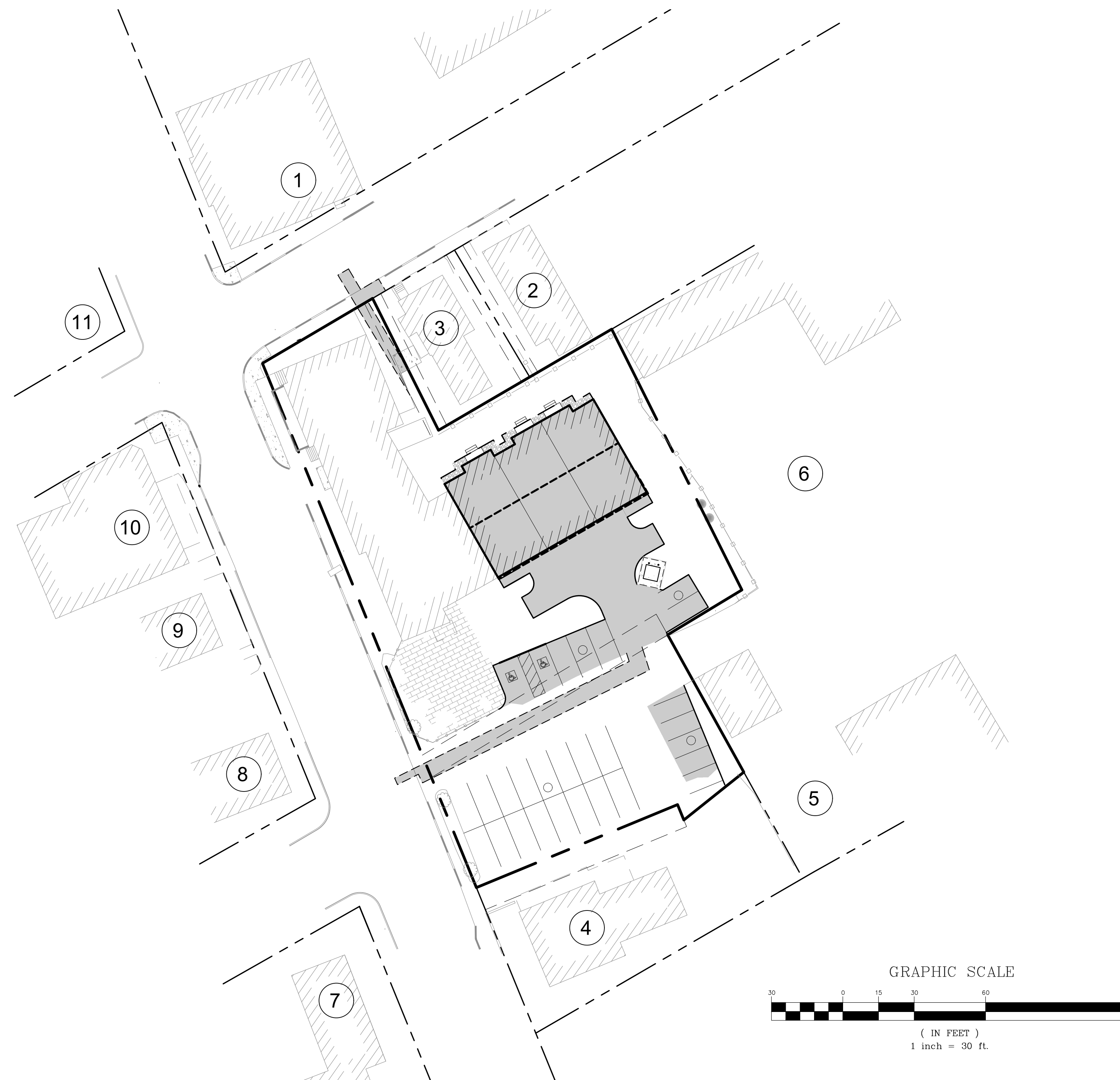


# 3JB, LLC MIXED-USE DEVELOPMENT

47-49 SOUTH STATE STREET, CONCORD, NH 03301



**PROJECT DESCRIPTION:**

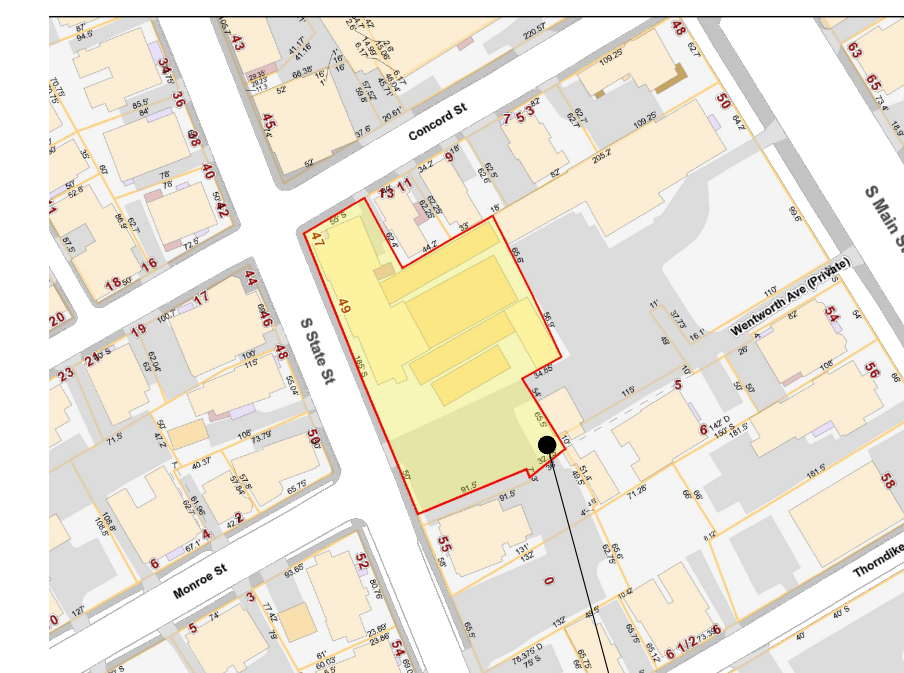
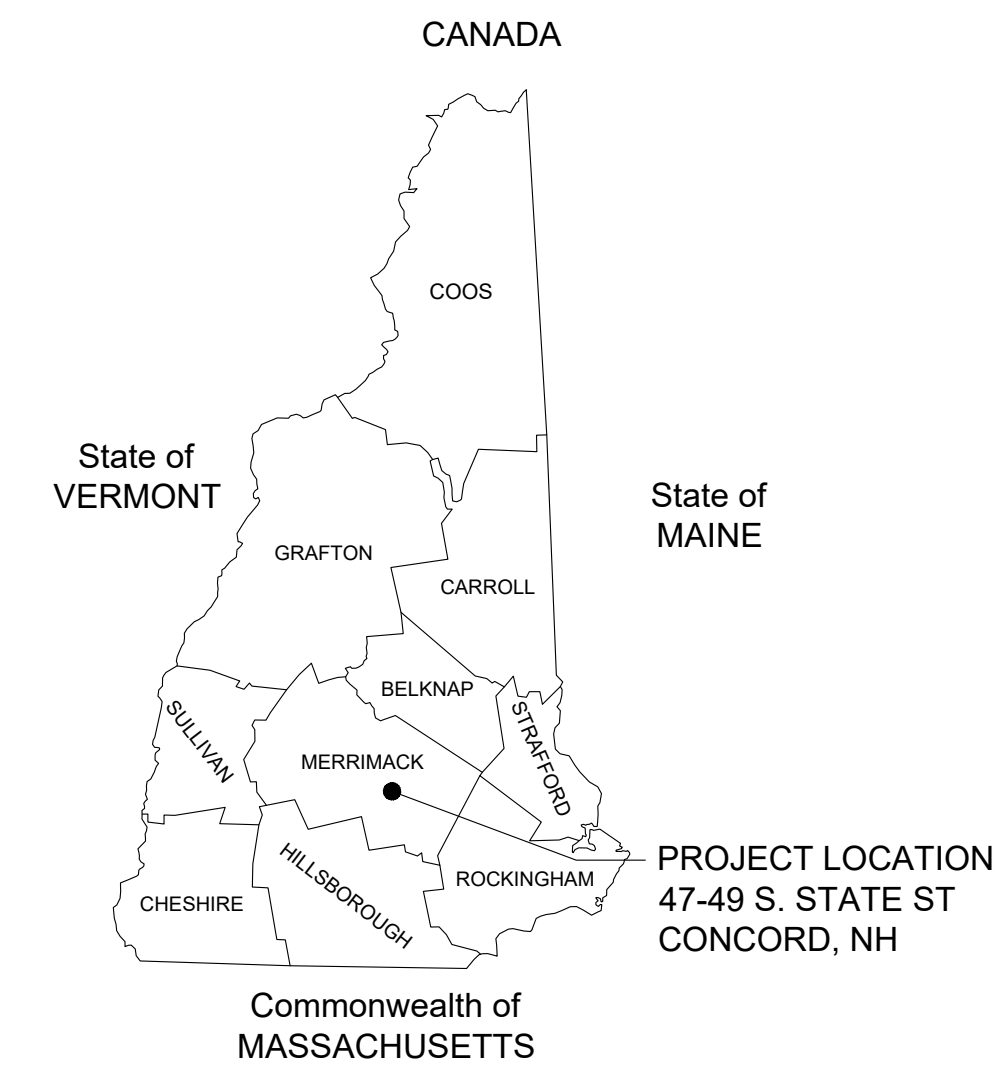
THE PROJECT INVOLVES CONSTRUCTING A 2-STORY 3,400 SF COMMERCIAL ADDITION WITH A BASEMENT, THEN CONVERTING THE ADDITION AND THE 3-STORY PORTION OF THE EXISTING BUILDING INTO 5 RESIDENTIAL TOWNHOUSES. THE EXISTING COMMERCIAL / RETAIL SPACE WILL BE RENOVATED ON THE INTERIOR. SITE IMPROVEMENTS INCLUDE UPDATES TO THE PAVED PARKING AREAS, SITE LIGHTING, LANDSCAPING, AND STORMWATER CONTROLS.

**ABUTTERS LIST**

- 01 MBLU 7413/Z/2: ROBERT & ROBIN RAINVILLE, 272 CROSS RD, PEMBROKE, NH 03275
- 02 MBLU 7413/Z/7: NATHAN JOSEPH GROLEAU & ADDISON JOHN PALISI, 9 CONCORD ST, CONCORD, NH 03301
- 03 MBLU 7413/Z/8: ZOU ZONG MAN & CHEN QING, 69 BOW ST, CONCORD, NH 03301
- 04 MBLU 7413/Z/10: ROBERT W. SPOFFORD 2003 TRUST, 36 FERRIN RD, CONCORD, NH 03303
- 05 MBLU 7413/Z/21: DUSTIN ROSE & WESLEY ROSE, 100 CHASE FARM RD, HOPKINTON, NH 03229
- 06 MBLU 7413/Z/23: WATER FUNERAL HOME INC, PO BOX 670, CONCORD, NH 03302
- 07 MBLU 7413/Z/46: CHANPU PROPERTIES LLC, 290 LAKE ST, BRISTOL, NH 03222
- 08 MBLU 7413/Z/55: 50 SOUTH STATE LLC, 50 SOUTH STATE ST, CONCORD, NH 03301
- 09 MBLU 7413/Z/56: RYAN W. VARNEY & EMMA C. SMITH, 48 SOUTH STATE ST APT 2, CONCORD, NH 03301
- 10 MBLU 7413/Z/57: LEFT MANCHESTER LLC, 130 KNOWLTON ST, MANCHESTER, NH 03103
- 11 MBLU 7413/Z/70: KELSEY A. NUGENT, 24 SOUTH BOW RD, BOW, NH 03304

**SHEET INDEX**

SHEET	NUMBER	TITLE	DATE ISSUED	LATEST REVISION
1	C0.1	COVER SHEET	04/15/2026	-/-/----
2	C0.2	NOTES & LEGEND	04/15/2026	-/-/----
3	S1	EXISTING CONDITIONS PLAN	02/26/2026	-/-/----
4	C1.1	DEMOLITION PLAN	04/15/2026	-/-/----
5	C1.2	SITE PLAN	04/15/2026	-/-/----
6	C1.3	GRADING, DRAINAGE & EROSION CONTROL PLAN	04/15/2026	-/-/----
7	C1.4	UTILITY PLAN	04/15/2026	-/-/----
8	C5.1	CONSTRUCTION DETAILS	04/15/2026	-/-/----
9	C5.2	CONSTRUCTION & EROSION CONTROL DETAILS	04/15/2026	-/-/----
10	L1	LANDSCAPING PLAN	XXXXXXX	-/-/----
11	L2	SITE LIGHTING PLAN	XXXXXXX	-/-/----



**LOCATION MAP**  
SCALE 1" = 150'



**PLOT PLAN**  
NOT TO SCALE

**Wilcox & Barton INC.**  
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE  
CONCORD, NH 03301  
603-369-4190  
www.wilcoxandbarton.com

LAND SURVEYOR  
**J.E. BELANGER LAND SURVEYING PLLC**  
61 OLD HOPKINTON ROAD  
DUNBARTON, NH

ARCHITECT  
**BRANDON L. REED**  
210 GARVINS FALLS RD  
CONCORD, NH

LANDSCAPE ARCHITECT  
**TERRAIN PLANNING & DESIGN LLC**  
311 KAST HILL ROAD  
HOPKINTON, NH 03229

**REVISION HISTORY**

NO.	DATE	DESCRIPTION
1		

**ISSUED FOR**

**PERMITTING**

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

**OWNER**

**3JB, LLC**  
12 WILDERNESS LANE  
BOW, NH 03304

**SITE**

**3JB, LLC**  
47-49 S. STATE ST  
CONCORD, NH

**MBLU: 7413/Z/9**

**DRAWING TITLE**

**COVER SHEET**

SCALE	N.T.S.	DATE	04/15/2026
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	RNBS0002

STATE OF NEW HAMPSHIRE  
ERIN R. LAMBERT  
No. 11057  
LICENSED PROFESSIONAL ENGINEER

**C0.1**

ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

SHEET NO.  
**01 OF 11**

1. PROJECT REQUIRE A CITY OF CONCORD SITE PLAN APPROVAL.
2. PROJECT REQUIRES A CITY OF CONCORD EXCAVATION PERMIT FOR WORK WITHIN THE CITY R.O.W.
3. PROJECT REQUIRES CITY OF CONCORD UTILITY PERMITS FOR WATER, SEWER, AND NATURAL GAS IN R.O.W.
4. PROJECT REQUIRES A CITY OF CONCORD DRIVEWAY PERMIT.

**CONSTRUCTION SEQUENCE**

1. CONSTRUCT TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS. INSPECT EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND WITHIN 24 HOURS OF ANY SIGNIFICANT RAINFALL EVENT (1/2" OF RAIN OR MORE). PERFORM ANY NEEDED MAINTENANCE AND STABILIZATION AS NEEDED.
2. DISTURBANCES OF AREAS SHALL BE MINIMIZED. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON. AREAS WHICH WILL NOT BE PERMANENTLY SEEDED WITHIN TWO WEEKS OF DISTURBANCE SHALL BE TEMPORARILY SEEDED AND MULCHED. ALL AREAS SHALL BE STABILIZED WITH SEED MULCH AND TACKIFIER WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE AND PRIOR TO THE END OF THE GROWING SEASON.
3. PERFORM SITE DEMOLITION TO LIMITS SHOWN ON DEMOLITION PLAN.
4. PHASE II: CONSTRUCT BUILDING ADDITION.
5. CONDUCT ALL UNDERGROUND UTILITY STRUCTURE AND PIPING INSTALLATION, BACKFILL, AND COMPACTING.
6. PLACE AND COMPACT NEW GRAVEL COURSES IN THE PARKING AND ACCESS DRIVE AREAS.
7. PLACE, GRADE, AND STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
8. PLACE PAVEMENT COURSES.
9. ALL DISTURBED SOILS SHALL BE STABILIZED, LOADED, SEEDED, AND MULCHED.
10. COMPLETE PERMANENT SEEDING AND LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE DESIGN AND DETAILS.
11. SWEEP COMPLETED PAVEMENT AND CLEAN OUT CATCH BASINS AND DRAINAGE PIPES DURING CONSTRUCTION CLOSE-OUT PROCEDURES. PROPERLY DISPOSE OF COLLECTED SEDIMENT AND DEBRIS.
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AND PROPERLY DISPOSE OF FOLLOWING CONSTRUCTION AND ONCE FULL GROUND COVER HAS BEEN ESTABLISHED.

**LANDSCAPING NOTES**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
2. LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT.
3. ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM UNLESS OTHERWISE NOTED ON THE PLANS.
4. ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
5. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR IMMEDIATE RESOLUTION. FAILURE TO MAKE SUCH CONTACTS KNOWN TO THE OWNER'S REPRESENTATIVE WILL RESULT IN CONTRACTORS LIABILITY TO RELOCATE THE MATERIALS.
6. CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES. PRE-SELECTED OR "TAGGED" MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
7. ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS DAMAGED DURING PLANTING OPERATIONS.
9. ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH UNLESS OTHERWISE NOTED.
10. AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM TO THE FOLLOWING CRITERIA. THERE SHALL BE NO GROUND COVER PLANT MATERIAL AT THE BASE OF THE TREE OR SHRUB AS FOLLOWS: A) 4-FOOT RADIUS AROUND EVERGREEN TREES; B) 3-FOOT RADIUS AROUND DECIDUOUS TREES; AND C) 3-FOOT RADIUS AROUND LARGE SHRUBS.
11. FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNERS REPRESENTATIVE PRIOR TO FINAL PLACEMENT AND BACKFILL. CONTACT OWNERS REPRESENTATIVE 24-HOURS PRIOR TO PLACEMENT FOR APPROVAL.
12. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEEDED, AND MULCHED.

