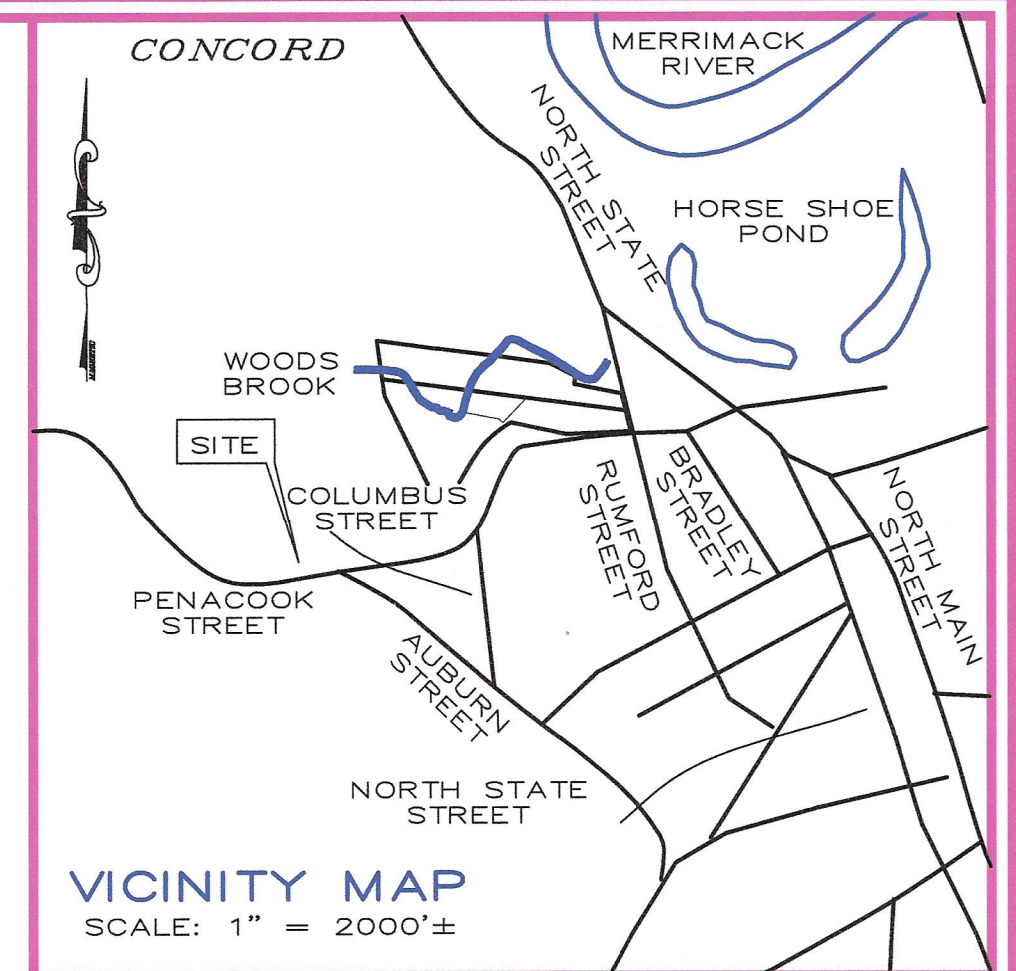
