



TAX MAP 611Z LOT 39, 40 & 40-1
LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH

APPLICANT / OWNER
ONYX STEEPLGATE, LLC
ONYX REGAL CONCORD, LLC
ONYX TD CONCORD, LLC
220 RESERVOIR STREET
SUITE 3
NEEDHAM, MA 02494
(603) 617-448-7948
CONTACT: DOUG RICHARDSON

CIVIL ENGINEER / SURVEYOR
JONES & BEACH ENGINEERS, INC.
 85 PORTSMOUTH AVENUE
 PO BOX 219
 STRATHAM, NH 03885
 (603) 772-4746

CONTACT: WAYNE MORRILL
EMAIL: WMORRILL@JONESANDBEACH.COM

CONTACT: IAN MACKINNON, P.E.
EMAIL: IMACKINNON@JONESANDBEACH.COM

TRAFFIC ENGINEER
VANASSE & ASSOCIATES, INC.
10 N.E. BUSINESS CENTER DRIVE, SUITE 314
ANDOVER, MA 01810
(978) 474-8800
CONTACT: JEFFREY DIRK, P.E.

WETLAND CONSULTANT
WEST ENVIRONMENTAL, INC.
122 MAST ROAD, SUITE 6
LEE, NH 03824
(603) 659-0416
CONTACT: MARK WEST. CWS

ARCHITECT
EMBARC DESIGN
580 HARRISON AVE
SUITE 2W
BOSTON, MA 02118
(617) 765-8000
CONTACT: ROBERT DEL SAVIO. RA

LANDSCAPE ARCHITECT
COPLEY WOLF
10 POST OFFICE SQUARE
SUITE 1315
BOSTON, MA 02109
(617) 654-9000
CONTACT: JENNIFER MARTEL, ASLA, PLA



PROJECT PARCEL
TOWN OF CONCORD, NH
TAX MAP 611Z, LOT 39, 40 & 40-1
TAX MAP 61Z, LOT 9

APPLICANT
ONYX REGAL CONCORD, LLC/ONYX
STEEPLEGATE, LLC/ONYX TD CONCORD,
LLC 220 RESERVOIR STREET, SUITE 3,
NEEDHAM, MA 02494
MH CONCORD, LLC 124 W 36TH STREET,
RM 401, NEW YORK, NY 10018

TOTAL LOT AREA

60.9± ACRES

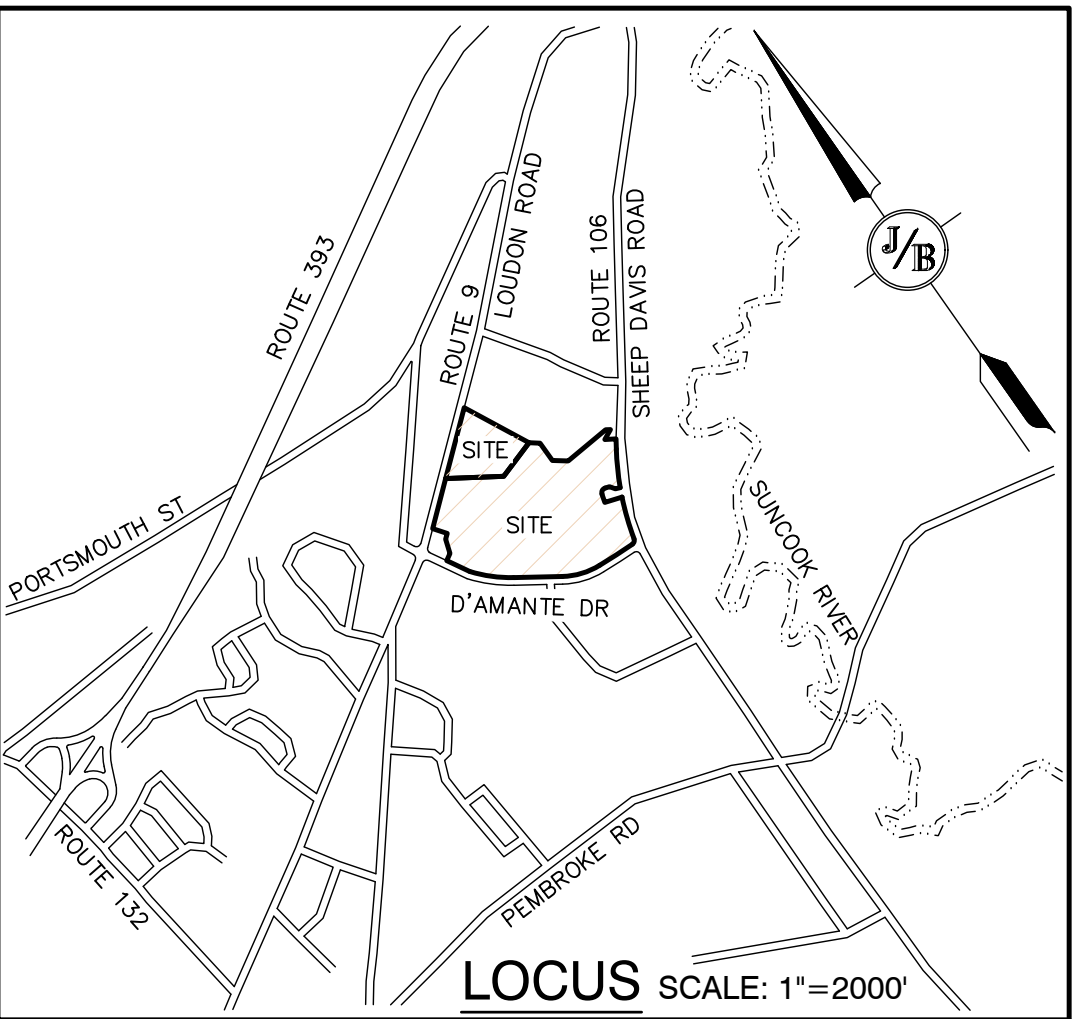
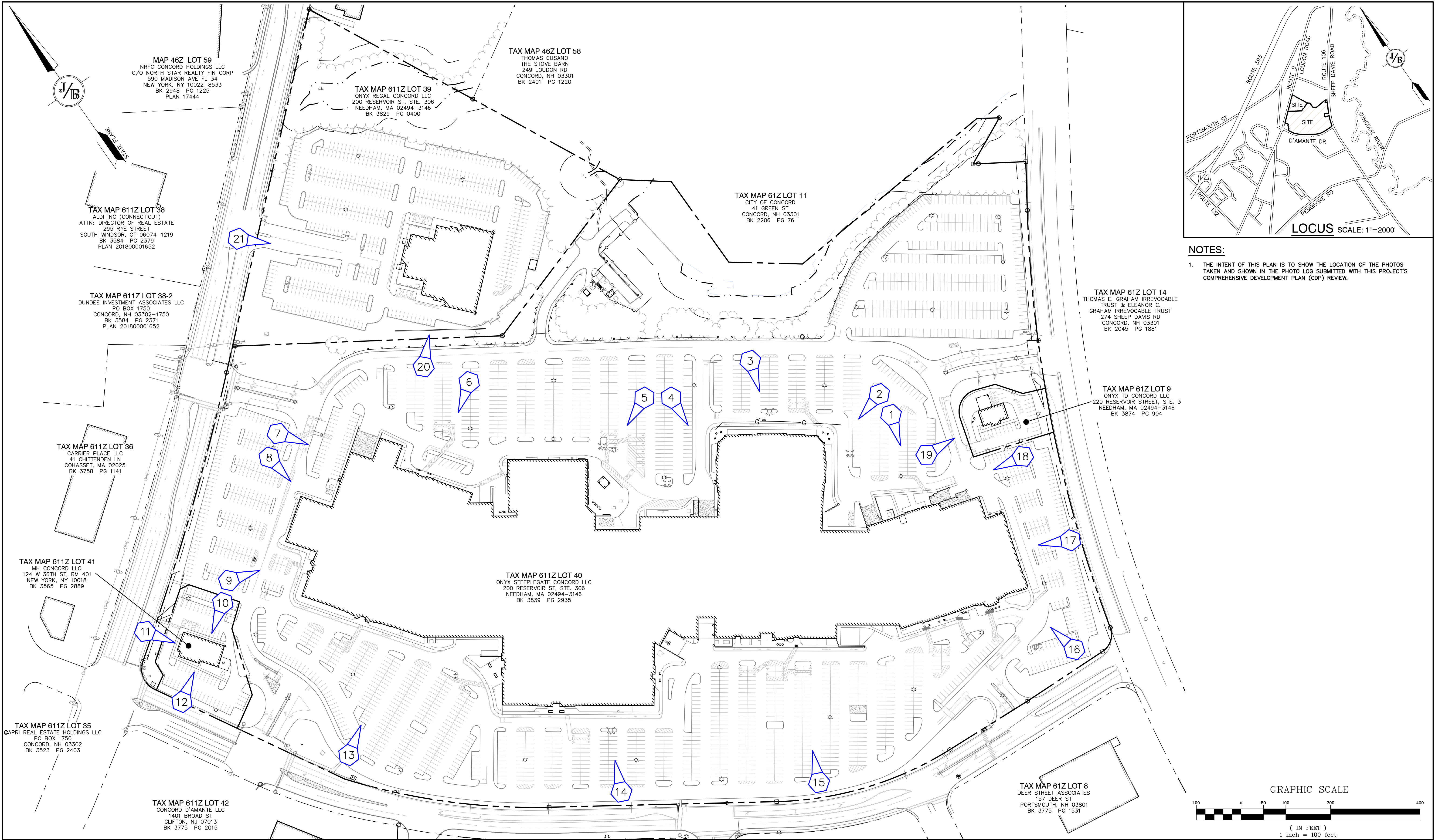
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM
REV.	DATE	REVISION	BY

DRAWING No. _____

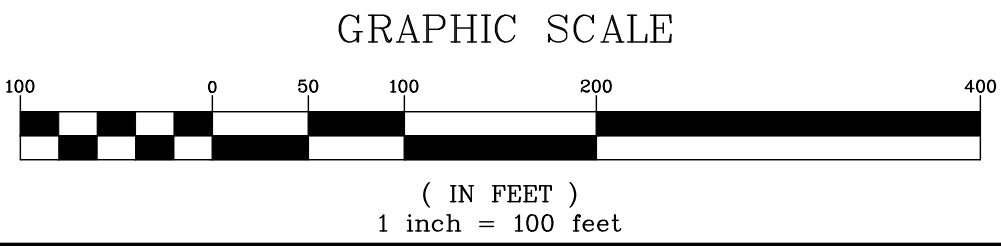
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SHEET NO. 1 OF 24
JBE PROJECT NO. 23031

DESIGN REVIEW, "STEEPLEGATE & REGAL REDEVELOPMENTS", LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS ROAD



- NOTES:**
1. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE PHOTOS TAKEN AND SHOWN IN THE PHOTO LOG SUBMITTED WITH THIS PROJECT'S COMPREHENSIVE DEVELOPMENT PLAN (CDP) REVIEW.



Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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0	11/20/24	ISSUED FOR REVIEW	ISM

JONES & BEACH
ENGINEERS INC.

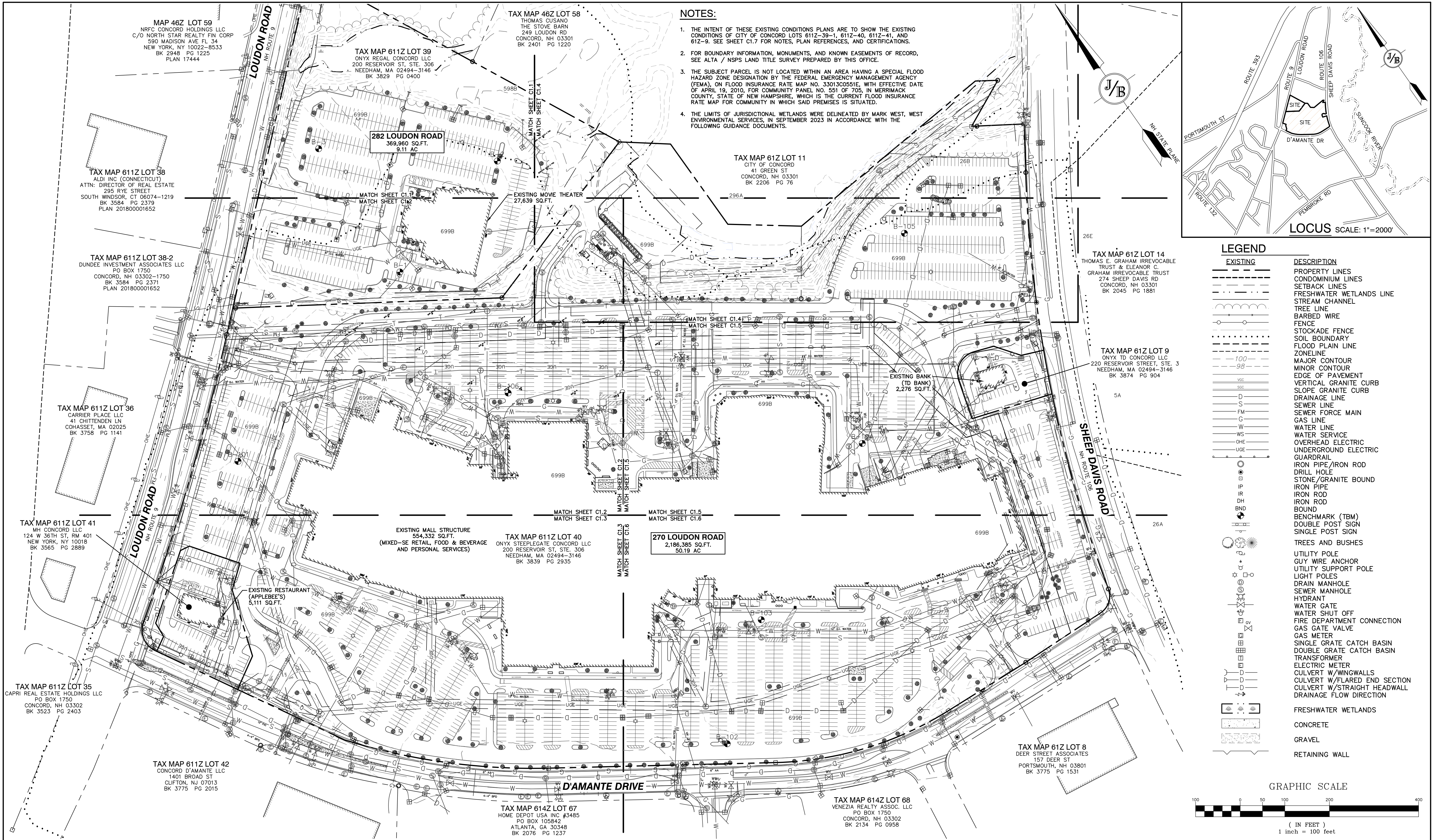
85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	OVERVIEW PLAN - PHOTO LOCATIONS
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.

