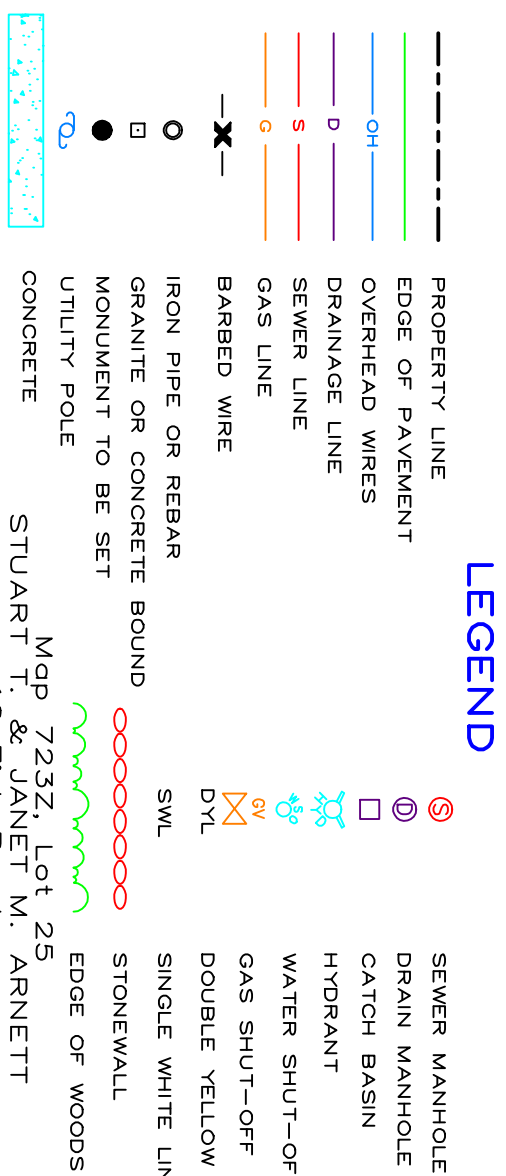




REFERENCES

1. Plan entitled "Survey of Martin E. White's Lots on Flisk Road, Concord, N.H.," by John Rexford and Warren Hale, dated December 1957.
2. Plan entitled "Resubdivision prepared for Rivington R. Whinnat," by Richard D. Bartlett LL.S., dated September 11, 1985, recorded at Concord. Plan no. 8690.
3. Plan entitled "Subdivision Plan of Lond Fiskill Farm, Concord, N.H.," by Thomas F. Moron Inc., dated January 28, 1983, recorded at M.C.R.D. Plan no. 7422.
4. Plan entitled "Survey of Union School District Property at Millville School," by City of Concord, dated December 29, 1959, on file at Concord engineering plan no. 1034.
5. Plan entitled "Plan of land belonging to Arthur R. Frye Estate Concord N.H.," by Lloyd Mann, dated July 1930, recorded at M.C.R.D. Plan no. 598.
6. Plan entitled "Lot Line Adjustment of the land of St Paul's School and Sturt & Jurett Architects" dated July 16, 2012 and recorded at the M.C.R.D as plan no. 20110.

NOTES

1. Survey bid lot station in January, 2004 and between the dates of March 16, 2012 and March 19, 2012 additional survey on January 17, 2000.
2. Horizontal datum based on New Hampshire State Plane coordinates NAD 83.
3. Vertical datum based on NAD 88.
4. Owner of record: St. Paul's School 325 Pleasant Street Concord, NH, 03301 Map 723J, Lot 28 Book 297, Page 248.
5. Subject premises lie within the "RM- Medium Density Residential District; Setbacks: front: 25'; rear: 25'; side: 15'; maximum lot coverage: 40%; minimum building height: 35'; minimum lot size: 12,500 sq. ft.; minimum lot frontage: 100'; minimum buildable area: 12,500 sq. ft.; Minimum Flood Protection Setback: 50' from the 50' Flood Hazard area; Residual Flood Protection Setback: 40' maximum lot coverage: 10%; maximum building height 35'; minimum lot size: 2 acres; minimum frontage: 200'; minimum buildable land 20,000 sq.ft.; A portion of the premises is within the Standard Protection Overlay district.
6. The intent of this plot is to annex a 2-acre parcel to 310 Pleasant Street..
7. The subject premises are served by municipal water and sewer.
8. Wetland delineation by Hurley Environmental & Land Planning, LLC, PO Box 356 Epsom, NH 03334.
9. The subject premises is within flood hazard zone "X". Areas determined to be outside of the 500 year flood plain as shown on the Flood Insurance Rate Map of the City of Concord, NH, dated April 19, 2010. No structures or contents are located within any F or VE Flood Hazard areas, nor will the flood hazard overlay district.
10. The site is not serviced by wells or septic systems, no site, or federal permits are required, there are no restrictions, and the site does not contain any water protection facilities.
11. The premises is encumbered by a 20' wide tidal easement in favor of the City of Concord, reference book 310B, page 5 and a transmission assessment in favor of Concord Electric, reference book 95B, page 41S.
12. The underground utilities depicted hereon have been located and identified by the surveyor. The surveyor makes no guarantee that the depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the information provided is complete and accurate, although they are located as accurately as possible from the information available. The surveyor has not physically located the utility, any utility company and appropriate governmental agencies prior to any excavation work and call Dig-SAFE at 1-888-344-7253.
13. Soil Type: 250C--Chaffield-Montauk-Hollis Complex 8-15% slopes, very rocky.
14. A plat depicting topography is on file at the Planning Division 41 Green Street, Concord, NH
15. The development is subject to all subsequent conditions of the Planning Board approval granted on

