

**11.0 APPENDIX**

**11.1** Site Aerial View

**11.2** Tax Map Plan

**11.3** Property Tax Card Information

**11.4** Building Drawings

2001 – Renovations & Additions to the Beaver Meadows G.C. Clubhouse

2018 – Beaver Meadow Golf Course Clubhouse Renovations

2019 – Beaver Meadow Golf Club – Bathroom & Pro Shop

Milestone Engineering & Construction Inc. Budget Summary



Savannah Valley Rd

Beaver Meadow Dr

Beaver Meadow Dr

Beaver Meadow Clubhouse  
1 Beaver-Meadow Dr

# Concord GIS

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Preset Maps

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**Property Details**

Map - Block	302Z
Lot - Unit	81
VISION Mblu	302/Z 81/ /
Property Addr	1 BEAVER MEADOW
Deed	3108/1308
Owner	CITY OF CONCORD
CoOwner	
Owner Addr	41 GREEN ST
Owner City	CONCORD
Owner State	NH
Owner Zip	03301-4255
Land Acres	169
Sale Price	4356
Transfer Date	2/10/2009
Land Value	2142700
Building Value	2341400
Total Value	4484100
Year Built	1967
Stories	1
Style	Country Club
Rooms	
Bedrooms	
Baths	
Heat	Hot Water
Fuel	Gas
AC	Central
Occupancy	1
Use Code	903J
Land Use	CITY MDL-94
ALT_MBL	77 2 4

Layers

Legend

Abutter Notification

Measurement and Draw Tools

Print PDF/JPEG

# Renovations & Additions to the Beaver Meadows G.C. Clubhouse

Beaver Meadow Street, Concord, New Hampshire

**SHERMAN GREINER HALLE' LTD**  
ARCHITECTS, LANDSCAPE ARCHITECTS, PLANNERS  
2 CAPITAL PLAZA, CONCORD, NH 03301  
(603) 225-0640 (FAX) 225-0621

General Services - City of Concord  
Douglas B. Ross, Purchasing Agent  
City Hall, 41 Green Street, Concord, NH  
Phone: (603) 225-8530 Fax: (603) 228-2724

## ARCHITECTURAL

Sherman Greiner Halle 'Ltd  
2 Capital Plaza  
Concord, NH 03301  
Ph. (603) 225-0640  
Fax (603) 225-0621

DRAWING NAME	DRAWING NUMBER
GENERAL NOTES	A0-1
MATERIAL LIST	A0-2
ABBREVIATIONS, CONVERSIONS, SYMBOLS,	A0-3
CODE REVIEWS, LOCATION, MOUNTING HEIGHTS	A0-4
PARTITION TYPES	A0-5
DEMOLITION PLAN	A1-1
FLOOR PLAN, DETAILS, FOUNDATION PLANS	A1-2
DIMENSION PLAN	A1-3
REFLECTED CEILING PLAN	A1-4
ROOF PLAN, DETAILS	A1-5
DOOR, WINDOW, & FINISH SCHEDULES	A2-1
DOOR & WINDOW TYPES	
EXTERIOR ELEVATIONS	A3-1
SECTIONS, DETAILS	A4-1
INTERIOR ELEVATIONS	A5-1
INTERIOR ELEVATIONS	A5-2
DETAILS	A6-1

## INTERIORS

Sue Bartlett - Interior Design  
P.O. Box 22, 31 So. Main Street  
Concord, NH 03301  
Ph. (603) 226-6688  
Fax (603) 226-0808

DRAWING NAME	DRAWING NUMBER

## MECHANICAL/HVAC

WV Engineering, P.A.  
P.O. Box 1464, 170 Emerald St.  
Keene, NH 03431  
Ph. (603) 352-7007  
Fax (603) 352-7005

DRAWING NAME	DRAWING NUMBER
FIRST FLOOR MECHANICAL PLAN	M-1
MECHANICAL DETAILS & SCHEDULES	M-2
FIRST FLOOR PLUMBING WASTE & VENT	P-1
FIRST FLOOR PLUMBING SUPPLY PIPING	P-2
PLUMBING DETAILS & SCHEDULES	P-3

## ELECTRICAL

WV Engineering, P.A.  
P.O. Box 1464, 170 Emerald St.  
Keene, NH 03431  
Ph. (603) 352-7007  
Fax (603) 352-7005

DRAWING NAME	DRAWING NUMBER
ELECTRICAL LEGEND / DETAILS	E-0
ELECTRICAL DEMOLITION PLAN	E-1
LIGHTING FLOOR PLAN	E-2
POWER FLOOR PLAN	E-3
ELECTRICAL RISER / PANEL SCHEDULE	E-4

01/09/2001  
ISSUED FOR CONSTRUCTION

## APPROVALS

PROJECT NO: 2302.100  
DATE: 01/09/2001

SGH-ARCHITECT OF RECORD  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

OWNER  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF CONCORD  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

FIRE DEPARTMENT  
APPROVED \_\_\_\_\_ DATE \_\_\_\_\_

STATE FIRE MARSHALL

# ARCHITECTURAL GENERAL NOTES

## GENERAL NOTES

THE ARCHITECTURAL GENERAL NOTES ARE PROVIDED TO SUPPLEMENT, WHEN PROVIDED, A WRITTEN PROJECT MANUAL (SPECIFICATIONS). THE MORE STRINGENT REQUIREMENT SHALL ALWAYS PREVAIL.

### 01001 - SUMMARY OF WORK

BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE ARCHITECTURAL WORK OF THE CONTRACT CAN BE SUMMARIZED AS:

THE RENOVATIONS OF 4063 SQUARE FEET OF EXISTING SPACE AND THE ADDITION OF 169 SQUARE FEET TO THE EXISTING KITCHEN AND A NEW 161 SQUARE FOOT ENTRY ADDITION TO AN EXISTING CLUB HOUSE FOR THE BEAVER MEADOW COUNTRY CLUB.

THE WORK INCLUDES BUT NOT LIMITED TO:

ARCHITECTURAL, STRUCTURAL, GENERAL CONSTRUCTION INCLUDING EXCAVATION, CONCRETE FOUNDATIONS, WOOD FRAMED WALLS AND ROOF, ASPHALT COMPOSITION ROOFING, ROOF ACCESSORIES, FIBERGLASS INSULATION, METAL DOORS AND FRAMES, WOOD WINDOWS AND FRAMES TO MATCH EXISTING, INTERIOR WOOD DOORS AND FRAMES, INTERIOR PAINTING & WALL COVERINGS, HARDWARE, GLAZING, INTERIOR FINISH, INTERIOR MILLWORK, AND CARPETING, PAINTING OF EXISTING TOILET PARTITIONS, NEW FLOORING MATERIALS - CARPET, QUARRY TILE AND CERAMIC TILE, FOOD SERVICE EQUIPMENT, ELECTRICAL AND MECHANICAL SYSTEMS.

### 01002 - SCHEDULE OF ALTERNATES

A. SEE BID FORM (IF APPLICABLE)

### 01003 - WORK UNDER OTHER CONTRACTS

A. SEE BID FORM (IF APPLICABLE)

### 01004 - SCHEDULE

A. THE WORK WILL START WITHIN 5 DAYS OF THE SIGNING CONTRACT.  
B. THE COMPLETION DATE WILL BE SELECTED BY THE OWNER AND BE PART OF HIS BID SUBMISSION THAT COMPLETION DATE WILL BE PART OF THE CONSTRUCTION CONTRACT.  
C. NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DELAY BEYOND THE CONTRACT OF THE OWNER (I.E. WEATHER, WAR, STRIKE, ETC.) HOWEVER ADDITIONAL CONTRACT TIME MAY BE GRANTED UPON APPROVAL BY THE OWNER.  
D. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A PROGRESS WORK SCHEDULE BEFORE WORK COMMENCES AND KEEP THAT SCHEDULE UPDATED.

### 01005 - CONTRACT DOCUMENTS

A. THE GENERAL PROVISIONS OF THE CONTRACT - AA 101  
B. THE GENERAL CONDITIONS OF THE CONTRACT - AA 201  
C. THE SUPPLEMENTARY CONDITIONS OF THE CONTRACT  
D. THE DRAWINGS AND SPECIFICATIONS

THESE PLANS WERE DESIGNED AND TO THE BEST OF OUR KNOWLEDGE CONFORM WITH THE LATEST EDITION OF THE BOCA CODE (1996) AND NFPA 101 LIFE SAFETY CODE (1997) AT THE TIME THE PLANS WERE DRAWN. SUBSEQUENTLY, SHOULD THE CONSTRUCTION OF THE BUILDING BE DELAYED BEYOND IMMEDIATE PERMITTING, THESE PLANS SHOULD BE REVIEWED FOR CONFORMITY TO ANY CHANGES IN LOCAL AND NATIONAL CODE REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN APPLICABLE CODES AND REGULATIONS, AND REFERENCED STANDARDS OF THESE PLANS AND SPECIFICATIONS, THE MORE STRINGENT PROVISION SHALL GOVERN. NO VARIATION REQUIRED BY A BUILDING OFFICIAL SHALL BE BINDING ON THE DESIGNER. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING, FIRE, ELECTRICAL, MECHANICAL, AND PLUMBING CODES AND ALL OTHER APPLICABLE CODES, REGULATIONS, AND ORDINANCES INCLUDING THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT. THE EXTENT OF THE WORK IS DESCRIBED IN THE CONTRACT DOCUMENTS WHICH INCLUDE THE DRAWINGS, SPECIFICATIONS, AND THE GENERAL PROVISIONS OF THE CONTRACT INCLUDING THE GENERAL AND SUPPLEMENTAL CONDITIONS AND OTHER DIVISION ONE SPECIFICATION SECTIONS. THE DRAWINGS ARE LISTED ON THE COVER SHEET OF THE DRAWING PACKAGE.

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER, AND ARCHITECT OF ANY DISCREPANCY IN DIMENSIONS AND/OR OTHER CONDITIONS PRIOR TO BEGINNING OR CONTINUING WITH ANY WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VARIATION OR DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT APPROVAL AND WRITTEN CONFIRMATION FROM THE ARCHITECT. WRITTEN DIMENSIONS SHALL TAKE PRECEDENT OVER SCALED DIMENSIONS. DRAWINGS SHALL NOT BE SCALED.

### 01006 - AGREEMENT FORMS

A. SEE BID FORM (IF APPLICABLE)

### 01007 - PERFORMANCE AND PAYMENT BONDS

A. SEE BID FORM (IF APPLICABLE)

### 01008 - INSURANCES

A. SEE BID FORM (IF APPLICABLE)

### 01009 - PAYMENT / REQUISITIONS

A. THE CONTRACTOR SHALL SUBMIT NO MORE THAN ONCE A MONTH, MONTHLY REQUISITIONS FOR PAYMENT (AA FORM 6702) TO THE ARCHITECT AND OWNER.  
B. PAYMENT DATES WILL BE COORDINATED WITH THE OWNER'S PAYMENT SCHEDULES AT THE TIME OF THE CONTRACT SIGNING. A SCHEDULE FOR REQUISITIONS AND REVIEWS WILL BE DETERMINED AT THAT TIME.  
C. RETAINAGE IN THE AMOUNT OF 10% WILL BE HELD AT EACH AND EVERY REQUISITION. RETAINAGE WILL BE PAID AT THE END OF THE WORK WITH THE FINAL PAYMENT IF ALL CONDITIONS OF THE CONTRACT ARE FULFILLED.  
D. LIEN WAIVERS, (AA FORM 6706A) AND PAYMENT AFFIDAVITS (AA FORM 6706) SHALL BE REQUIRED FROM THE CONTRACTOR, ALL SUB CONTRACTORS AND VENDORS AT ALL PAYMENT REQUISITIONS, INCLUDING THE FINAL REQUISITION, BEFORE ANY PAYMENT NEED BE MADE BY THE OWNER.  
E. THE OWNER SHALL HAVE THE RIGHT TO REVIEW THE PAYMENT APPLICATION AND REJECT SAME IF IN THEIR OPINION PAYMENT IS NOT WARRANTED.