OV1

SHEET NO. 2 OF 24
JBE PROJECT NO. 23031



Design: WGM | Draft: MJS | Date: 3/16/23
Checked: WGM | Scale: AS NOTED | Project No.: 23031
Drawing Name: 23031-EX-CONDITIONS.dwg
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NEW STATE OF
1030
MATTHEW
J.
SALVUCCI
SIGNATURE

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2	6/17/26	ISSUED FOR DESIGN REVIEW APPLICATION	ISM
1	4/14/26	ISSUED FOR NEW CDP APPLICATION	ISM
0	6/14/24	ISSUED FOR REVIEW	ISM

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
Designed and Produced in NH
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: OVERALL EXISTING CONDITIONS PLAN
Project: "STEEPLEGATE & REGAL REDEVELOPMENTS"
LOUDON ROAD, D'AMANTE DRIVE & SHEEP DAVIS ROAD, CONCORD, NH
Owner of Record: ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD LLC
200 RESERVOIR STREET, NEEDHAM, MA 02494

DRAWING No.
C1
SHEET 3 OF 29
JBE PROJECT NO. 23031



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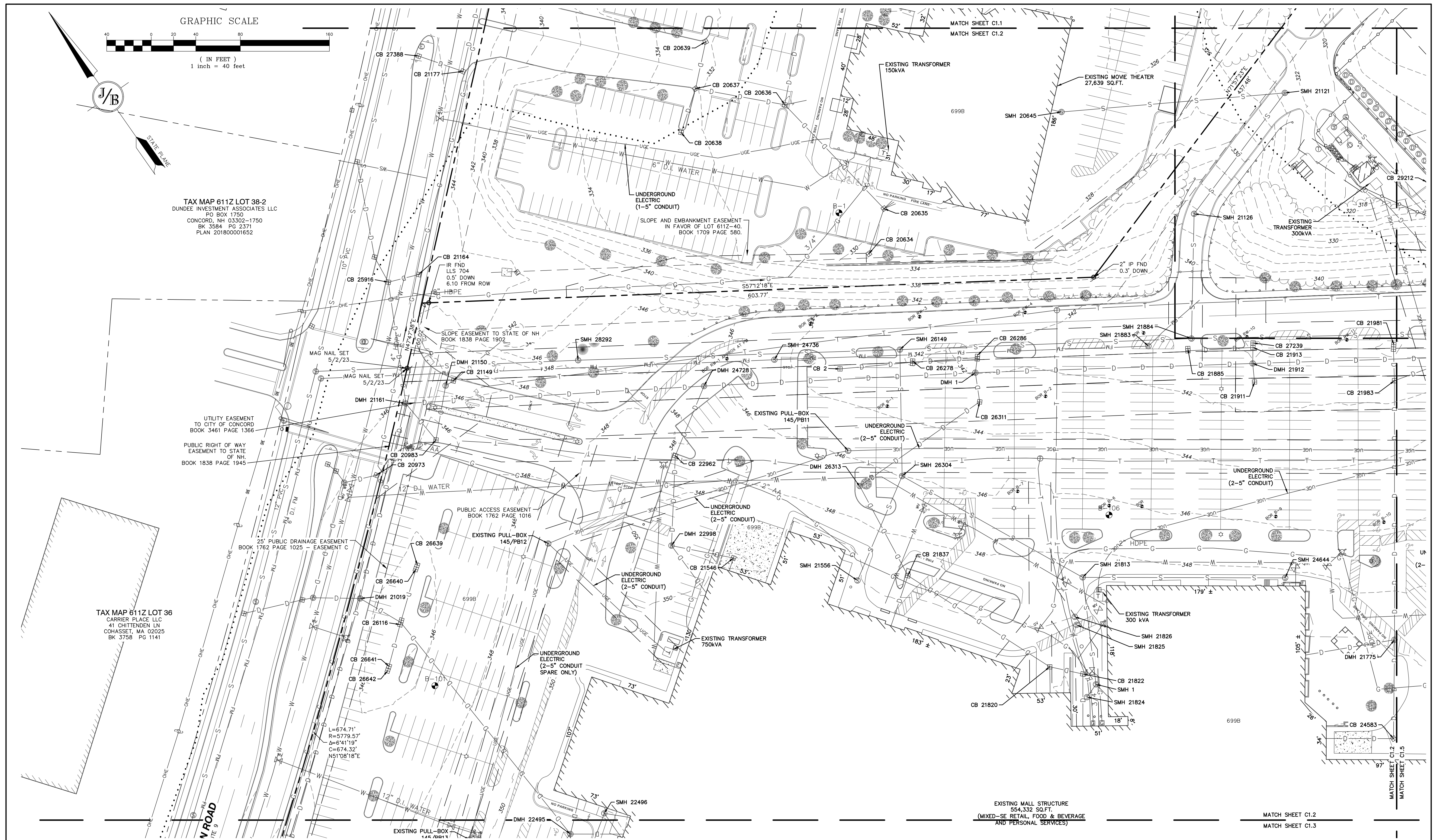
NO. 1030
MATTHEW J. SALVUCCI
SIGNATURE

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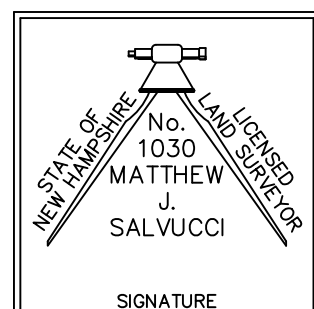
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Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **EXISTING CONDITIONS PLAN**
Project: **"STEEPLEGATE & REGAL REDEVELOPMENTS"**
Owner of Record: **ONYX REGAL CONCORD, LLC/ONYX STEELEGATE, LLC/ONYX TD CONCORD, LLC**
200 RESERVOIR STREET, NEEDHAM, MA 02494

DRAWING No.
C1.1
SHEET 4 OF 29
JBE PROJECT NO. 23031



Design: WGM	Draft: MJS	Date: 3/16/23
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Drawing Name: 23031-JE-CONDITIONS.dwg		
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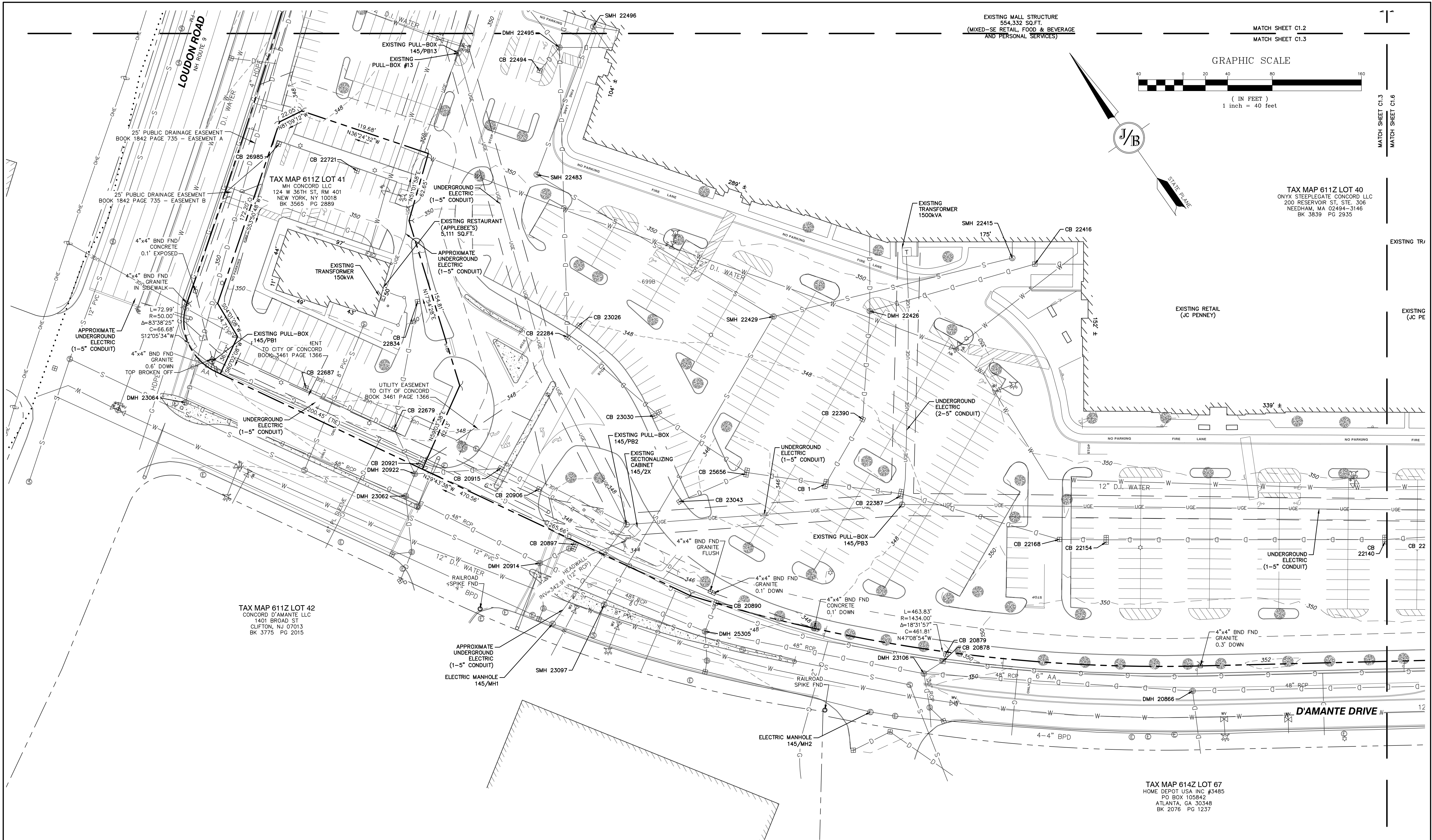
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885	<i>Civil Engineering Services</i>	603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM
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Plan Name:	EXISTING CONDITIONS PLAN
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON ROAD, D'AMANTE DRIVE & SHEEP DAVIS ROAD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD ILLS 200 RESERVOIR STREET, NEEDHAM, MA 02494

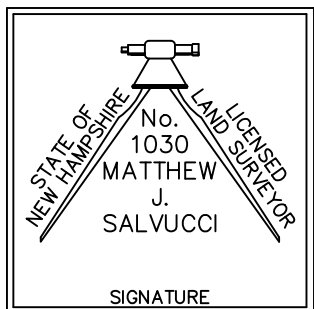
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SHEET 5 OF 29
JBE PROJECT NO. 23031