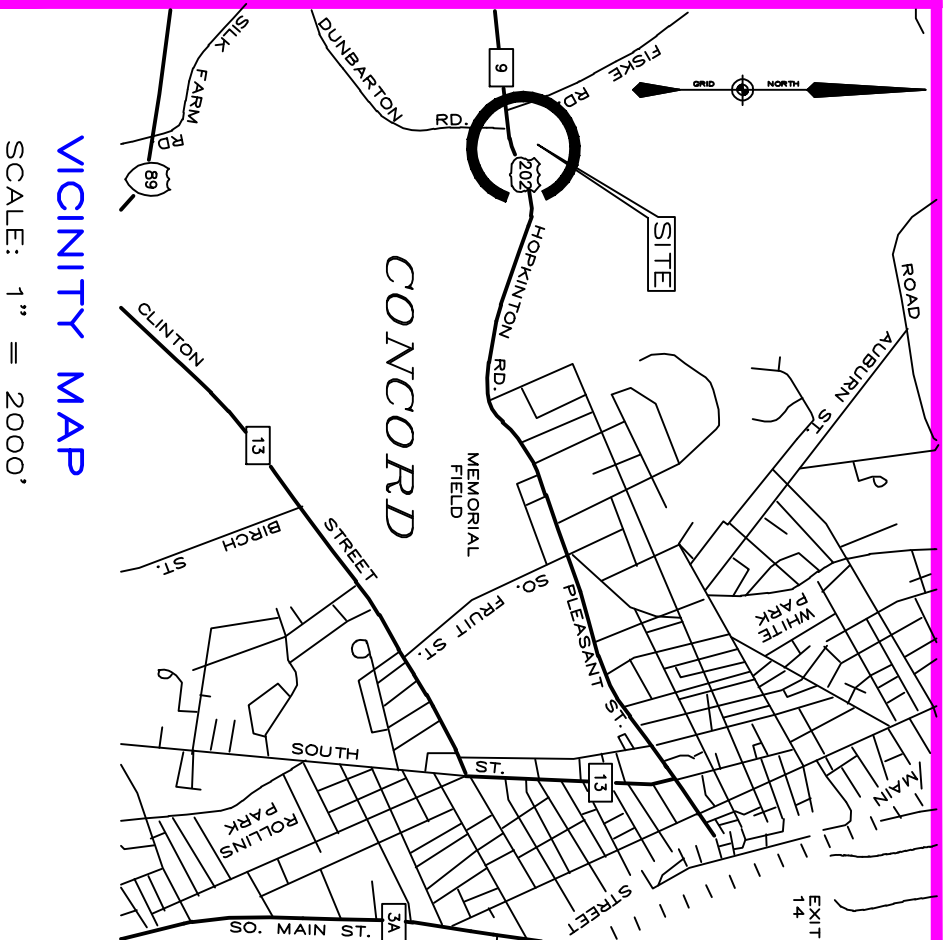
LOCATION MAP

SCALE: 1" = 400' ±