### 01010 - CHANGE ORDERS AND EXTRA WORK

A. OVERHEAD AND PROFIT MARKUPS WILL BE AT A SPECIFIC RATE AS SPECIFIED ON THE BID FORM.

### 01011 - PROJECT SIGNAGE

A. THE CONTRACTOR WILL ERECT A SIGN ON THE PROJECT SITE DESCRIBING THE PROJECT AS SHOWN ON THE DRAWINGS, SEE AD-4.

### 01012 - SUBMITTALS

A. SUBMITTAL COORDINATION, PREPARATION AND PROCESSING SHALL INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. CERTIFICATE OF INSURANCE (AT START)
  2. SCHEDULE OF VALUES (AT START)
  3. CONSTRUCTION SCHEDULE (WEEKLY)
  4. SHOP DRAWINGS AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS, PRODUCTS AND INSTALLATION TECHNIQUES NEED TO BE APPROVED BY THE ARCHITECT, AND OWNER AND OR TOWN.
  5. PRODUCT DATA AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS
  6. SAMPLES AS REQUIRED AND REQUESTED IN THE SPECIFICATIONS
  7. OPERATIONS AND MAINTENANCE MANUALS AS REQUESTED IN THE SPECIFICATIONS. (AT SUBSTANTIAL COMPLETION)
  8. WARRANTIES AS REQUESTED IN THE SPECIFICATIONS (AT SUBSTANTIAL COMPLETION)
  9. RECORD DRAWINGS AS REQUESTED IN THE SPECIFICATIONS (AT COMPLETION)
  10. RELEASE OF LIENS (AT EACH PAY REQUISITION)
  11. SAFETY PLAN (AT START)
- B. UNLESS OTHERWISE SPECIFIED, TRANSMIT 5 COPIES OF THE SUBMITTAL TO THE ARCHITECT WELL IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES TO AVOID DELAY. ALLOW NO LESS THAN FOURTEEN CALENDAR DAYS FOR REVIEW. NO EXTENSION OF CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS TO THE ARCHITECT SUFFICIENTLY IN ADVANCE OF THE WORK TO PERMIT PROCESSING.  
C. PREPARE A FULLY DEVELOPED, CONTRACTOR'S CONSTRUCTION SCHEDULE "CPM" SUBMIT WITHIN THREE DAYS OF THE DATE ESTABLISHED FOR "COMMENCEMENT OF THE WORK". THIS SCHEDULE SHALL BE UPDATED BI-WEEKLY.

### 01013 - PRELIMINARY SITE VISIT/ PROJECT MEETINGS

A. THE CONTRACTORS MUST VISIT THE LOCATION OF THE WORK AND INFORM THEMSELVES OF THE CONDITIONS AND MAKE THEIR OWN ESTIMATES OF THE FACILITIES AND DIFFICULTIES ATTENDING THE EXECUTION OF THE WORK. ANY PROBLEM, DISCREPANCY, OR QUESTION SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / OWNER BEFORE COMMENCING OR CONTINUING WITH ANY WORK. THE FAILURE BY THE CONTRACTOR TO DISCOVER ANY ERROR, INCONSISTENCY, OR OMISSION IN THE CONTRACT DOCUMENTS SHALL NOT RELIEVE HIM OF THE OBLIGATION TO PROPERLY EXECUTE AND COMPLETE THE WORK.  
B. THE ARCHITECT SHALL SCHEDULE A PRECONSTRUCTION CONFERENCE AND ORGANIZATIONAL MEETINGS AT THE PROJECT SITE OR OTHER CONVENIENT LOCATION NO LATER THAN THREE DAYS AFTER EXECUTION OF THE CONTRACT AND PRIOR TO COMMENCEMENT OF WORK. THE MEETING WILL BE CONDUCTED TO REVIEW RESPONSIBILITIES AND PERSONNEL ASSIGNMENTS. MEETING SHALL INCLUDE THE CONTRACTOR, ALL SUBCONTRACTORS, ARCHITECT AND REPRESENTATIVES FROM THE OWNER.  
C. CONDUCT WEEKLY OR BI-WEEKLY MEETINGS AT THE PROJECT SITE AT REGULARLY SCHEDULED INTERVALS. NOTIFY THE OWNER AND ARCHITECT OF SCHEDULED MEETING DATES. COORDINATE DATES OR MEETINGS WITH PREPARATION OF PAYMENT REQUEST.

### 01014 - ALLOWANCES

A. SEE BID FORM

### 01015 - ACCESS

A. DRIVEWAYS AND ENTRANCES SERVING THE PREMISES SHALL BE KEPT CLEAR AND AVAILABLE TO THE OWNER AND THE OWNER'S EMPLOYEES AT ALL TIMES. THESE AREAS SHALL NOT BE FOR THE CONTRACTOR'S PARKING OR STORAGE OF MATERIALS. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE.  
B. PARTIAL OWNER OCCUPANCY. THE OWNER RESERVES THE RIGHT TO OCCUPY, TO PLACE AND / OR INSTALL EQUIPMENT IN COMPLETED AREAS OF THE BUILDING PRIOR TO SUBSTANTIAL COMPLETION, PROVIDED THAT SUCH OCCUPANCY DOES NOT INTERFERE WITH THE COMPLETION OF THE WORK.

### 01016 - CONTRACT LIMIT LINES

A. THE CONTRACT LIMIT LINES ARE DEFINED ON THE CONTRACT DRAWINGS AND WILL BE CONFIRMED AT THE PRECONSTRUCTION CONFERENCE. AT THAT CONFERENCE ALL PARTIES INVOLVED WILL REVIEW THE CONTRACTOR'S REQUIREMENTS FOR STAGING AND STORAGE. STORAGE OF MATERIALS ON SITE IS REQUIRED FOR PAYMENT PROCESSING.  
B. DURING THE CONSTRUCTION, CONTRACTOR'S OPERATIONS MUST REMAIN WITHIN THE CONTRACT LIMIT LINES. PORTIONS OF THE SITE BEYOND AREAS IN WHICH CONSTRUCTION OPERATIONS ARE INDICATED ARE NOT TO BE DISTURBED.  
C. ANY AREA BEYOND THE CONTRACT LIMIT LINE THAT IS DAMAGED WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. THE SCOPE OF THE REPAIRS WILL BE APPROVED BY THE OWNER BEFORE SUCH REPAIR WORK IS STARTED.  
D. THE CONTRACTOR'S USE OF THE SPECIFIC SITE IS LIMITED ONLY BY THE OWNER'S RIGHT TO PERFORM CONSTRUCTION OPERATIONS WITH ITS OWN FORCES OR TO EMPLOY SEPARATE CONTRACTORS ON PORTIONS OF THE PROJECT OR TENANT LOT OR.

### 01017 - SYSTEM MAINTENANCE

A. MAINTAIN ALL SYSTEMS SUCH AS, BUT NOT LIMITED TO, WATER, SEWER, TELEPHONE, POWER, ETC. THAT SERVE THIS AND OTHER BUILDINGS ON THIS OR ADJACENT SITES DURING ALL PHASES OF THE WORK.  
B. IF A SHORT PERIOD OF INTERRUPTIBLE, SCHEDULED FOR ANY SYSTEM DURING NON PEAK WORK HOURS, THE OWNER SHOULD BE OFFERED THE ALTERNATIVE OF ACCEPTING THE INTERRUPTION RATHER THAN INSTALLING A LOOP SYSTEM.

### 01018 - TEMPORARY FACILITIES

A. CONTRACTORS MAY CONDUCT TO OWNERS' POWER AND WATER SERVICE FOR TEMPORARY SERVICE CONNECTIONS TO BE DONE BY LICENSED ELECTRICIAN AND / OR PLUMBER. LIABILITY AND EXPENSE FOR SAID CONNECTIONS REMAIN THAT OF THE CONTRACTOR.  
B. CONTRACTOR TO PROVIDE HIS OWN TELEPHONE SERVICE AND SANITARY SERVICES, WASTE DISPOSAL AND VERMIN CONTROL.  
C. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL PROVIDE TEMPORARY LIGHTING AS REQUIRED TO ENSURE SECURITY AND SAFETY REQUIREMENTS, FOR THE DURATION OF THE CONSTRUCTION PERIOD AND UNTIL THE PROJECT IS SIGNED OVER TO THE TENANT OR HIS AGENT AT THE COMPLETION OF THE PROJECT.  
D. UNLESS OTHERWISE SPECIFIED, EROSION, SEDIMENTATION CONTROL, AND PREVENTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND WILL BE OF CRITICAL IMPORTANCE TO THE BUILDING OWNER. ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS SHALL BE ADHERED TO WITH RESPECT TO EROSION AND SEDIMENTATION CONTROL AND PREVENTION.

### 01019 - PERMITS AND UTILITY CONNECTIONS.

A. UNLESS OTHERWISE SPECIFIED, THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION PROCESS PERMITS, TEMPORARY AND FINAL UTILITY CHARGES, DEMOLITION AND DUMP CHARGES, OCCUPANCY APPROVALS AND ALL OTHER USUAL FEES ASSOCIATED WITH THIS SCOPE OF THE WORK.

### 01020 - PROJECT COORDINATION AND ADMINISTRATIVE PROCEDURES

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.  
A. THE CONTRACTOR SHALL COORDINATE ALL ACTIVITIES INCLUDED UNDER VARIOUS SECTIONS OF THESE SPECIFICATIONS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS INCLUDED UNDER DIFFERENT SECTIONS OF THE SPECIFICATIONS THAT ARE DEPENDENT ON EACH OTHER FOR PROPER INSTALLATION, CONNECTION AND OPERATION.  
B. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION TO ACCOMMODATE ITEMS SCHEDULED FOR LATER INSTALLATION.

C. WHERE AVAILABILITY OF SPACE OR HEADROOM IS LIMITED, CONTRACTOR SHALL COORDINATE INSTALLATION OF DIFFERENT COMPONENTS TO ASSURE MAXIMUM ACCESSIBILITY FOR REQUIRED MAINTENANCE, SERVICE AND REPAIR.  
D. THE CONTRACTOR SHALL PREPARE, WHEN NECESSARY, MEMOS TO ADVISE ALL PARTIES WHEN SPECIAL COORDINATION OR INSTALLATIONS ARE REQUIRED. DISTRIBUTE THESE MEMOS TO OWNER, ARCHITECT, AND ALL CONSULTANTS.

E. CO-ORDINATE SCHEDULING AND TIMING OF ADMINISTRATIVE PROCEDURES WITH OTHER CONSTRUCTION ACTIVITIES TO AVOID CONFLICTS AND ENSURE THE ORDERLY PROGRESS OF THE WORK. SUCH ACTIVITIES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. PREPARATION OF SCHEDULES
2. INSTALLATIONS AND REMOVAL OF TEMP FACILITIES
3. DELIVERY AND PROCESSING OF SUBMITTALS
4. PROGRESS MEETINGS
5. PROJECT CLOSE OUT ACTIVITIES
6. PREPARE AND SUBMIT COORDINATION DRAWINGS WHERE CLOSE AND CAREFUL COORDINATION IS REQUIRED FOR INSTALLATION OF PRODUCTS AND MATERIALS FABRICATED OFF SITE BY SEPARATE ENTITIES AND WHERE LIMITED SPACE AVAILABILITY NECESSITATED MAXIMUM UTILIZATION OF SPACE FOR EFFICIENT INSTALLATION OF DIFFERENT COMPONENTS.
7. REQUIRE THE INSTALLER OF EACH MAJOR COMPONENT TO INSPECT BOTH THE SUBSTRATE AND CONDITION UNDER WHICH THE WORK IS TO BE PERFORMED. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
8. COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN THOSE REQUIREMENTS CONTAINED IN THE CONTRACTED DOCUMENTS.
9. INSPECT MATERIALS OR EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION. REJECT ANY DAMAGED OR DEFECTIVE EQUIPMENT OR MATERIALS.
10. PROVIDE ATTACHMENT AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK, SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT AND ALLOW FOR EXPANSION OF BUILDING MATERIALS.
11. PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICE TO THE ARCHITECT FOR FINAL DECISION.
12. RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION.
13. INSTALL EACH COMPONENT DURING WEATHER CONDITIONS AND PROJECT STATUS THAT WILL ENSURE THE BEST POSSIBLE RESULTS. ISOLATE EACH PART OF THE COMPLETED CONSTRUCTION FROM INCOMPATIBLE MATERIALS AS NECESSARY TO PREVENT DETERIORATION.
14. WHERE MOUNTING HEIGHTS AND CLEARANCES ARE NOT INDICATED, INSTALL INDIVIDUAL COMPONENTS AT STANDARD MOUNTING HEIGHTS RECOGNIZED WITHIN THE INDUSTRY AND BY THE ADA FOR THE PARTICULAR APPLICATION. REFER QUESTIONABLE MOUNTING HEIGHT TO THE ARCHITECT.