Design: WGM	Draft: MJS	Date: 3/16/23
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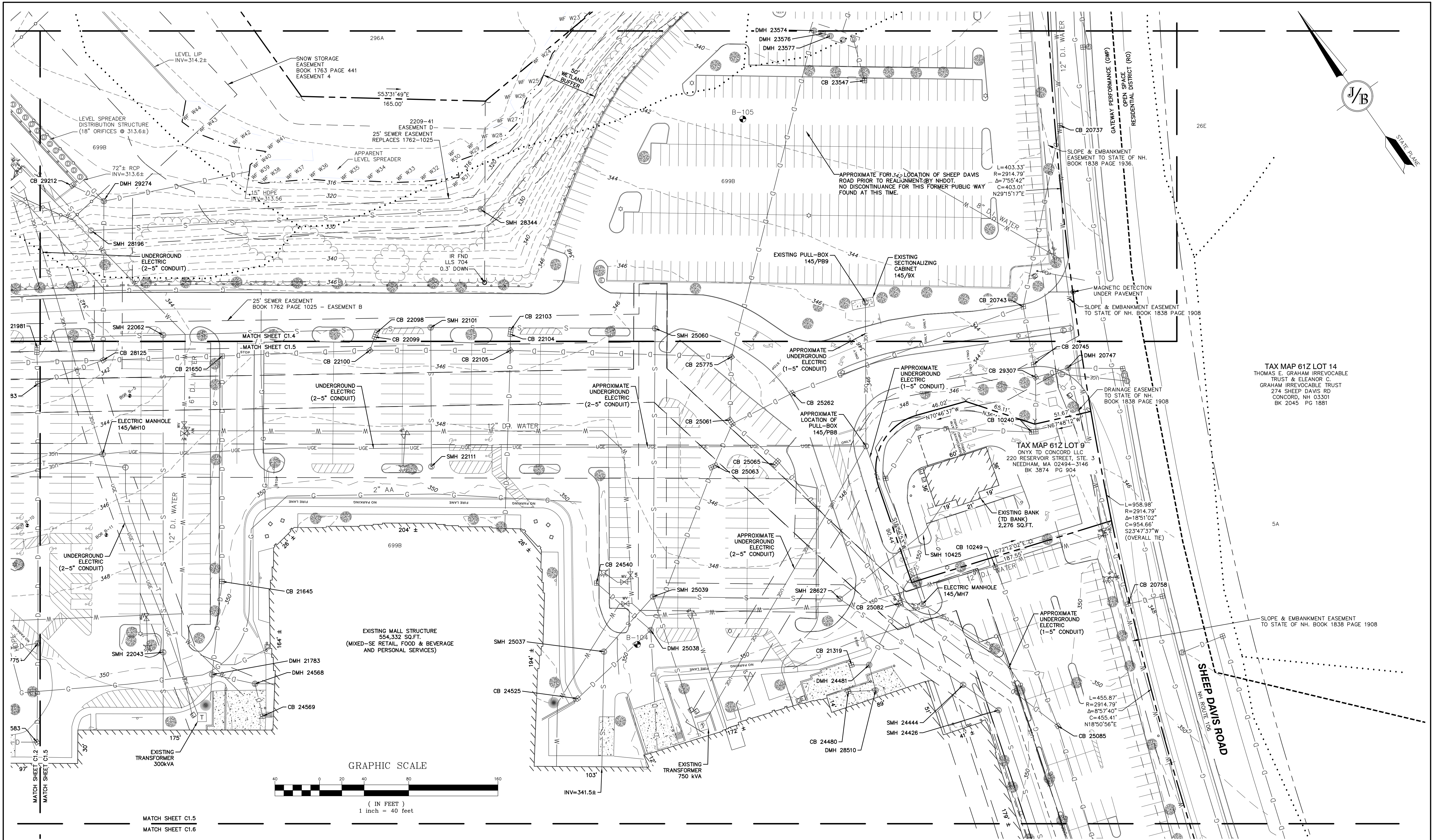
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0	6/14/24	ISSUED FOR REVIEW	ISM

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E-MAIL: JBE@JONESANDBEACH.COM

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Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 200 RESERVOIR STREET, NEEDHAM, MA 02494

DRAWING No.
C1.3
SHEET 6 OF 29
JBE PROJECT NO. 23031



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NO. 1030
MATTHEW J. SALVUCCI
SIGNATURE

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0	6/14/24	ISSUED FOR REVIEW	ISM

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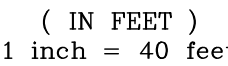
603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
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Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 200 RESERVOIR STREET, NEEDHAM, MA 02494

DRAWING No.

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SHEET 8 OF 29
JBE PROJECT NO. 23031



LOT AREAS:

MAP 611Z/LOT 39 (282 LOUDON ROAD)
TOTAL LOT AREA = 396,960 SQ.FT. = 9.113 AC
TOTAL WETLAND AREA = 20,859 SQ.FT. = 0.479 AC
TOTAL BUILDABLE AREA = 376,101 SQ.FT. = 8.634 AC
TOTAL IMPERVIOUS AREA = 184,252 SQ.FT. = 4.23 AC
TOTAL BUILDING AREA = 27,639 SQ.FT. = 0.63 AC

MAP 611Z/LOT 40 (270 LOUDON ROAD)
TOTAL LOT AREA = 2,186,385 SQ.FT. = 50.192 AC
TOTAL WETLAND AREA = 40,787 SQ.FT. = 0.936 AC
TOTAL BUILDABLE AREA = 2,145,598 SQ.FT. = 49.256 AC
TOTAL IMPERVIOUS AREA = 1,186,747 SQ.FT. = 27.24 AC
TOTAL BUILDING AREA = 554,332 SQ.FT. = 12.73 AC

MAP 611Z/LOT 41
TOTAL LOT AREA = 45,942 SQ.FT. = 1.05 AC
TOTAL WETLAND AREA = N/A
TOTAL BUILDABLE AREA = 45,492 SQ.FT. = 1.05 AC
TOTAL IMPERVIOUS AREA = 27,794 SQ.FT. = 0.64 AC
TOTAL BUILDING AREA = 5,111 SQ.FT. = 0.12 AC

MAP 61Z/LOT 9
TOTAL LOT AREA = 24,202 SQ.FT. = 0.56 AC
TOTAL WETLAND AREA = N/A
TOTAL BUILDABLE AREA = 24,202 SQ.FT. = 0.56 AC
TOTAL IMPERVIOUS AREA = 14,415 SQ.FT. = 0.33 AC
TOTAL BUILDING AREA = 2,276 SQ.FT. = 0.05 AC

NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS OF CITY OF CONCORD LOTS 611Z-39, 611Z-40, 611Z-41 AND 61Z-9.
- CURRENT OWNERS OF RECORD:

MAP 611Z/LOT 39 -- 282 LOUDON ROAD
ONYX REGAL CONCORD, LLC
200 RESERVOIR STREET
SUITE 306
NEEDHAM, MA 02494
BK 3829, PG 400

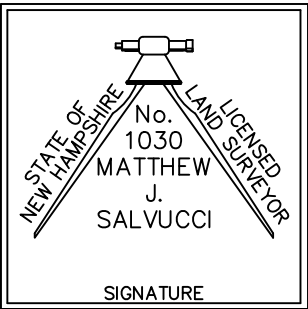
MAP 611Z/LOT 40 -- 270 LOUDON ROAD
ONYX STEEPLGATE CONCORD, LLC
200 RESERVOIR STREET
SUITE 306
NEEDHAM, MA 02494
BK 3839, PG 2935

MAP 611Z/LOT 41 -- 260 LOUDON ROAD
MH CONCORD, LLC
124 WEST 36TH STREET
ROOM 401
NEW YORK, NY 10018
BK 3565, PG 2889

MAP 61Z/LOT 9 -- 277 SHEEP DAVIS ROAD
ONYX TD CONCORD, LLC
220 RESERVOIR STREET, STE. 3
NEEDHAM, MA 02494
BK 3874, PG 903
- ZONING DISTRICT: GWP -- GATEWAY PERFORMANCE DISTRICT
- THE FEATURES SHOWN ON THIS PLAT ARE A RESULT OF SURVEY PERFORMED ON THE GROUND IN FEBRUARY AND MARCH 2023. LAST SITE VISIT WAS OCTOBER 2025.
A. OBSERVATIONS ON THE SUBJECT PREMISES, AS OF THE LAST SITE VISIT HAVE BEEN PLOTTED.
B. NO EVIDENCE WAS OBSERVED THAT THE SUBJECT PREMISES WERE BEING USED AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL, AS OF THE LAST SITE VISIT
C. NO CEMETERIES WERE OBSERVED ON THE PARCEL SURVEYED.
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE, AND PLANS OF RECORD. LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. NO SUBSURFACE INVESTIGATION OF UTILITIES WAS PERFORMED. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33013C0551E, WITH EFFECTIVE DATE OF APRIL 19, 2010, FOR COMMUNITY PANEL NO. 551 OF 705, IN MERRIMACK COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
- BASIS OF BEARING: HORIZONTAL -- NH STATE PLANE. VERTICAL -- NAVD88.
- CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
- ALL BOOK AND PAGE NUMBERS REFER TO THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF CONCORD TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE CITY OF CONCORD ENGINEER'S OFFICE, THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, AND THE MERRIMACK COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- JURISDICTIONAL WETLANDS WERE WERE NOT DELINEATED AS A PART OF THIS SURVEY.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- DUE TO LARGE SNOW BANKS ON SITE AT THE TIME OF THE SURVEY, A PORTION OF THE DETAIL SHOWN HEREON IS FROM PUBLIC-SOURCE AERIAL IMAGERY. DETAIL WILL BE UPDATED AS AVAILABLE.
- THE SURVEYED PROPERTY IS UNIT 1 OF THE STEEPLGATE MALL LAND CONDOMINIUM. A BRICK SIGN LOCATED WITHIN UNIT 2, AND THREE SIGN LOCATIONS WITHIN UNIT 1 ARE COMMON AREA.
- THERE ARE NO KNOWN PROPOSED CHANGED IN STREET RIGHT OF WAY LINES THAT ABUT THE SURVEYED PROPERTY. THERE ARE SEVERAL RIGHT OF WAY EASEMENTS GRANTED TO THE STATE OF NEW HAMPSHIRE, AND TO THE CITY OF CONCORD THAT ENCOMBER THE SURVEYED PROPERTY ALONG EXISTING PUBLIC WAYS. IT IS THE OPINION OF THIS SURVEY THAT THE LAND UNDER THESE EASEMENTS IS NOT A PART OF THE PUBLIC RIGHT OF WAY, BUT IS STILL A PART OF THE SURVEYED PROPERTY. SEE PLAN REFERENCE 24.
- THE PROPERTY SURVEYED AND SHOW HEREON IS THE SAME PROPERTY REFERENCED IN COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE COMPANY.
- THE PROPERTY SURVEYED IS NOT WITHIN A WELLHEAD PROTECTION AREA, AS DEFINED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, AND THERE ARE NO KNOWN PUBLIC WATER SUPPLY WELLS ON SITE.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY MARK WEST, WEST ENVIRONMENTAL SERVICES, IN SEPTEMBER 2023 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
a. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
b. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
c. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
d. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.



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FAX: 603-772-0227
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Plan Name:	EXISTING CONDITIONS NOTES
Project:	"STEEPLGATE & REGAL REDEVELOPMENTS" LOUDON ROAD, D'AMANTE DRIVE & SHEEP DAVIS ROAD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD LLC 200 RESERVOIR STREET, NEEDHAM, MA 02494

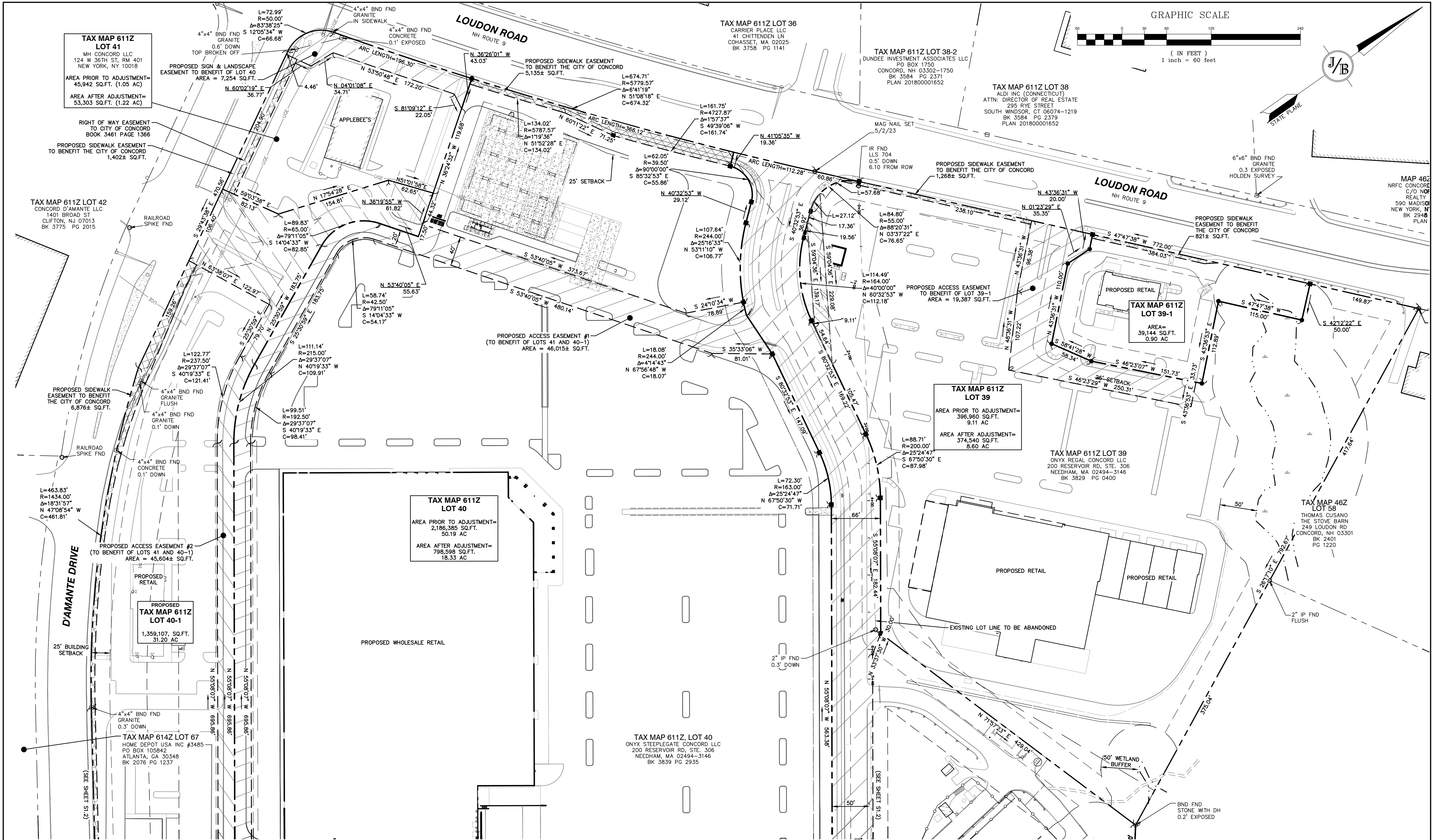
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C1.7

