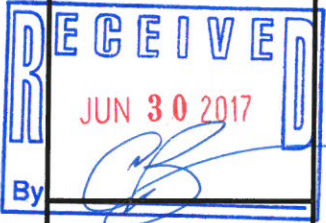


ZONING ANALYSIS

TAX MAP/BLOCK/LOT:	MAP 111/G / BLOCK 1 / LOT 63
ADDRESS:	51 ANTRIM AVE CONCORD, NH
ZONING DISTRICT:	INDUSTRIAL DISTRICT (IN)
PRINCIPAL USE:	SALES, RENTAL, OR REPAIR OF CONSTRUCTION EQUIPMENT (CONDITIONAL USE PERMIT REQUIRED)
MINIMUM LOT AREA	PROVIDED 40,000 SF
MINIMUM LOT FRONTAGE	PROVIDED 200
MAXIMUM LOT COVERAGE	PROVIDED 85%
INT. LANDSCAPING MINIMUM	PROVIDED 5%
BUILDING SETBACKS REQUIRED	REQUIRED
FRONT YARD	50'
SIDE YARD	25'
REAR YARD	30'
PARKING SETBACKS REQUIRED	REQUIRED
FRONT YARD	10'
SIDE YARD	5'
REAR YARD	5'
DRIVEWAY STANDARDS	
FOR LOCAL STREETS (ANTRIM STREET):	
1 DRIVEWAY / 150' LOT FRONTAGE	
508' LOT FRONTAGE / 150' LOT FRONTAGE/DRIVEWAY	
= 3 ALLOWABLE DRIVEWAYS	
DRIVEWAYS SEPARATION > 100'	
SEPARATION PROVIDED = 100'	
REQUIRED PARKING SPACES	
SALES OR RENTAL OF BOATS, TRAILERS AND MOTOR HOMES, LARGE TRUCK OR CONSTRUCTION EQUIPMENT SALE, RENTAL OR REPAIR	
= 1 SPACE / 600 SF GROSS FLOOR AREA	
= 1 SPACE / 3,000 SF OUTDOOR DISPLAY AREA	
= 4 SPACES / REPAIR BAY	
1 SPACE/600 SF X 23,200 SF = 39 SPACES	
1 SPACE/3,000 SF X 0 SF = 0 SPACES	
4 SPACES/BAY X 0 BAYS = 0 SPACES	
TOTAL SPACES:	REQUIRED 39 PROPOSED 39
ACCESSIBLE SPACES:	REQUIRED 2 PROPOSED 2



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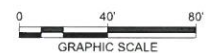


NOT ISSUED FOR CONSTRUCTION

EQUIPMENT EAST
SITE CONCEPT
51 ANTRIM STREET
CONCORD, NEW HAMPSHIRE

NO.	DATE	DESCRIPTION

REVISIONS



DATE: MAY 2017
NOBIS PROJECT NO. 93320.00
DRAWN BY: JLK
CHECKED BY: ERL
CAD DRAWING FILE:
93320.00 CONCEPT 1 shifted east.dwg
SHEET TITLE

CONCEPTUAL DESIGN #1

SHEET C-1

J:\93320.00 - Conceptual Design, 51 Antrim St., Concord\93320.00 CONCEPT 1 shifted east.dwg 9/27/2013 3:19 PM