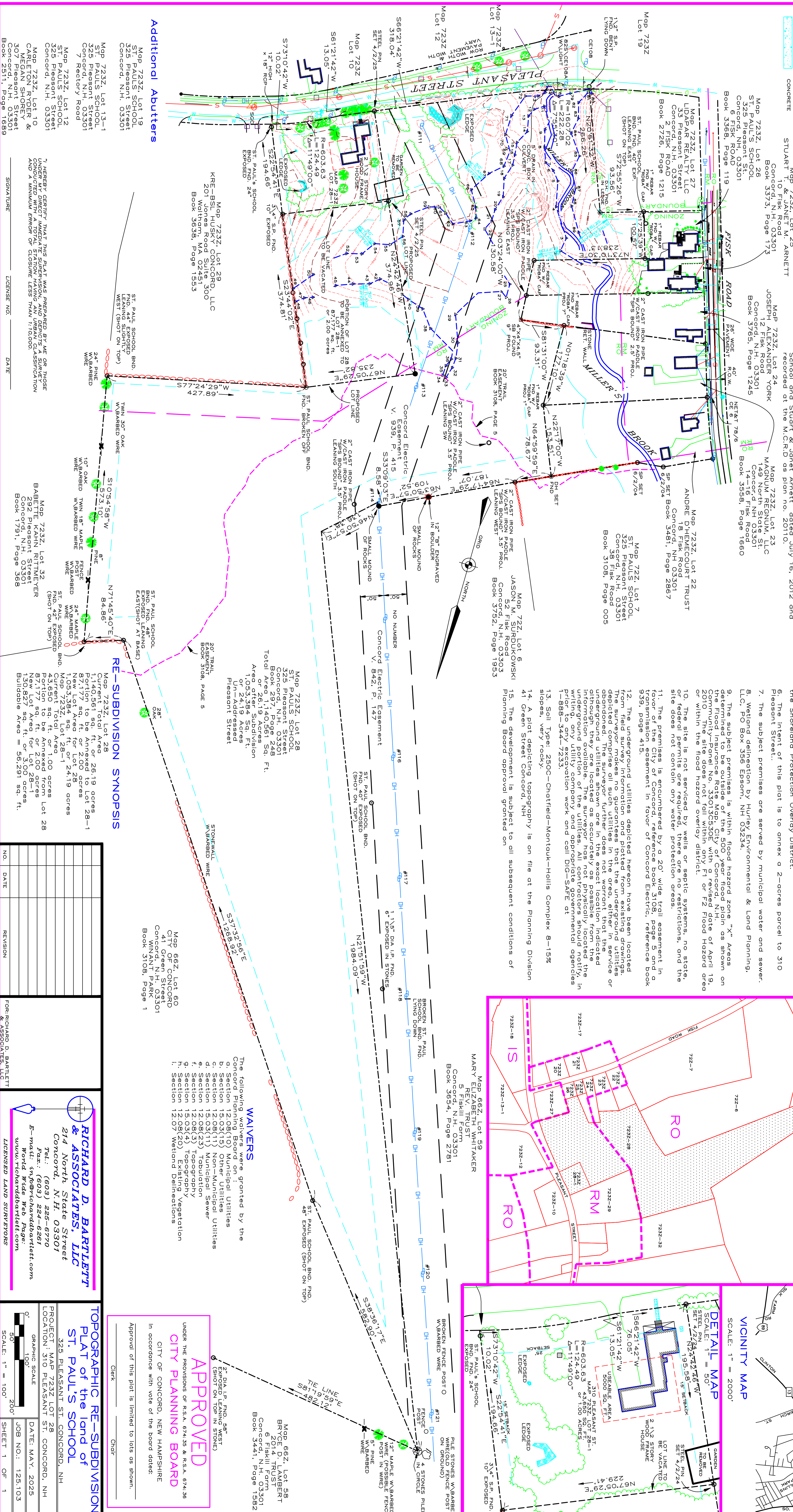
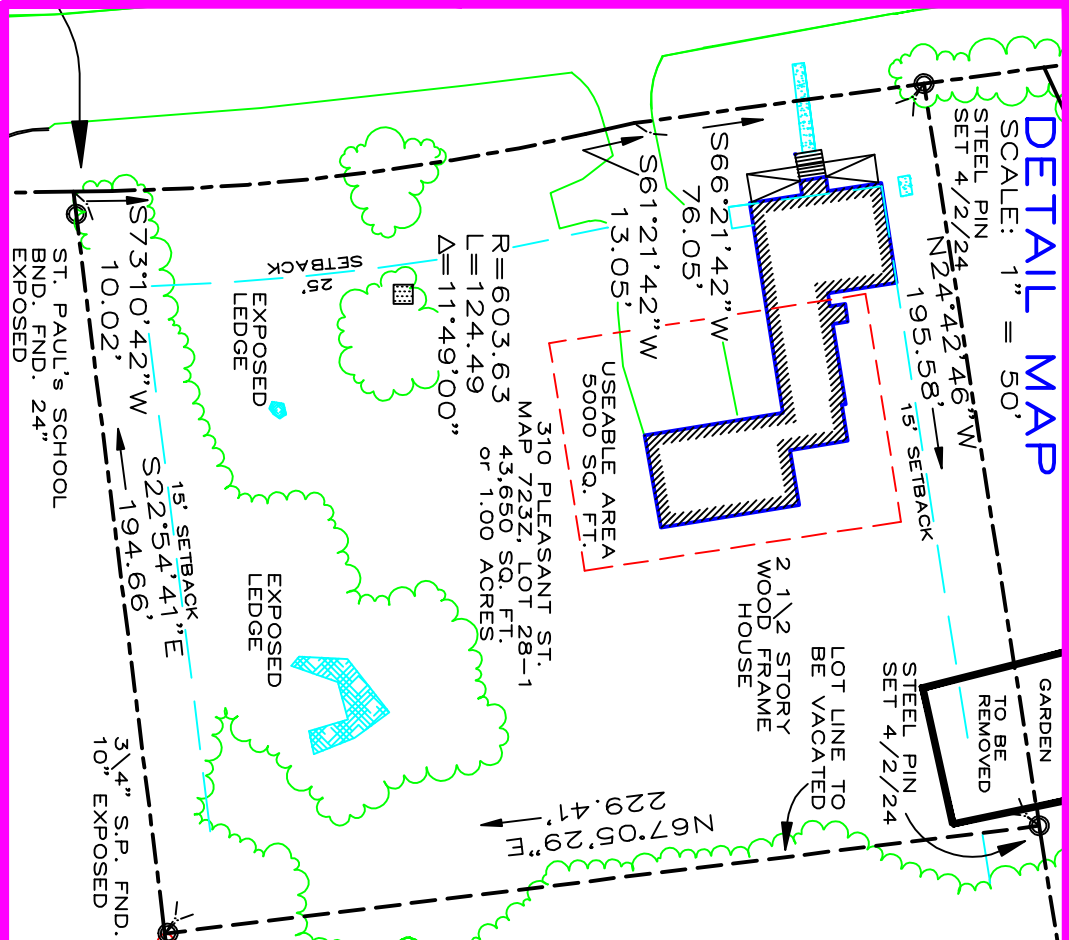
VICINITY MAP