SHEET 10 OF 29
JBE PROJECT NO. 23031

PLAN REFERENCES:

- "SUBDIVISION & CONSOLIDATION PLAN PREPARED FOR ARMANTE R. & IDA P. D'AMANTE AND TRIANGLE PARK ASSOCIATES." DATED MARCH 1, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10774.
- "PRIVATE EASEMENT PREPARED FOR ARMANTE R. & IDA P. D'AMANTE." DATED NOVEMBER 11, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10782.
- "CONSOLIDATION & SUBDIVISION PLAN PREPARED FOR HOMART DEVELOPMENT CO." DATED MARCH 8, 1990. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 11721.
- "SUBDIVISION BY LEASE, STEEPLGATE MALL, PREPARED FOR PUB VENTURES OF NEW ENGLAND, INC. RECORD OWNER: HOMART DEVELOPMENT CO." DATED JULY 14, 1992. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 12730.
- "CONDOMINIUM SITE PLAN OF THE STEEPLGATE MALL, CONCORD, NH." DATED JUNE 2016. PREPARED BY RICHARD D. BARTLETT & ASSOCIATES, LLC. M.C.R.D. 201600014921.
- "EXHIBIT A, SLOPE EASEMENT PLAN, LOUDON ROAD, PREPARED FOR HOMART DEVELOPMENT CO., INC." DATED FEBRUARY 2, 1990. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. BOOK 1838 PAGE 1906.
- "LAND OF HOMART DEVELOPMENT CO., N.H. RTE. 106 EASEMENT PLAN, CONCORD, N.H." DATED FEBRUARY 2, 1990. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. BOOK 1838, PAGE 1915.
- "EXHIBIT A, EASEMENT PLAN, SHEEP DAVIS ROAD, PREPARED FOR HO CONCORD LAND CO, INC. DATED DECEMBER 12, 1989. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. BOOK 1838 PAGE 1924.
- "EXHIBIT A, EASEMENT PLAN, SHEEP DAVIS ROAD, PREPARED FOR ARMANTE R. & IDA P. D'AMANTE." DATED DECEMBER 8, 1989. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 1838 PAGE 1943.
- "EXHIBIT A, R.O.W. EASEMENT PLAN, LOUDON ROAD, PREPARED FOR HOMART DEVELOPMENT CO., INC." DATED FEBRUARY 2, 1990. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 1838 PAGE 1949.
- "BOUNDARY PLAN, CANAD CINEMAS, CONCORD, NH." DATED MARCH 13, 1996. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 13576.
- "PLAN OF LAND, J + F MACEACHRAN, CONCORD, NH. DATED OCTOBER 1939. PREPARED BY R. A. FOSTER. M.C.R.C. 906.
- "EIGHT TRACTS OF LAND ON THE CONCORD PLAINS, PROPERTY OF ARMANTE R. D'AMANTE, CONCORD, N.H." DATED AUGUST 13, 1957. M.C.R.C. 1943.
- "SURVEY OF THE LAND OF KENNETH H. & MIRIAM A. TILTON, CONCORD, N.H." DATED JANUARY 12, 1987. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 10411.
- "SUBDIVISION PLAN, TRIANGLE PARK, CONCORD, N.H." DATED NOVEMBER 9, 1987. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 10526.
- "SUBDIVISION PLAN, PREPARED FOR HODGES DEVELOPMENT CORPORATION." DATED NOVEMBER 16, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10840.
- "ALTA/ASCM LAND TITLE SURVEY, PREPARED FOR HOMART DEVELOPMENT CO." DATED SEPTEMBER 25, 1989. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 11305.
- "IMPROVEMENTS PLAN OF LAND PREPARED FOR NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, CONCORD, N.H." DATED DECEMBER 9, 1991. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 12299.
- "SUBDIVISION BY LEASE, STEEPLGATE MALL, PREPARED FOR CONCORD SAVINGS BANK, RECORD OWNER HOMART DEVELOPMENT CO." DATED OCTOBER 18, 1993. PREPARED BY ALAN H. SWANSON, INC. M.C.R.D. 12936.
- "TRACT NO. 4182-G, REAL ESTATE LIMITED PARTNERSHIP, CONCORD, N.H." DATED JANUARY 1982. PREPARED BY ERNEST E. VEINOTTE. M.C.R.D. 13577.
- "PUBLIC SEWER EASEMENT PLAN, STEEPLGATE MALL." DATED JULY 16, 1993. PREPARED BY ALAN H. SWANSON, INC. M.C.R.D. 14512.
- "STORM DRAINAGE AREA / EXISTING WETLAND AREA PLAN." DATED JULY 14, 1992. PREPARED BY ALAN H. SWANSON, INC. M.C.R.D. 14513.
- "PUBLIC SEWER EASEMENT PLAN, STEEPLGATE MALL, PREPARED FOR GENERAL GROWTH PROPERTIES, INC. RECORD OWNER GGP-STEEPLGATE, INC. DATED APRIL 20, 2000. PREPARED BY HSI HAYNER/SWANSON, INC. M.C.R.D. BOOK 2209 PAGE 48.
- "ALTA / ASCM LAND TITLE SURVEY, STEEPLGATE MALL, CONCORD, NH." DATED JUNE 25, 2004. PREPARED BY HSI HAYNER/SWANSON, INC. NOT RECORDED.
- "TRACTS OF LAND ON THE CONCORD PLAINS, ARMANTE R. D'AMANTE." DATED APRIL 10, 1957. PREPARED BY E. N. ROBERTS. CITY OF CONCORD PLAN NO. 586_1.
- "PROPOSED MINOR SUBDIVISION, ARMANTE R. & IDA P. D'AMANTE. CONCORD, N.H." DATED JULY 26, 1972. PREPARED BY THOMAS F. MORAN INC. CITY OF CONCORD PLAN NO. 586_2.
- CONSOLIDATION AND SUBDIVISION PLAN FOR THE ROUSE COMPANY." DATED MAY 15, 1979. PREPARED BY ALAN H. SWANSON, INC. CITY OF CONCORD PLAN Nos. 1045_1 & 1045_2.
- PLANS OF PROPOSED TRANSPORTATION AND ROADWAY IMPROVEMENTS, D'AMANTE DRIVE / LOUDON ROAD / NH ROUTE 106." DATED APRIL 6, 1999. PREPARED BY VANASSE HANGEN BRUSTLIN, INC. CITY OF CONCORD PLAN SET NO 3098.
- "MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED MAY 13, 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131_1.
- "SITE PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED JUNE 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131_2.
- "SITE PLAN PHASE I, LOUDON ROAD, CONCORD, N.H., PREPARED FOR REALWORLD." DATED NOVEMBER 18, 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131_3.
- "CONCEPTUAL SITE MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED REALWORLD" DATED NOVEMBER 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131_4.
- "STEEPLGATE MALL, HOMART DEVELOPMENT, CITY OF CONCORD, JOB NO. 75658, 75668, 75688. DATED MARCH 1, 1989. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT NO. S 21 (2) 0-796 SHEEP DAVIS ROAD. DATED MARCH 10, 1949. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
- STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. U-40 (7) P-2055 CENTRAL ROAD. DATED JUNE 28, 1945. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



Design: ISM Draft: GDR Date: 04/07/26
Checked: WGM Scale: AS NOTED Project No.: 23031
Drawing Name: 23031-SUBDIVISION.dwg
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.

DRAFT
6/17/26

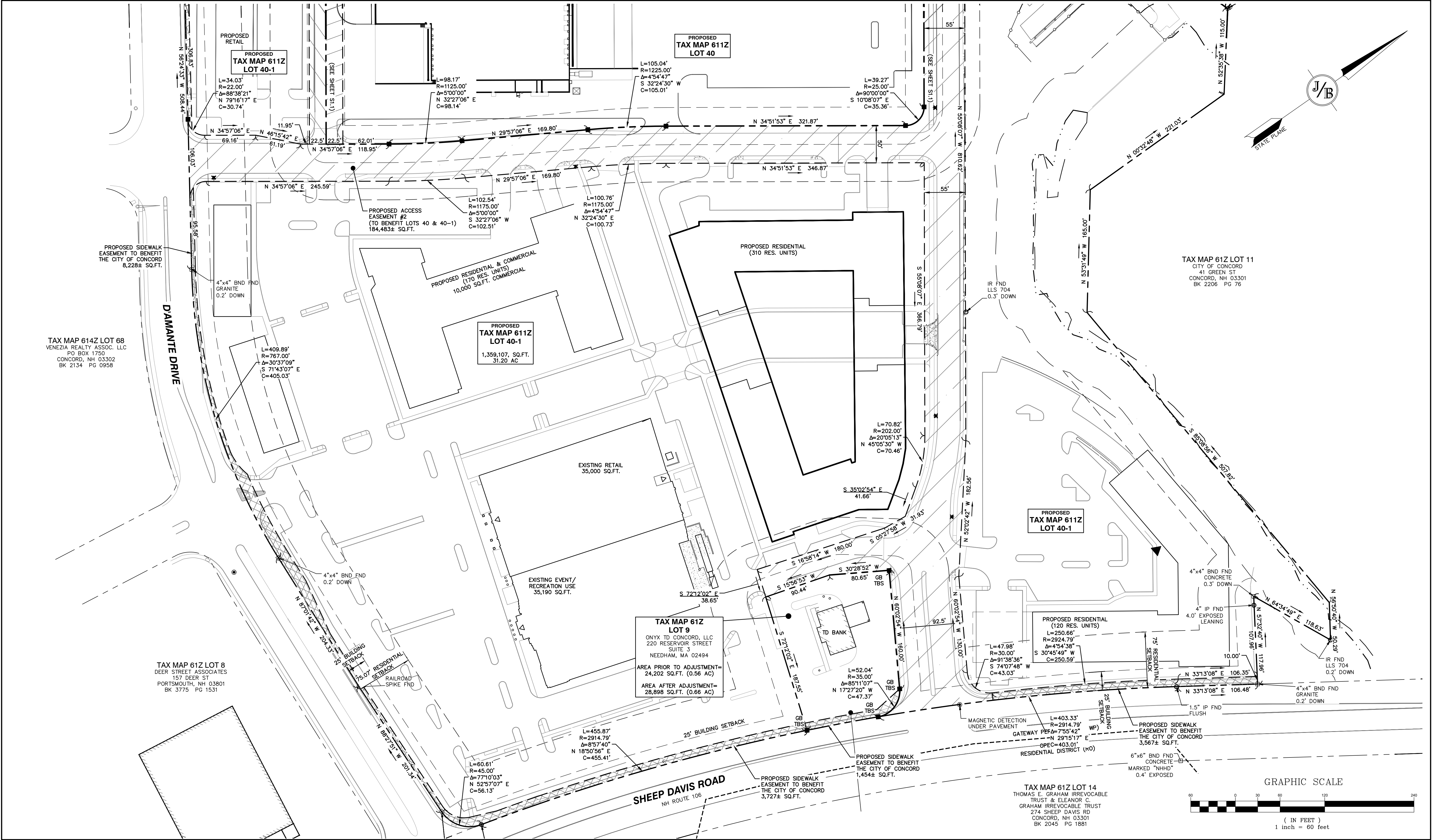
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JONES & BEACH
ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name: **SUBDIVISION PLAN - WEST**
Project: **"STEEPLEGATE & REGAL REDEVELOPMENTS"**
LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record: ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC & ONYX TD CONCORD, LLC
220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494
MH CONCORD, LLC 124 W 36TH STREET, NEW YORK, NY 10018

DRAWING No.
S1.1
SHEET 1 OF 3
JBE PROJECT NO. 23031



Design: ISM	Draft: GDR	Date: 04/07/26
Checked: WGM	Scale: AS NOTED	Project No.: 23031
Drawing Name: 23031-SUBDIVISION.dwg		
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0	-	ISSUED FOR REVIEW	ISM
REV.	DATE	REVISION	BY

JONES & BEACH
ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	SUBDIVISION PLAN - EAST
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEELEGATE, LLC & ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, NEW YORK, NY 10018

DRAWING No.