### 01021 - CLEANING AND PROTECTION

A. CLEAN AND PROTECT CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE.  
B. CLEAN AND MAINTAIN COMPLETED CONSTRUCTION AS FREQUENTLY AS NECESSARY THROUGH THE REMAINDER OF THE CONSTRUCTION PROCESS. ADJUST AND LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY.  
C. SUPERVISE CONSTRUCTION ACTIVITY TO LIMIT EXPOSURE OF CONSTRUCTION TO ADVERSE EFFECTS OF, BUT NOT LIMITED TO DYNAMIC LOADING, INTERNAL PRESSURE, THERMAL SHOCK, WATER OR ICE, CHEMICALS, LIGHT, RADIATION, ABRASION, THEFT, VANDALISM, MISUSE, SOILING, STAINING TRAFFIC, OR EXTREME TEMPERATURES.

### 01022 - FIELD ENGINEERING

A. VERIFY LAYOUT INFORMATION ON DRAWINGS IN RELATION TO PROPERTY SURVEY AND EXISTING BENCHMARKS BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE LAYOUT AND PLACEMENT OF ALL STRUCTURES AND BUILDING AND SHALL SUPPLY AT THE REQUEST OF THE ARCHITECT ANY AFFIDAVIT FROM A LICENSED SURVEYOR THAT THE BUILDING HAS BEEN ERECTED PER PLAN AND SPECIFICATIONS.

B. DO NOT CHANGE OR RELOCATE BENCHMARKS. RETAIN ALL EXISTING BENCHMARKS.  
C. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND CONSTRUCTION INDICATED AS EXISTING ARE NOT GUARANTEED. BEFORE BEGINNING SITEWORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER CONSTRUCTION.  
D. WORKING FROM LINES AND LEVELS ESTABLISHED BY THE EXISTING CONDITIONS AND CONSTRUCTION ESTABLISHED BENCHMARKS AND MARKERS TO SET LINES AND LEVELS AT EACH STORY OF CONSTRUCTION AND ELSEWHERE AS NEEDED TO PROPERLY LOCATE EACH ELEMENT OF THE PROJECT. CALCULATE AND MEASURE REQUIRED DIMENSIONS WITHIN INDICATED OR RECOGNIZED TOLERANCES.  
E. MAINTAIN A SURVEYOR'S LOG OF CONTROL AND RECORD DEVIATIONS FROM LINES AND LEVELS AND ADVISE THE ARCHITECT WHEN DEVIATIONS THAT EXCEED INDICATED OR RECOGNIZED TOLERANCES ARE DETECTED ON PROJECT RECORD DRAWINGS, RECORD DEVIATIONS THAT ARE ACCEPTED AND NOT CORRECTED.  
F. LOCATE AND LAYOUT SITE IMPROVEMENTS INCLUDING PAVEMENT, STAKES FOR GRADING, FILL AND TOPSOIL PLACEMENT, UTILITY SLOPES AND INVERT ELEVATIONS BY INSTRUMENTATION AND APPROPRIATE MEANS.  
G. FURNISH INFORMATION NECESSARY TO ADJUST, MOVE OR RELOCATE EXISTING STRUCTURES, UTILITY POLES, LINES, SERVICES OR OTHER APPURTENANCES LOCATED IN OR AFFECTED BY CONSTRUCTION. COORDINATE WITH LOCAL AUTHORITIES HAVING JURISDICTION.  
H. WHEN THE CONTRACTOR IS RESPONSIBLE BY CONTRACT DEFINITION TO PROVIDE AND COORDINATE PARTICULAR SCOPES OF WORK (I.E. DESIGN-BUILD) HE SHALL PROVIDE COMPLETE ENGINEERED DRAWINGS, SPECIFICATIONS ALONG WITH DESIGN CALCULATIONS USED, STAMPED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE FOR WHICH THE PROJECT IS LOCATED, PRIOR TO CONTRACT SIGNING OR AS OTHERWISE MUTUALLY AGREED UPON.  
I. IF SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE SPRINKLER DESIGN AND SHOP DRAWINGS WITH THE LOCAL FIRE DEPARTMENT AND THE STATE FIRE MARSHAL'S OFFICE FOR APPROVAL PRIOR TO COMMENCING WITH ANY ASSOCIATED WORK.

### 01023 - PROJECT SUBSTITUTIONS

A. REQUEST FOR "ACCEPTABLE SUBSTITUTIONS" IN PRODUCTS, MATERIALS, EQUIPMENT AND METHODS OF CONSTRUCTION REQUIRED BY THE CONTRACT DOCUMENTS AND PROPOSED BY THE CONTRACTOR AFTER THE AWARD OF THE CONTRACT WILL BE CONSIDERED IF RECEIVED WITHIN 30 DAYS OF COMMENCEMENT OF THE APPLICABLE SCOPE OF WORK. SUBMIT (5) FIVE OPAQUE COPIES AND (1) TRANSPARENCY OF EACH REQUEST FOR SUBSTITUTION IN ACCORDANCE WITH PROCEDURES FOR CHANGE ORDERS.  
B. THE CONTRACTOR WILL CERTIFY THAT THE SUBSTITUTION PROPOSED IS EQUAL TO OR BETTER THAN THE ITEM IN THE CONTRACT DOCUMENTS AND THAT IT WILL PERFORM ADEQUATELY IN THE APPLICATION INDICATED.  
C. THE ARCHITECT WILL ACCEPT OR REJECT THE REQUESTED SUBSTITUTION WITHIN FOURTEEN CALENDAR DAYS OF THE SUBMISSION TO THE ARCHITECT.  
D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LABOR COSTS INCURRED BY THE ARCHITECT TO REVIEW THE PROPOSED SUBSTITUTION.

### 01025 - SUBSTANTIAL COMPLETION:

SUBSTANTIAL COMPLETION ON THIS PROJECT REQUIRES ALL BUILDING, SITE AND LANDSCAPE WORK TO BE COMPLETED AND THE BUILDING TO BE FULLY AVAILABLE AND FUNCTIONAL AS INTENDED BY THE DRAWINGS AND SPECIFICATIONS FOR THE USE BY THE OWNER.

### 01026 - PROJECT CLOSEOUT

A. TIME OF CLOSEOUT IS DIRECTLY RELATED TO "SUBSTANTIAL COMPLETION", THEREFORE, THE TIME OF CLOSEOUT MAY BE EITHER A SINGLE TIME PERIOD FOR THE ENTIRE WORK OR A SERIES OF TIME PERIODS FOR INDIVIDUAL ELEMENTS OF THE WORK.  
B. ADVISE THE OWNER OF ANY INSURANCE CHANGE-OVERS.  
C. UNLESS OTHERWISE SPECIFIED, AS A REQUIREMENT FOR PROCESSING THE FINAL PAYMENT REQUISITION, SUBMIT (5) FIVE COPIES OF THE FOLLOWING TO THE ARCHITECT AND CONSULTANTS:  
1. WARRANTIES  
2. RELEASE OF LIENS  
3. MAINTENANCE RECORDS  
4. MAINTENANCE AGREEMENTS  
5. OPERATION MANUALS  
6. FINAL CERTIFICATIONS  
7. AS-BUILT RECORD DRAWINGS  
8. CHANGE OVER OF LOCKS AND KEYS

### 01027 - RECORD DRAWINGS

A. CONTRACTORS SHALL MAINTAIN ONE SET OF RECORD DRAWINGS, RECORDING ALL CHANGES TO THE PLANS.  
B. THE CONTRACTOR WILL FILE THESE DRAWINGS WITH THE OWNER AT PROJECT CLOSEOUT.  
C. FINAL AS-BUILT DRAWINGS SHALL INCLUDE BUT ARE NOT LIMITED TO HIDDEN WORK, ALL UNDERGROUND UTILITIES, SERVICES AND DISTRIBUTIONS OF WATER, SEWER, ELECTRICAL, TELEPHONE, CABLE, HEATING AND ALL BUILDING DETAILS.

### 01028 - SAFETY AND CLEANING.

A. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CLEAN AND SAFE SITE. ALL DEBRIS WILL BE REMOVED TO A LEGAL DISPOSAL AREA ON A REGULAR BASIS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY PROCEDURES REQUIRED BY OSHA DURING THE WORK PERIOD.  
B. THE CONTRACTOR WILL PROVIDE DURING THE WORK DAY A CLEAR DEFINITION OF THE WORK AREA WILL BE MAINTAINED BY FENCING MATERIAL AND SIGNAGE.  
C. BEFORE EXCAVATION BEGINS, INSTALL AN ENCLOSURE FENCE WITH LOCKABLE GATES. INSTALL IN A MANNER THAT WILL PREVENT PEOPLE, DOGS, AND OTHER ANIMALS FROM EASILY ENTERING CONSTRUCTION AREA AND TO MEET OSHA REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL DIS-SAFE AGENCIES PRIOR TO ANY EXCAVATION.  
D. UPON COMPLETION OF ALL WORK ITEMS, IT SHALL BE THE CONTRACTOR'S FINAL RESPONSIBILITY TO REMOVE ALL WASTE MATERIALS, DEBRIS AND RUBBISH FROM THE SITE, AND DISPOSE OF SAME IN A LEGAL, ENVIRONMENTAL SAFE AND LEGITIMATE MANNER. KEEP DRIVEWAYS AND ENTRANCES SERVING THE PREMISE CLEAR AND AVAILABLE TO THE OWNER AND THE OWNER'S EMPLOYEES AT ALL TIMES. ALL MATERIALS STORED ON SITE MUST BE CONFINED TO A SECURED AREA. THE GENERAL CONTRACTOR SHALL PRESENT AND BE RESPONSIBLE FOR A SAFETY PLAN FOR DEALING WITH AUTHORIZED ACCESS THRU THE SITE.

### 01029 - APPROVALS.

A. "APPROVED" USED WITHOUT ANY FURTHER QUALIFICATIONS, SHALL MEAN REVIEWED AND ACCEPTED BY THE ARCHITECT AND OWNER, AND DOCUMENTED IN WRITING. VERBAL AUTHORIZATION SHALL NOT BE BINDING UPON THE ARCHITECT OR OWNER.  
B. "ACCEPTABLE SUBSTITUTIONS" SHALL BE DEFINED AS MEETING OR EXCEEDING THE INTENT OF THE MATERIAL DRAWINGS AND SPECIFICATIONS INDICATED AS DETERMINED BY THE ENGINEER/ ARCHITECT. (SUBSTITUTIONS SHALL BE IDENTIFIED AND APPROVED / DENIED TWO WEEKS PRIOR TO BID DATE. NO SUBSTITUTIONS WILL BE ALLOWED AFTER CONTRACT AWARD ON THE BASIS THAT ACCEPTANCE OF A SUBSTITUTION AFTER AWARD MAY HAVE AFFECTED THE BIDDING PROCESS.  
C. ALL REQUIRED CONSTRUCTION PROCESS PERMITS AND OCCUPANCY APPROVALS FOR THIS BUILDING ARE THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING BUT NOT LIMITED TO BUILDING DEPT., PUBLIC WORKS DEPT., FIRE DEPT., AND FINAL OCCUPANCY ETC.