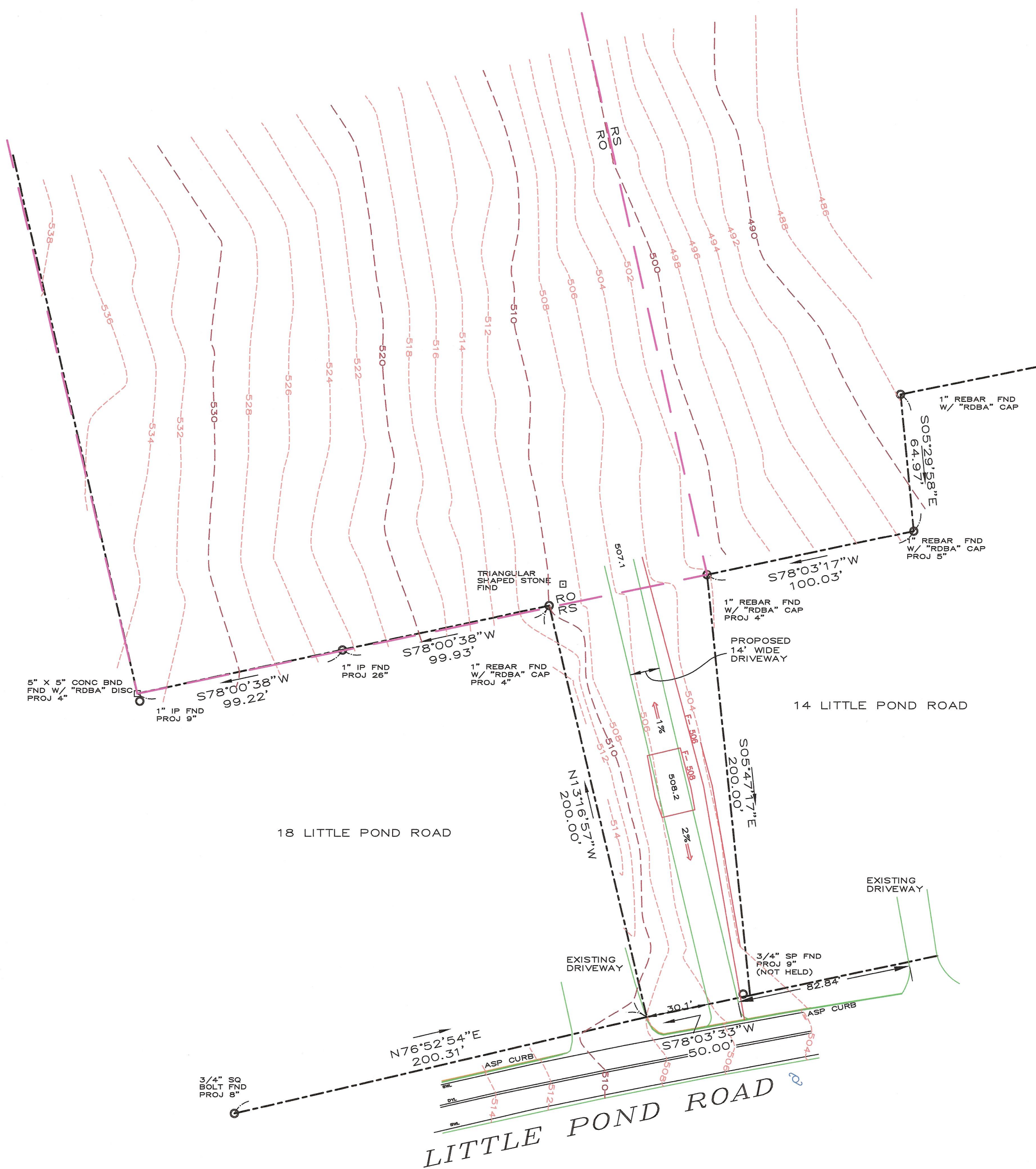