S1.2

SHEET 13 OF 3
JBE PROJECT NO. 23031

=====	PROPERTY LINE
-----	ABUTTER PROPERTY LINE
-----	BUILDING SETBACK
-----	SURVEY TIE LINES
-----	EDGE OF PAVEMENT
-----	EDGE OF GRAVEL
-----	OVERHEAD ELECTRIC LINES
-----	DRAIN LINE
-----	CATCH BASIN
-----	DRAIN MANHOLE
-----	WATER LINE
-----	HYDRANT
-----	WATER GATE VALVE
-----	WATER SHUTOFF
-----	FIRE DEPARTMENT CONNECTION
-----	SEWER LINE
-----	SEWER MANHOLE
-----	BOLLARD
-----	UTILITY POLE
-----	GUY WIRE ANCHOR
-----	UTILITY SUPPORT POLE
-----	ELECTRIC METER
-----	GAS LINE
-----	GAS GATE VALVE
-----	GAS METER
-----	IRON PIPE
-----	IRON ROD
-----	DRILL HOLE
-----	BOUND

1. "SUBDIVISION & CONSOLIDATION PLAN PREPARED FOR ARMANTE R. & IDA P. D'AMANTE AND TRIANGLE PARK ASSOCIATES." DATED MARCH 1, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10774.
2. "PRIVATE EASEMENT PREPARED FOR ARMANTE R. & IDA P. D'AMANTE." DATED NOVEMBER 11, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 11271.
3. "CONSOLIDATION & SUBDIVISION PLAN PREPARED FOR HOMART DEVELOPMENT CO." DATED MARCH 8, 1990. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 11721.
4. "SUBDIVISION BY LEASE, STEEPLGATE MALL, PREPARED FOR PUB VENTURES OF NEW ENGLAND, INC. RECORD OWNER: HOMART DEVELOPMENT CO." DATED JULY 14, 1992. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 12730.
5. "CONDOMINIUM SITE PLAN OF THE STEEPLGATE MALL, CONCORD, NH." DATED JUNE 2016. PREPARED BY RICHARD D. BARTLETT & ASSOCIATES, LLC. M.C.R.D. 201600014921.
6. "BOUNDARY PLAN, CANAD CINEMAS, CONCORD, NH." DATED MARCH 13, 1996. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 13576.
7. "PLAN OF LAND, J. & F MACEACHRAN, CONCORD, NH." DATED OCTOBER 1939. PREPARED BY R. A. FOSTER. M.C.R.C. 906.
8. "EIGHT TRACTS OF LAND ON THE CONCORD PLAINS, PROPERTY OF ARMANTE R. D'AMANTE, CONCORD, N.H." DATED AUGUST 13, 1957. M.C.R.C. 1943.
9. "SURVEY OF THE LAND OF KENNETH H. & MIRIAM A. TILTON, CONCORD, N.H." DATED JANUARY 12, 1987. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 10411.
10. "SUBDIVISION PLAN, PREPARED FOR HODGES DEVELOPMENT CORPORATION." DATED NOVEMBER 16, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10841.
11. "IMPROVEMENTS PLAN OF LAND PREPARED FOR NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY, CONCORD, N.H." DATED DECEMBER 9, 1991. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. 12299.
12. "SUBDIVISION BY LEASE, STEEPLGATE MALL, PREPARED FOR CONCORD SAVINGS BANK, RECORD OWNER HOMART DEVELOPMENT CO." DATED OCTOBER 18, 1993. PREPARED BY ALAN H. SWANSON, INC. M.C.R.D. 13233.
13. "TRACT NO. 4182-G, ERNEST E. VEINOTTE LIMITED PARTNERSHIP, CONCORD, N.H." DATED JANUARY 1982. PREPARED BY REAL ESTATE M.C.R.D. 13577.
14. "STORM DRAINAGE AREA / EXISTING WETLAND AREA PLAN." DATED JULY 14, 1992. PREPARED BY ALAN H. SWANSON, INC. M.C.R.D. 14513.
15. "PLAT ASSEM LAND TITLE SURVEY, STEEPLGATE MALL, CONCORD, NH." DATED JUNE 25, 2004. PREPARED BY HSI HAYNER/SWANSON, INC. NOT RECORDED.
16. "TRACTS OF LAND ON THE CONCORD PLAINS, ARMANTE R. D'AMANTE." DATED APRIL 10, 1957. PREPARED BY E. N. ROBERTS. CITY OF CONCORD PLAN NO. 586-1.
17. "PROPOSED MINOR SUBDIVISION, ARMANTE R. & IDA P. D'AMANTE. CONCORD, N.H." DATED JULY 26, 1972. PREPARED BY THOMAS F. MORAN INC. CITY OF CONCORD PLAN NO. 586-2.
18. "CONDOMINIUM SUBDIVISION PLAN FOR THE HOMART COMPANY." DATED MAY 15, 1979. PREPARED BY ALAN H. SWANSON, INC. CITY OF CONCORD PLAN NOS. 1045-1 & 1045-2.
19. "MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED MAY 13, 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-1.
20. "SITE PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED JUNE 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-2.
21. "SPLIT PLAN, PHASE 1, LOUDON ROAD, CONCORD, N.H., PREPARED FOR REALWORLD." DATED NOVEMBER 18, 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-3.
22. "CONCEPTUAL SITE MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED REALWORLD." DATED NOVEMBER 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131.
23. STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. U-40 (7) P-2055 CENTRAL ROAD. DATED JUNE 28, 1945. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

1. TOTAL EXISTING PARCEL AREA = 396,960 SQ. FT. OR 9.113 ACRES.
2. ZONING DISTRICT: GWP - GATEWAY PERFORMANCE DISTRICT
3. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 1985B-1, WHICH IS DATED JULY 15, 2010, FOR COMMUNITY PANEL NO. 551 OF 705, IN MERRIMACK COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
4. BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
5. CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
6. ALL BOOK AND PAGE NUMBERS REFER TO THE MERRIMACK COUNTY REGISTRY OF DEEDS.

1. TOTAL PARCEL AREA = 2,186,385 SQ. FT. OR 50.192 ACRES.
2. ZONING DISTRICT: GWP - GATEWAY PERFORMANCE DISTRICT
3. THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE, AND PLANS OF RECORD. LOCATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY. NO SUBSURFACE INVESTIGATION OF UTILITIES WAS PERFORMED. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
4. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33013C00551E, WITH EFFECTIVE DATE OF APRIL 19, 2010, FOR COMMUNITY PANEL NO. 551 OF 705, IN MERRIMACK COUNTY, STATE OF NEW HAMPSHIRE, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR COMMUNITY IN WHICH SAID PREMISES IS SITUATED.
5. BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
6. CERTAIN DATA HEREON MAY VARY FROM RECORDED DATA DUE TO DIFFERENCES IN DECLINATION, ORIENTATION, AND METHODS OF MEASUREMENT.
7. ALL BOOK AND PAGE NUMBERS REFER TO THE MERRIMACK COUNTY REGISTRY OF DEEDS.
8. THE TAX MAP AND LOT NUMBERS ARE BASED ON THE CITY OF CONCORD TAX RECORDS AND ARE SUBJECT TO CHANGE.
9. RESEARCH WAS PERFORMED AT THE CITY OF CONCORD ENGINEER'S OFFICE, THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, AND THE MERRIMACK COUNTY REGISTRY OF DEEDS.
10. THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
11. ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL, TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
12. SURVEY THE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
13. THE PROPERTY SURVEYED IS NOT WITHIN A WELLHEAD PROTECTION AREA, AS DEFINED BY THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES, AND THERE ARE NO KNOWN PUBLIC WATER SUPPLY WELLS ON SITE.

1. "SUBDIVISION & SUBDIVISION PLAN PREPARED FOR ARMANTE R. & IDA P. D'AMANTE AND TRIANGLE PARK ASSOCIATES." DATED MARCH 1, 1988. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 10773.
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4. "SUBDIVISION BY LEASE, STEEPLEGATE MALL, PREPARED FOR PUB VENTURES OF NEW ENGLAND, INC. RECORD OWNER: HOMART DEVELOPMENT CO." DATED JULY 14, 1992. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 12730.
5. "CONDOMINIUM SITE PLAN OF THE STEEPLEGATE MALL, CONCORD, NH." DATED JUNE 2016. PREPARED BY RICHARD D. BARTLETT & ASSOCIATES, LLC. M.C.R.D. 201600014921.
6. "EXHIBIT A, SLOPE EASEMENT PLAN, LOUDON ROAD, PREPARED FOR ARMANTE R. & IDA P. D'AMANTE CO., INC." DATED FEBRUARY 2, 1990. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. BOOK 1838 PAGE 1908.
7. "LAND OF HOMART DEVELOPMENT CO., N.H. RTE. 106 EASEMENT PLAN, CONCORD, N.H." DATED FEBRUARY 2, 1990. PREPARED BY HOLDEN ENGINEERING & SURVEYING. M.C.R.D. BOOK 1838, PAGE 1915.
8. "EXHIBIT A, EASEMENT PLAN, SHEEP DAVIS ROAD, PREPARED FOR HO CONCORD LAND CO, INC. DATED DECEMBER 12, 1989. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. BOOK 1838 PAGE 1924.
9. "EXHIBIT A, EASEMENT PLAN, SHEEP DAVIS ROAD, PREPARED FOR ARMANTE R. & IDA P. D'AMANTE." DATED DECEMBER 8, 1989. PREPARED BY ALLAN H. SWANSON, INC. M.C.R.D. 1838 PAGE 1943.
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12. "PLAN OF LAND, J + F MACEACHRAN, CONCORD, NH. DATED OCTOBER 1939. PREPARED BY R. A. FOSTER. M.C.R.C. 906.
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23. "PUBLIC SEWER EASEMENT PLAN, STEEPLEGATE MALL, PREPARED FOR GENERAL GROWTH PROPERTIES, INC. RECORD OWNER GOP-STEPELEGATE, INC. DATED APRIL 20, 2000. PREPARED BY HSI HAYNER/SWANSON, INC. M.C.R.D. BOOK 2209 PAGE 48.
24. "ALTA / ASCM LAND TITLE SURVEY, STEEPLEGATE MALL, CONCORD, NH." DATED JUNE 25, 2004. PREPARED BY HSI HAYNER/SWANSON, INC. NOT RECORDED.
25. "TRACTS OF LAND ON THE CONCORD PLAINS, ARMANTE R. D'AMANTE." DATED APRIL 10, 1957. PREPARED BY E. N. ROBERTS. CITY OF CONCORD PLAN NO. 586-1.
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28. "PLANS OF PROPOSED TRANSPORTATION AND ROADWAY IMPROVEMENTS, D'AMANTE DRIVE / LOUDON ROAD / NH ROUTE 106." DATED APRIL 6, 1999. PREPARED BY VANASSE HANGEN BRUSTLIN, INC. CITY OF CONCORD PLAN SET NO 3098.
29. "MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED MAY 13, 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-1.
30. "SITE PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED FOR MICRO BUSINESS SOFTWARE, INC." DATED JUNE 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-2.
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32. "CONCEPTUAL SITE MASTER PLAN, LOUDON ROAD, CONCORD, N.H., PREPARED REALWORLD" DATED NOVEMBER 1983. PREPARED BY HAMILTON ENGINEERING ASSOCIATES. CITY OF CONCORD PLAN NO. 4131-4.
33. "STEPELEGATE MALL, HOMART DEVELOPMENT, CITY OF CONCORD, JOB NO. 75658, 75668, 75688. DATED MARCH 1, 1989. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
34. "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT NO. S 21 (2) 0-796 SHEEP DAVIS ROAD. DATED MARCH 10, 1949. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
35. "STATE OF NEW HAMPSHIRE HIGHWAY DEPARTMENT, PLANS OF PROPOSED FEDERAL AID PROJECT NO. U-40 (7) P-2055 CENTRAL ROAD. DATED JUNE 28, 1945. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

Design: ISM	Draft: GDR	Date: 04/07/26
Checked: WGM	Scale: AS NOTED	Project No.: 23031
Drawing Name: 23031-SUBDIVISION.dwg		
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0	-	ISSUED FOR REVIEW	ISM
REV.	DATE	REVISION	BY