### 01030 - CUTTING AND PATCHING

A. VISUAL REQUIREMENTS. DO NOT CUT AND PATCH CONSTRUCTION EXPOSED ON THE EXTERIOR OR IN OCCUPIED SPACES, IN A MANNER THAT WOULD, IN THE ARCHITECT'S OPINION, REDUCE THE BUILDING'S AESTHETIC QUALITIES, OR RESULT IN VISUAL EVIDENCE OF CUTTING AND PATCHING.  
B. USE MATERIALS THAT ARE IDENTICAL TO EXISTING MATERIALS UNLESS OTHERWISE NOTED. IF IDENTICAL MATERIALS ARE NOT AVAILABLE OR CAN NOT BE USED WHERE EXPOSED SURFACES ARE INVOLVED, USE MATERIALS THAT MATCH EXISTING ADJACENT SURFACES TO THE FULLEST EXTENT POSSIBLE REGARD TO VISUAL EFFECT. USE MATERIALS WHOSE INSTALLED PERFORMANCE WILL EQUAL OR SURPASS THAT OF EXISTING MATERIALS.  
C. PATCHING PATCH WITH DURABLE SEAMS THAT ARE AS INVISIBLE AS POSSIBLE. RESTORE EXPOSED FINISH OF PATCHED AREAS AND EXTEND FINISH INTO RETAINED ADJOINING CONSTRUCTION IN A MANNER THAT WILL ELIMINATE EVIDENCE OF PATCHING AND REFINISHING.  
D. WORK, WHICH IN THE ARCHITECT'S OPINION WAS CUT AND/OR PATCHED IN AN UNSATISFACTORY MANNER, SHALL BE REMOVED AND REPLACED TO THE ARCHITECT AND BUILDING OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.

### 01031 - ATTORNEYS FEES AND COSTS

THE CONTRACTOR AGREES TO INDEMNIFY THE OWNER, ARCHITECT, AND CONSULTANTS FROM ANY AND ALL LIABILITY, LOSS OR DAMAGE INCLUDING BUT NOT LIMITED TO, BODILY INJURY, ILLNESS, DEATH OR PROPERTY DAMAGE, WHICH THE CONTRACTOR BECOMES LEGALLY OBLIGATED TO PAY, INCLUDING REASONABLE ATTORNEY'S FEES, INVESTIGATIVE AND DISCOVERY COSTS, COURT COSTS, AS A RESULT OF CLAIMS, DEMANDS OR JUDGMENTS AGAINST THE OWNER, AND/ OR ARCHITECT/ENGINEER ARISING OUT OF THIS AGREEMENT, CAUSED BY OR ARISING OUT OF THE NEGLIGENCE, FAULT, BREACH OF WARRANTY, PRODUCE LIABILITY OR STRICT LIABILITY OF THE CONTRACTOR, AND/OR THIRD PARTIES, WHETHER SUCH NEGLIGENCE, FAULT, BREACH OF WARRANTY, PRODUCTS LIABILITY OR STRICT LIABILITY IS SOLE, JOINT OR SEVERAL.

### 01032 - TELEPHONE SERVICE

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND TIMELY INSTALLATION OF ALL PHONE SERVICES (IF REQUIRED), INCLUDING LINES FOR WATER METERS, FIRE ALARM PANELS AND OWNER SUPPLIED PHONE SYSTEMS PRIOR TO SUBSTANTIAL COMPLETION. THE OWNER SHALL AT THEIR OPTION BE OFFERED 2 WEEK DUAL SERVICES. ALL PHONE SYSTEMS SHALL BE PROVIDED BY THE OWNER.

### 01033 - PERMITTING AND FEES

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION RELATED FEES.

1. WATER (SIZE OF SERVICE) (BY GENERAL CONTRACTOR)
  - A. DOMESTIC WATER FEE
  - B. IRRIGATION METER FEE
2. SEWER (BY GENERAL CONTRACTOR)
  - A. METER FEE
  - B. SPECIAL INVESTMENT FEE
3. TRAFFIC STUDY (BY OWNER)
4. OFF-SITE IMPROVEMENT FEE
5. BUILDERS RISK INSURANCE (BY CONTRACTOR)
6. TESTING (BY GENERAL CONTRACTOR)
  - A. SOILS COMPACTION
  - B. STEEL
  - C. CONCRETE
7. APPRAISALS (BANE) (BY OWNER)
8. BUILDING PERMIT (BY GENERAL CONTRACTOR)
9. UTILITIES DURING CONSTRUCTION (BY GENERAL CONTRACTOR)
  - A. ELECTRIC
  - B. WATER
  - C. TELEPHONE
9. PUC ENERGY AUDIT (BY CONTRACTOR)
10. DRIVEWAY PERMIT
11. SEPTIC PERMIT (BY OWNER)
12. FLOOD INSURANCE (BY OWNER)

Sherman Greiner Halle Ltd.

ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS

2 Capital Plaza, Concord, New Hampshire 03301 4911

(603) 225-0640 (FAX) 225-0621

Email: info@sghtld.com www.sghtld.com

01/09/2001

ISSUED FOR CONSTRUCTION

CONSULTANTS

Sue Bartlett - Interior Design  
P.O. Box 22, 31 So. Main Street  
Concord, NH 03301  
Ph. (603) 226-6688  
Fax (603) 226-0808

PROJECT TITLE / ADDRESS

BEAVER MEADOWS  
CLUBHOUSE  
ALTERATIONS

BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME: 2302A01.DWG

STAMP

XREF NAME: BORD.DWG

JOB NUMBER: 2302.100

SCALE: N.T.S.

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GENERAL NOTES

SHEET NUMBER 2 OF 27

AO-1

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MATERIAL LIST

BEAVER MEADOWS OUTLINE SPECIFICATION

MATERIAL LIST

NOTE: THE ARCHITECTURAL DESIGN HAS BEEN COORDINATED AROUND THE FOLLOWING PRODUCTS AND MANUFACTURERS WHICH MEET ESTABLISHED STANDARDS OF QUALITY, DESIGN CRITERIA, PERFORMANCE, AND PHYSICAL SPACE REQUIREMENTS. ACCEPTABLE EQUAL SUBSTITUTIONS REQUIRE APPROVAL OF BOTH THE OWNER AND THE ARCHITECT.

DIV # ITEM / DESCRIPTION

01000 GENERAL CONDITIONS TO BE DETERMINED.

02000 SITEWORK

2.1 SELECTIVE DEMOLITION: REMOVE EXISTING CONSTRUCTION AS INDICATED OR REQUIRED TO ACCOMMODATE THE NEW SCOPE OF WORK AS INDICATED.

03000 CONCRETE

3.1 NEW CONCRETE FOUNDATION WALLS & FOOTINGS AS INDICATED.  
3.2 NEW CONCRETE SLAB AND CONCRETE FILL SLABS AS INDICATED.  
3.3 CONCRETE RAMP, AS INDICATED.

04000 MASONRY

N/A

05000 METALS

06000 WOODS & PLASTIC

6.1 ROUGH FRAMING

A. 2 X 6 WOOD STUDS @ EXTERIOR WALLS WHERE INDICATED.  
B. 2 X 4 WOOD STUDS @ EXTERIOR WALLS WHERE INDICATED.  
C. 2 X 4 WOOD STUDS @ INTERIOR WALLS WHERE INDICATED.  
D. 2 X WOOD FRAMING @ INTERIOR CEILINGS & SOFFITS WHERE INDICATED.  
E. 2 X 10 WOOD JOISTS TO MATCH EXISTING @ NEW FRAMED ROOF.  
F. MISC. 2X WOOD FRAMING & BLOCKING AS REQUIRED.

NOTE: PROVIDE PRESSURE TREATED WOOD FRAMING WHERE WOOD IS IN CONTACT WITH CONCRETE OR GRADE.

G. 1X WOOD STRAPPING & MISCELLANEOUS FRAMING AS INDICATED.  
H. 1/2" EXTERIOR APA PLYWOOD WALL SHEATHING AS INDICATED OR REQUIRED.  
I. 5/8" EXTERIOR APA PLYWOOD ROOF SHEATHING AS INDICATED OR REQUIRED.

6.2 PRE-ENGINEERED / PRE-MANUFACTURED WOOD STRUCTURAL MEMBERS AS INDICATED ON DRAWINGS, AS INDICATED IN SPECIFICATION OR AS REQUIRED.

6.3 EXPOSED INTERIOR WOOD SHELVING: HARDWOOD VENEER FACED PLYWOOD, HARDWOOD EDGE BAND AT ALL EDGES WITH HEAVY DUTY DOUBLE TAB LOCK IN BRACKETS AND TWIN SLOTTED

6.4 SEMI-EXPOSED WOOD SHELVING: HARDWOOD VENEER FACED PLYWOOD WITH HARDWOOD EDGE BAND, PAINTED, WITH HEAVY DUTY DOUBLE TAB LOCK IN BRACKETS AND TWIN SLOTTED STANDARDS.

6.5 INTERIOR WOOD TRIM - SEE INTERIOR ELEVATIONS AND SHEET A6-1 FOR LOCATIONS.

A. WAINSCOT TREATMENT: CAP: BROSCO NOSING #M70-8019 W/ 1 X 3 W/ FULL RADIUS END. HARDWOOD APRON, PTD. WOOD PANELING, FROM BASE TO WOOD CAP: GEORGIA PACIFIC HARDWOOD VENEER PANELING W/ BEAD BOARD FACE, PTD.  
B. WOOD WINDOW AND DOOR CASING: 1 X 4 POPLAR TO MATCH EXISTING, PTD.  
C. WALL MOULDING: BROSCO #B288, WITH 1 X 3 HARDWOOD APRON, PTD.  
D. CROWN MOULDING: BROSCO #M47/ 8013FJP, PTD.  
E. COLUMN TRIM: HARDWOOD LOWER CAP, SEE 6.5A; UPPER TRIM: BROSCO #M47/ 8013FJP, PTD. W/ BROSCO #B658 & #8080 HALF ROUND TRIM, W/ 1 X 3 WOOD APRON TRIM, PTD.  
F. MISC. TRIM, 1X WOOD TRIM WITH EASED EDGES, PAINTED.

6.6 CUSTOM WOOD CASEWORK, BAR & CANOPY: HARDWOOD, PTD. & CLEAR FINISH WHERE INDICATED. SEE INTERIOR ELEVATIONS, SHEET A5.2.

6.7 EXTERIOR TRIM: FRIEZE BOARDS, RAKE BOARDS, CORNER BOARDS, MISC. TRIM ETC.

A. SIZES TO MATCH EXISTING TRIM, CORNER BOARDS, RAKES, EAVE EDGES ETC., PTD.

6.8 CUSTOM EXTERIOR DOORS @ CAN WASH & CONDENSER AREAS:

A. T&G WOOD CUSTOM SOLID CORE DOOR, REINFORCED WITH WOOD CAP & TRIM, PTD.

6.9 WOOD SOFFIT: TO MATCH EXISTING, PTD.

6.10 PLASTIC LAMINATE, NEVAMAR - SEE INTERIOR ELEVATIONS AND SHEET A6-1 FOR LOCATIONS.

A. COLOR PL #1: NEVAMAR ALPINE FISURE/ FS-5-1T.  
B. COLOR PL #2: NEVAMAR PAPIER LUNE/ PR-5-1T.

6.11 PLASTIC COMPOSITION COUNTERTOP, CORIAN - SEE INTERIOR ELEVATIONS AND SHEET A6-1 FOR LOCATIONS.

A. COLOR PC #1: CORIAN, COLOR #PRAIRIE/ E.

07000 THERMAL & MOISTURE PROTECTION

7.1 ASPHALT ROOF SHINGLES, ARCHITECTURAL GRADE, 25 YEAR, COLOR TO BE DETERMINED.

7.2 SINGLE UNDERLAYMENT, GAF, SHINGLEMATE.

7.3 BITUTHANE ICE & WATER SHIELD TO 5'-6" INCHES UP SLOPE FROM EXTERIOR FACE OF BUILDING AT ALL EAVES, MIN. (3'-0" FROM INSIDE FACE OF WALL). HIPS, VALLEYS, RAKES, RIDGES AND ROOF PENETRATIONS AS INDICATED OR REQUIRED.

