 Jan 2026 2:03pm