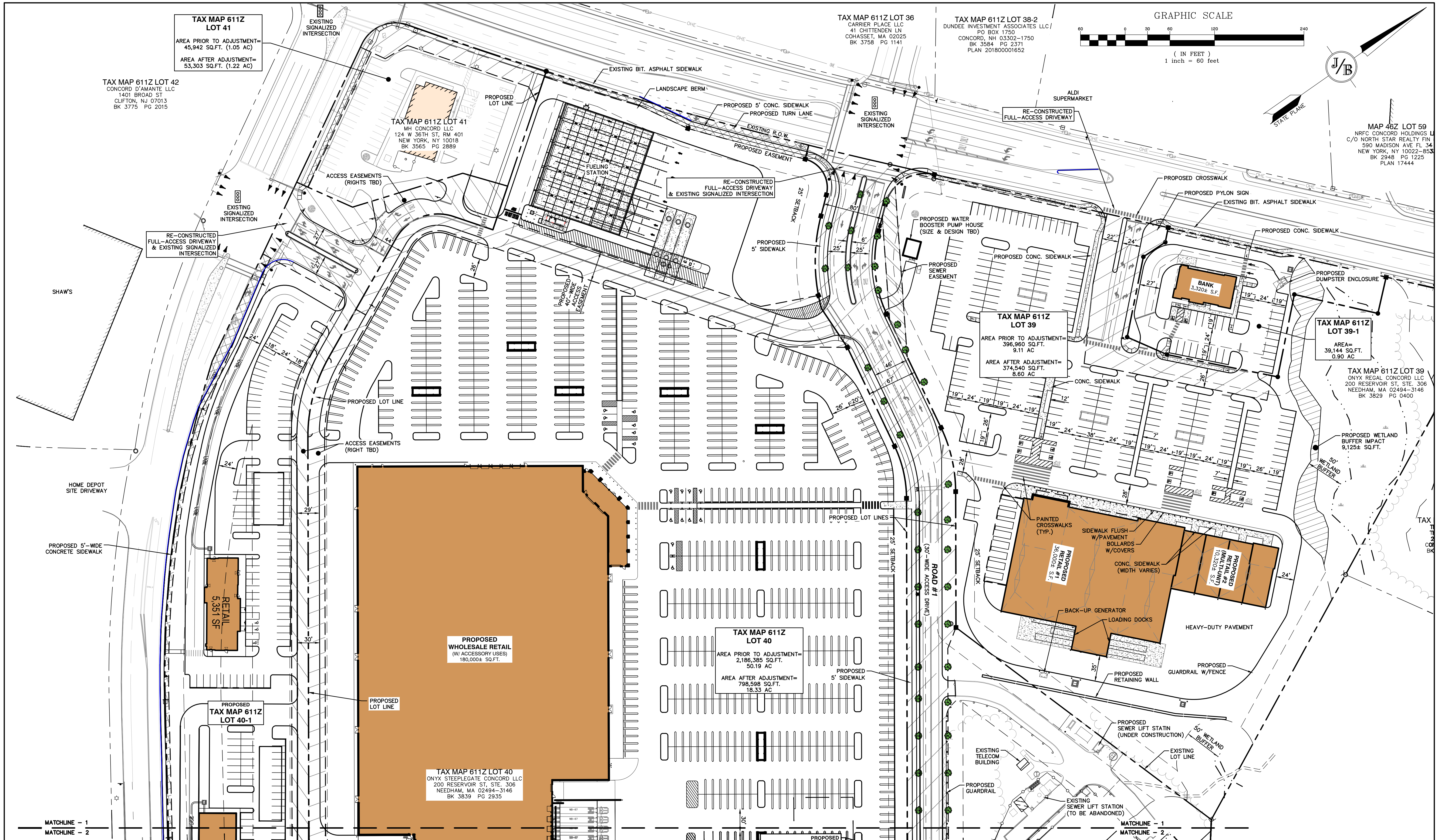
JONES & BEACH
ENGINEERS INC.
85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	NOTES AND DETAILS
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD. D'AMANTE DRIVE & SHEEP DAVID RD. CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLATE, LLC & ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3 NEEDHAM, MA 02464 MH CONCORD, LLC 124 W 36TH STREET, NEW YORK, NY 10018

DRAWING No.

S1.3

SHEET 14 OF 3
JBE PROJECT NO. 23031



Design: ISM	Draft: HCH	Date: 06/17/2026
Checked: WGM	Scale: AS SHOWN	Project No.: 23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG	
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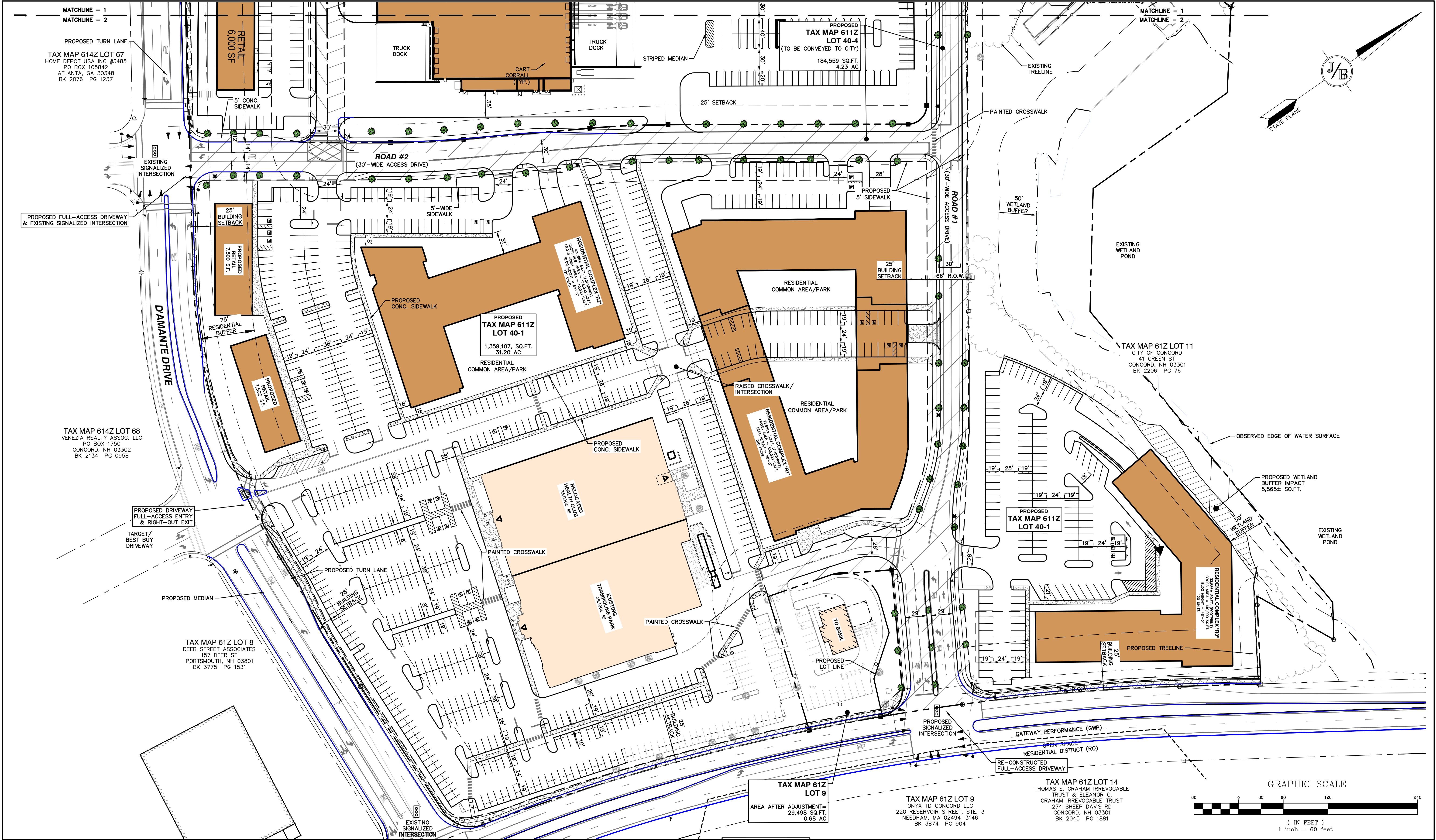
REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

JONES & BEACH
ENGINEERS INC.

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603.772.4746 - JonesandBeach.com

Plan Name:	SITE PLAN - WEST
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.	C2.1
SHEET NO. 16 OF 24 JBE PROJECT NO. 23031	



Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

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ENGINEERS INC.

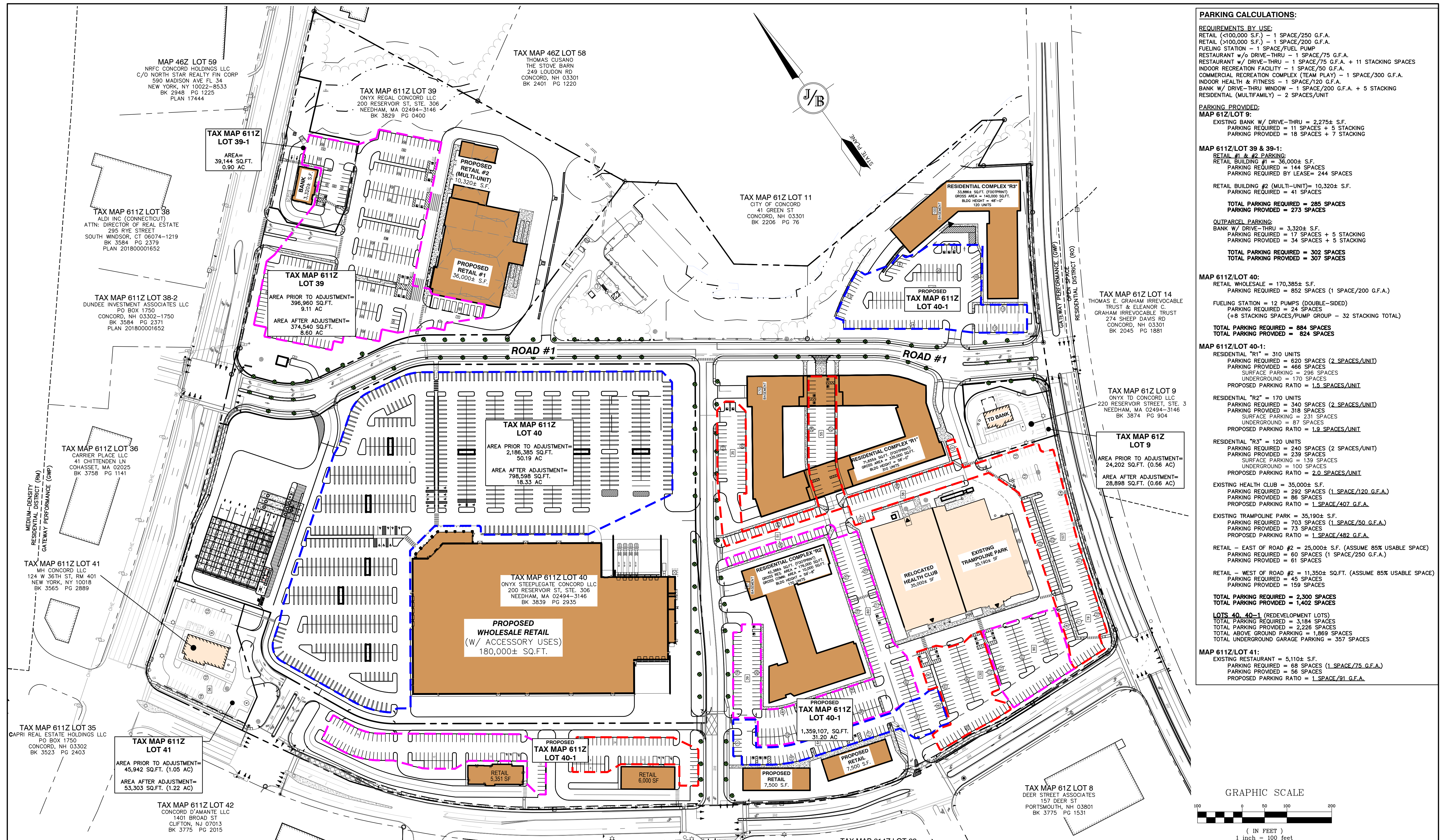
85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	SITE PLAN - EAST
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, STE. 3, NEEDHAM, MA 02494-3146 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.

C2.2

SHEET NO. 17 OF 24
JBE PROJECT NO. 23031



Design: ISM	Draft: HCH	Date: 06/17/2026
Checked: WGM	Scale: AS SHOWN	Project No.: 23031
Drawing Name: 23031-PLAN DESIGN REVIEW.DWG		
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2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM
REV.	DATE	REVISION	BY

JONES & BEACH
ENGINEERS INC.