**ISSUED FOR**

**PERMITTING**

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OWNER

**3JB, LLC**  
**12 WILDERNESS LANE**  
**BOW, NH 03304**

**3JB, LLC**  
**47-49 S. STATE ST**  
**CONCORD, NH**

**MBLU: 7413/Z/19**

**NOTES & LEGEND**

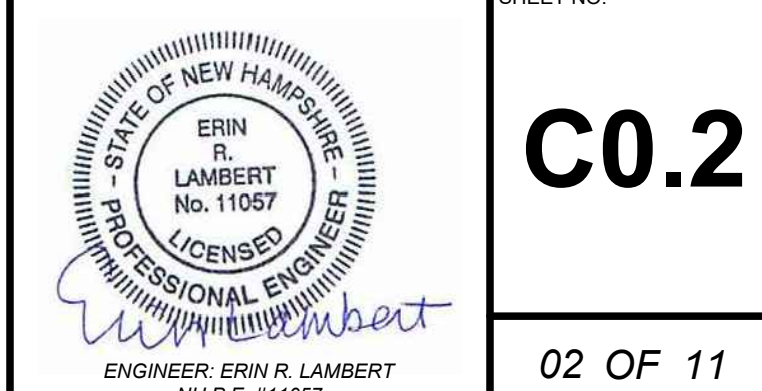
SCALE: N.T.S. DATE: 04/15/2026

DRAFTED BY: KAD CHECKED BY: ERL PROJECT MGR: ERL PROJECT NO: RNBS0002

SHEET NO.

**C0.2**

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**WINTER CONSTRUCTION NOTES**

ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE ELSEWHERE. MULCH REMAINING IN THE SPRING SHALL BE REMOVED AND REPLACED AT RATE OF 2 TONS PER ACRE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND TACKIFIER SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3 OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT.

**REQUIRED PERMITS**

1. PROJECT REQUIRE A CITY OF CONCORD SITE PLAN APPROVAL.
2. PROJECT REQUIRES A CITY OF CONCORD EXCAVATION PERMIT FOR WORK WITHIN THE CITY R.O.W.
3. PROJECT REQUIRES CITY OF CONCORD UTILITY PERMITS FOR WATER, SEWER, AND NATURAL GAS IN R.O.W.
4. PROJECT REQUIRES A CITY OF CONCORD DRIVEWAY PERMIT.

**EROSION CONTROL NOTES**

IF EROSION CONTROL MATTING IS USED ON SITE IT SHALL BE WOVEN ORGANIC MATERIAL (E.G. COCO MATTING) THE USE OF WELDED PLASTIC OR BIODEGRADABLE PLASTIC NETTING IN EROSION CONTROL MATTINGS IS NOT PERMITTED.

CATCH BASINS: CARE SHOULD BE TAKEN TO ENSURE THAT SEDIMENTS DO NOT ENTER CATCH BASINS DURING EXCAVATION FOR PIPE TRENCHES, DITCHES AND SWALES. THE CONTRACTOR SHOULD PLACE NON-WOVEN GEOTEXTILE FABRIC FOR INLET PROTECTION OVER INLETS IN AREAS OF SOIL DISTURBANCE, WHICH ARE SUBJECT TO SEDIMENT CONTAMINATION.

PLACE INLET PROTECTION DEVICES, IN CATCH BASINS AND MAINTAIN UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND THE SURROUNDING AREAS ARE WELL VEGETATED.

ALL SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF INTO THEM.

AS REQUIRED BY THE CITY OF CONCORD, DISTURBED AREAS REMAINING IDLE FOR MORE THAN 21 DAYS SHALL BE STABILIZED, INCLUDING SOIL STOCKPILES; ALL DISTURBED LANDS SHALL BE RECOVERED WITH LOAM AND WITH A MINIMUM DEPTH OF 6" AND A SITE SHALL BE DEEMED STABILIZED WHEN IT IS IN A CONDITION WHICH THE SOILS ON THE SITE WILL NOT ERODE UNDER THE CONDITIONS OF A 10-YEAR STORM, PURSUANT TO CSPR 27.09(2, 4, AND 5).

**SCHEDULE OF WORK**  
PHASE 1 WORK IS ANTICIPATED TO BEGIN IN SPRING 2026 WITH COMPLETION IN FALL 2026. PHASE 2 IS ANTICIPATED TO BEGIN IN SPRING 2027 AND COMPLETED FALL/WINTER 2027.

ADEQUATE MEASURES SHOULD BE TAKEN TO MINIMIZE AIR BORNE DUST PARTICLES ARISING FROM SOIL DISTURBANCE AND CONSTRUCTION. MEASURES TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- DISTURBANCE OF AREAS SHOULD BE MINIMIZED AND NOT EXCEED 100,000 SQUARE FEET IN AREA AT ANY ONE TIME.
- NO DISTURBED AREA SHOULD BE LEFT UNSTABILIZED FOR LONGER THAN TWO WEEKS DURING THE GROWING SEASON.
- PERMANENT EROSION CONTROL FEATURES SHOULD BE INCORPORATED INTO THE PROJECT AT THE EARLIEST PRACTICABLE TIME, AS SPECIFIED ON THE CONTRACT PLANS.
- WITHIN 14 DAYS OF COMPLETING WORK IN AN AREA, AND PRIOR TO ANTICIPATED RAIN EVENTS, APPLY HAY/STRAW MULCH AND TACKIFIER ON ALL DISTURBED SOIL AREAS. APPLICATION RATES OF 2 TONS OF STRAW OR HAY PER ACRE SHOULD BE USED TO PREVENT EROSION UNTIL VEGETATIVE COVER CAN BE ESTABLISHED. ALTERNATIVELY, APPLY WOOD CHIPS OR GROUND BARK MULCH 2 TO 6 INCHES DEEP AT A RATE OF 10 TO 20 TONS PER ACRE.
- WHEN EROSION IS LIKELY TO BE A PROBLEM, GRUBBING OPERATION SHOULD BE SCHEDULED AND PERFORMED SUCH THAT GRADING OPERATION AND PERMANENT EROSION CONTROL FEATURES CAN FOLLOW IMMEDIATELY THEREAFTER.
- AS WORK PROGRESSES, PATCH SEEDING AND MULCHING SHOULD BE DONE AS REQUIRED ON AREAS PREVIOUSLY TREATED TO MAINTAIN OR ESTABLISH PROTECTIVE COVER.
- REMOVE ACCUMULATED SEDIMENTS AND DEBRIS WHEN SEDIMENT CONTAINMENT DEVICES REACH 33% CAPACITY.

**EROSION CONTROL IMPLEMENTATION SCHEDULE**

THE FOLLOWING GENERAL SCHEDULE IDENTIFIES THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL AND STORM WATER MANAGEMENT MEASURES THAT ARE TO BE IMPLEMENTED PRIOR TO AND DURING CONSTRUCTION:

- PERFORM LIMITED GRUBBING, STRIPPING AND SITE GRADING ONLY AS NEEDED TO COMPLETE IMMEDIATE WORK GOALS.
- BLOCK STORM WATER FLOW AS NECESSARY TO INSTALL ALL STORM WATER STRUCTURES IN THE DRY.
- INSTALL PERMANENT STORM DRAIN SYSTEM.
- INSTALL TEMPORARY SOIL STABILIZATION MEASURE INCLUDING SEED, MULCH, FERTILIZER, MATTING, ETC.
- REDIRECT FLOWS INTO FINISHED STRUCTURES PRIOR TO FILL OPERATIONS.
- PLACE HUMUS AND CONTOUR PERMANENT SEEDING AND MULCHING OF ALL DISTURBED GROUND.

**TEMPORARY STABILIZATION**

EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS WRITTEN HEREIN AND AS DEPICED ON THE ACCOMPANYING PLAN, FROM THE COMMENCEMENT OF CONSTRUCTION ACTIVITY UNTIL FINAL STABILIZATION IS COMPLETE.

**TEMPORARY GRADING**

TEMPORARY GRADING DURING CONSTRUCTION SHOULD BE PERFORMED IN SUCH A MANNER TO FACILITATE MAXIMUM INFILTRATION OF STORMWATER AND MINIMIZE OR ELIMINATE STORMWATER RUNOFF FROM THE SITE.

**MULCH**

MULCHING WITH LOOSE HAY OR STRAW, AT A RATE OF 2 TONS PER ACRE, SHALL BE DONE IMMEDIATELY AFTER EACH AREA HAS BEEN FINAL GRADED. WHEN SEED FOR EROSION CONTROL IS SOWN PRIOR TO PLACING THE MULCH, THE MULCH SHOULD BE PLACED ON THE SEEDED AREAS WITHIN 48 HOURS AFTER SEEDING.

**TACKIFIER**

PLACEMENT OF SOIL TACKIFIER HAS PROVEN TO BE AN EFFECTIVE METHOD OF PREVENTING SOIL AND ADHERING MULCH IN PLACE. THE PLACEMENT OF A SOIL TACKIFIER SHOULD BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS AND SHOULD BE REAPPLIED AS NECESSARY TO CONTROL AIR BORN DUST AND SOIL, AND MULCH LOSS UNTIL PERMANENT VEGETATION IS ESTABLISHED.

**ROAD CLEANING**

THE CONTRACTOR SHALL SWEEP ROADS DAILY, OR AS NEEDED TO MAINTAIN CLEAN PAVED SURFACES AT ALL CONSTRUCTION ACCESS/EGRESS POINTS.

**DUST CONTROL**

THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED TO PREVENT AIRBORNE DUST PARTICLES FROM LEAVING THE SITE. DUST CONTROL MEASURES SHALL CONSIST OF USE OF A WATER TRUCK EQUIPPED WITH A SPRAY BAR THAT DISSIPATES THE WATER EVENLY OVER THE SURFACE.

**PERMANENT STABILIZATION**

GRASS, TREES, SHRUBS AND MULCHED PLANTING BEDS WILL BE CONSTRUCTED AND MAINTAINED IN LOCATIONS AS SHOWN ON THE DRAWINGS TO STABILIZE AREAS NOT WITHIN THE PARKING LOT/BUILDING FOOTPRINT. THE CONTRACTOR WILL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL FOR ONE YEAR AFTER COMPLETION.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

1. BASE COARSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
2. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
3. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED.
4. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

**ALL ROADWAYS/PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.**

**EXCAVATION DEWATERING**

SHOULD EXCAVATION DEWATERING BE REQUIRED, THE CONTRACTOR MUST INSURE THAT ANY EXCAVATION DEWATERING DISCHARGES ARE NOT CONTAMINATED. NOTE: THE WATER IS CONSIDERED UNCONTAMINATED IF THERE IS NO GROUNDWATER CONTAMINATION WITHIN 1,000 FEET OF THE DISCHARGE.

THE CONTRACTOR MUST TREAT ANY UNCONTAMINATED EXCAVATION DEWATERING AS NECESSARY TO REMOVE SUSPENDED SOLIDS AND TURBIDITY DURING CONSTRUCTION. THE DISCHARGES MUST BE SAMPLED AT A LOCATION PRIOR TO MIXING WITH STORM WATER OR STREAM FLOW AT LEAST ONCE PER WEEK DURING WEEKS WHEN DISCHARGES OCCUR. THE SAMPLES MUST BE ANALYZED FOR TOTAL SUSPENDED SOLIDS (TSS) AND MUST MEET MONTHLY AVERAGE AND MAXIMUM DAILY TSS LIMITATIONS OF 50 MILLIGRAMS PER LITER (MGL), RESPECTIVELY.

**SPECIFICATIONS FOR TEMPORARY AND PERMANENT SEEDING**

GRASS SEED MIXES SHALL CONSIST OF THE MIXTURES AS DETAILED IN THE FOLLOWING TABLES, WITH 98% PURITY:

- USE TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS THAT EITHER DO NOT CONTAIN NETTING, OR THAT CONTAIN NETTING MANUFACTURED FROM 100% BIODEGRADABLE NON-PLASTIC MATERIALS SUCH AS JUTE, SISAL, OR COIR FIBER. DEGRADABLE, PHOTODEGRADABLE, UV-DEGRADABLE, OXO-DEGRADABLE, OR OXO-BIODEGRADABLE PLASTIC NETTING INCLUDING POLYPROPYLENE, NYLON, POLYETHYLENE, AND POLYESTER, ARE NOT EQUIVALENT ALTERNATIVES. NETTING USED IN THESE PRODUCTS SHOULD HAVE A LOOSE-WEAVE WILDLIFE-SAFE DESIGN WITH MOVABLE JOINTS BETWEEN THE HORIZONTAL AND VERTICAL TWINES, ALLOWING THE TWINES TO MOVE INDEPENDENTLY AND THUS REDUCING THE POTENTIAL FOR WILDLIFE ENTANGLEMENT.
- AVOID THE USE OF SILT FENCES REINFORCED WITH METAL OR PLASTIC MESH OR IF POSSIBLE RECOMMEND THE USE OF EROSION CONTROL BERMS.
- WHEN NO LONGER REQUIRED, TEMPORARY EROSION AND SEDIMENT CONTROL PRODUCTS SHOULD BE REMOVED PROMPTLY FROM THE PROJECT SITE.
- USE NONWOVEN COIR FABRIC WHEN A SURFACE FABRIC TREATMENT IS REQUIRED FOR EROSION CONTROL AND STABILIZATION, SUCH AS 100% BIODEGRADABLE COCONUT FIBER MAT OR EQUAL AS REVIEWED AND APPROVED BY THE PROJECT DESIGN ENGINEER.
- USE WOVEN COIR FABRIC WHEN SITE CONDITIONS WARRANT. THE OUTER LAYER OF WOVEN COIR FABRIC SHOULD BE A HIGH STRENGTH, CONTINUOUSLY WOVEN MAT (I.E., WITHOUT SEAMS) AND MADE OF 100% COCONUT FIBER.

**GENERAL NOTES**

- 1 GENERAL:**
1. THESE DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE ACCOMPANYING DESIGN REPORT ENTITLED "STORMWATER MANAGEMENT PLAN FOR 3JB, LLC MIXED-USE DEVELOPMENT" DATED 04/15/2026 PREPARED BY WILCOX & BARTON, INC.
  2. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, NORTH ARROW, AND COORDINATE VALUES DEPICED ON THESE DRAWINGS ARE BASED ON A PLAN BY J.E. BELANGER LAND SURVEYING PLLC.
  3. THESE DRAWINGS AND ACCOMPANYING TEXT HAVE BEEN PREPARED FOR 3JB, LLC FOR REVIEW BY THE CITY OF CONCORD PLANNING BOARD, CODE ENFORCEMENT, GENERAL SERVICES, POLICE, AND FIRE DEPARTMENTS.
  4. THE PROJECT INVOLVES CONSTRUCTING A 2-STORY 3,400 SF COMMERCIAL ADDITION WITH A BASEMENT, THEN CONVERTING THE ADDITION AND THE 3-STORY PORTION OF THE EXISTING BUILDING INTO 5 RESIDENTIAL TOWNHOUSES. THE EXISTING COMMERCIAL / RETAIL SPACE WILL BE RENOVATED ON THE INTERIOR. SITE IMPROVEMENTS INCLUDE UPDATES TO THE PAVED PARKING AREAS, SITE LIGHTING, LANDSCAPING, AND STORMWATER CONTROLS.
  5. REFER TO CONSTRUCTION DETAIL SHEETS FOR ALL APPLICABLE SITE DETAILS.
  6. CONTRACTOR WILL NOTIFY ENGINEERS IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
  7. ALL WORK PERFORMED ON BEHALF OF THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF CONCORD'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
  8. PROJECT DATUM: NH STATE PLANE COORDINATES NAD 83 (HORIZONTAL) NAVD 88 (VERTICAL)
  9. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER, AND IN ACCORDANCE WITH STATE CODE (IBC 2015 WITH LATEST SUPPLEMENTS), AND LOCAL CODES AND ORDINANCES.
  10. ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CONTACT DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS AND LESS THAN 30 DAYS PRIOR TO STARTING CONSTRUCTION AND SHALL VERIFY ALL UTILITY LOCATIONS IN THE FIELD.
  11. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING OF EXCAVATIONS DURING CONSTRUCTION.
  12. THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS AND SUBMITTALS BEFORE SUBMISSION TO THE ENGINEER. THIS, PROVIDING ANY INFORMATION REQUIRED OF THE FABRICATOR SUCH AS FIELD DIMENSIONS, ELEVATIONS, ETC. OTHERWISE THE SHOP DRAWINGS OR SUBMITTALS WILL BE REJECTED UNTIL SUCH INFORMATION IS FURNISHED BY THE CONTRACTOR.
  13. GENERAL BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, ASTM D1557.
  14. UPON COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE ENGINEERING SERVICES DIVISION.
  15. THE CONTRACTOR SHALL SET UP A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING SERVICES DIVISION TO DISCUSS CONSTRUCTION REQUIREMENTS, SITE INSPECTIONS, ASSOCIATED FEES, SCHEDULES, ETC.
  16. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE ENGINEERING SERVICES DIVISION FOR WORK WITHIN THE ROW.
  17. A TEMPORARY TRAFFIC CONTROL PLAN (TTCP) SHALL BE REQUIRED FOR ALL WORK IN AND ADJACENT TO THE CITY ROW THAT WILL REQUIRE LANE CLOSURES. THE TTCP SHALL BE SUBMITTED TO THE ESD FOR REVIEW AND APPROVAL A MINIMUM OF TWO WEEKS PRIOR TO THE CONSTRUCTION ACTIVITIES THAT REQUIRE THE LANE CLOSURE(S).

**2 MATERIAL SPECIFICATIONS:**

1. MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL REASONABLY FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 0-20 PERCENT PASSING THE NO. 100 SIEVE AND 40-100 PERCENT PASSING THE NO. 4 SIEVE.
3. BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 3/8 INCH SIEVE, 20-75 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.
4. CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY AND ORGANIC MATERIALS AND SHALL HAVE 100 PERCENT PASSING A 2 INCH SIEVE, 90-100 PERCENT PASSING A 1 1/2 INCH SIEVE 30-60 PERCENT PASSING A NO. 4 SIEVE, 0-12 PERCENT PASSING A NO. 100 SIEVE AND 0-6 PERCENT PASSING A NO. 200 SIEVE.