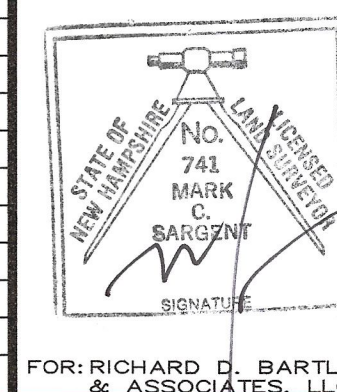
LEGEND

---	PROPERTY LINE	🌲	CONIFEROUS TREE
---	EDGE OF PAVEMENT	🌳	SHRUB
---	EDGE OF GRAVEL	🌳	DECIDUOUS TREE
---	DYL	🌳	ARTESIAN WELL
---	SWL	🌳	IRON PIPE (P.) OR REBAR
---	CHAIN LINK FENCE	🌳	STEEL PIN (SP)
---	STOCKADE FENCE	🌳	GRANITE OR CONCRETE
---	BARBED WIRE FENCE	🌳	BOUND (GB OR CB)
---	STONE WALL	🌳	DRILL HOLE (DH)
---	EDGE OF WOODS	🌳	UTILITY POLE

NOTES

- Survey by total station on January 7 and 8, 2025. Control Traverse error of closure less than 1:10,000.
- Horizontal datum is based on New Hampshire State Plane Coordinate System NAD 83 based on GPS observations and OPUS solutions.
- Vertical datum is based on NAVD 88.
- Owner of record: 2 Granite Place, LLC c/o Foxfire Property Management, Inc. PO Box 1348 Concord, NH 03302.
- The subject property is within the following zoning districts:
RS - Single-Family Residential zoning district Minimum lot size = 12,500 sq. ft. Minimum buildable area 6,250 sq. ft. Minimum frontage = 100'. Building setbacks: front=25'; rear=25'; side=15'. Maximum lot coverage = 40%.
RO - Open Space Residential zoning district Minimum lot size = 2 acres. Minimum buildable area = 20,000 sq. ft. Minimum frontage = 200'. Building setbacks: front=50'; rear=50'; side=40'. Maximum lot coverage = 10%.
- The underground utilities depicted hereon have been located from field survey information and plotted from existing drawings. The surveyor makes no guarantee that the underground utilities depicted comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although they are located as accurately as possible from the information available. The surveyor has not physically located the underground portion of the utilities. All contractors should notify, in writing, any utility company and appropriate governmental agencies prior to any excavation work and call DIG-SAFE at 811.
- The intent of this plot is to depict a proposed residential driveway.

NO.	DATE	REVISION



RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
info@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

RESIDENTIAL DRIVEWAY PREPARED FOR 2 GRANITE PLACE, LLC

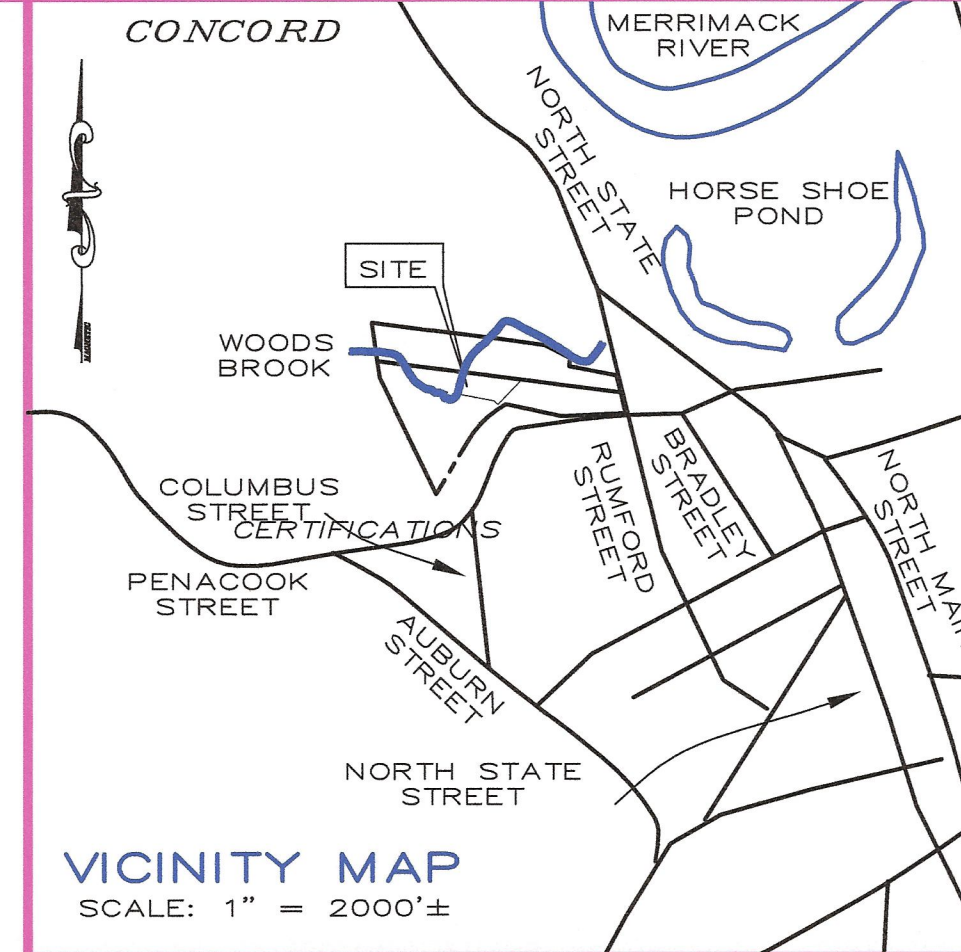
PROJECT: MAP 651Z LOT 68, LOCATION: PENACOOK ST CONCORD, NH	DATE: MARCH, 2025
GRAPHIC SCALE 0' 40' 80' 20' SCALE: 1" = 40'	JOB NO.: 125.101
	SHEET 1 OF 1