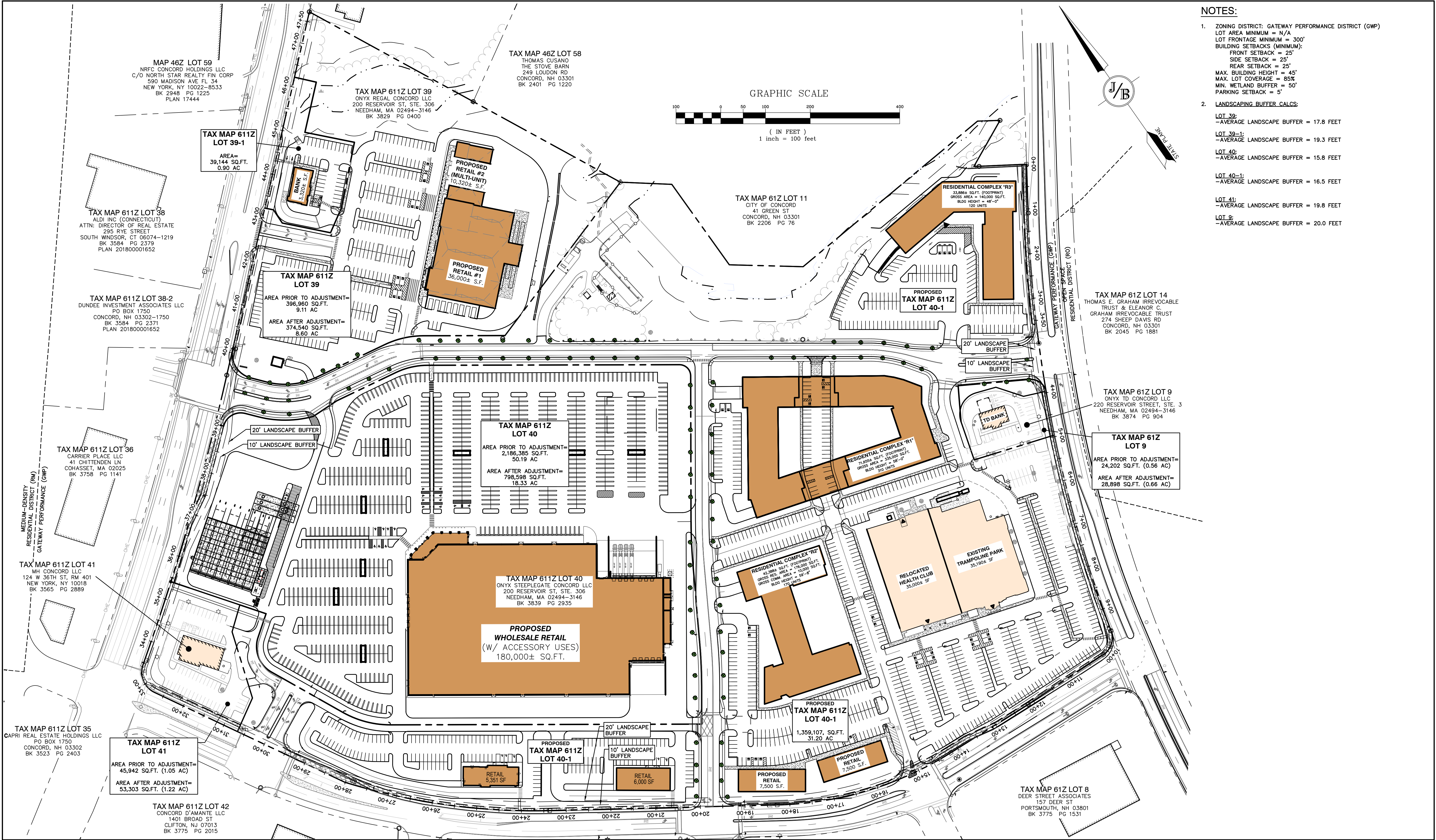
85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
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Plan Name:	EXHIBIT: PARKING AREAS
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOUR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 30TH STREET, RM 401, NEW YORK, NY 10018

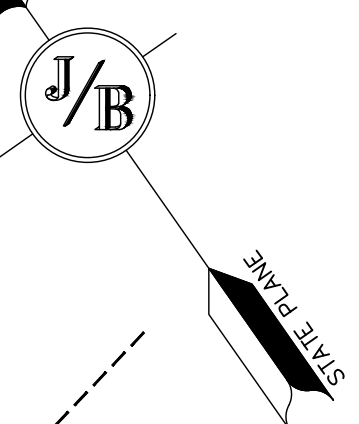
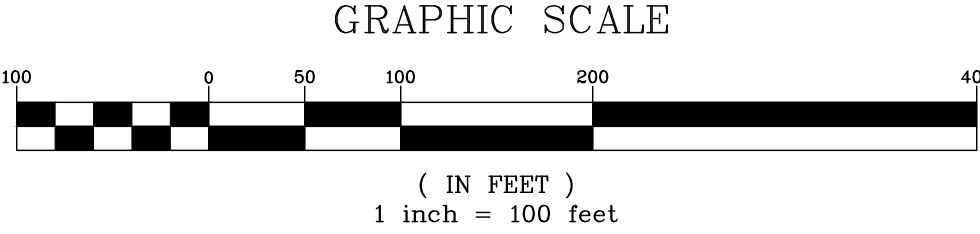
DRAWING No.

C2-P

SHEET NO. 18 OF 24
JBE PROJECT NO. 23031



- NOTES:**
- ZONING DISTRICT: GATEWAY PERFORMANCE DISTRICT (GWP)**
LOT AREA MINIMUM = N/A
LOT FRONTAGE MINIMUM = 300'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 25'
REAR SETBACK = 25'
MAX. BUILDING HEIGHT = 45'
MAX. LOT COVERAGE = 85%
MIN. WETLAND BUFFER = 50'
PARKING SETBACK = 5'
 - LANDSCAPING BUFFER CALCS:**
LOT 39:
-AVERAGE LANDSCAPE BUFFER = 17.8 FEET
LOT 39-1:
-AVERAGE LANDSCAPE BUFFER = 19.3 FEET
LOT 40:
-AVERAGE LANDSCAPE BUFFER = 15.8 FEET
LOT 40-1:
-AVERAGE LANDSCAPE BUFFER = 16.5 FEET
LOT 41:
-AVERAGE LANDSCAPE BUFFER = 19.8 FEET
LOT 9:
-AVERAGE LANDSCAPE BUFFER = 20.0 FEET



Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

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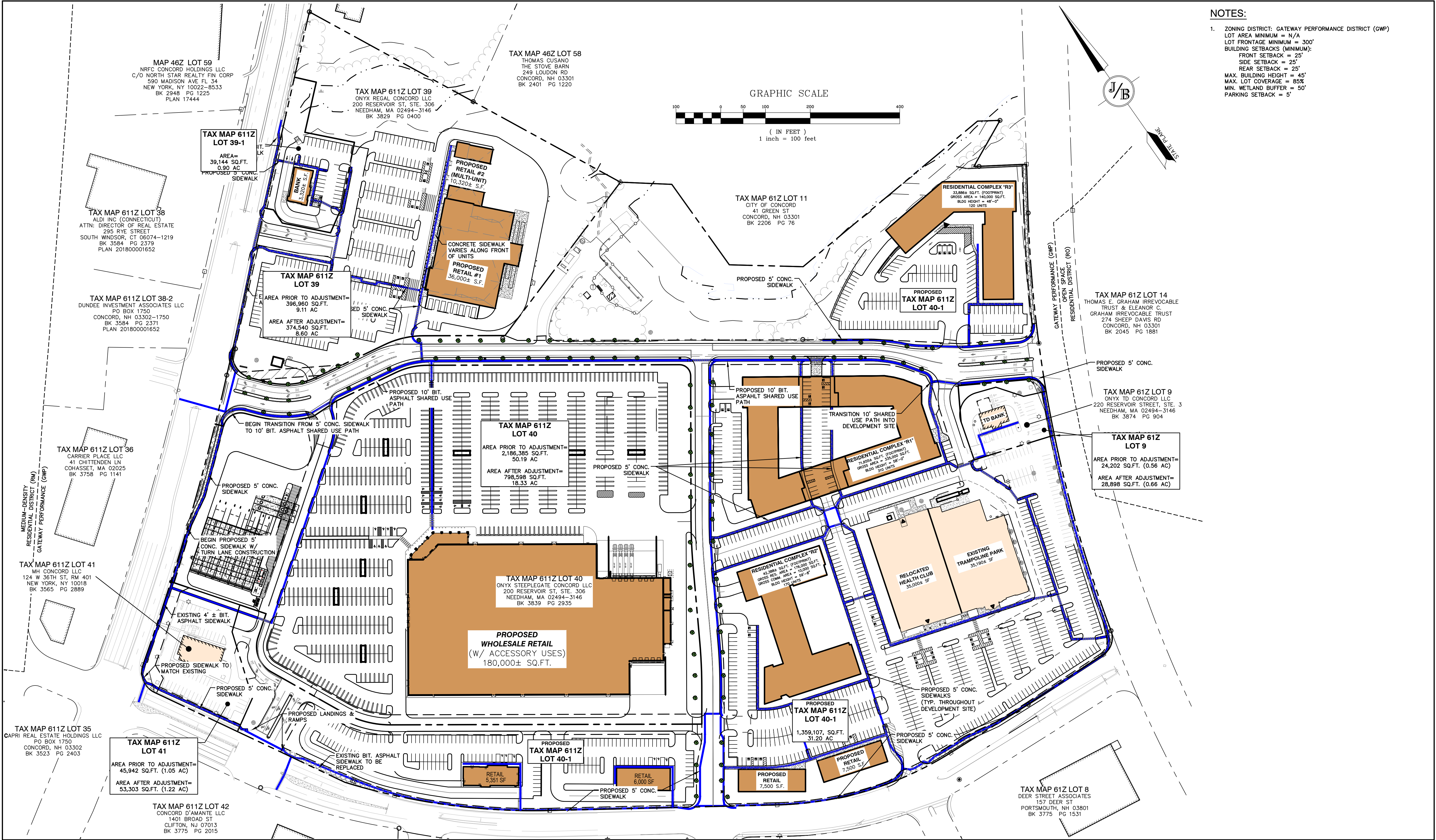
85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	EXHIBIT: LANDSCAPING BUFFER PLAN
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.

C2-L

SHEET NO. 19 OF 24
JBE PROJECT NO. 23031



- NOTES:
1. ZONING DISTRICT: GATEWAY PERFORMANCE DISTRICT (GWP)
LOT AREA MINIMUM = N/A
LOT FRONTAGE MINIMUM = 300'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 25'
SIDE SETBACK = 25'
REAR SETBACK = 25'
MAX. BUILDING HEIGHT = 45'
MAX. LOT COVERAGE = 85%
MIN. WETLAND BUFFER = 50'
PARKING SETBACK = 5'

Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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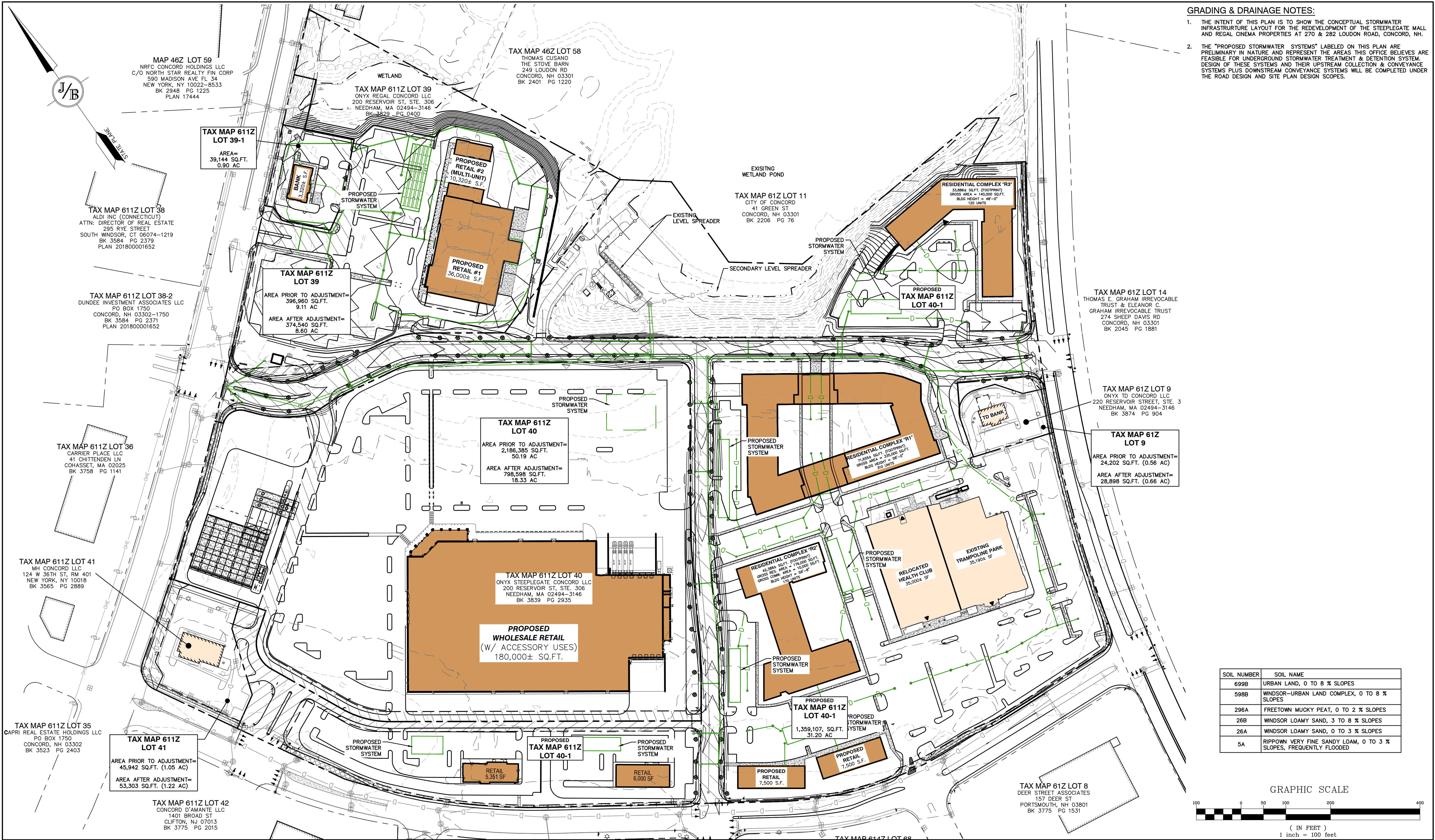
REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