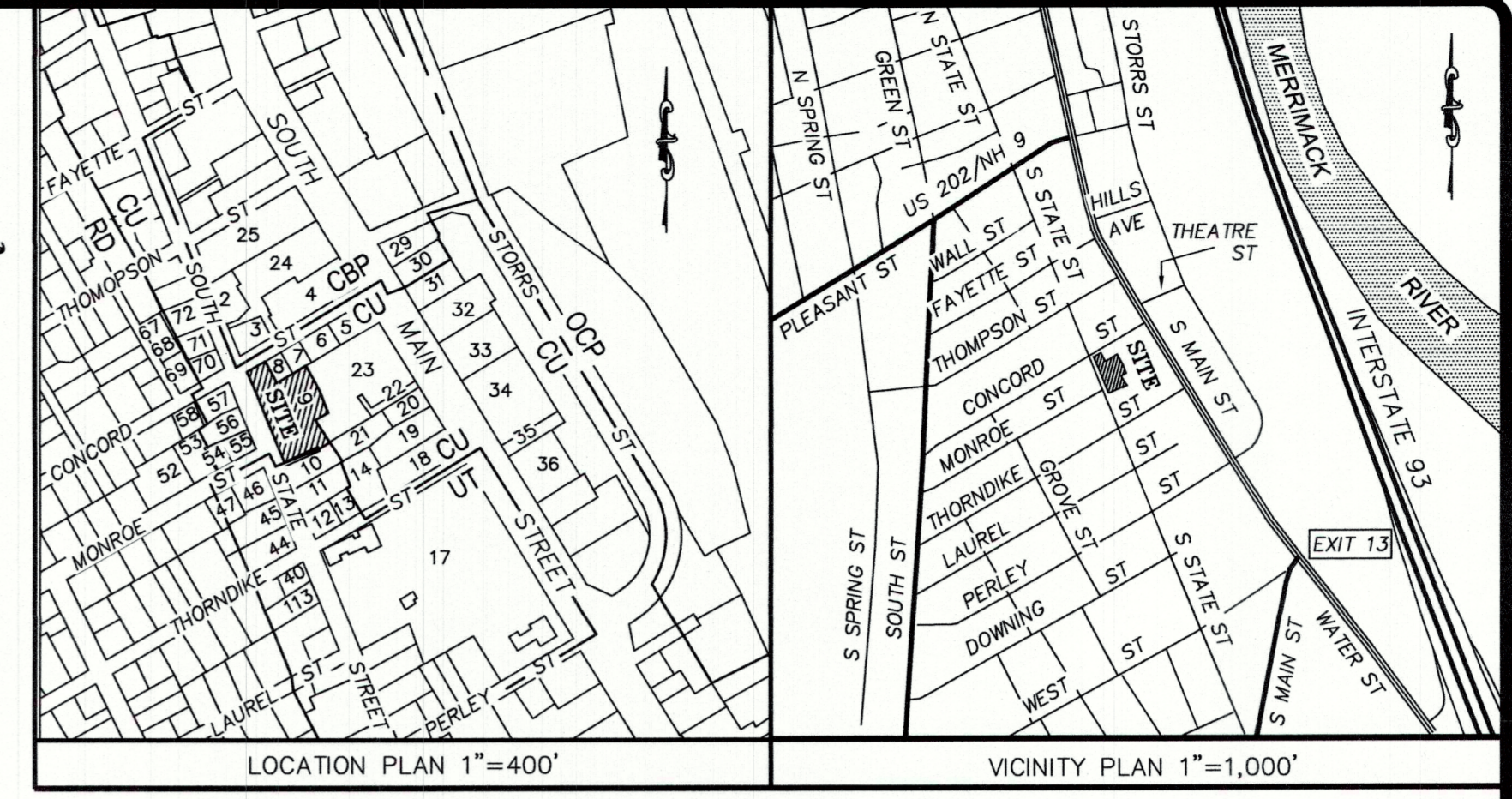
**LEGEND**

EXISTING	PROPOSED

**STANDARD ABBREVIATIONS**

- BCC - BITUMINOUS CONCRETE CURB
- VGC - VERTICAL GRANITE CURB
- SGC - SLOPED GRANITE CURB
- CCC - CAST-IN-PLACE CONCRETE CURB
- PCC - PRECAST CONCRETE CURB
- ICC - INTEGRAL CONCRETE CURB
- RCC - REINFORCED CONCRETE CURB
- BCP - BITUMINOUS CONCRETE PAVEMENT
- GRV - GRAVEL DRIVE SURFACE
- PCS - PORTLAND CEMENT CONCRETE SIDEWALK
- BCS - BITUMINOUS CONCRETE SIDEWALK
- CB - CATCH BASIN
- DMH - DRAINAGE MANHOLE
- SMH - SEWER MANHOLE

NO.	REVISION	DATE
1.	ADDED UTILITIES, EASEMENT, ADDL. EDGE OF PAVEMENT	4/10/26



**PLAN REFERENCES:**

- 1.) RESUBDIVISION PLAN, PREPARED FOR D. MCLEOD, INC., 49 SOUTH STATE STREET, CONCORD, NH., SCALE: 1" = 20', DATED OCTOBER 1, 1986, SURVEYED BY RICHARD D. BARTLETT, L.L.S., PLAN NOT BEING RECORDED.
- 2.) PLAN FOR WATERS FUNERAL HOME, BY ERNEST E. VEINOTTE, TILED TRACT NO. 304-308-305A & 310, DATED 1 JULY 1983, PLAN BEING RECORDED IN THE MERRIMACK COUNTY REGISTRY OF DEEDS PLAN #7575.

**NOTES:**

- 1.) TRAVERSE BY TOTAL STATION DURING JANUARY 29, 2026 WITH AN ERROR OF CLOSURE OF GREATER THAN 1:150,000.
- 2.) NORTH ORIENTATION IS BASED ON GRID NORTH.
- 3.) VERTICAL DATUM IS BASED ON NVD 1988.
- 4.) OWNER OF RECORD: D. MCLEOD, INC. 49 SOUTH STATE STREET CONCORD, NH 03301 BOOK 955 PAGE 232 BOOK 922 PAGE 507 BOOK 627 PAGE 249
- 5.) THE SUBJECT PARCEL IS LOCATED IN A URBAN COMMERCIAL (CU) DISTRICT AND URBAN TRANSITIONAL (UT) DISTRICT AND IS SUBJECT TO THE CITY OF CONCORD ZONING REQUIREMENTS. CU DISTRICT:

- MINIMUM LOT SIZE = 12,500 SQ. FT. (TOTAL AREA)
  - MINIMUM BUILDABLE LAND = 6,250 SQ. FT.
  - MINIMUM LOT FRONTAGE: 100'
  - MINIMUM SETBACKS: FRONT = 15', SIDE & REAR = 15'
  - MAXIMUM BUILDING HEIGHT: 45'
  - MAXIMUM LOT COVERAGE: 80%
  - UT DISTRICT:
  - MINIMUM LOT SIZE = 10,000 SQ. FT.
  - MINIMUM BUILDABLE LAND = 5,000 SQ. FT.
  - MINIMUM LOT FRONTAGE = 80.00'
  - MINIMUM SETBACKS: FRONT = 15', SIDE = 10' & REAR = 25'
  - MAXIMUM BUILDING HEIGHT = 35'
  - MAXIMUM LOT COVERAGE = 75%
- 7.) THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF MAP 7413 BLK Z LOT 9.
  - 8.) THE UNDERGROUND UTILITIES SHOWN HEREON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS AND INFORMATION PROVIDED BY CITY AGENCIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THIS COMPANY HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTION OF THE UTILITIES. ALL CONTRACTORS SHOULD NOTIFY, IN WRITING, ANY UTILITY COMPANY AND APPROPRIATE GOVERNMENTAL AGENCIES PRIOR TO ANY EXCAVATION WORK AND CALL DIG-SAFE AT 1-888-344-7233.

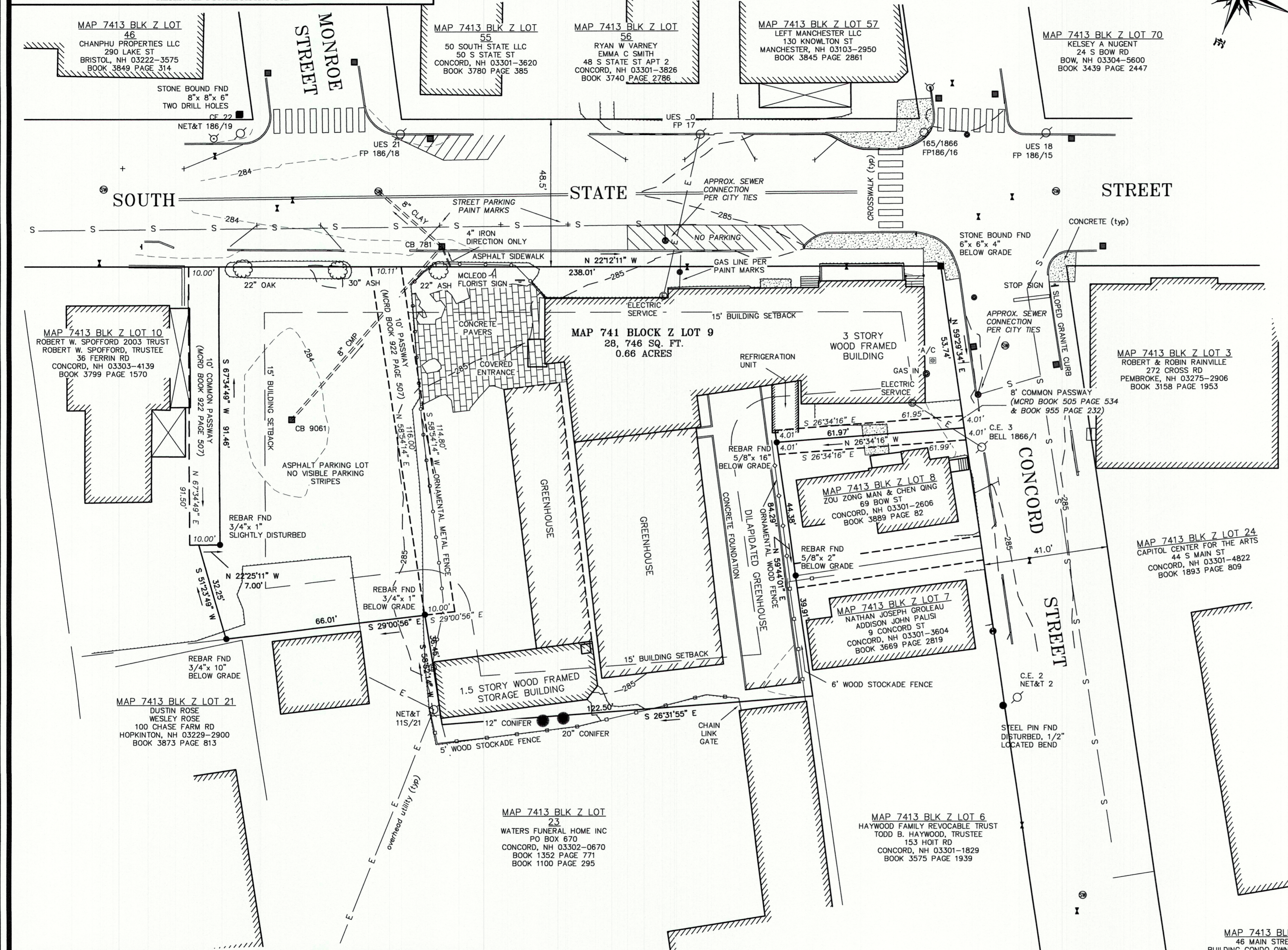
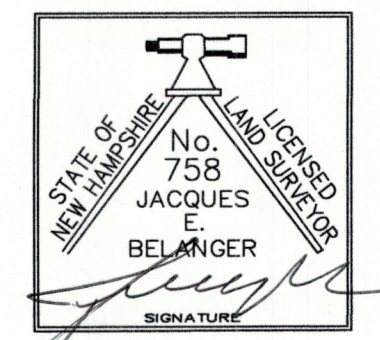
**CERTIFICATIONS**

I HEREBY CERTIFY THAT THIS MAP HAS BEEN MADE UNDER MY SUPERVISION.  
 4/10/26  
 DATE  
 LICENSED LAND SURVEYOR

I HEREBY CERTIFY THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY & HAS A MAXIMUM ERROR OF CLOSURE OF 1:10,000 ON ALL PROPERTY LINES IN & BORDERING THE SUBJECT PROPERTY.  
 4/10/26  
 DATE  
 LICENSED LAND SURVEYOR

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE & THAT THE LINES OF STREETS & WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED & THAT NO NEW WAYS ARE SHOWN.  
 4/10/26  
 DATE  
 LICENSED LAND SURVEYOR

I CERTIFY THAT I HAVE FILED A COPY OF THIS PLAN WITH THE PLANNING BOARD OF \_\_\_\_\_ IN ACCORDANCE WITH RSA 676:18 (IV).  
 DATE  
 LICENSED LAND SURVEYOR



**LEGEND**

■ GRANITE/CONC. BOUND	— LOT LINE
● REBAR	--- EASEMENT BOUNDARY
⊙ IRON PIPE	--- MAJOR CONTOUR
⊙ WATER VALVE	--- MINOR CONTOUR
⊙ CURB STOP	--- DRAIN PIPE
⊙ SEWER MANHOLE	--- EDGE OF PAVEMENT
⊙ DRAIN MANHOLE	--- E OVERHEAD UTILITY
⊙ ELECTRIC METER/BOX	--- CURB (vertical granite unless noted otherwise)
⊙ GAS VALVE	--- S SEWER LINE
⊙ CATCH BASIN	
⊙ UTILITY POLE	
⊙ ROAD SIGN	

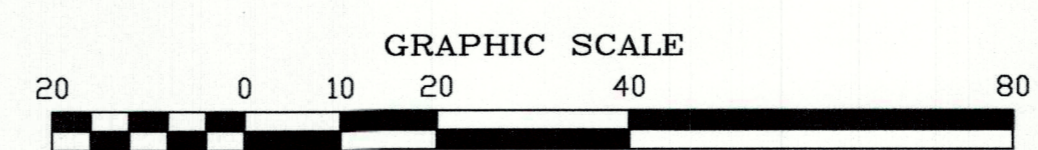
**DRAINAGE NOTES**

CR 781  
 RIM = 283.90  
 INV(N) = 280.95  
 INV(E) = 280.75  
 INV(S) = 280.25

CR 9061  
 RIM = 283.47  
 INV(W) = 281.67

MAP 7413 BLK Z LOT 4  
 46 MAIN STREET OFFICE  
 BUILDING CONDO OWNERS ASSOCIATION  
 46 S MAIN ST  
 CONCORD, NH 03301-4855  
 BOOK 3332 PAGE 1837

MAP 7413 BLK Z LOT 5  
 PLAN B PROPERTIES LLC  
 144 SOUTHWEST RD  
 CANTERBURY, NH 03224-2035  
 BOOK 3488 PAGE 1490



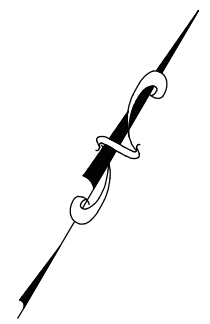
**PARTIAL EXISTING CONDITIONS PLAN**  
**TAX MAP 7413 BLK Z LOT 9**  
 47-49 SOUTH STATE STREET  
 CONCORD, NH  
 MERRIMACK COUNTY

**OWNER OF RECORD:**  
**D. MCLEOD, INC.**  
 49 SOUTH STATE STREET  
 CONCORD, NH 03301  
 MERRIMACK COUNTY

**J.E. BELANGER LAND SURVEYING PLLC**  
 LICENSED LAND SURVEYOR  
 61 OLD HOPKINTON ROAD, DUNBARTON, NH 03046

\* BOUNDARY SURVEYS  
 \* SUBDIVISIONS  
 \* LAND PLANNING  
 TEL (603) 774-3601

PLAN DATE: FEBRUARY 26, 2026  
 SCALE: 1" = 20'  
 PROJECT NO.: 262811  
 SHEET 1 OF 1



REVISION HISTORY  
1.