7.4 MISC. METAL FLASHING, ALUMINUM, .040 THICKNESS, MILL FINISHED, AS INDICATED AND REQUIRED.

7.5 WOOD SHINGLES TO MATCH EXISTING, STAIN TO MATCH AS REQUIRED.

7.4 RIDGE VENTS, SHINGLE OVER VENT WITH END PLUGS, SIZE AND LENGTH AS REQUIRED TO MEET CODE. SIZE AS REQUIRED TO MEET ROOF VENTILATION REQUIREMENTS.

7.5 SOFFIT VENT: SOLAR GROUP II 2" WIDE PREFINISHED SOFFIT STRIP SA-8 LENGTH AS REQUIRED TO ADEQUATELY VENTILATE ROOF ATTIC AREAS.

7.8 PRE-MANUFACTURED AIR VENT Baffles AS MAY BE FEASIBLE AT EXISTING ROOF CONSTRUCTION AND AS INDICATED FOR NEW CONSTRUCTION.

7.9 SLOPED ROOF VENTILATORS: SLANT BLACK POLYPROPYLENE AS MAY BE REQUIRED TO AUGMENT VENTILATION REQUIREMENTS.

7.10 CONTINUOUS METAL DRIP EDGE AT ALL EAVES AND RAKES, PRE-FINISHED .040 ALUMINUM.

7.11 6 MIL POLYETHYLENE VAPOR BARRIER.

7.12 FIBERGLASS BATT INSULATION R11, R19, R30 & R38, AS INDICATED OR REQUIRED TO PROVIDE AS COMPLETE BUILDING INSULATION ENVELOPE WHICH MEETS THE NEW HAMPSHIRE ENERGY CODE.

7.13 RIGID INSULATION BOARD, EXTRUDED POLYSTYRENE, LOCATIONS AS INDICATED

7.14 ASPHALT COATING / MASTIC AT LOCATIONS INDICATED FOR DAMPROOFING AS INDICATED AND REQUIRED AND DISSIMILAR MATERIAL SEPARATION - WHERE REQUIRED.

7.15 AIR INFILTRATION BARRIER, TYVEK, OR APPROVED EQUAL, LOCATE OVER EXTERIOR PLYWOOD WALL SHEATHING.

7.16 SEALANT, AS INDICATED OR SPECIFIED, COLOR TO MATCH ADJACENT MATERIAL COLOR.

7.17 MISCELLANEOUS METAL FLASHING, ALUMINUM .040 THICKNESS, PREFINISHED WHERE INDICATED OR REQUIRED.

08000 DOORS & WINDOWS

8.1 REPAIR EXISTING WINDOW HARDWARE WITH ORIGINAL APPROVED MANUFACTURER'S HARDWARE COMPONENTS AS REQUIRED TO RESTORE FULL ORIGINAL WINDOW OPERATION.

8.2 REPLACE EXISTING BROKEN OR DAMAGED WINDOW(S) GLAZED AS REQUIRED TO MATCH EXISTING WINDOW GLAZING TYPES.

8.3 RELOCATE EXISTING WINDOW AS RECOMMENDED BY ORIGINAL WINDOW MANUFACTURER.

8.4 EXTERIOR INSULATED HOLLOW METAL FLUSH DOOR, PTD.

8.5 EXTERIOR INSULATED HOLLOW METAL DOOR(S), 1 3/4" THICK WITH FULL VIEW PANEL(S) (MATCH EXISTING DOOR TYPE), PTD.

8.6 CUSTOM BUILT SOLID CORE WOOD DOOR(S), PTD. - SEE DOOR TYPES, SHEET A2-1.

8.7 EXISTING SOLID CORE INTERIOR 'V' JOINT DOOR WITH VISION PANEL, 1 3/4" THICK, SEE DOOR SCHEDULE FOR RELOCATED POSITION. REPAIR IF REQUIRED TO RECEIVE SCHEDULED HARDWARE.

8.8 EXISTING SOLID CORE INTERIOR 'V' JOINT PANEL DOOR(S), 1 3/4" THICK, SEE DOOR SCHEDULE FOR RELOCATED LOCATION. REPAIR IF REQUIRED TO RECEIVE SCHEDULED HARDWARE.

8.9 SOLID CORE INTERIOR 'V' JOINT PANEL DOOR TO MATCH EXISTING, 1 3/4" THICK. PRE-MACHINED TO RECEIVE SCHEDULED HARDWARE.

8.10 HARDWOOD DOOR FRAME, TYPE TO MATCH EXISTING @ INTERIOR DOORS.

8.11 GALVANIZED METAL DOOR FRAMES, MACHINE MITERED FACTORY FACE AND SOFFIT WELDED CORNERS WITH WOOD STUD ANCHORS AND WOOD TRIM @ EXTERIOR DOORS.

8.12 INTERIOR FLUSH WOOD ACCESS DOORS, SOLID CORE WITH HARDWOOD VENEER FACE, PTD. PRE-MACHINED TO RECEIVE SCHEDULED HARDWARE WHERE REQUIRED.

8.13 DOOR HARDWARE AS INDICATED IN HARDWARE SCHEDULE. US10 FINISH, SATIN BRONZE.

09000 FINISHES

9.1 5/8" GYPSUM WALLBOARD, TAPED & FINISHED.

9.2 5/8" FIRECODE GYPSUM WALLBOARD, TAPED AND FINISHED.

9.3 5/8" MOISTURE RESISTANT (MR) GYPSUM WALLBOARD, TAPED AND FINISHED.

9.4 5/8" MOISTURE RESISTANT (MR) FIRE RATED GYPSUM WALLBOARD, TAPED AND FINISHED.

9.5 VINYL WALL FABRIC.

A. VINYL WALL FABRIC WC #1: LANARK, BRUSHWORK L1-BW-31/ VERDE.

B. VINYL WALL FABRIC WC #2: LANARK, LAUREL L1-LL-21/ OCHRE

9.6 PAINT.

A. PAINT #PT1 (WALL): BENJAMIN MOORE, EGGSHELL, COLOR # HC-8.

B. PAINT #PT2 (WALL): BENJAMIN MOORE, EGGSHELL, COLOR #207.

C. PAINT #PT3 (INT. TRIM): BENJAMIN MOORE, SATIN, COLOR #1574.

D. PAINT #PT4 (INT. TRIM): BENJAMIN MOORE, SATIN, COLOR #1651.

E. PAINT #PT5 (CEILING SOFFIT): BENJAMIN MOORE, FLAT, CEILING WHITE.

F. PAINT #PT6 (EXTERIOR TRIM & HOLLOW METAL DOORS): BENJAMIN MOORE, COLOR & FINISH TO MATCH EXISTING WHITE COLOR.

G. PAINT #PT7 (WOOD SHELVING): BENJAMIN MOORE, SATIN, COLOR #207.

H. PAINT #PT8 (METAL TOILET PARTITIONS): BENJAMIN MOORE, GLOSS COLOR #1651.

9.7 CLEAR WOOD FINISH: BENJAMIN MOORE, SATIN POLYURETHANE.

9.8 EXTERIOR CEDAR WOOD SHINGLES, STAINED, BENJAMIN MOORE, COLOR AND FINISH TO MATCH EXISTING

9.9 CARPET

A. CARPET C #1: SHAW CONTRACT, CANYONLANDS, COLOR #BIG SKY

9.10 VINYL BASE, 6"

A. VINYL BASE VB #1: STRAIGHT, JOHNSONITE, COLOR #DC-92 BLUE LAGOON

B. VINYL BASE VB #1: COVE, JOHNSONITE, COLOR #DC-92 BLUE LAGOON

FLOOR TILE #2: BRAZILIAN SLATE, 12 X 12, COLOR: RUSTY, DISTRIBUTOR: CONCORD

9.12 FLOOR GROUT: EPOXY MAPEI OR TEC, COLOR #42 MOCHA.

9.13 VINYL COMPOSITION TILE VCT #1: ARMSTRONG, 12X12, COLOR #51802 SILVER GREEN (FIELD)

10000 SPECIALTIES

10.1 SIGNAGE "ASI SIGN SYSTEMS" OR EQUAL, ROOM SIGN, 6" X 6" PHOTOPOLYMER ON 1/8" THICK ACRYLIC W/ RAISED NUMBER AND GRADE II BRAILLE. DOUBLE SIDED VINYL TAPE ON BACK FOR MOUNTING. LOCATE AT EACH LABELED ROOM WITH A DOOR.

10.2 PORTABLE FIRE EXTINGUISHING EQUIPMENT

A. J.L. INDUSTRIES AMBASSADOR #1012F10, 4" PROJECTING RETURN TRIM AND ROLLED EDGE FIRE PROTECTION CABINET WITH 10LB ABC EXTINGUISHER AND WALL MOUNTED IDENTIFICATION SIGNAGE ABOVE, RED HORIZONTAL LETTERING ON CABINET.

B. J.L. INDUSTRIES 10LB ABC EXTINGUISHER, METAL BRACKET WALL MOUNTING TO BE LOCATED IN MECHANICAL ROOM & KITCHEN.

10.3 TOILET ACCESSORIES. EXISTING ACCESSORIES TO REMAIN (REPAIR AS REQUIRED), REMOUNT AS REQUIRED TO COMPLY WITH ADA MOUNTING REQUIREMENTS. REPAIR WALLS & PARTITIONS A

Sherman Greiner Halle' Ltd.

ARCHITECTS LANDSCAPE ARCHITECTS PLANNERS

2 Capital Plaza, Concord, New Hampshire 03301 4911

(603) 225-0640 (FAX) 225-0821

Email: info@sghtld.com www.sghtld.com

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Fax (603) 226-0808

PROJECT TITLE / ADDRESS

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CLUBHOUSE  
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DWG. NAME: 2302A0-2.DWG STAMP