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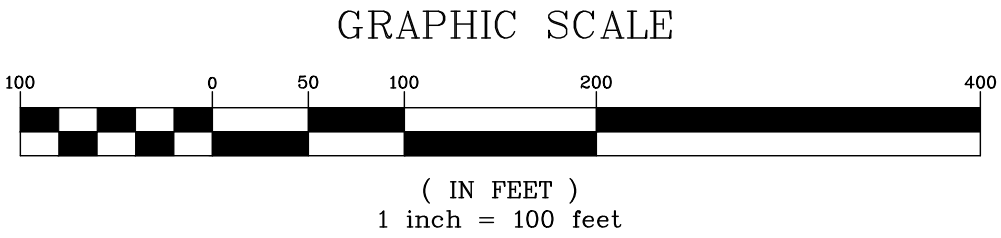
Plan Name:	EXHIBIT: PEDESTRIAN & CYCLIST ROUTES
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLEGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.	C2-PC
SHEET NO. 20 OF 24	JBE PROJECT NO. 23031



- GRADING & DRAINAGE NOTES:**
1. THE INTENT OF THIS PLAN IS TO SHOW THE CONCEPTUAL STORMWATER INFRASTRUTURE LAYOUT FOR THE REDEVELOPMENT OF THE STEEPLGATE MALL AND REGAL CINEMA PROPERTIES AT 270 & 282 LOUDON ROAD, CONCORD, NH.
 2. THE "PROPOSED STORMWATER SYSTEMS" LABELED ON THIS PLAN ARE PRELIMINARY IN NATURE AND REPRESENT THE AREAS THIS OFFICE BELIEVES ARE FEASIBLE FOR UNDERGROUND STORMWATER TREATMENT & DETENTION SYSTEM. DESIGN OF THESE SYSTEMS AND THEIR UPSTREAM COLLECTION & CONVEYANCE SYSTEMS PLUS DOWNSTREAM CONVEYANCE SYSTEMS WILL BE COMPLETED UNDER THE ROAD DESIGN AND SITE PLAN DESIGN SCOPES.

SOIL NUMBER	SOIL NAME
699B	URBAN LAND, 0 TO 8 % SLOPES
598B	WINDSOR-URBAN LAND COMPLEX, 0 TO 8 % SLOPES
296A	FREETOWN MUCKY PEAT, 0 TO 2 % SLOPES
26B	WINDSOR LOAMY SAND, 3 TO 8 % SLOPES
26A	WINDSOR LOAMY SAND, 0 TO 3 % SLOPES
5A	RIPPON VERY FINE SANDY LOAM, 0 TO 3 % SLOPES, FREQUENTLY FLOODED



Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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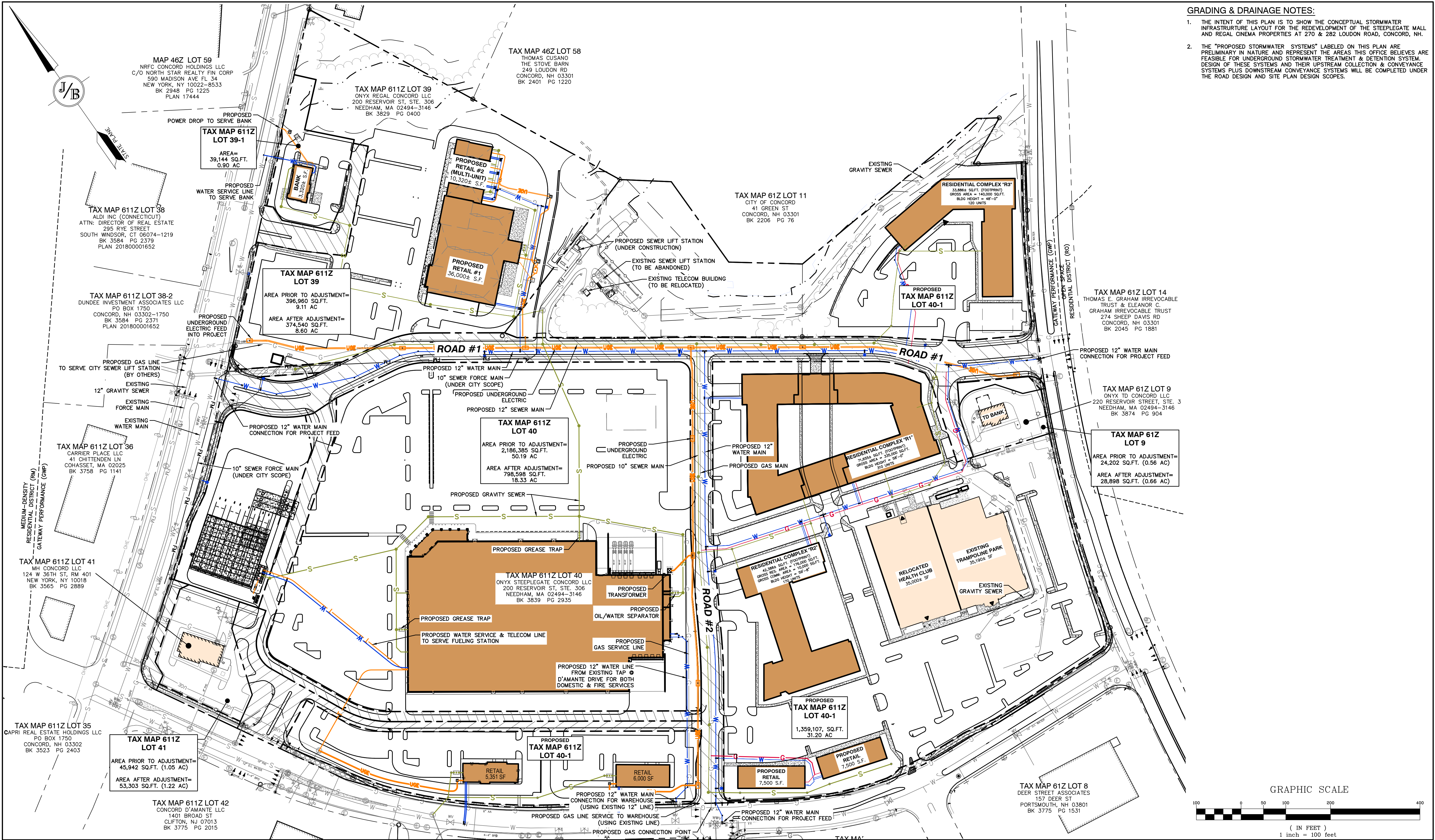
REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

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Plan Name:	OVERALL GRADING & DRAINAGE PLAN
Project:	"STEEPLGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.	C3
SHEET NO. 21 OF 24	JBE PROJECT NO. 23031



- GRADING & DRAINAGE NOTES:**
1. THE INTENT OF THIS PLAN IS TO SHOW THE CONCEPTUAL STORMWATER INFRASTRUCTURE LAYOUT FOR THE REDEVELOPMENT OF THE STEEPLGATE MALL AND REGAL CINEMA PROPERTIES AT 270 & 282 LOUDON ROAD, CONCORD, NH.
 2. THE "PROPOSED STORMWATER SYSTEMS" LABELED ON THIS PLAN ARE PRELIMINARY IN NATURE AND REPRESENT THE AREAS THIS OFFICE BELIEVES ARE FEASIBLE FOR UNDERGROUND STORMWATER TREATMENT & DETENTION SYSTEM. DESIGN OF THESE SYSTEMS AND THEIR UPSTREAM COLLECTION & CONVEYANCE SYSTEMS PLUS DOWNSTREAM CONVEYANCE SYSTEMS WILL BE COMPLETED UNDER THE ROAD DESIGN AND SITE PLAN DESIGN SCOPES.

Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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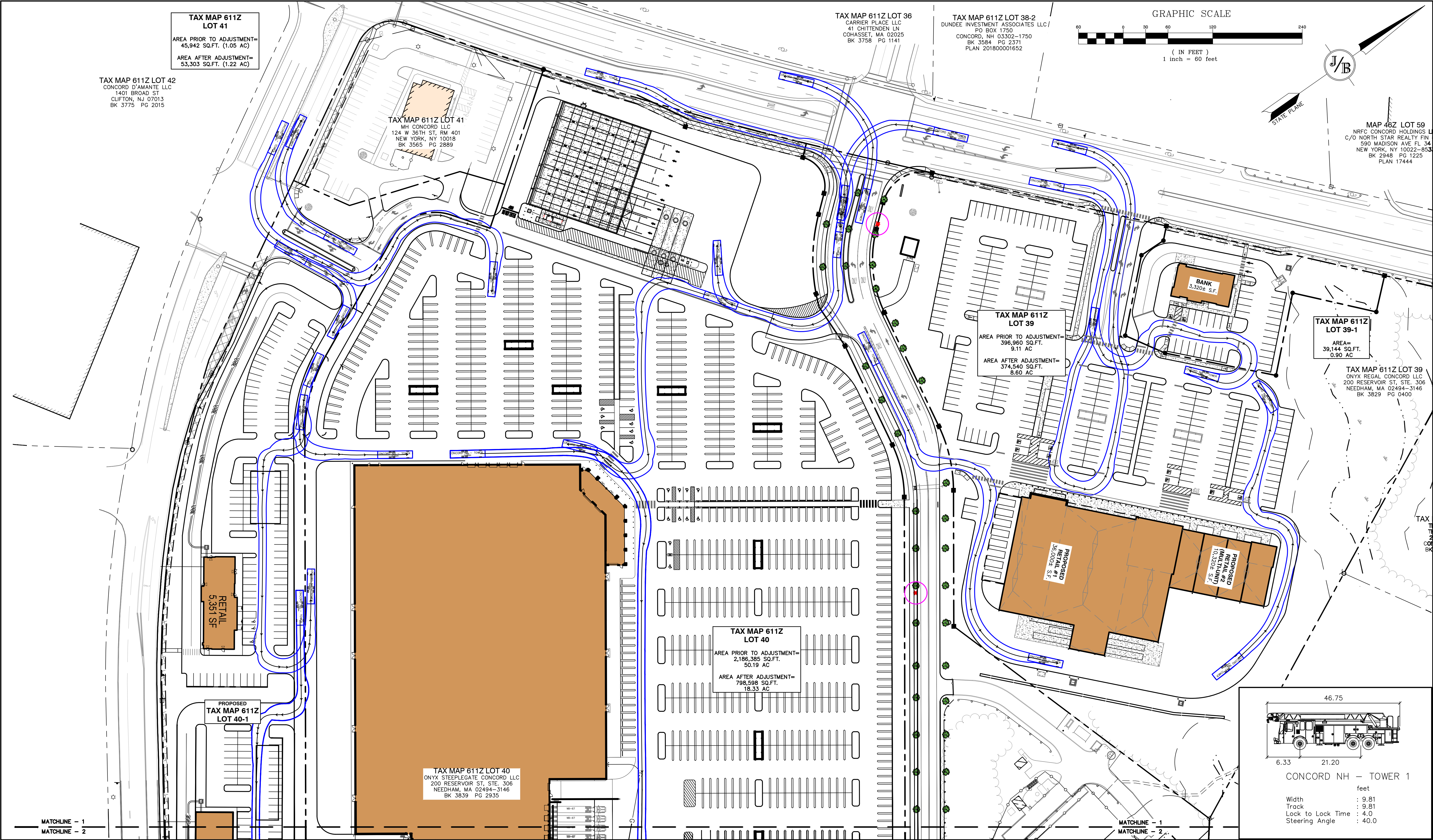
REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

JONES & BEACH
ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
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Plan Name:	OVERALL UTILITY PLAN
Project:	"STEEPLGATE & REGAL REDEVELOPMENTS" LOUDON RD, D'AMANTE DRIVE & SHEEP DAVIS RD, CONCORD, NH
Owner of Record:	ONYX REGAL CONCORD, LLC/ONYX STEEPLGATE, LLC/ONYX TD CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.	C4
SHEET NO. 22 OF 24	JBE PROJECT NO. 23031



Design:	ISM	Draft:	HCH	Date:	06/17/2026
Checked:	WGM	Scale:	AS SHOWN	Project No.:	23031
Drawing Name:	23031-PLAN DESIGN REVIEW.DWG				
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REV.	DATE	REVISION	BY
2	04/14/26	ISSUED FOR CDP APPLICATION SUBMISSION	ISM
1	03/05/26	OVERALL SITE PLAN RE-ISSUED FOR STAFF PRE-APPLICATION MEETING	ISM
0	11/20/24	ISSUED FOR REVIEW	ISM

JONES & BEACH
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85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

Plan Name:	TRUCK MOTION PLAN - WEST
Project:	"STEEPLEGATE & REGAL REDEVELOPMENTS"
Owner of Record:	LOUDON RD. D'AMANTE DRIVE & STEEP DAVIS RD. CONCORD, NH CONCORD, LLC 220 RESERVOIR STREET, SUITE 3, NEEDHAM, MA 02494 MH CONCORD, LLC 124 W 36TH STREET, RM 401, NEW YORK, NY 10018

DRAWING No.

T1

SHEET NO. 23 OF 24
JBE PROJECT NO. 23031