REFERENCES

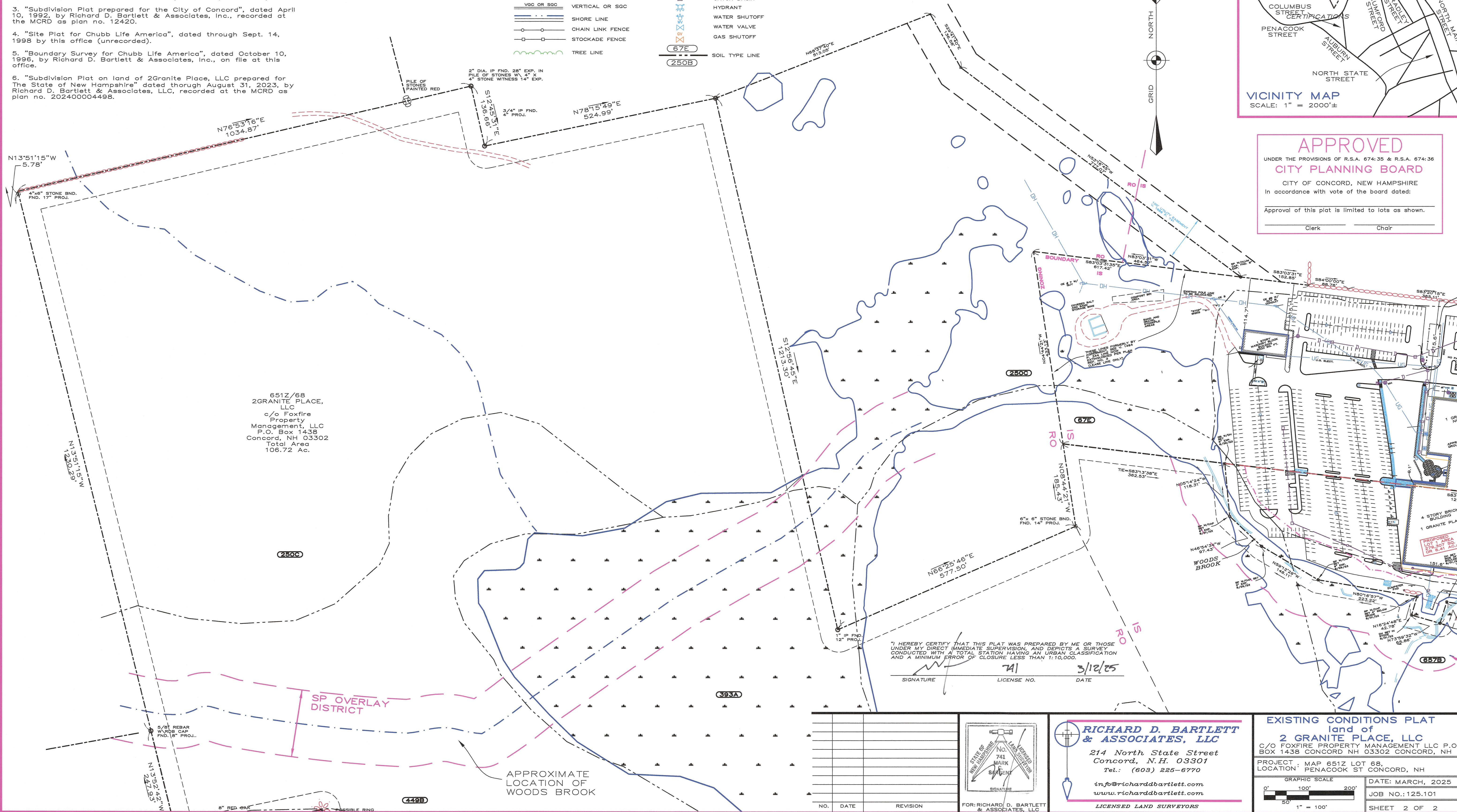
1. "Re-Subdivision for United Life and Accident Insurance Co.", dated April 10, 1984, Richard D. Bartlett, LLS and recorded at the MCRD as plan no. 7803.
2. ALTA/ACSM Land Title Survey for AREH 2005 B & C Site No. 20050421-1 Jefferson Pilot 1 Granite Place, Concord, NH dated 8/11/03, by Co-Operative Land Surveyors, LLC (unrecorded)
3. "Subdivision Plat prepared for the City of Concord", dated April 10, 1992, by Richard D. Bartlett & Associates, Inc., recorded at the MCRD as plan no. 12420.
4. "Site Plat for Chubb Life America", dated through Sept. 14, 1998 by this office (unrecorded).
5. "Boundary Survey for Chubb Life America", dated October 10, 1996, by Richard D. Bartlett & Associates, Inc., on file at this office.
6. "Subdivision Plat on land of 2Granite Place, LLC prepared for The State of New Hampshire" dated through August 31, 2023, by Richard D. Bartlett & Associates, LLC, recorded at the MCRD as plan no. 202400004498.