SCALE: 1" = 2000'



DETAIL MAP

SCALE: 1" = 2000'



Additional Abutters

Map 723Z, Lot 19
ST. PAULS SCHOOL
325 Pleasant Street
Concord, N.H. 03301

Map 723Z, Lot 13-1
ST. PAULS SCHOOL
325 Pleasant Street
Concord, N.H. 03301
7 Rectory Road

Map 723Z, Lot 12
ST PAULS SCHOOL
325 Pleasant Street
Concord, N.H. 03301

Map 723Z, Lot 10
CARLETON SHOERY &
307 Pleasant Street
Concord, N.H. 03301
Book 2511, Page 1659S

RE-SUBDIVISION SYNOPSIS

RE-SUBDIVISION SYNOPSIS

Map 7232, Lot 28
 1,140.561 sq. ft. or 26.19 acres
 Portion to be Annexed to Lot 1;
 8,717.77 sq. ft. or 2.00 acres
 1,053.384 sq. ft. or .2419 acre
 Map 7232, Lot 28-1
 441,650 sq.ft. Area 1.00 acres
 Portion to be Annexed from Lot
 8,717.77 sq. ft. or 2.00 acres
 136,827 sq.ft. or 3.00 acres
 Buildable Area = 56,291 sq. ft.

ASEMENS
PAGE 5

WAIVERS

The following waters were granted by the Concord Planning Board on :

- a. Section 12.08(10) Municipal Utilities
- b. Section 15.03(15) Other Utilities
- c. Section 12.08(11) Non-Municipal Utilities
- d. Section 15.03(1) Municipal Sewer
- e. Section 12.08(23) Tabulation
- f. Section 12.08(5) Topography
- g. Section 15.03(4) Topography
- h. Section 12.08(20) Existing Vegetation
- i. Section 12.07 Wetland Delineations

APPROVED

UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY OF CONCORD, NEW HAMPSHIRE
CITY PLANNING BOARD
In accordance with vote of the board dated:

Approval of this plat is limited to lots as shown.

Clerk	Cha
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TOPOGRAPHIC RE-SUBDIVISION

PLAT of the land of ST. PAUL'S SCHOOL

325 PLEASANT ST. CONCORD
PROJECT MAB 73337 LOT 38

LOCATION: 310 PLEASANT ST. CONCO

GRAPHIC SCALE	DATE: MAY 1964
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0 100

103 NO :

SCALE: 1" = 100' SHEET 1

Journal of Management Inquiry 25(4) 391–407 391