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SHEET TITLE

MATERIAL LIST

SHEET NUMBER 3 OF 27

A0-2

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ABBREVIATIONS

ABV above finish floor	ACC access	ACG access panel	ACT acoustical ceiling tile	ADD addendum	ADH adhesive	ADJ adjacent	A/C adjustable	ALT aluminum	ANC anchor (age)	ANOD anodized	APX architect (ural)	ASPH asphalt	AUT automatic	BMT basement	BRG bearing	BPL bearing plate	BTJ bed joint	BM bench mark	BEL below	BCT between	BVL beveled	BIT bituminous	BLK block	BLWC blocking	BD board	BS both sides	BDW both ways	BOT bottom	BRK brick	BRZ bronze	BLDG building	BRD bulletin board	CB cabinet	CPT carpet (ed)	CSMT casement	CI cast iron	CPC cast-in-place concrete	CSF cast stone	CB catch basin	CK caulking	CLG ceiling	CHT ceiling height	GEM cement (itious)	CER ceramic	CTI ceramic tile	CHBD chalkboard	CHAM chamber	CIR circle	CIRC circumference	CO clean out	CLR clear (ance)	COL column	COMB combination	COMP composition	COMPRESS (ed) concrete	CONC concrete masonry unit	CONJ control joint	CX connection	CONST construction	CONT continue (was)	CONTR contractor	CONTR limit line	COU control joint	CPR copper	CG corner guard	CONR corrugated	CTR counter	CFL counterflashing	CS counter-sink	CRS cables (ed)	CYD cubic yard	DMT demountable	DP damp-proofing	DEM demolish	FBD fiberglass	FEL fiberglass	DET detail	DAG diagonal diameter	DIM diameter	DIV division	DHW domestic hot water	DH double hung	DS downspout	DR drain	DR drain tile	DWR drawer	DWG drawing	DF drinking fountain	DW dumbwaiter	EF each face	E east	ELEC electrical	EP electrical panelboard	EWC electric water cooler	ELEM element	ELEV elevator	EMR emergency	ENC enclosure (ure)	EQU equal	EOP equipment	EST estimate	EXCA excavate	EXH exhaust	EXH exhaust fan	EXT existing	EXP expansion joint	EXP exposed	EXT exterior	FB face brick	FOC face of concrete	FOF face of finish	FOM face of masonry	FOS face of studs	FF factory finish	FAS fasten (ers)	FN fence	FBD fiberglass	FEL fiberglass	FT fin tube	FIN finish (ed)	FIN finished floor elevation	FFL finished floor line	FA fire alarm	FBRK fire brick	FE fire extinguisher	FEC fire extinguisher cabinet	FP fireproof	FLG flashing	FLX flexible	FLR floor (ing)	FLR floor cleanout	FD floor drain	FLR floor plate	FLR fluorescent	FLR flush joint	INS insulate (d)	FND foundation	FR frame (d)	FS full size	FBO furnished by others	FUR furred (ing)	FUT future	GA gauge	GP galvanized	GI galvanized iron	GP galvanized pipe	GSS galvanized sheet steel	GKT gasket (ed)	GC general contractor	GL glass, glazing	GLB glass block	GLF glazed concrete masonry unit	GMU grout	GB grab bar	GD grade, grading	GRN granite	CVL gravel	GF ground face	GT gypsum wallboard	HCAP handicapped	HB hardwood	HR hardware	HWD hardwood	HDR header	HTG heating	HVAC heating-ventilating-air conditioning	HD heavy duty	HT height	HX hexagonal	HC hollow core	HM hollow metal	HK hook	HOR horizontal	HW hot water	HWH hot water heater	HWR hot water return	HWS hot water supply	IPS inside diameter	INS insulate (d)	INTM intermediate	INV invert	IPS iron pipe size	JT joint	JF joint filler	J joint	KPL kickplate	KO knockout	LBL label	LAB laboratory	LB lag bolt	LAM laminate (d)	LAV lavatory	LH left hand	LI light	LP length	LN light	LP lightproof panel	GN granite	LL live load	LWR lower	LP low point	MB machine bolt	MC man hole	MBB manufacture (y)	MAS masonry	MO masonry opening material (s)	MFL manufacturer (s)	MAX maximum	MECH mechanical	PERF perforated	PERI perimeter	MED medium density overlay	MDB member	MMB membrane	MET metal	MFD metal floor decking	MTR metal furring	MRO metal roof decking	MT metal threshold	MWK millwork	MN minimum	MIR mirror	MSC miscellaneous	MOD modular	MDD moulding	MR moisture resistant	MT mount (ed)	MV movable	NL nailable	NAI natural	NOM nominal	N north	NC not in contract	NTS not to scale	OC on center (s)	OPG opening	OU oper-weeb joint	OPP opposite	OD outside diameter	OA overall	OH overhead	PN partition	PH panel	PH right hand	ROW right of way	R riser	R roof drain	RH roof hatch	RF roofing	RM room	RO rough opening	RB rubber base	RBT rubber tile	SFG safety glass	SCH schedule	SN screen	PLAS plaster laminate	PLAM plate	PG plate glass	PWD plywood	PT point	PVC polyvinyl chloride	PCF pounds per cubic foot	PFL pounds per linear foot	PSC pounds per square foot	PSI pounds per square inch	PPF prefinish (ed)	PREF preform (ed)	PSC prestressed concrete	PL property line	QT quarry line	RAD radi	RL rail (ing)	STD standard	RFL reflect (ed)	REFG refrigerator	REF register	RE reinforcement (d)	RCP reinforced concrete pipe	SAT square	RES resilient	RET return	RA return air	RVS reverse	REV revision	RN right hand	ROW right of way	R riser	R roof drain	RH roof hatch	RF roofing	RM room	RO rough opening	RB rubber base	RBT rubber tile	SFG safety glass	SCH schedule	SN screen	SNT sealant	STG sealing	SEC section	SKK service sink	SKTH sheet	SHT sheet glass	SG shaft, sheathing	SM similar	SKL skylight	SL sleeve	SC solid core	SP sound proof	S south	SPOO spooer	SPK speaker	SPL special	SPEC specification	SO square	SST stainless steel	STD standard	STA station	ST steel	STG storage	SD storm drain	STR structural	SAT suspended acoustical tile	SYM symmetry (cal)	SYN synthetic	SYS system	TKBD tackboard	TEL telephone	TV television	TZ terrace	TS/STAT thermostat	THK thick (ness)	THR threshold	TPIN toilet partition	TPD toilet paper dispenser	TOL tolerance	TAG tongue & groove	TSL top of slab	TS top of steel	TW top of wall	TB towel bar	TR transom	T tread	TYP typical	UC undercut	UNF unfinished	UR urine	UR v-joint	VJ vapor barrier	VBR vertical	VNR veneer	VNT vent through roof	VC vertical grain	VN vinyl	VCT vinyl composite tile	VB vinyl base	VF vinyl fabric	VT vinyl tile	WSCC wainscot	WCO wall cleanout	WTW wall to wall	WH wall hung	WC water closet	WH4 water hammer arrestor	WP water proofing	WR water repellent	WS wainscot	WVF welded wire fabric	W west	WB wheel bumper	WN wire mesh	WM wire mesh	WC wood	WD wood	WB wood base	WP working point	WT wrought iron
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CONVERSION CHART

<b>LENGTH</b>	1 inch (in) = 2.54 cm	1 foot (ft) = 12 in = 3048 mm	1 yard (yd) = 3 ft = 9144 mm	1 mile (mi) = 1760 yd = 1.6093 km	1 nautical mile = 1.152 mi = 1.853 km	1 millimeter (mm) = 0.0394 in	1 centimeter (cm) = 10 mm = 0.3937 in	1 meter (m) = 1000 mm = 1.0936 yd	1 kilometer (km) = 1000 m = 0.6214 mi			
<b>AREA</b>	1 square inch (in <sup>2</sup> ) = 6.4516 cm <sup>2</sup>	1 square foot (ft <sup>2</sup> ) = 144 in <sup>2</sup> = 0.93 ft <sup>2</sup>	1 square yard (yd <sup>2</sup> ) = 9 ft <sup>2</sup> = 8.361 m <sup>2</sup>	1 acre = 4840 yd <sup>2</sup> = 4046.86 m <sup>2</sup>	1 square mile (mi <sup>2</sup> ) = 640 acres = 2.59 km <sup>2</sup>	1 sq. centimeter (cm <sup>2</sup> ) = 100 mm <sup>2</sup> = 0.155 in <sup>2</sup>	1 sq. meter (m <sup>2</sup> ) = 10,000 cm <sup>2</sup> = 1.196 yd <sup>2</sup>	1 hectare (ha) = 10,000 m <sup>2</sup> = 2.4711 acres	1 sq. kilometer (km <sup>2</sup> ) = 100 ha = 386.1 mi <sup>2</sup>			
<b>WEIGHT</b>	1 ounce (oz) = 437.5 grains = 28.35 g	1 pound (lb) = 16 oz = 453.6 g	1 short ton = 2000 lb = 907.2 kg	1 long ton = 2240 lb = 1.0161 t	1 milligram (mg) = 0.0154 g	1 gram (g) = 1000 mg = 0.0353 oz	1 kilogram (kg) = 1000 g = 2.2046 lb	1 tonne (t) = 1000 kg = 1.1023 short tons	1 tonne (t) = 984.2 long ton			
<b>VOLUME</b>	1 cubic inch (in <sup>3</sup> ) = 16.387 cm <sup>3</sup>	1 cubic foot (ft <sup>3</sup> ) = 1728 in <sup>3</sup> = 0.028 m <sup>3</sup>	1 cubic yard (yd <sup>3</sup> ) = 27 ft <sup>3</sup> = 764.6 m <sup>3</sup>	1 fluid ounce (fl oz) = 0.154 g = 2.957 cl	1 liquid pint (pt) = 16 fl oz = 473.2 l	1 liquid quart (qt) = 2 pt = 946 l	1 gallon (gal) = 4 qt = 3.7852 l	1 cubic centimeter (cm <sup>3</sup> ) = 0.061 in <sup>3</sup>	1 cubic decimeter (dm <sup>3</sup> ) = 1000 cm <sup>3</sup> = 35.3 in <sup>3</sup>	1 cubic meter (m <sup>3</sup> ) = 1000 dm <sup>3</sup> = 1.3079 yd <sup>3</sup>	1 liter (l) = 1 dm <sup>3</sup> = 0.2642 gal	1 hectoliter (hl) = 100 l = 2.8378 bu

SYMBOLS

	EARTH		DIMENSIONAL LUMBER		DOOR TAG		BUILDING SECTION MARK		ELEVATION DATUM POINT		SUPPLY DIFFUSER		SURFACE MOUNTED FLUORESCENT		EXIT LIGHT
	BRICK		BLANKET INSULATION		WINDOW TAG		WALL SECTION MARK		WALL TYPE TAG		RETURN OR EXHAUST		FLUORESCENT TROFFER		RECEPTACLE
	CONCRETE MASONRY UNIT		FINISH WOOD		SIGNAGE		REVISION CLOUD		FIRE EXTINGUISHER		RECESSED CAN		WALL LIGHT FIXTURE		COMMUNICATIONS OUTLET
	CONCRETE		BLOCKING		ROOM NAME TAG		INTERIOR ELEVATION		CEILING FIXTURE		CEILING FIXTURE		EMERGENCY LIGHT w/ BATTERY BACKUP		SMOKE DETECTOR

TYPICAL INTERIOR AND EXTERIOR SIGNAGE REQUIREMENTS

NOTE: UNLESS OTHERWISE NOTED, OR MORE SPECIFICALLY DEFINED IN THE WRITTEN SPECIFICATIONS, PROVIDE ONE SIGN PER INTERIOR DOORWAY. PROVIDE TWO SIGNS FOR DOORS IN PATHS OF TRAVEL (e.g. HALLS). PROVIDE ONE HANDICAPPED PARKING SIGN FOR EACH HANDICAPPED PARKING SPACE.

**SIGN 'X' - INFORMATIONAL FLOOR IDENTIFICATION**  
 PROVIDE ONE PER LANDING OF STARWAY. NOT USED.

**SIGN 'Y' - INFORMATIONAL IDENTIFICATION**  
 ROOM NAME TO BE COORDINATED WITH DOOR SCHEDULE SIGNAGE COMMENTS.

**SIGN 'C' - INFORMATIONAL PRIVATE ROOM IDENTIFICATION**  
 PROVIDE ONE PER ILLUMINATED EXIT SIGN LOCATION.

**SIGN 'D' - PRIVATE IDENTIFICATION (OFFICES, ETC.)**  
 BACK PAINT WITH CLEAR FACE "ROOM NAME" SLOT COLOR BY ARCHITECT. NOT USED.