ISSUED FOR  
**PERMITTING**

ALL DOCUMENTS PREPARED BY WILCOX & BARTON, INC. ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY WILCOX & BARTON, INC. FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO WILCOX & BARTON, INC. OWNER SHALL INDEMNIFY AND HOLD HARMLESS WILCOX & BARTON, INC. FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

OWNER  
**3JB, LLC  
12 WILDERNESS  
LANE  
BOW, NH 03304**

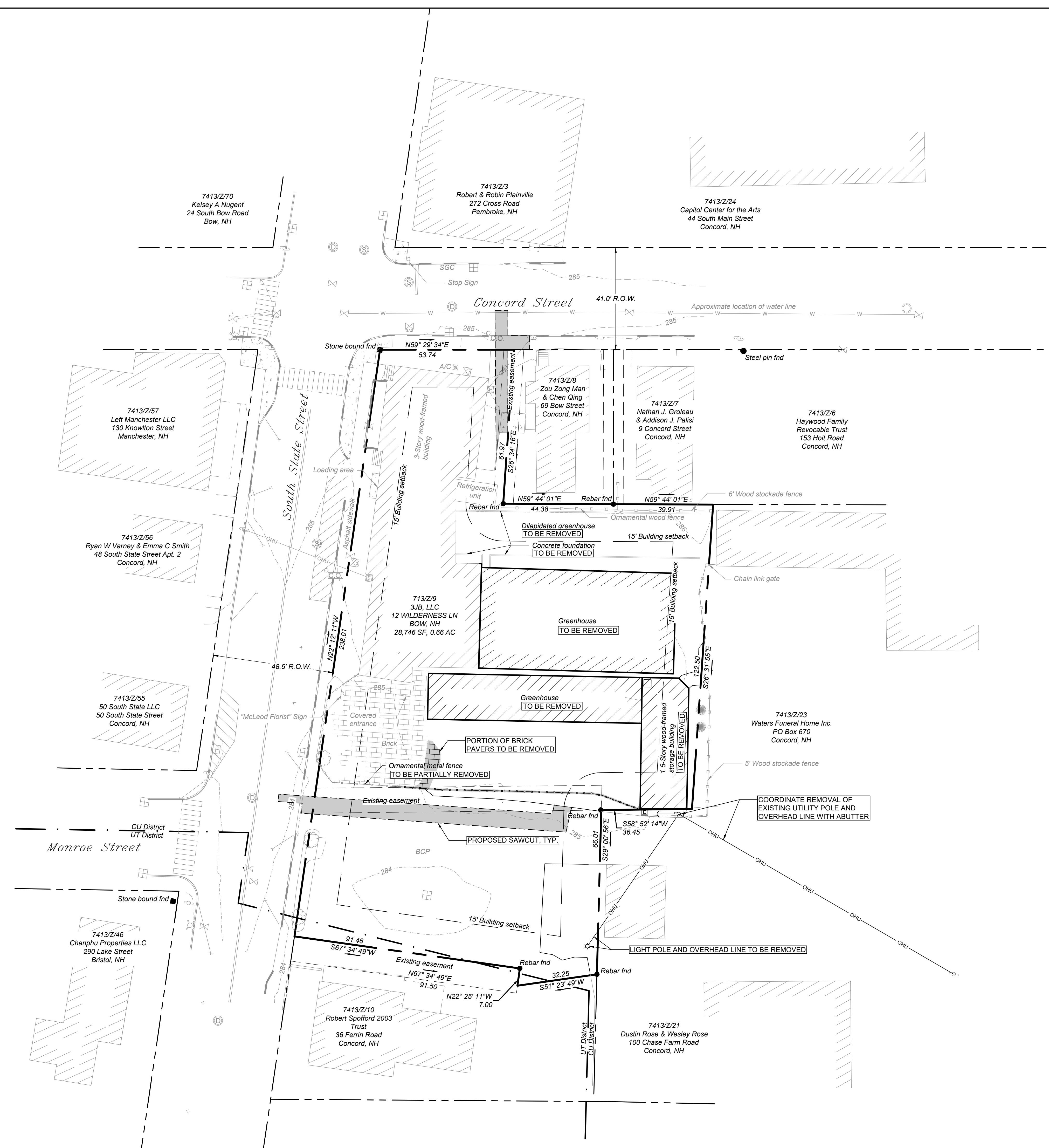
SITE  
**3JB, LLC  
47-49 S. STATE ST  
CONCORD, NH  
MBLU: 7413/Z/9**

DRAWING TITLE  
**DEMOLITION PLAN**

SCALE 1" = 20' DATE 04/15/2026

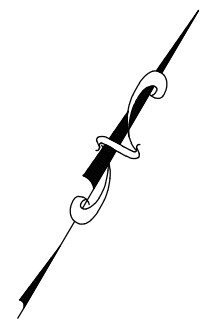
DRAFTED BY KAD CHECKED BY ERL PROJECT MGR ERL PROJECT NO. RNBS0002

STATE OF NEW HAMPSHIRE  
ERIN R. LAMBERT  
No. 11057  
LICENSED PROFESSIONAL ENGINEER  
**C1.1**  
SHEET NO. 04 OF 11



**PLAN NOTES:**  
1. EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "PARTIAL EXISTING CONDITIONS PLAN TAX MAP 7413 BLOCK Z LOT 9" PREPARED FOR D. MCLEOD, INC., DATED FEBRUARY 26, 2026, PROVIDED TO WILCOX & BARTON, INC. BY J.E. BELANGER LAND SURVEYING, PLLC.  
2. SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES

GRAPHIC SCALE  
0 10 20 30 40 50 60 70 80  
( IN FEET )  
1 inch = 20 ft.



**Wilcox & Barton INC.**  
CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE  
CONCORD, NH 03301  
603-369-4190  
www.wilcoxandbarton.com

**ZONING NOTES:**

MBLU	7413/Z/9			
PROPERTY ADDRESS	47-49 SOUTH STATE STREET, CONCORD, NH			
OWNER	3JB, LLC			
ZONING DISTRICT	URBAN COMMERCIAL (CU)			
PROPOSED USE	RETAIL & RESIDENTIAL			
LOT SIZE	REQUIRED	EXISTING	PROPOSED	
	MIN. 12,500 SF	28,746 SF (0.66 AC)	28,746 SF (0.66 AC)	
IMPERVIOUS COVERAGE	MAX. 22,997 SF (80.0%)	24,635 SF (85.7%)	22,376 SF (77.8%)	
	FRONTAGE	MIN. 100 LF	292 LF	292 LF
BUILDING SETBACKS	FRONT	MIN. 15 LF	4.6 LF	4.6 LF
	SIDE	MIN. 15 LF	0 LF	3.2 LF
	REAR	MIN. 15 LF	2.1 LF	17 LF

PARKING REQUIREMENT CALCULATIONS:  
1 SPACES PER DWELLING UNIT  
1 SPACE PER 250 SF OF RETAIL GROSS FLOOR AREA

	REQUIRED	EXISTING	PROPOSED	PARKING
DWELLING UNITS	N/A	0	5	5
GROSS RETAIL AREA	N/A	6,493 SF	6,493 SF	26
				TOTAL: 31
PARKING SPACES	ADA	MIN. 2	0	2
	COMPACT	MAX. 8	0	7
	STANDARD		20	19
	GARAGE		0	3
	TOTAL SPACES	MIN. 31	20	31

**THE FOLLOWING CONDITIONAL USE PERMIT IS REQUESTED:**

- 28-7-11 ALTERNATIVE PARKING ARRANGEMENT FOR A DRIVEWAY TO BE 17' FROM AN INTERSECTION WHERE 20' IS REQUIRED.

**THE FOLLOWING WAIVERS ARE REQUESTED:**

- A WAIVER TO SECTION 18.12 PERIMETER LANDSCAPING TO ALLOW OFF-STREET PARKING WITHIN 5' OF A LOT LINE AND TO ALLOW PARKING IN A NON-RESIDENTIAL DISTRICT TO OCCUR WITHIN 10' OF THE FRONT LOT LINE WHERE IT ABUTS THE RIGHT-OF-WAY OF AN ARTERIAL STREET.
- A WAIVER TO SECTION 16.02(22) AND 20.07 DESIGN OF SOLID WASTE DISPOSAL AREA TO ALLOW A DUMPSTER PAD TO BE 10'x12'
- A WAIVER TO SECTION 20.04 LOCATION OF LOADING SPACE TO ALLOW A LOADING SPACE IN FRONT OF THE BUILDING WHERE REQUIRED ON THE SIDE OR REAR.

**VARIANCES GRANTED:**

THE FOLLOWING VARIANCES WERE GRANTED BY THE CITY OF CONCORD ZONING BOARD ON MARCH 4TH, 2026:

- A VARIANCE TO SECTION 28-7-7(E), MINIMUM AISLE WIDTH, TO PERMIT THE EXISTING AISLE WIDTH AT THE ENTRANCE TO BE 20 FEET, WITH AN EXPANSION TO 22 FEET, WHERE 24 FEET IS REQUIRED AND ALONG THE SOUTHERN PARKING AREA TO REMAIN AT THE EXISTING 13'-10" TO 15', WHERE 24 FEET IS REQUIRED.
- A VARIANCE TO SECTION 28-7-7(F), DRIVEWAY WIDTH, TO PERMIT THE EXISTING DRIVEWAY WIDTH AT THE ENTRANCE TO REMAIN AT 20 FEET, WHERE 24 FEET IS REQUIRED.
- A VARIANCE TO SECTION 28-7-7(G)(2), SETBACKS FROM LOT LINES, TO PERMIT PARKING UP TO THE PROPERTY LINE, WHERE A 5 FOOT SETBACK IS REQUIRED, WITH THE PARKING IN THE SOUTHERN PARKING AREA TO HAVE A 4 FOOT SETBACK, THE PARKING AREA IN THE SOUTHEAST AREA TO HAVE A 1.67 FOOT SETBACK, AND ONE PARKING SPOT IN THE NORTHEAST AREA TO HAVE A 1.1 FOOT SETBACK.
- A VARIANCE TO SECTION 28-7-7(G)(2), SETBACKS FROM LOT LINES, TO PERMIT THE EXISTING FOUR (4) PARKING SPACES WITHIN THE PARKING LOT TO BE LOCATED IN THE FRONT YARD WHERE PARKING IS NOT PERMITTED WITHIN TEN (10) FEET OF THE FRONT LOT LINE.
- A VARIANCE TO SECTION 28-7-10(A), PARKING LOT PERIMETER LANDSCAPING REQUIRED, TO PERMIT THE EXISTING PARKING LOT ALONG THE SOUTHERN PARKING AND THE ADDITIONAL PARKING AREAS ON THE PROPERTY TO HAVE NO LANDSCAPING AREA, WHERE A FIVE FOOT LANDSCAPE AREA IS REQUIRED.
- A VARIANCE TO SECTION 28-7-10(C), USE OF REQUIRED LANDSCAPE AREAS RESTRICTED, TO PERMIT PARKING WITHIN THE REQUIRED LANDSCAPED AREA, WHERE PARKING IS NOT PERMITTED UNDER THE ORDINANCE.
- A VARIANCE TO SECTION 28-7-13(B), LOCATION OF LOADING SPACES, TO PERMIT THE EXISTING LOADING SPACE WITHIN THE BUILDING TO REMAIN ON THE FRONT OF THE BUILDING, WITH IT BACKING INTO THE STREET, WHERE IT WOULD NOT BE PERMITTED UNDER THE ORDINANCE.

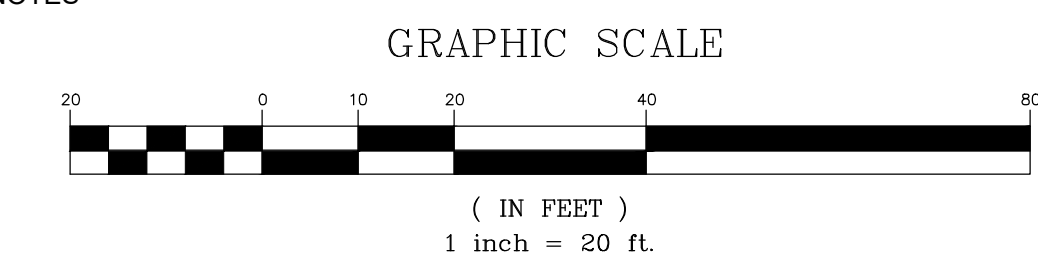
**PROJECT PHASING:**

- PHASE 1 (SPRING-FALL 2026): REMOVE GREENHOUSES; RENOVATE RETAIL SPACE; CONVERT 3-STORY PORTION OF EXISTING BUILDING TO 2 TOWNHOUSES; INSTALL WATER SERVICE FROM CONCORD STREET FOR SPRINKLER SYSTEM.
- PHASE 2 (SUMMER-FALL 2027): DEMOLISH GARAGE; CONSTRUCT 3-TOWNHOUSE ADDITION AND ASSOCIATED UTILITIES AND PARKING LOT IMPROVEMENTS.

NOTE: SOUTH STATE STREET IS UNDER MORATORIUM UNTIL LABOR DAY 2027. NEW UTILITY CONNECTIONS IN SOUTH STATE STREET WILL TAKE PLACE AFTER THE MORATORIUM IS LIFTED.

**PLAN NOTES:**

- EXISTING CONDITIONS, TOPOGRAPHICAL INFORMATION, NORTH ORIENTATION, AND COORDINATE VALUES DEPICTED ON THESE DRAWINGS ARE BASED ON PLANS TITLED "PARTIAL EXISTING CONDITIONS PLAN TAX MAP 7413 BLOCK 2, LOT 9" PREPARED FOR D. MCLEOD, INC., DATED FEBRUARY 28, 2026, PROVIDED TO WILCOX & BARTON, INC. BY J.E. BELANGER LAND SURVEYING, PLLC.
- BUILDING FOOTPRINT REPRESENTS A FLOOR PLAN PROVIDED TO WILCOX & BARTON, INC. BY BRANDON L. REED ON MARCH 16, 2026. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR FOUNDATION AND BUILDING DIMENSIONS.
- SEE SHEET C0.2 LEGEND AND NOTES FOR PROJECT LEGEND AND GENERAL NOTES



**REVISION HISTORY**

NO.	DESCRIPTION
1.	

**ISSUED FOR**

**PERMITTING**

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**OWNER**

**3JB, LLC**  
12 WILDERNESS LANE  
BOW, NH 03304

**SITE**

**3JB, LLC**  
47-49 S. STATE ST  
CONCORD, NH  
MBLU: 7413/Z/9

**DRAWING TITLE**

**SITE PLAN**

SCALE	DATE
1" = 20'	04/15/2026

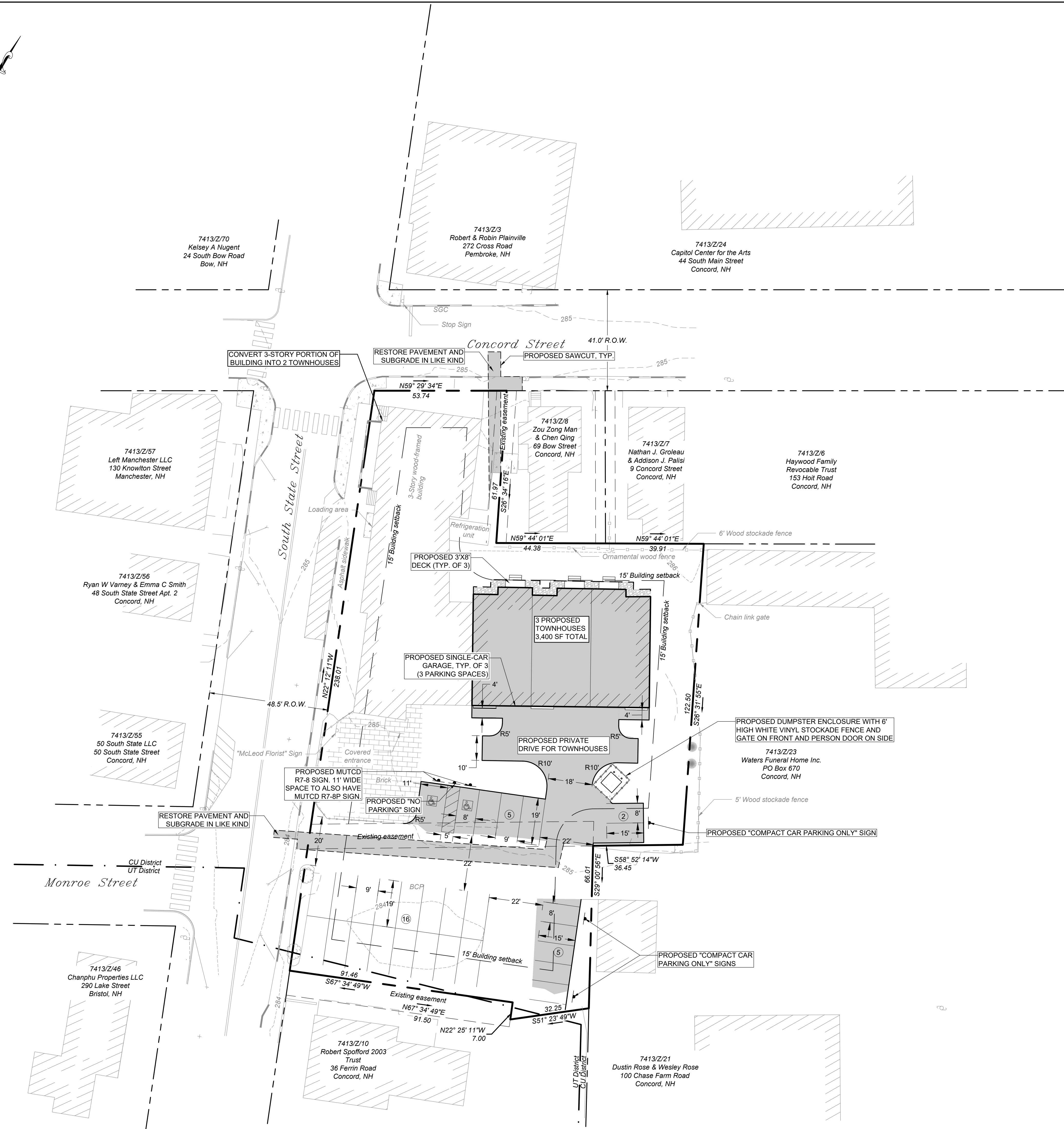
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	RNBS0002

STATE OF NEW HAMPSHIRE  
ERIN R. LAMBERT  
No. 11057  
LICENSED PROFESSIONAL ENGINEER

**C1.2**

ENGINEER ERIN R. LAMBERT  
NH P.E. #11057

SHEET NO.  
**05 OF 11**



REVISION HISTORY

ISSUED FOR

**PERMITTING**

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OWNER

**3JB, LLC**  
**12 WILDERNESS LANE**  
**BOW, NH 03304**

SITE

**3JB, LLC**  
**47-49 S. STATE ST**  
**CONCORD, NH**

**MBLU: 7413/Z/9**

DRAWING TITLE  
**GRADING,  
DRAINAGE, & EROSION  
CONTROL PLAN**

SCALE	DATE
1" = 20'	04/15/2026
DRAFTED BY	CHECKED BY
KAD	ERL
PROJECT MGR	PROJECT NO.
ERL	RNBS0002

SHEET NO.