LEGEND

- | | | | |
|-----|------------------------|-----|--------------------------------------|
| --- | PROPERTY LINE | --- | STONE WALL |
| --- | EDGE OF PAVEMENT | --- | EDGE OF WOODS |
| --- | EDGE OF GRAVEL | --- | CONCRETE |
| --- | OVERHEAD UTILITY LINES | --- | MONITORING WELL |
| --- | DRAINAGE LINE | --- | IRON PIPE OR REBAR |
| --- | SEWER LINE | --- | GRANITE OR CONCRETE BOUND (GB OR CB) |
| --- | GAS LINE | --- | UTILITY POLE |
| --- | TEL. LINE | --- | SEWER MANHOLE |
| --- | UNDERGROUND WIRES | --- | DRAIN MANHOLE |
| --- | DYL | --- | CATCH BASIN |
| --- | SWL | --- | HYDRANT |
| --- | VOC OR SGC | --- | WATER SHUTOFF |
| --- | SHORE LINE | --- | WATER VALVE |
| --- | CHAIN LINK FENCE | --- | GAS SHUTOFF |
| --- | STOCKADE FENCE | --- | SOIL TYPE LINE |
| --- | TREE LINE | --- | |

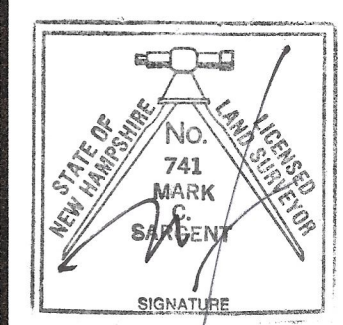


APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated:
Approval of this plat is limited to lots as shown.
Clerk _____ Chair _____



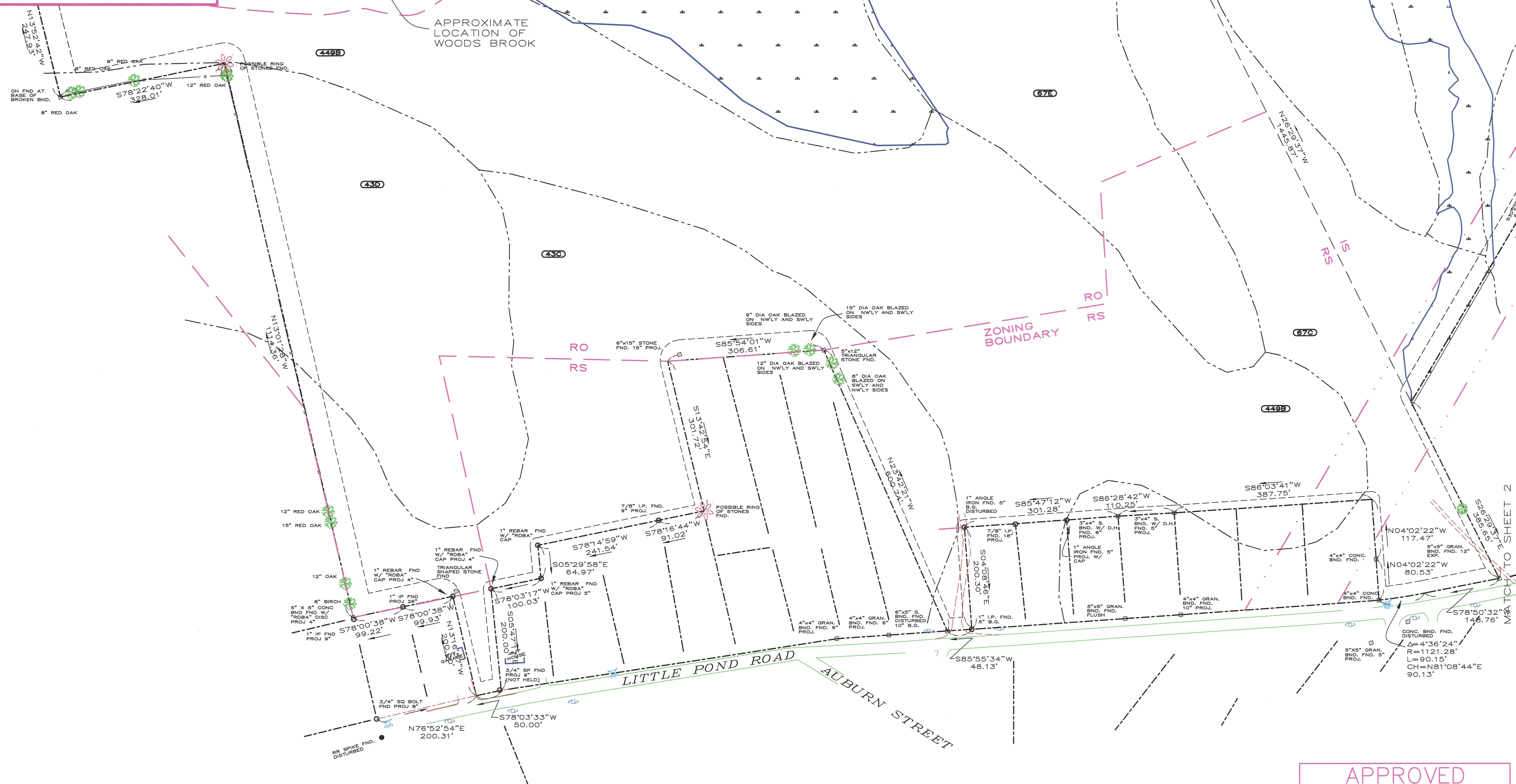
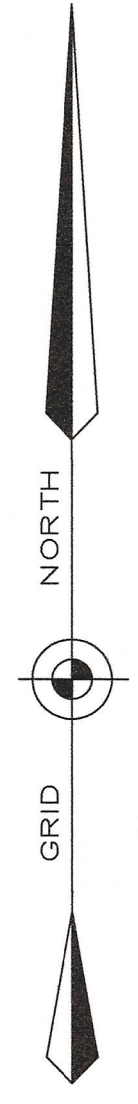
"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000.
741 3/12/25
SIGNATURE LICENSE NO. DATE