**SIGN 'E' - INFORMATIONAL PUBLIC IDENTIFICATION (RESTROOMS, TELEPHONE, STAIRWAYS, ELEVATORS, ETC.)**  
 MEN.

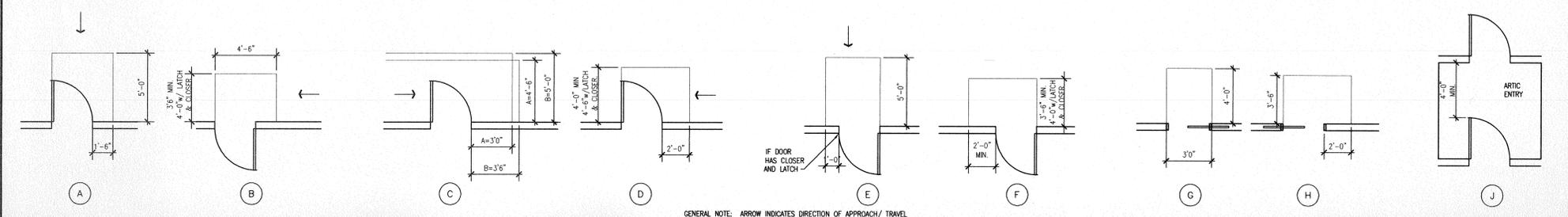
**SIGN 'F' - STAIRWELL IDENTIFICATIONS (FOR STAIRS SERVING 4 OR MORE STORIES)**  
 FLOOR 3, EXIT on 1st Floor, Southwest Stairwell, Basement to 6th Floor, Roof Access. NOT USED.

**SIGN 'G' - EXTERIOR SITE (HANDICAPPED PARKING)**  
 HANDICAPPED PARKING. NOT USED.

**SIGN 'H' - INFORMATIONAL IDENTIFICATION (OFFICES, ETC.)**  
 OFFICE. NOT USED.

NOTES:  
 1. ROOM NAME TO BE COORDINATED WITH DOOR SCHEDULE SIGNAGE COMMENTS.  
 2. ROOM NUMBER WITH COORDINATED BRAILLE AND SIGNS WITH ROOM NAME/COORDINATED BRAILLE SHALL BE TAKEN FROM THE FINISH SCHEDULE "ROOM NAME" DESIGNATIONS.  
 BOTH OF THESE REQUIREMENTS SHALL BE VERIFIED IN WRITING AND APPROVED BY OWNER PRIOR TO SIGN CONSTRUCTION WITH A FULL DETAILED SCHEDULE OF ALL SIGNS TO BE SUPPLIED BY THE SIGN CONTRACTOR.

AMERICANS WITH DISABILITIES ACT (A.D.A.) MANEUVERING CLEARANCES



*Sherman Greiner Halle Ltd.*

ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS

2 Capital Plaza, Concord, New Hampshire 03301 4911  
 (603) 225-0840 (FAX) 225-0621  
 Email: info@sghtd.com www.sghtd.com

01/09/2001  
**ISSUED FOR CONSTRUCTION**

CONSULTANTS

Sue Bartlett - Interior Design  
 P.O. Box 22, 31 So. Main Street  
 Concord, NH 03301  
 Ph. (603) 226-6688  
 Fax (603) 226-0808

PROJECT TITLE / ADDRESS  
**BEAVER MEADOWS CLUBHOUSE ALTERATIONS**  
**BEAVER MEADOW ST. CONCORD, NH.**

DWG. NAME: 2302A0-3.DWG STAMP

XREF NAME: BORD.DWG

JOB NUMBER: 2302.100

SCALE: N.T.S.

DRAWN BY: DC

CHECKED BY: KM, JH

ISSUE DATE: 01/09/2001

REVISIONS

ISSUED FOR CONSTRUCTION 01/09/2001  
 CLARIFICATION REVISIONS

PRINT DATE 01/09/2001

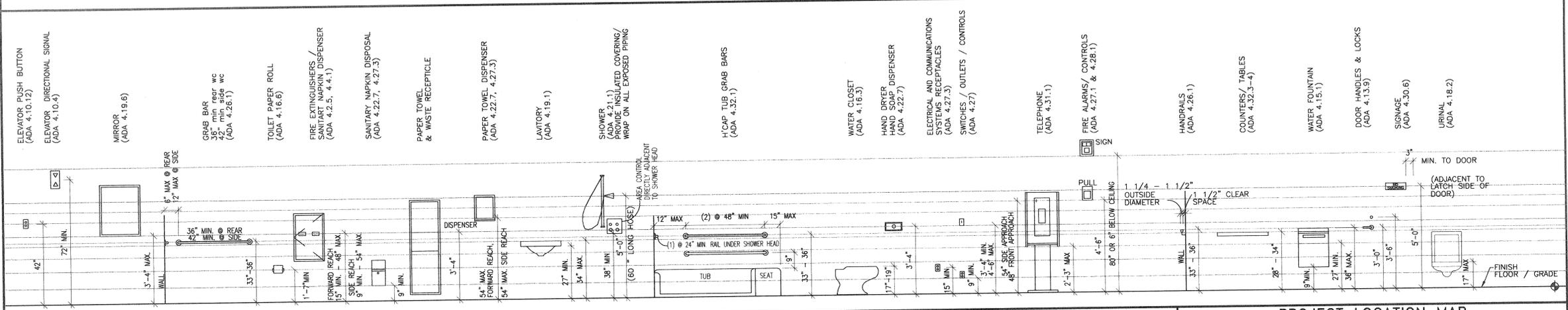
SHEET TITLE  
**ABBREVIATIONS, CONVERSIONS & SYMBOLS**

SHEET NUMBER 4 OF 27

**A0-3**

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ARCHITECTURAL EQUIPMENT AND FIXTURE MOUNTING HEIGHTS



**BOCA CODE**

BEAVER MEADOW C.C., CONCORD, NH

Proposed Square Footage (Combined renovated existing and new proposed)	7,752		
SUB-TOTAL	7,752		
Proposed Basement	0		
TOTAL PROPOSED SQUARE FOOTAGE (GROSS)	7,752		

1996 BOCA CODE ANALYSIS

Building Construction Type	Proposed	5B	606.1
Use Group	Proposed	A-3 Assembly	303.4

HEIGHT / AREA	REQUIRED	PROPOSED	REFERENCE
Allowed Height	1 Story / 20 FT	Existing - 23'+	Table 503
Sprinkler Increase	1 Story / 20 FT	none	Table 503
Proposed Height		Existing - No chg.	
Allowed Net Area	4,200 SF	4512 SF	Table 503
Area Increase Sprinkler	none	-	506.3
Area Frontage Increase	4,200+4129 = 8329SF	-	506.2
Area Reduction	none	-	506.4
<b>Separation Protection</b>			
Mechanical Room	1 hr or Suppress System	1Hour	302.1.1
Storage Rooms 50<100 SF	1 hr or Suppress System w/ smoke partitions	1Hour	302.1.1
Boiler/ Furnace Rooms	1 hr or Suppress System w/ smoke partitions	1Hour	302.1.1
Storage Rooms >100 SF	Suppression System w/ smoke partitions	n/a	302.1.1
Maintenance Shop	2 hr or 1 hr and Suppress System w/ smoke partitions	n/a	302.1.1
Kitchen	No requirement	n/a	302.1.1
<b>Fire Resistance Requirements</b>	Required	Proposed	5B Unprotected
Load Bearing Walls	0 hr	0 hr	Table 705.2, 602
Firewalls and Party Walls	2 hr	n/a	Table 705.2, 602
Fire Enclosure of Exits	2 hr	n/a	Table 602
Shofts	1 hr	n/a	Table 602
Mixed Use and Fire Areas	2 hr	n/a	Table 602
Other Separation Assemblies	1 hr	n/a	Table 1011.4
Exit Access Corridors	1 hr	n/a	Table 602
Tenant Space Separation	0	n/a	310.5, 313.1.2
Dwelling Unit Separation	1 hr	n/a	Table 602
Smoke Barriers	0	0	Table 602
Nonloadbearing Partitions	0	0	Table 602
Fire Blocking and Draft Stop	yes	yes	721.7.2.1
Interior load walls, etc	0	0	Table 602
Structural members	0	0	Table 602
Floor Construction	0	0	Table 602
Roof Construction	0	0	Table 602
<b>Length of Exit Access Travel</b>			Table 1006.5
without Sprinkler	200 FT max.	<200 FT	
with Sprinkler	250 FT max.	n/a	
<b>Width of Corridor</b>			1011.3
Greater than 50 people	44" min.	44" min.	1011.2
Dead End Corridor	20 FT max.	<20 FT max.	1014.3
<b>Width of Stair</b>			1014.6
Stair tread / riser	44" min.	n/a	
<b>Stair tread / riser</b>			1014.6
Stair tread / riser	11" MIN / 7" MAX	n/a	
<b>Occupant Load</b>			Table 1008.1.2
Function-Unconcentrated 15 net	>300	95	Table 1008.1.2
Pro shop	1430/15	11	Table 1008.1.2
Kitchen	1026/100	3	Table 1008.1.2
Snack Bar	779/300	16	Table 1008.1.2
Circulation	233/15	8	Table 1008.1.2
Toilets	787/100	11	Table 1008.1.2
Total Occupancy	11 fixtures	144	
<b>Number of Exits</b>			Table 1010.2
Exits	2	2	Table 1009.2
<b>Egress Width (doors, ramps, corridors)</b>			Table 1009.2
without Sprinkler	.2 X 144	29" min.	
with Sprinkler	.15 X 144	n/a	
<b>Egress Width (stairs)</b>			Table 1009.2
without Sprinkler	.3 X 144	n/a	
with Sprinkler	.2 X 144	n/a	
<b>Fire Alarm System</b>			918
Fire Alarm System	Not Required	Existing Condition	
<b>Automatic Fire Suppression</b>			Table 302.1.1, 310.5, 904, 906
Automatic Fire Suppression	Not Required	n/a	
<b>Smoke Detection</b>			Table 920.3
Audible	Not Required	Not Provided	918.8
Visual	Not Required	Not Provided	
<b>Fire Extinguishers</b>			921.2
Fire Extinguishers	Required	Provided	
<b>Opening Protection</b>			Table 717.1
Fire Walls & Separation Assemblies	1 1/2 hr (for 2 hr)	n/a	
Shafts & Exit Enclosure	1 hr (for 1 1/2 hr)	n/a	
Other Fire Partitions	3/4 hr (for 1 hr)	n/a	

**LIFE SAFETY CODE**

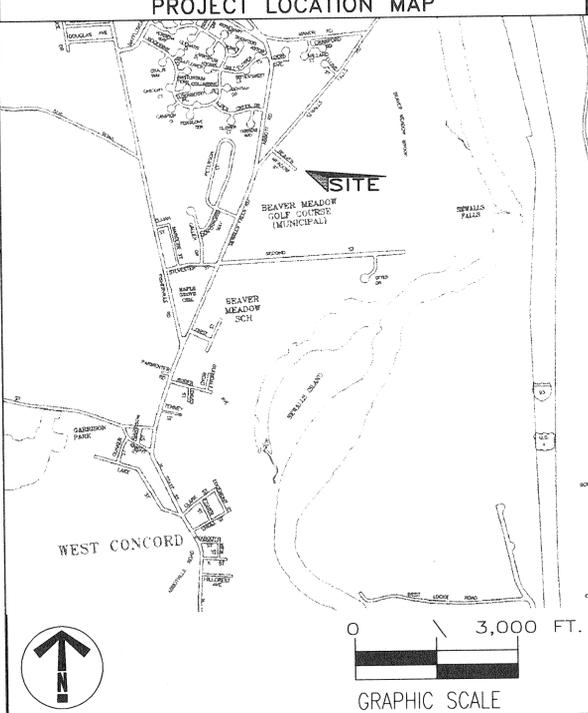
1997 LIFE SAFETY CODE	CODE	REFERENCE
Occupancy	8-1 New Assembly	Section 8-1
Egress Capacity		
Stairs	.3 X 300 = 90" min.	n/a
Level components & Ramps	.2 X 144 = 29" min.	>29"
Corridor Width	44" min.	>44"
Stair Width	44" min.	n/a
Stair Tread/Riser	11" min. / 7" min.	n/a
Dead End Corridor	50 FT	<50 FT
Egress Width		
Min. Egress Door Width	32" clear min.	>32" clear
Exit Access Width	44" min.	>44"
Min. Door Height	6'-6"	>6'-6"
Number of Exits	2	2
Length of Travel		
without Sprinkler	150 FT	< 150 FT
with Sprinkler	200 FT	n/a
Automatic Sprinkler System	Not Required	Existing Condition
Fire Alarm/ Detection System		
Fire	Not Required	Existing Condition
Smoke	Not Required	Existing Condition
Visual	Not Required	Existing Condition
Audible	Not Required	Existing Condition
Interior Finish		
Walls / Ceilings, Corridors & Lobbies	A, B, or C	A, B, or C
Exit Enclosures	A	A
Corridors & Lobbies	A OR B	A OR B
Other Spaces	A, B, or C	A, B, or C
Floors	no req.	n/a
Assembly Areas	A, B, or C	A, B, or C
Wall Protection from Hazards	Required	Provided
Mechanical / Boiler Rooms	1 hr or Auto Extinguishing System	1 hr
Fire Resistance Requirements Construction type V-000	reference to BOCA 5B.	Table A-6-2.1
Exterior Bearing Walls	0 hr	0 hr
Interior Bearing Walls	0 hr	0 hr
Columns	0 hr	n/a
Beams, Girders, Trusses	0 hr	0 hr
Floor	0 hr	0 hr
Roof	0 hr	0 hr
Exterior Nonbearing walls	1 hr	n/a
Stair Enclosure	1 hr	n/a
Exit Access, Corridors	0 hr	n/a
Extinguishing Requirements	Not Required	n/a
Emergency Lighting Requirements	Required	Provided
Panic Hardware	Not Required	Not Provided