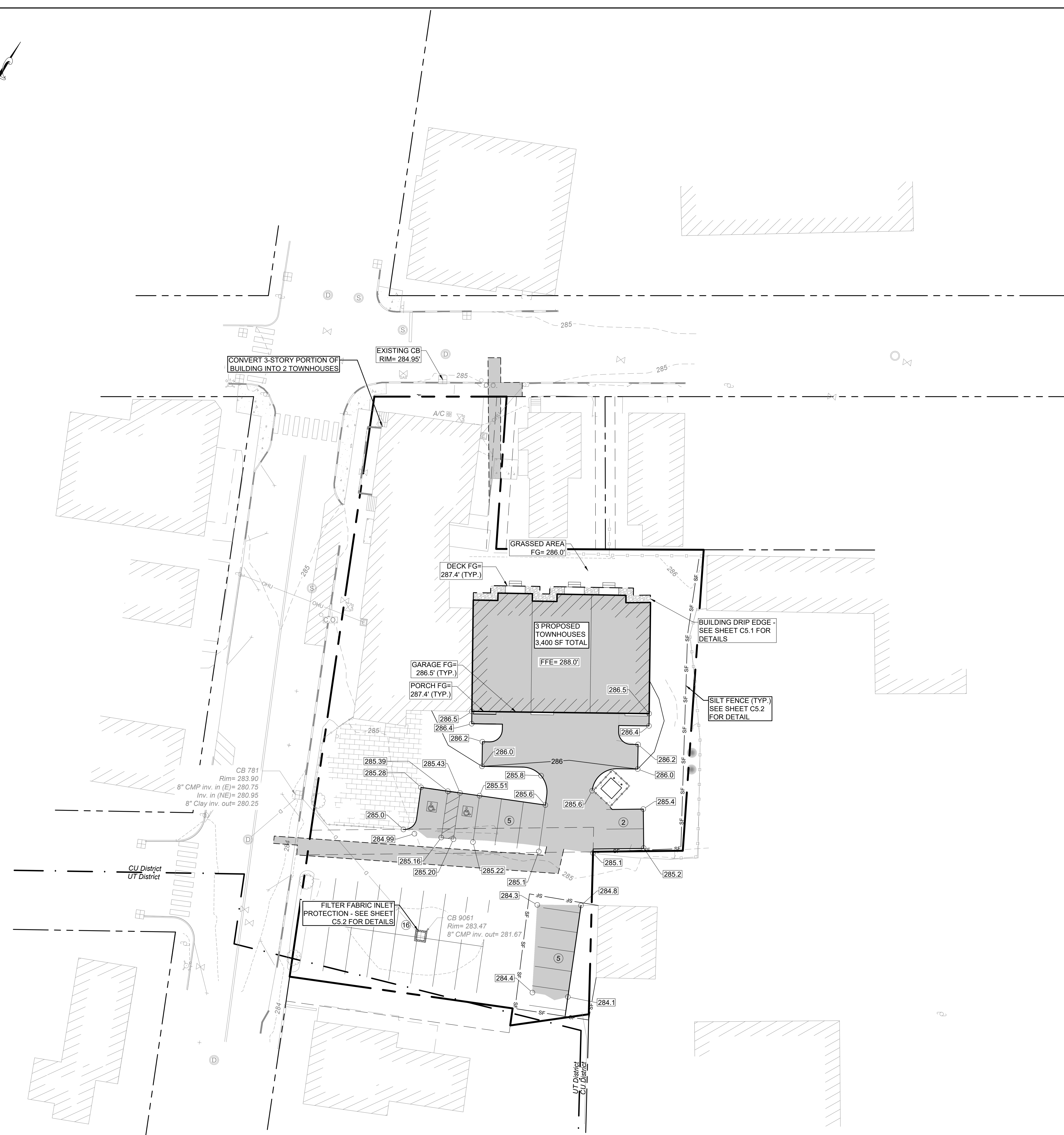
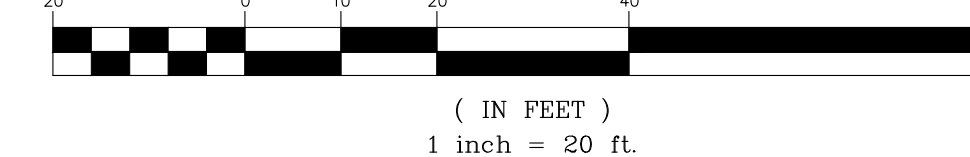
**C1.3**

06 OF 11

**PLAN NOTES:**

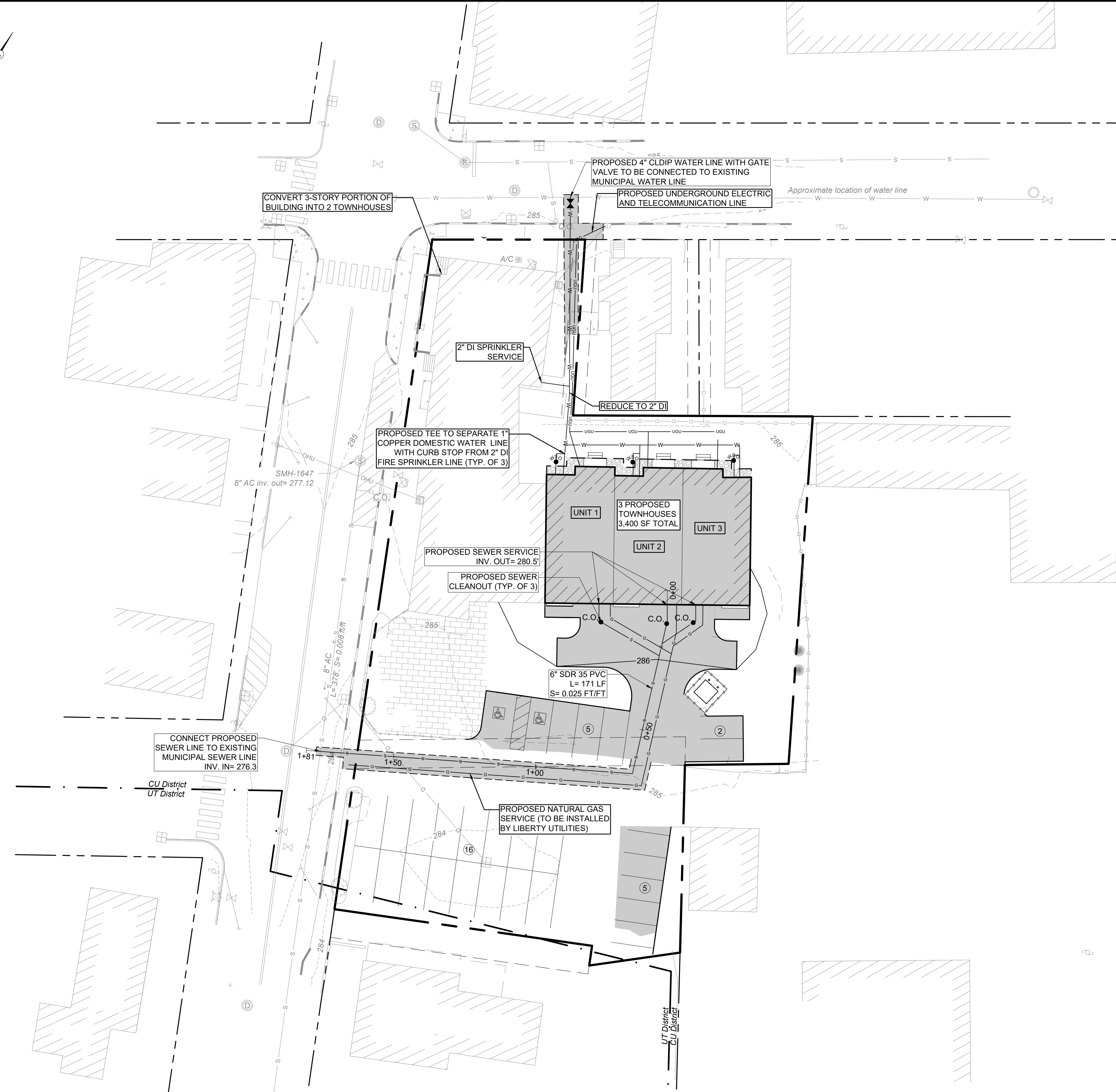
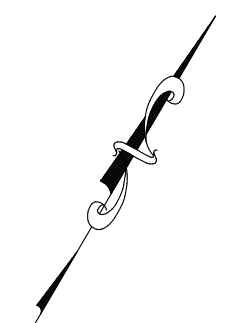
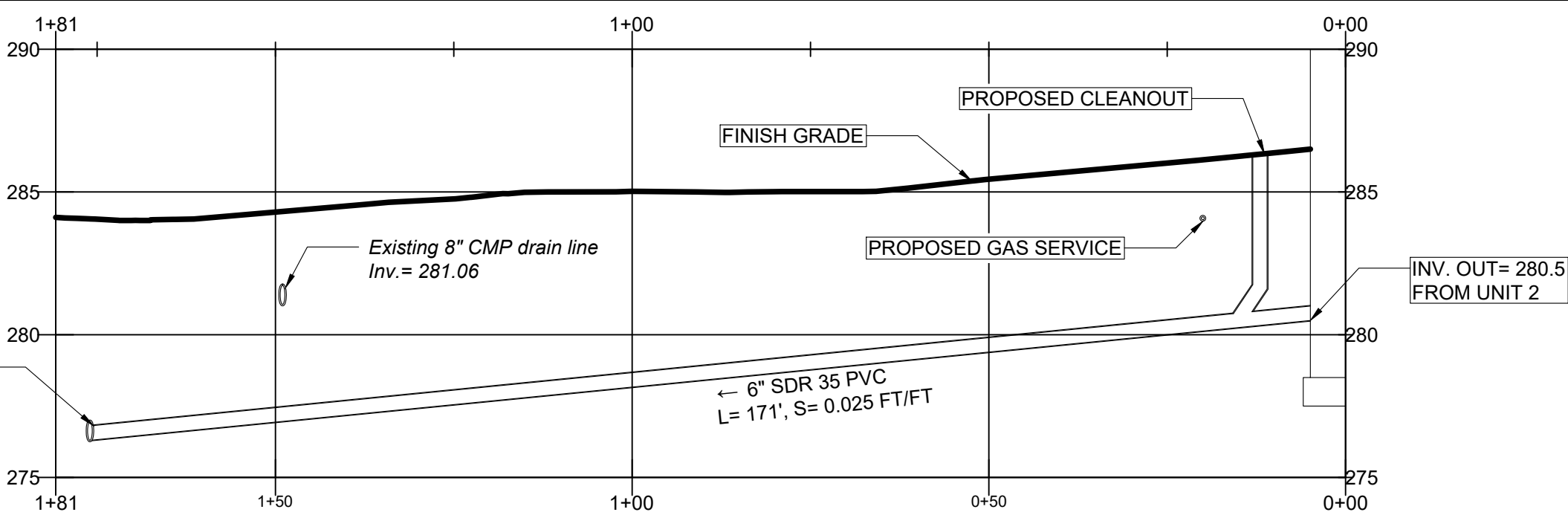
- REFER TO SURVEYOR'S PLAN FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY IF SITE CONDITIONS DIFFER FROM WHAT IS SHOWN ON PLAN.
- SPOT ELEVATIONS SHOWN AT BUILDING CORNERS ARE PROPOSED GROUND ELEVATIONS.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL STORM DRAIN PIPING WITH LESS THAN 3.0 FEET OF COVER SHALL BE OVERLAID WITH 2" THICK RIGID INSULATION FOR THE FULL WIDTH OF PIPE TRENCH.
- A CONFIRMATORY TEST PIT SHALL BE PERFORMED WITHIN THE FOOTPRINT OF THE PROPOSED STORMWATER PRACTICE TO CONFIRM ADEQUATE SEPARATION TO THE ESTIMATED SEASONAL HIGH WATER TABLE.

GRAPHIC SCALE



**PROPOSED SEWER SERVICE**  
 H SCALE: 1" = 20'  
 V SCALE: 1" = 5'

CONNECT TO EXISTING  
 8" AC SEWER MAIN  
 INV. = 276.3



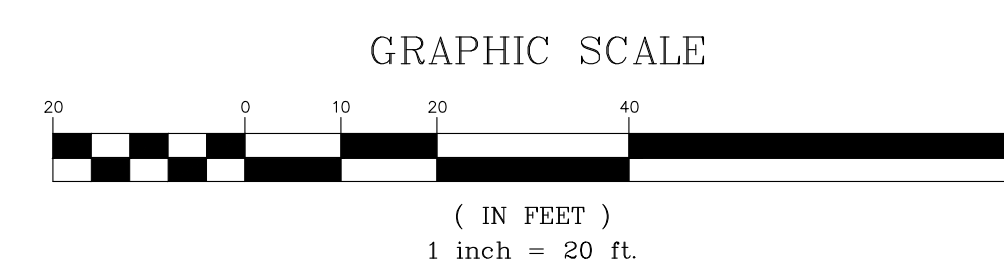
**PLAN NOTES:**

- REFER TO SURVEYOR'S PLAN, FOR BASE PLAN REFERENCES AND ADDITIONAL NOTES.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEY PLAN AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
- LOCATIONS AND ELEVATIONS OF UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON RECORDS FROM THE UTILITY COMPANIES AND FIELD MEASUREMENTS OF VISIBLE STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO CONSTRUCTION AND WILL NOTIFY ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS.
- THERE WILL BE NO PHYSICAL CONNECTION BETWEEN A PUBLIC OR PRIVATE POTABLE WATER SUPPLY SYSTEM AND A SEWER OR SEWER APPURTENANCE WHICH WOULD PERMIT THE PASSAGE OF SEWAGE OR POLLUTED WATER INTO THE POTABLE SUPPLY. NO WATER PIPE WILL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE. NO SEWER WILL BE LOCATED WITHIN THE WELL PROTECTIVE RADII ESTABLISHED IN ENV-WS 300 FOR ANY PUBLIC WATER SUPPLY WELLS OR WITHIN 100 FEET OF ANY PRIVATE WATER SUPPLY WELL. SEWERS WILL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. A DEVIATION FROM THE SEPARATION REQUIREMENTS WILL BE ALLOWED WHERE NECESSARY TO AVOID CONFLICT WITH SUBSURFACE STRUCTURES, UTILITY CHAMBERS, AND BUILDING FOUNDATIONS, PROVIDED THAT THE SEWER IS CONSTRUCTED IN ACCORDANCE WITH THE FORCE MAIN CONSTRUCTION REQUIREMENTS SPECIFIED IN ENV-WQ 704.07. WHENEVER SEWERS MUST CROSS WATER MAINS, THE SEWER WILL BE CONSTRUCTED AS FOLLOWS:
  - VERTICAL SEPARATION OF THE SEWER AND WATER MAIN WILL BE NOT LESS THAN 18 INCHES, WITH WATER ABOVE SEWER; AND
  - SEWER PIPE JOINTS WILL BE LOCATED AT LEAST 6 FEET HORIZONTALLY FROM THE WATER MAIN.
- THE CONTRACTOR WILL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES WILL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (ELECTRIC, TELEPHONE, CABLE TELEVISION, FIRE ALARM, GAS, WATER, AND SEWER).
- ALL CONSTRUCTION WILL CONFORM TO THE CITY STANDARDS AND REGULATIONS, UNLESS OTHERWISE SPECIFIED. ALL CONSTRUCTION ACTIVITIES WILL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
- THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
- AS-BUILT PLANS WILL BE SUBMITTED TO ENGINEERING SERVICES DIVISION.
- INVERTS AND SHELVES: MANHOLES WILL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS WILL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES WILL BE CONSTRUCTED TO THE ELEVATION OF THE CROWN OF THE HIGHEST PIPE, AND SHELF WILL CONSIST OF GRADE SS HARD BRICK MASONRY.
- FRAMES AND COVERS: MANHOLE FRAMES AND COVERS WILL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN", AS APPROPRIATE, WILL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC RING AND CAPABLE OF SUPPORTING H20 LOADS.
- CONTRACTOR WILL PLACE 2" WIDE METAL WIRE IMPREGNATED GREEN PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, SERVICES, AND FORCE MAINS.
- ALL SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN) WILL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS.
- PROPOSED RIM ELEVATIONS OF SANITARY AND DRAIN MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH WITH FINISH GRADES. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE.
- ALL SANITARY SEWER SERVICE LATERALS, FOR FUTURE RESIDENTIAL CONNECTION, WILL END AT THE LIMITS OF THE R.O.W., AS SHOWN ON PLANS AND WILL BE PROVIDED WITH A TEMPORARY PLUG AND WITNESS AT END.
- DIMENSIONS ARE SHOWN TO CENTERLINE OF PIPE OR FITTING.
- ALL GRAVITY SEWER PIPE, MANHOLES, AND FORCE MAINS WILL BE TESTED ACCORDING TO NHDES STANDARDS OF DESIGN AND CONSTRUCTION FOR SEWAGE AND WASTEWATER TREATMENT FACILITIES, CHAPTER ENV-WQ 700, CONFORMING TO THE FOLLOWING MIN. CRITERIA:
 

ENV-WQ 704.06 GRAVITY SEWER PIPE TESTING:  
 GRAVITY SEWERS WILL BE TESTED FOR WATER TIGHTNESS BY USE OF LOW-PRESSURE AIR TESTS CONFORMING WITH ASTM F1417-92(2005) OR UNI-BELL PVC PIPE ASSOCIATION UNI-B-6. LINES WILL BE CLEANED AND VISUALLY INSPECTED AND TRUE TO LINE AND GRADE. DEFLECTION TESTS WILL TAKE PLACE AFTER 30 DAYS FOLLOWING INSTALLATION.

ENV-WQ 704.09 FORCE MAIN AND LOW PRESSURE SEWER TESTING:  
 WILL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600-05, AND AT A PRESSURE EQUAL TO THE GREATER OF 150 PERCENT OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD OR AT LEAST 100 PSI.

ENV-WQ 704.17 (a) SEWER MANHOLES:  
 WILL BE TESTED FOR LEAKAGE USING A VACUUM TEST. TESTING WILL BE CONDUCTED PRIOR TO PLACEMENT OF SHELVES AND INVERTS.
- SEWERS WILL BE BURIED TO A MINIMUM DEPTH OF 6 FEET BELOW GRADE IN ALL ROADWAY LOCATIONS, AND TO A MINIMUM DEPTH OF 4 FEET BELOW GRADE IN ALL CROSS-COUNTRY LOCATIONS. PROVIDE TWO-INCHES OF R-10 FOAM BOARD INSULATION 2-FOOT WIDE TO BE INSTALLED 6-INCHES OVER SEWER PIPE IN AREAS WHERE DEPTH IS NOT ACHIEVED. A NHDES WAIVER IS NEEDED IF THE MINIMUM REQUIRED DEPTH CANNOT BE MET.
- SEWER AND WATER INFRASTRUCTURE ON PRIVATE PROPERTY IS TO REMAIN PRIVATE, HOWEVER, THE TOWN RESERVES THE RIGHT TO ENTER THE PROPERTY IN ORDER TO INSPECT, REPAIR AND/OR TERMINATE INDIVIDUAL SEWER OR WATER SERVICES (AT OWNER'S EXPENSE).
- CONTRACTOR WILL SET RIMS OF NEW SANITARY SEWER MANHOLES TO EXISTING FINISHED GRADE FOR THE WINTER SEASON. RIMS WILL BE RAISED IN THE SPRING PRIOR TO PLACEMENT OF 1" BITUMINOUS OVERLAY.
- SERVICE LATERAL LOCATIONS SHOWN ARE APPROXIMATE AND MAY BE ADJUSTED IN THE FIELD BASED ON INPUT FROM CITY INSPECTOR AND/OR PROJECT CLERK OF THE WORKS.
- REFER TO SHEET C0.2 FOR GENERAL NOTES AND LEGEND.