NO.	DATE	REVISION



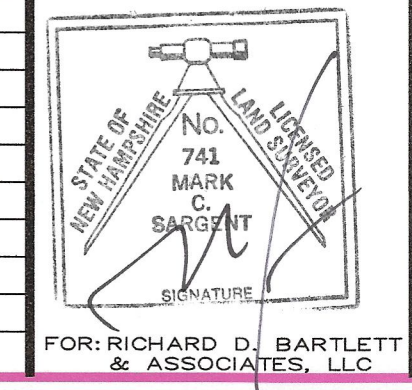
RICHARD D. BARTLETT & ASSOCIATES, LLC
214 North State Street
Concord, N.H. 03301
Tel.: (603) 225-6770
info@richarddbartlett.com
www.richarddbartlett.com
LICENSED LAND SURVEYORS

EXISTING CONDITIONS PLAT
land of
2 GRANITE PLACE, LLC
C/O FOXFIRE PROPERTY MANAGEMENT LLC P.O.
BOX 1438 CONCORD NH 03302 CONCORD, NH
PROJECT: MAP 651Z LOT 68,
LOCATION: PENACOOK ST CONCORD, NH
GRAPHIC SCALE
0' 100' 200'
DATE: MARCH, 2025
JOB NO.: 125.101
SHEET 2 OF 2



CERTIFICATIONS
"I HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR THOSE UNDER MY DIRECT IMMEDIATE SUPERVISION, AND DEPICTS A SURVEY CONDUCTED WITH A TOTAL STATION HAVING AN URBAN CLASSIFICATION AND A MINIMUM ERROR OF CLOSURE LESS THAN 1:10,000."
SIGNATURE: [Signature] LICENSE NO. 741 DATE: 3/16/25

NO.	DATE	REVISION



RICHARD D. BARTLETT & ASSOCIATES, LLC
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Concord, N.H. 03301
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LICENSED LAND SURVEYORS

APPROVED
UNDER THE PROVISIONS OF R.S.A. 674:35 & R.S.A. 674:36
CITY PLANNING BOARD
CITY OF CONCORD, NEW HAMPSHIRE
In accordance with vote of the board dated: _____
Approval of this plat is limited to lots as shown.
Clerk _____ Chair _____

EXISTING CONDITIONS PLAT
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SHEET 1 OF 2