**Wilcox & Barton INC.**  
 CIVIL • ENVIRONMENTAL • GEOTECHNICAL

2 HOME AVENUE  
 CONCORD, NH 03301  
 603-369-4190  
 www.wilcoxandbarton.com

REVISION HISTORY

1.	
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OWNER

**3JB, LLC**  
**12 WILDERNESS LANE**  
**BOW, NH 03304**

SITE

**3JB, LLC**  
**47-49 S. STATE ST**  
**CONCORD, NH**

**MBLU: 7413/ZI9**

DRAWING TITLE

**UTILITY PLAN**

SCALE	DATE		
1" = 20'	04/15/2026		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	RNBS0002
SHEET NO.			

STATE OF NEW HAMPSHIRE  
 ERIN R. LAMBERT  
 No. 11057  
 LICENSED PROFESSIONAL ENGINEER

**C1.4**

ENGINEER: ERIN R. LAMBERT  
 NH P.E. #11057

07 OF 11

REVISION HISTORY

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DRAWING TITLE

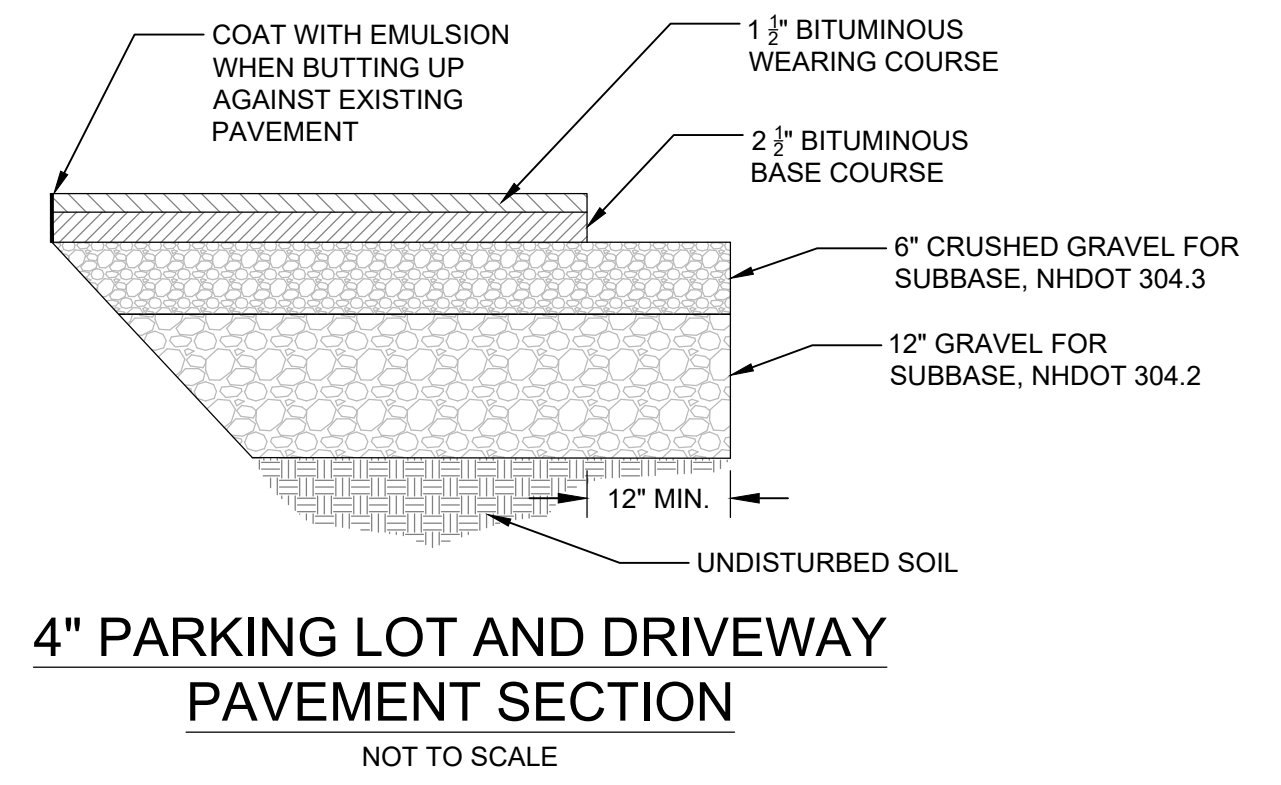
**CONSTRUCTION DETAILS**

SCALE: N.T.S. DATE: 04/15/2026

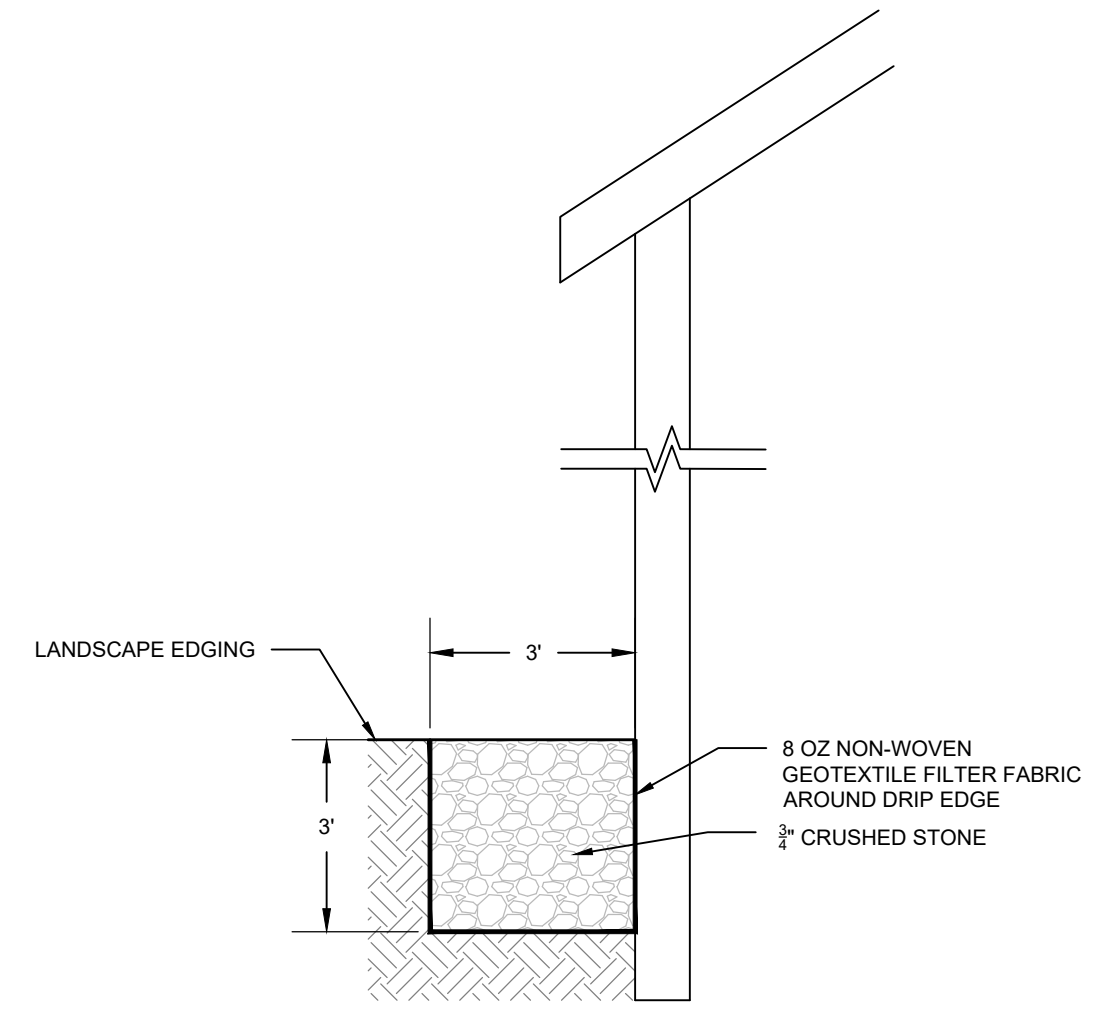
DRAFTED BY: KAD CHECKED BY: ERL PROJECT MGR: ERL PROJECT NO.: RNBS0002

STATE OF NEW HAMPSHIRE  
 ERIN R. LAMBERT  
 No. 11057  
 LICENSED PROFESSIONAL ENGINEER

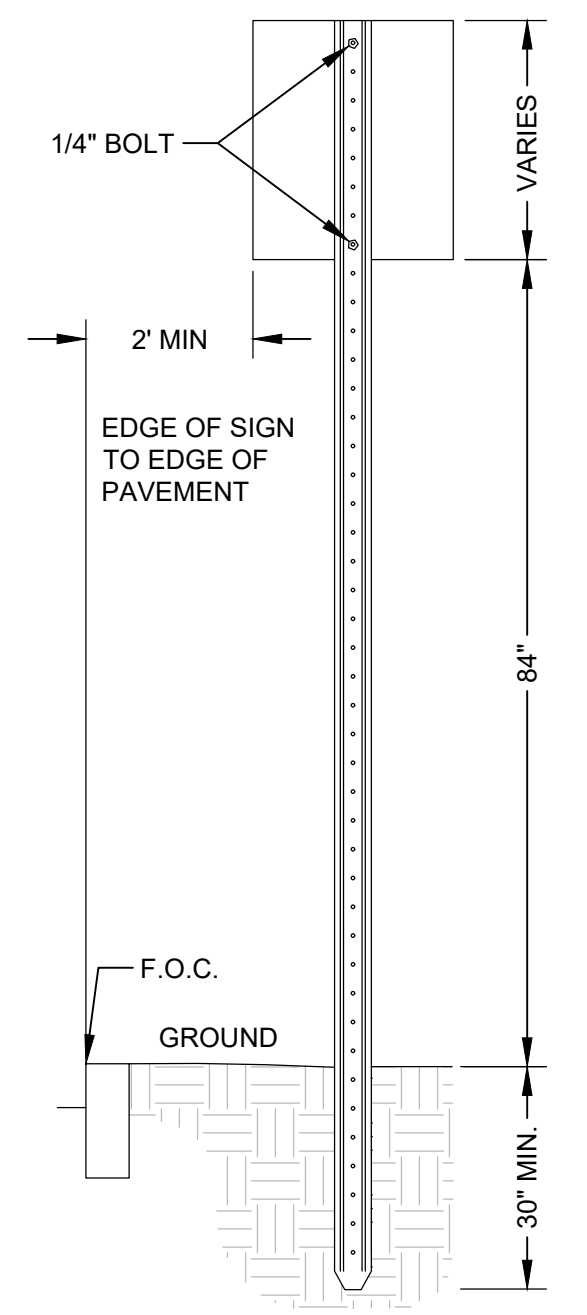
**C5.1**



**4" PARKING LOT AND DRIVEWAY PAVEMENT SECTION**  
 NOT TO SCALE

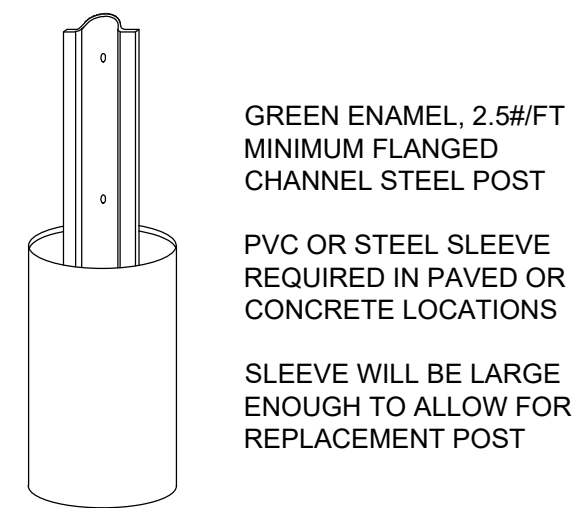


**BUILDING DRIP EDGE**  
 NOT TO SCALE



**ROAD SIGN POST AND SLEEVE - URBAN**  
 NOT TO SCALE

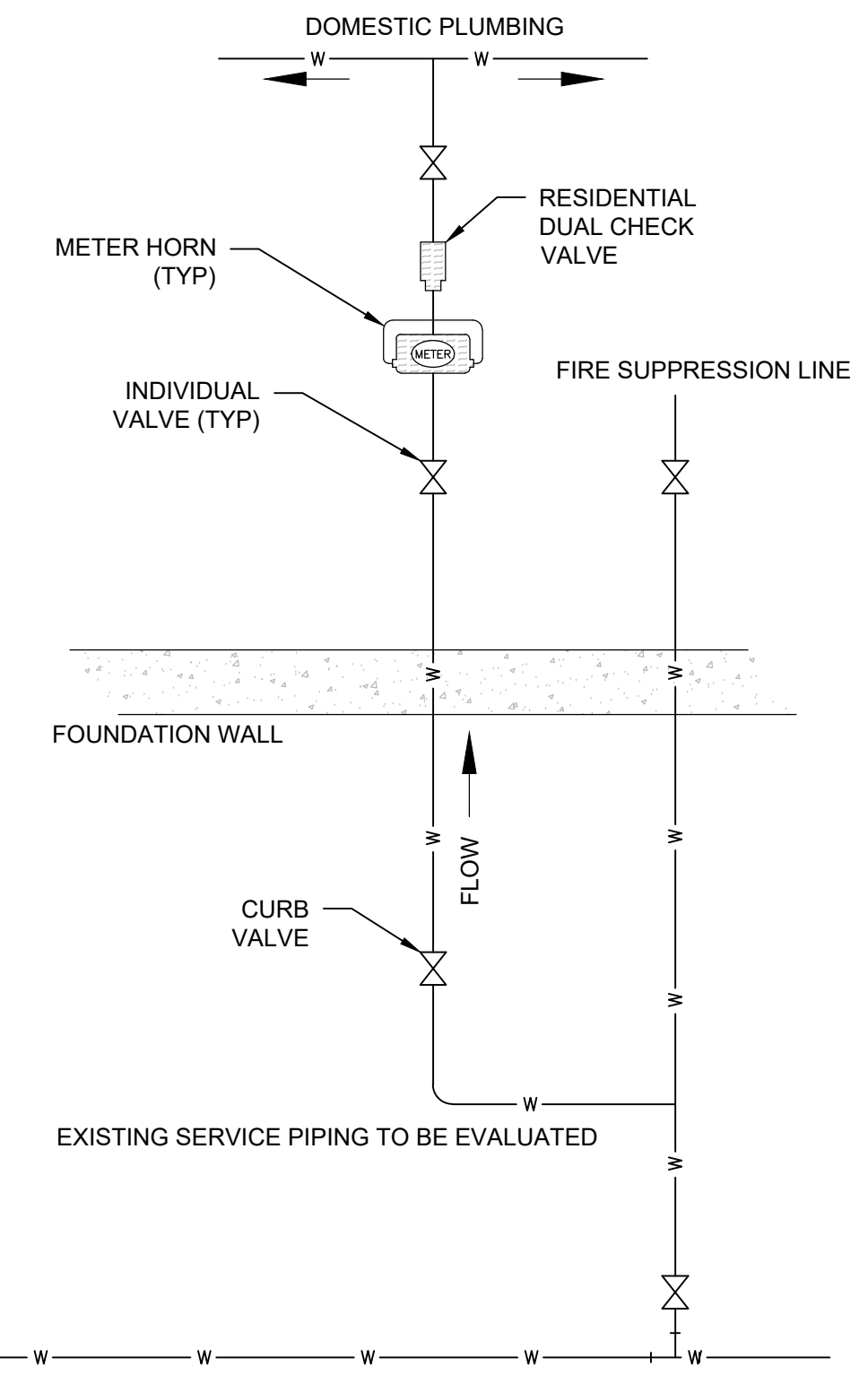
- NOTES:
- POSTS SHALL BE PLUMB. ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND REPLACED. CUTTING THE DAMAGED PORTION OUT AND SPLICING THE POST TOGETHER IS NOT ACCEPTABLE.
  - WHEN POSTS ARE SET, THE HOLES SHALL BE DUG TO THE PROPER DEPTH. AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT EXCEEDING 6" DEEP WHEN COMPACTED; CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
  - WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED. AFTER DRIVING, THE TOP OF THE POST SHALL HAVE THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST. BATTERED HEADS WILL NOT BE ACCEPTED.
  - POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
  - SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
  - WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE SIGN



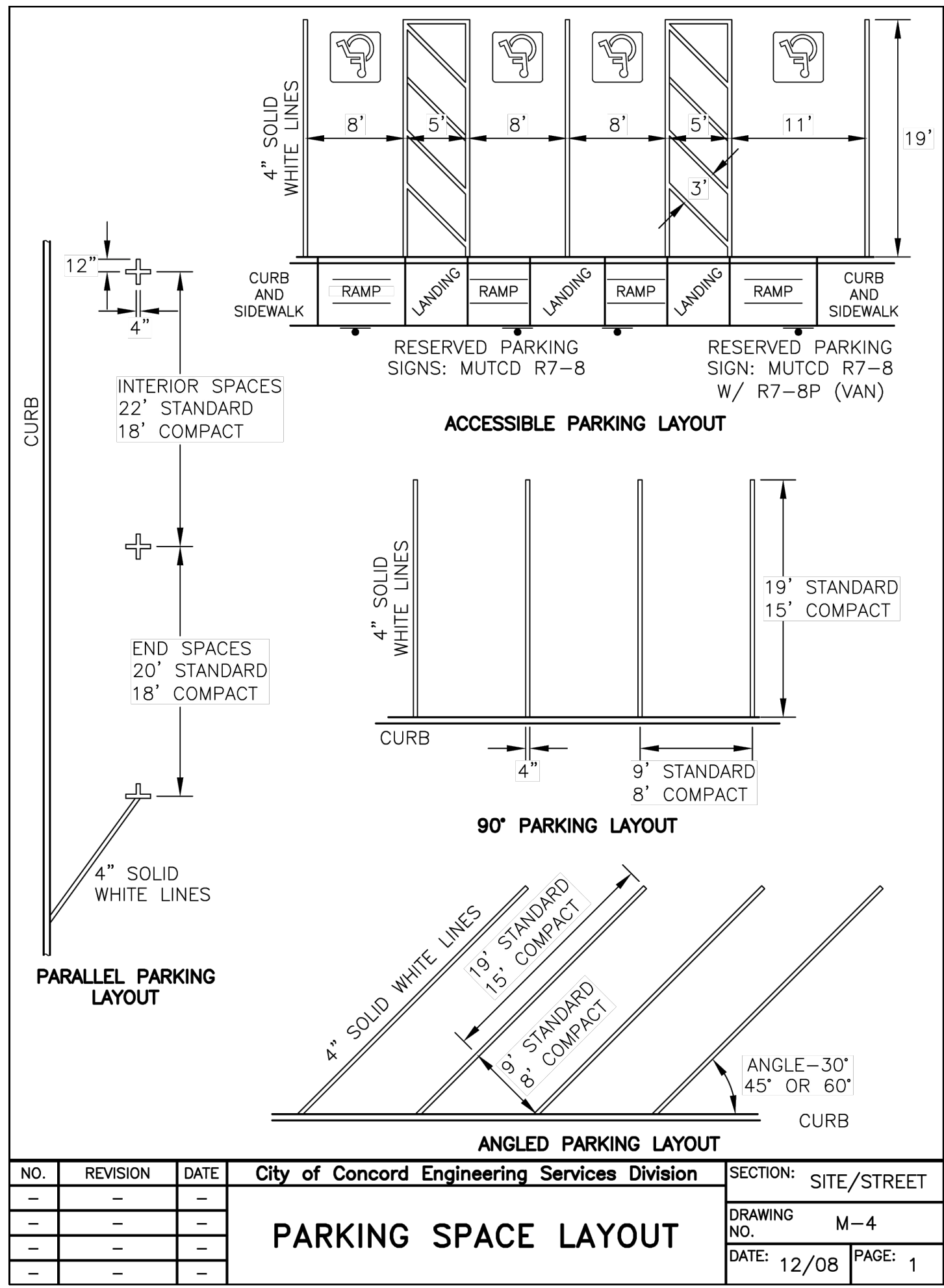
M.U.T.C.D. NUMBER	SPECIFICATION		MOUNTING HEIGHT	SIGN
	WIDTH	HEIGHT		
NA	12"	18"	7'-0"	COMPACT CAR PARKING ONLY
R7-8	12"	18"	7'-0"	RESERVED PARKING
R7-8P	12"	6"	6'-3"	VAN

NOTE: MOUNTING HEIGHT IS THE CLEARANCE OF THE BOTTOM OF THE SIGN TO THE NEAREST EDGE OF PAVEMENT.

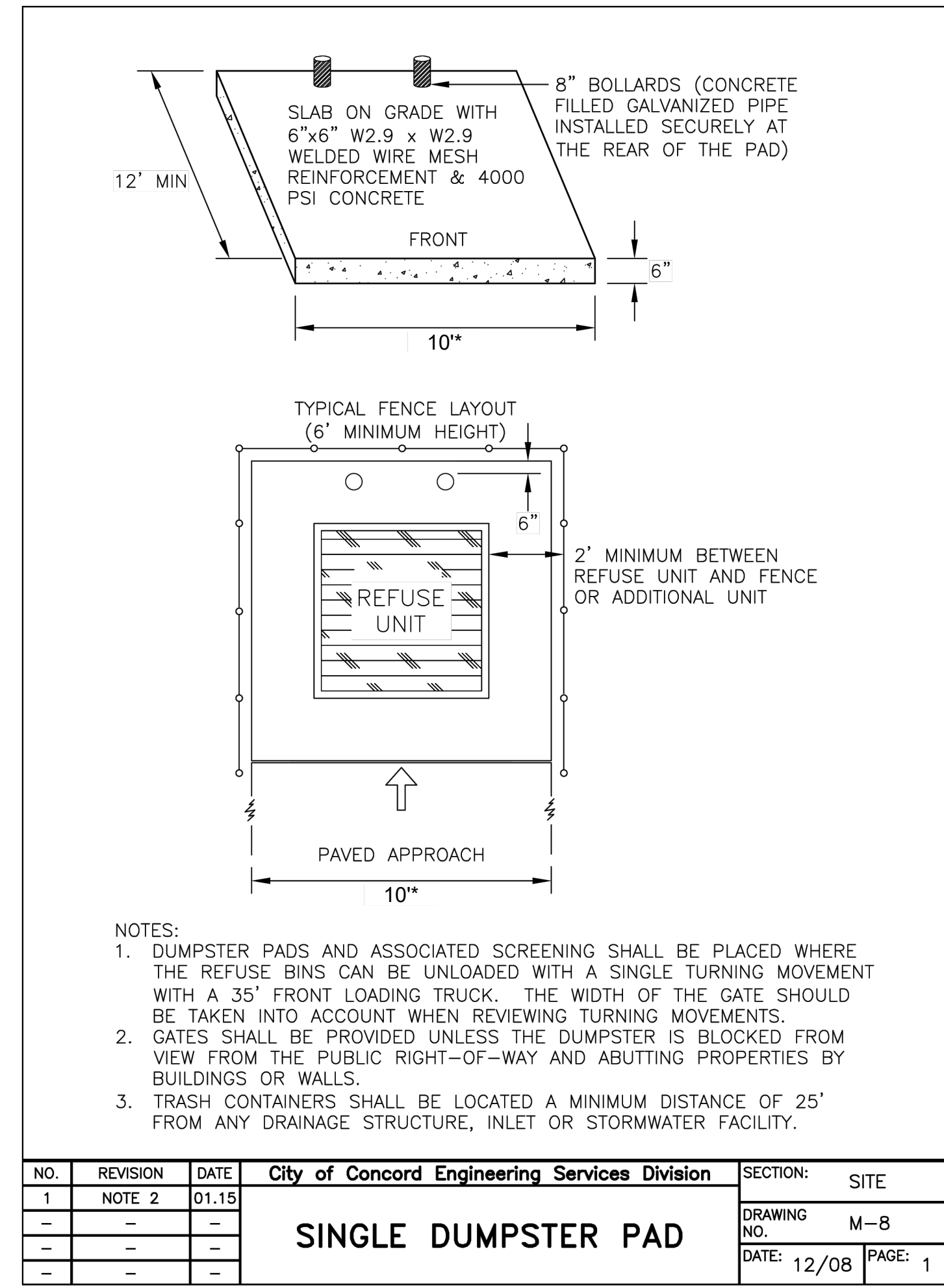
**SIGN SUMMARY**  
 NOT TO SCALE



**METER INSTALLATION WITH FIRE SUPPRESSION**  
 NOT TO SCALE

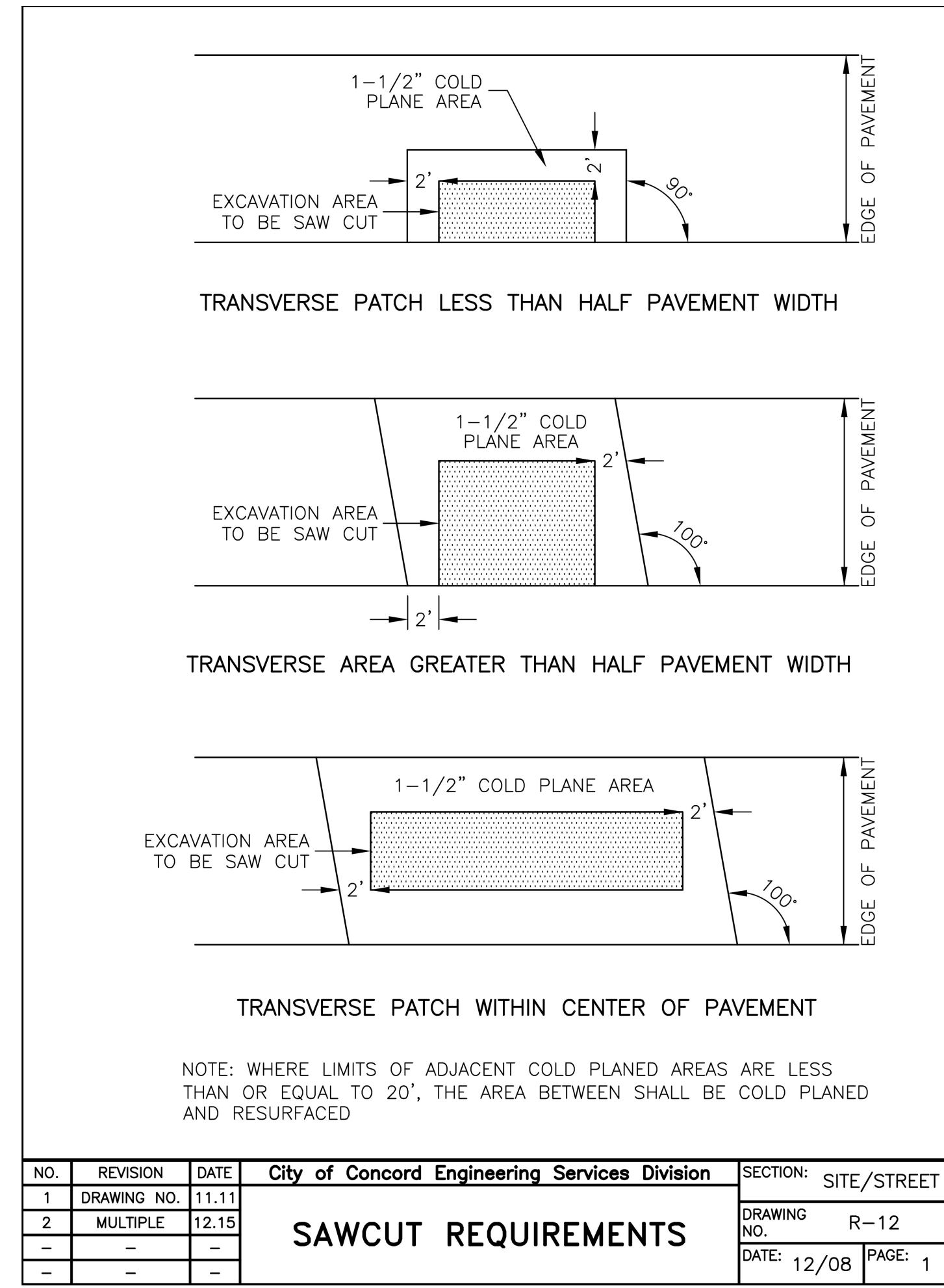


**PARKING SPACE LAYOUT**  
 DATE: 12/08 PAGE: 1



**SINGLE DUMPSTER PAD**  
 DATE: 12/08 PAGE: 1

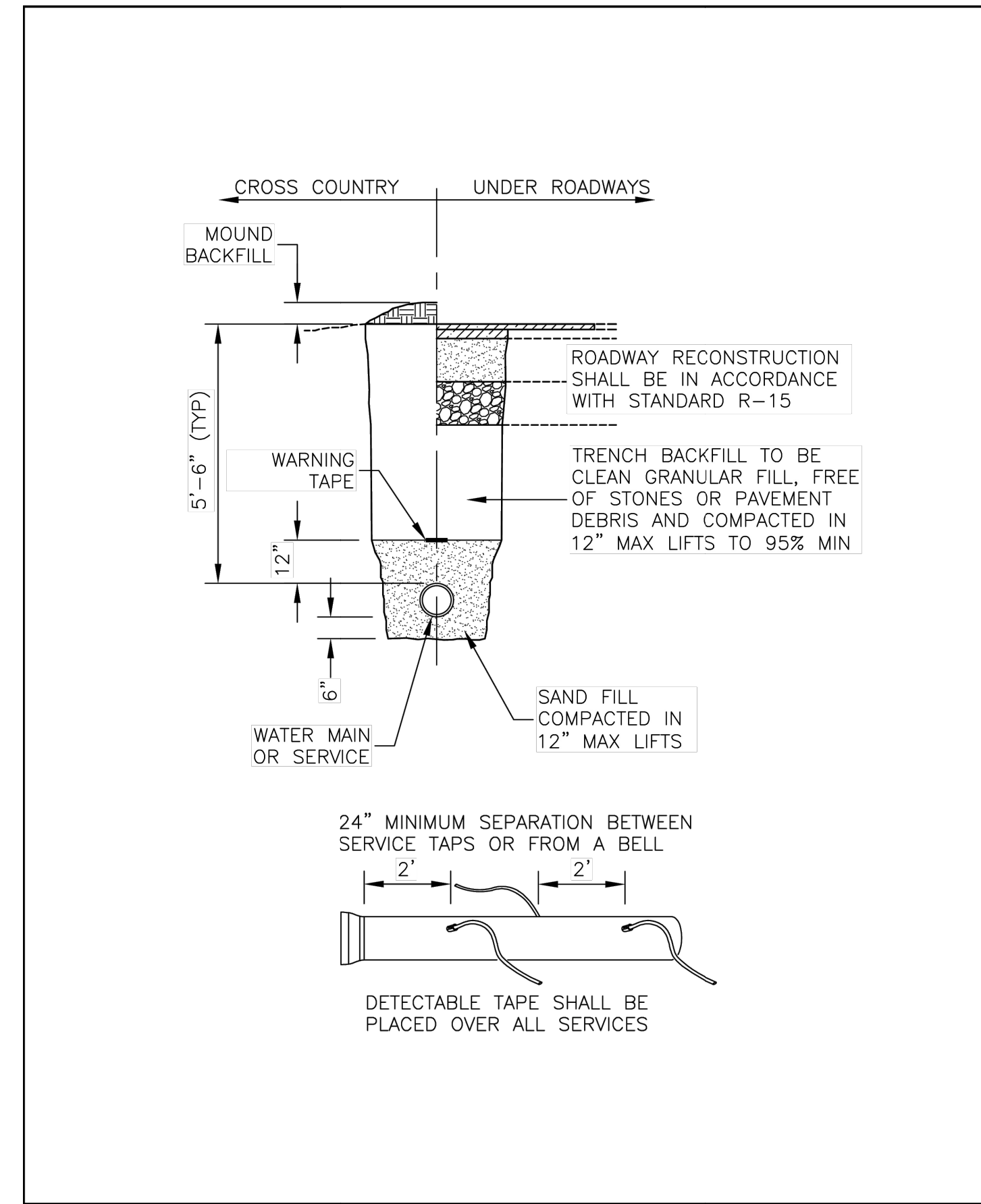
\*WAIVER REQUESTED FOR WIDTH



**SAWCUT REQUIREMENTS**  
 DATE: 12/08 PAGE: 1

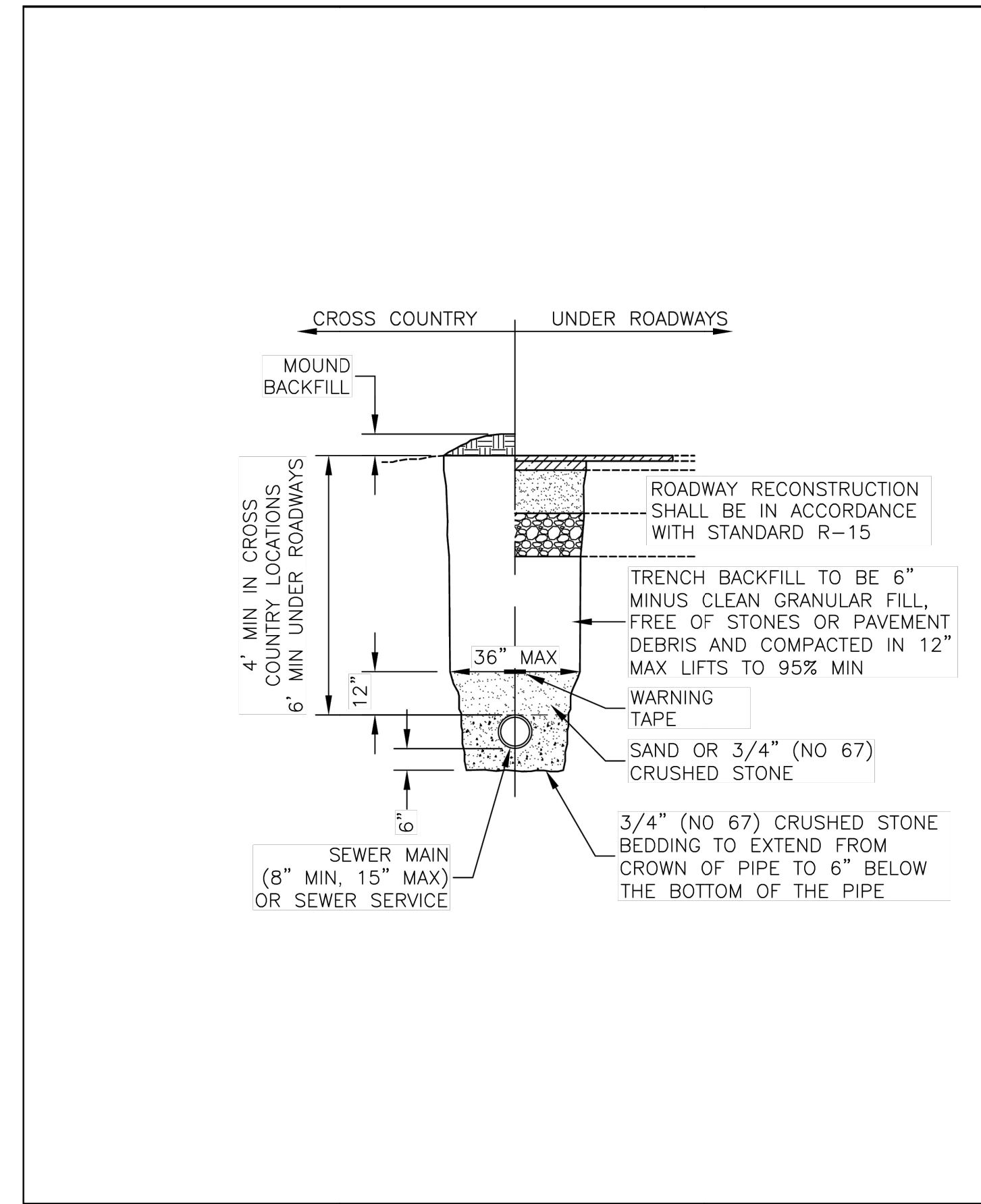
REVISION HISTORY

1.



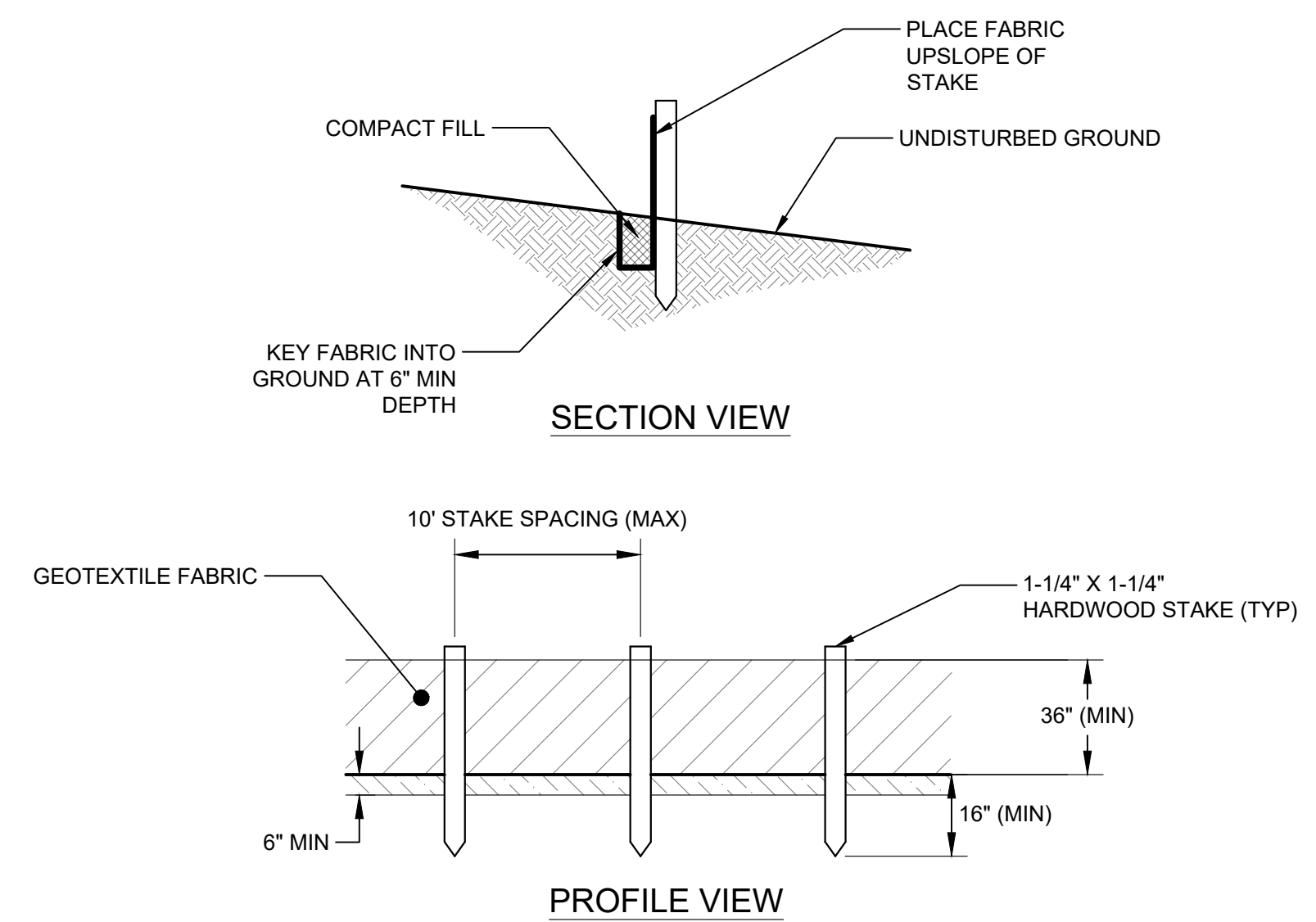
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	WATER
1	NEW FORMAT	4.15		DRAWING NO.	W-1
2	STANDARD REFERENCE	01.19		DATE:	12/08
				PAGE:	1

**WATER MAIN/SERVICE TRENCH**



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
1	STANDARD REF	3/19		DRAWING NO.	SM-1
				DATE:	08/13
				PAGE:	1

**SANITARY SEWER MAIN/SERVICE TRENCH**

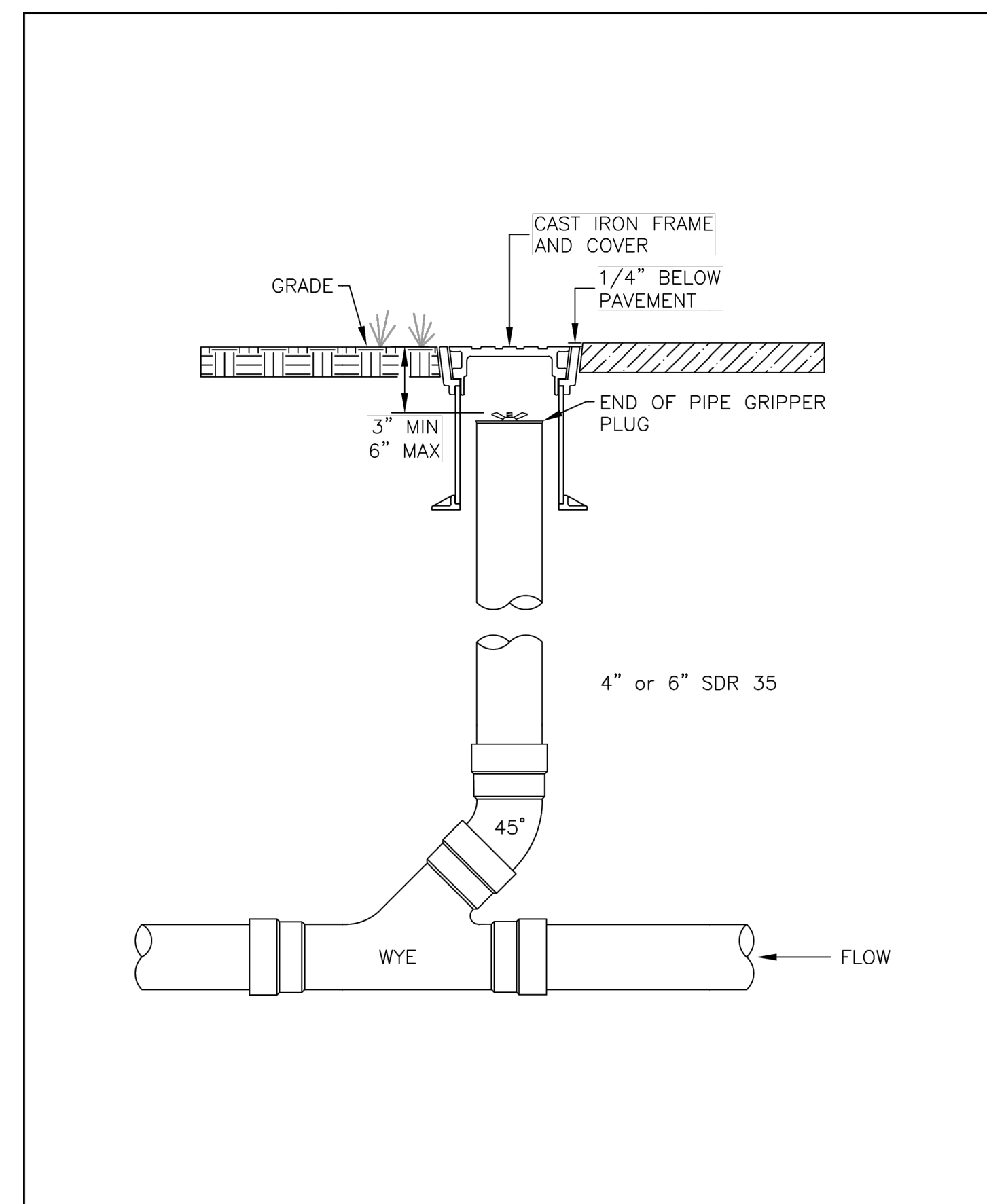


NOTES:

1. DUE TO UV STABILITY OF FABRIC, SILT FENCE MAY NOT BE USED FOR A PERIOD LONGER THAN ONE (1) YEAR.
2. SILT FENCE NOT TO BE USED IN AREAS OF CONCENTRATED FLOW (E.G. SWALES/DITCHES)
3. WIRE FENCE SUPPORT (14 GAGE W/6" MESH OPENING MIN) IS REQUIRED FOR INSTALLATIONS WITHIN 100 FEET OF STREAMS, RIVERS, OR OTHER WATERS OF THE STATE
4. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
5. ENDS OF FILTER CLOTH SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
6. APPROVED PREFABRICATED FENCING INCLUDES ENVIROFENCE, GEOFAB, MIRAFI 100X. OTHERS MAY BE SUITABLE BUT SUBJECT TO ENGINEER'S APPROVAL.
7. INSPECT FENCE REGULARLY FOR DAMAGE DUE TO ANIMALS, EQUIPMENT, AND WIND
8. REMOVE ACCUMULATED SEDIMENT WHEN LEVEL REACHES 1/2 THE HEIGHT OF FENCE

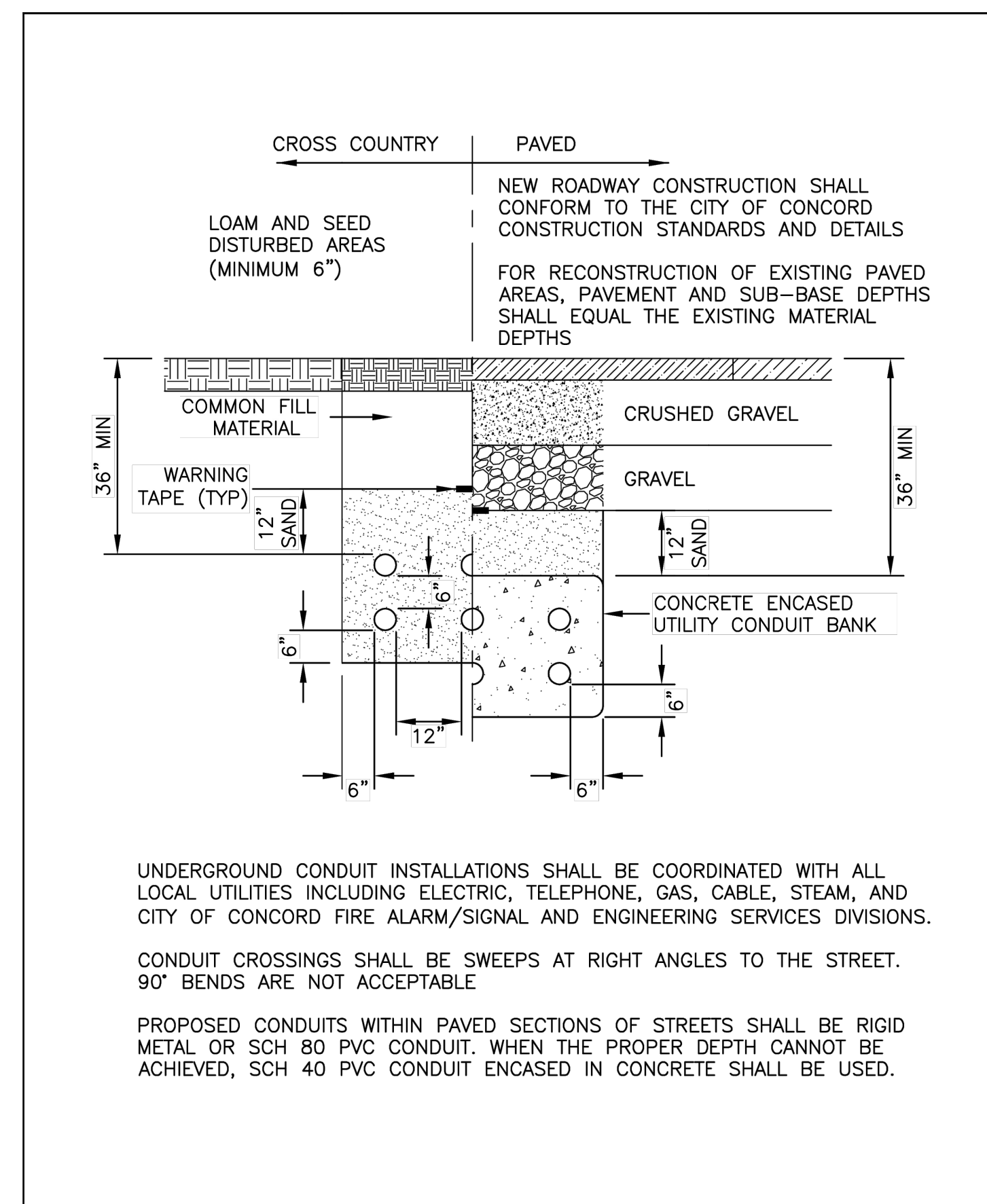
**SILT FENCE DETAIL**

NOT TO SCALE



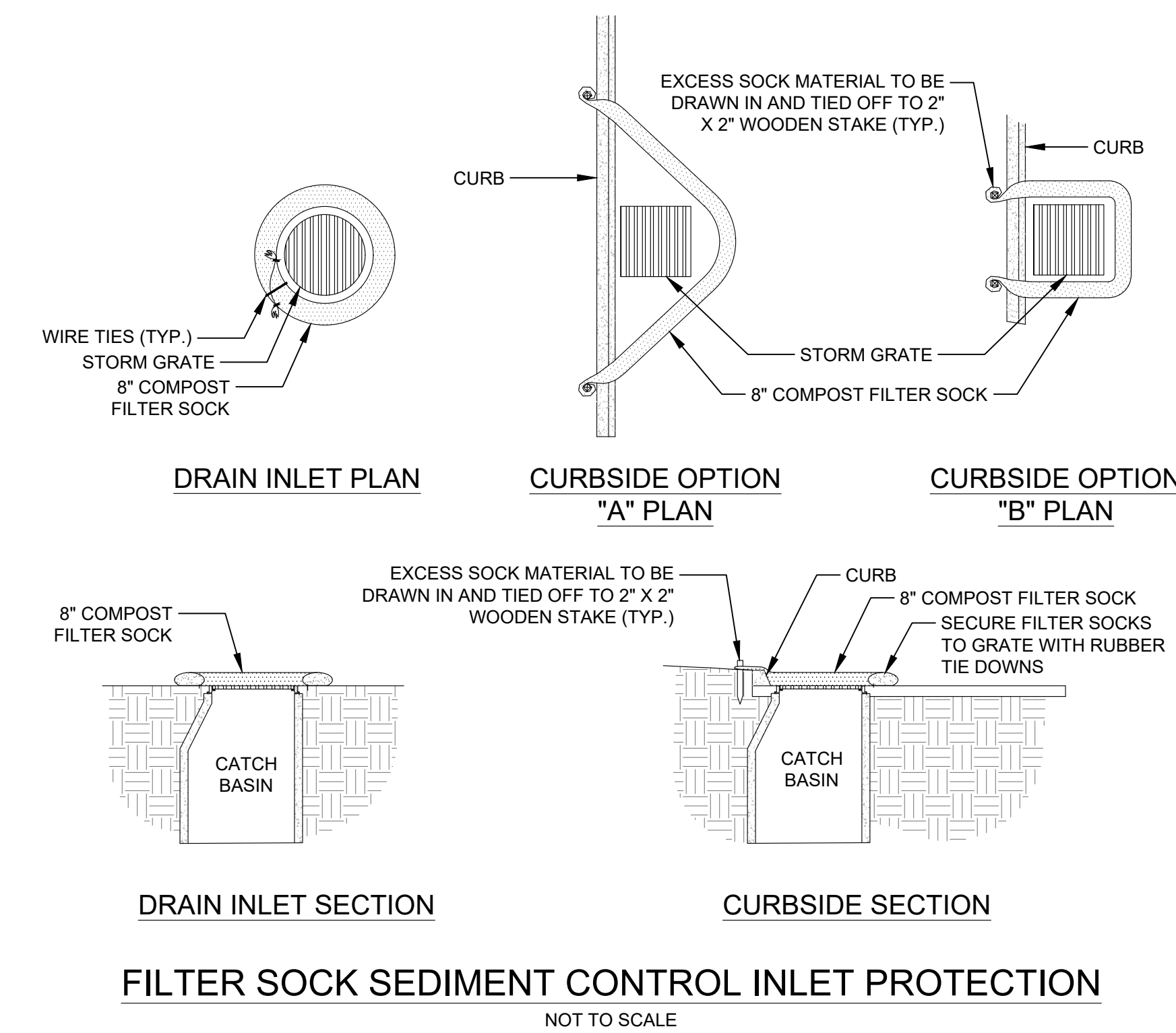
NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SEWER
				DRAWING NO.	SS-3
				DATE:	12/08
				PAGE:	1

**CLEANOUTS ON SERVICE LATERALS**



NO.	REVISION	DATE	City of Concord Engineering Services Division	SECTION:	SITE/STREET
				DRAWING NO.	U-1
				DATE:	03/15
				PAGE:	1

**TYPICAL UTILITY CONDUIT INSTALLATION**



NOTES:

1. FILTER MEDIA SHALL BE A COURSE COMPOSTED MATERIAL APPROVED BY ENGINEER.
2. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

**FILTER SOCK SEDIMENT CONTROL INLET PROTECTION**

NOT TO SCALE

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SITE

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CONCORD, NH

**MBLU: 7413/ZI9**

DRAWING TITLE

**CONSTRUCTION & EROSION CONTROL DETAILS**

SCALE	DATE		
N.T.S.	04/15/2026		
DRAFTED BY	CHECKED BY	PROJECT MGR	PROJECT NO.
KAD	ERL	ERL	RNBS0002
SHEET NO.			



**C5.2**