**SUPPRESSION SYSTEM (N.I.C.)**

- CONTRACTOR SHALL PROVIDE P.E. STAMPED DESIGN FOR REVIEW AND APPROVAL OF CODE ENFORCEMENT AUTHORITIES.
- PROVIDE COVERAGE IN ALL CONCEALED SPACES INCLUDING BUT NOT LIMITED TO ABOVE CEILINGS.

**FIRE ALARM SYSTEM**

- CONTRACTOR SHALL SUPPLY, INSTALL, AND PROVIDE ALL COORDINATION OF ANY AND ALL TELEPHONE LINES REQUIRED TO PLACE SYSTEM INTO OPERATION. THE OWNER SHALL BE ONLY RESPONSIBLE FOR MONTHLY CARRIER FEES. SYSTEM SHALL BE APPROVED BY LOCAL MUNICIPALITY.



**TEMPORARY CONSTRUCTION SIGNAGE**

PROJECT NAME City, State	10" DIA. LOGO
Owner's Name Street Address City, State Telephone	3" PROJECT NAME, BOLD 2" ADDRESS
Contractor's Name (to be selected) ADDRESS, CITY, STATE Tel (XXX) XXX-XXXX Fax (XXX) XXX-XXXX	2" NAME, BOLD 1 3/4" ADDRESS, PLAIN
Contractor's Name (to be selected) ADDRESS, CITY, STATE Tel (XXX) XXX-XXXX Fax (XXX) XXX-XXXX	1 1/8" NAME, BOLD 1 1/8" ADDRESS, PLAIN
Contractor's Name (to be selected) ADDRESS, CITY, STATE Tel (XXX) XXX-XXXX Fax (XXX) XXX-XXXX	1" TITLE, PLAIN, TYPICAL 2" NAME, BOLD 1 1/2" ADDRESS, PLAIN

GENERAL NOTE:

- CONSTRUCT SIGN PANEL FROM 4' x 8' EXTERIOR GRADE DFPA A-A PLYWOOD.
- PAINT (BACKGROUND) TWO SIDES OF PANEL. COLOR: WHITE. PRINT TO BE ONE COLOR: BLACK.
- MOUNT PANEL ON (2) 4x4 PRESSURE TREATED POSTS, 36" ABOVE GRADE.
- ACQUIRE OWNER, ARCHITECT, BUILDING INSPECTOR APPROVAL OF BOTH COPY AND LOCATION PRIOR TO CONSTRUCTION.

Sherman Greiner Halle Ltd.  
ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS  
2 Capital Plaza, Concord, New Hampshire 03301 4911  
(603) 225-0640 (FAX) 225-0621  
Email: info@sghtld.com www.sghtld.com

01/09/2001  
ISSUED FOR CONSTRUCTION

CONSULTANTS  
Sue Bartlett - Interior Design  
P.O. Box 22, 31 So. Main Street  
Concord, NH 03301  
Ph. (603) 226-6688  
Fax (603) 226-0808

PROJECT TITLE / ADDRESS  
**BEAVER MEADOWS CLUBHOUSE ALTERATIONS**  
BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME: 2302A0-4.DWG STAMP  
XREF NAME: BORD.DWG  
JOB NUMBER: 2302.100  
SCALE: AS INDICATED  
DRAWN BY: JWS, KM, DC  
CHECKED BY: KM, JH  
ISSUE DATE: 01/09/2001

REVISIONS  
ISSUED FOR CONSTRUCTION 01/09/2001

PRINT DATE 01/09/2001  
SHEET TITLE  
**CODE REVIEWS, LOCATIONS & MOUNTING HEIGHTS**  
SHEET NUMBER 5 OF 27

**AO-4**  
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PARTITION TYPES

<p>WOOD SHINGLES TO MATCH EXISTING AIR INFILTRATION BARRIER EXTERIOR SHEATHING TO MATCH EXISTING FIBERGLASS BATT INSUL. TO MATCH EXISTING AT WALL TYPE 1 (PROVIDE R-19 BATT INSULATION @ WALL TYPE 1A) 2x WOOD STUDS AT 16" O.C.± TO MATCH EXISTING @ WALL TYPE 1 (2 X 6 WOOD STUDS @ 16" O.C. @ WALL TYPE 1A) 5/8" G.W.B., SEE FINISH SCHEDULE FOR FINISH</p> <p>NOTE: - PROVIDE M.R.G.W.B. @ PLUMBING FIXTURES - SEE FINISH SCHEDULE FOR WALL FINISHES</p>	<p>WOOD SHINGLES TO MATCH EXISTING AIR INFILTRATION BARRIER EXT. WOOD SHEATHING TO MATCH EXISTING FIBERGLASS BATT INSULATION TO MATCH EXISTING, PROVIDE R-19 BATT INSULATION @ WALL TYPE 7A 2 X WOOD STUD TO MATCH EXISTING OF TYPE 7 WALL (2 X 6 WOOD STUDS @ 16" O.C. @ WALL TYPE 7A) EXTERIOR SHEATHING ASPHALT PAPER 2 LAYERS OF 2" THICK FOIL FACED RIGID INSULATION W/ FOIL TAPED SEAMS EACH LAYER PLASTIC COMPOSITION WALLBOARD</p>		
<p>1,1A PARTITION DETAIL N.T.S. UL: N/A STC: NA</p>	<p>7,7A PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>13 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>19 PARTITION DETAIL N.T.S. UL: STC:</p>
<p>5/8" FIRE RATED M.R.G.W.B., PTD. 3" ACOUSTICAL BATT INSULATION 2x4 WOOD STUDS AT 16" O.C. 5/8" FIRE RATED M.R.G.W.B., PTD.</p> <p>NOTE: - OMIT FIRE RATED G.W.B. &amp; PROVIDE 5/8" MRGWB AT @ 2A - SEE FINISH SCHEDULE FOR WALL FINISHES</p>	<p>WOOD SHINGLES TO MATCH EXISTING STAIN TO MATCH EXISTING ASPHALT PAPER EXT. WOOD SHEATHING 2X WOOD STUDS AT 16" O.C. EXT. WOOD SHEATHING ASPHALT PAPER WOOD SHINGLES TO MATCH EXISTING STAIN TO MATCH EXISTING</p>		
<p>2,2A PARTITION DETAIL N.T.S. UL: 1 HR @ 2 N/A @ 2A STC: NA</p>	<p>8 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>14 PARTITION DETAIL N.T.S. UL: NA STC:</p>	<p>20 PARTITION DETAIL N.T.S. UL: STC:</p>
<p>5/8" G.W.B., PTD. 3" ACOUSTICAL BATT INSULATION - OMIT @ 3A 2x4 WOOD STUDS AT 16" O.C. 5/8" M.R.G.W.B., PTD.</p> <p>NOTE: - SEE FINISH SCHEDULE FOR WALL FINISHES - OMIT ACOUSTICAL BATT INSULATION @ 3A</p>			
<p>3 PARTITION DETAIL N.T.S. UL: NA STC:</p>	<p>9 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>15 PARTITION DETAIL N.T.S. UL: STC:</p>	<p>21 PARTITION DETAIL N.T.S. UL: STC:</p>
<p>5/8" G.W.B., PTD. 3" ACOUSTICAL BATT INSULATION - OMIT @ 4A 2x4 WOOD STUD AT 16" O.C. 5/8" G.W.B., PTD.</p> <p>NOTE: - SEE FINISH SCHEDULE FOR WALL FINISHES - OMIT ACOUSTICAL BATT INSULATION @ 4A</p>			
<p>4 PARTITION DETAIL N.T.S. UL: NA STC:</p>	<p>10 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>16 PARTITION DETAIL N.T.S. UL: STC:</p>	<p>22 PARTITION DETAIL N.T.S. UL: STC:</p>
<p>5/8" G.W.B., PTD. 3" ACOUSTICAL BATT INSULATION 2x4 WOOD STUDS AT 16" O.C. 5/8" G.W.B., PTD.</p> <p>NOTE: - SEE FINISH SCHEDULE FOR WALL FINISHES</p>			
<p>5 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>11 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>17 PARTITION DETAIL N.T.S. UL: STC:</p>	<p>23 PARTITION DETAIL N.T.S. UL: STC:</p>
<p>5/8" M.R.G.W.B. R-11 FIBERGLASS BATT INSULATION EXTERIOR SHEATHING 2 X 4 WOOD STUDS @ 16" O.C. ASPHALT PAPER 2 LAYERS OF 2" THICK FOIL FACED RIGID INSULATION W/ FOIL TAPED SEAMS EACH LAYER PLASTIC COMPOSITION WALLBOARD - PERIMETER AND ALL CUT EDGES SEALED WITH FOOD SERVICE GRADE SEALANT.</p> <p>NOTE: - SEE FINISH SCHEDULE FOR WALL FINISHES</p>			<p>GENERAL NOTES</p>
<p>6 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>12 PARTITION DETAIL N.T.S. UL: NA STC: NA</p>	<p>18 PARTITION DETAIL N.T.S. UL: STC:</p>	

Sherman Greiner Halle' Ltd.  
ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS  
2 Capital Plaza, Concord, New Hampshire 03301 4911  
(603) 225-0840 (FAX) 225-0621  
Email: info@sghltd.com www.sghltd.com

01/09/2001  
ISSUED FOR CONSTRUCTION

CONSULTANTS  
Sue Bartlett - Interior Design  
P.O. Box 22, 31 So. Main Street  
Concord, NH 03301  
Ph. (603) 226-6688  
Fax (603) 226-0808

PROJECT TITLE / ADDRESS  
BEAVER MEADOWS  
CLUBHOUSE  
ALTERATIONS  
BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME: 2302A0-5.DWG STAMP  
XREF NAME: BORD.DWG  
JOB NUMBER: 2302.100  
SCALE: N.T.S.  
DRAWN BY: DC, JWS, KM  
CHECKED BY: KM, JH  
ISSUE DATE: 01/09/2001

REVISIONS  
ISSUED FOR CONSTRUCTION 01/09/2001  
CLARIFICATION REVISIONS  
PART. TYPE 6A DELETED, NEW PART. TYPE 3A & 4A

PRINT DATE 01/09/2001  
SHEET TITLE  
PARTITION TYPES  
SHEET NUMBER 6 OF 27

A0-5  
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01/09/2001  
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CONSULTANTS  
 Sue Bartlett - Interior Design  
 P.O. Box 22, 31 So. Main Street  
 Concord, NH 03301  
 Ph. (603) 226-6688  
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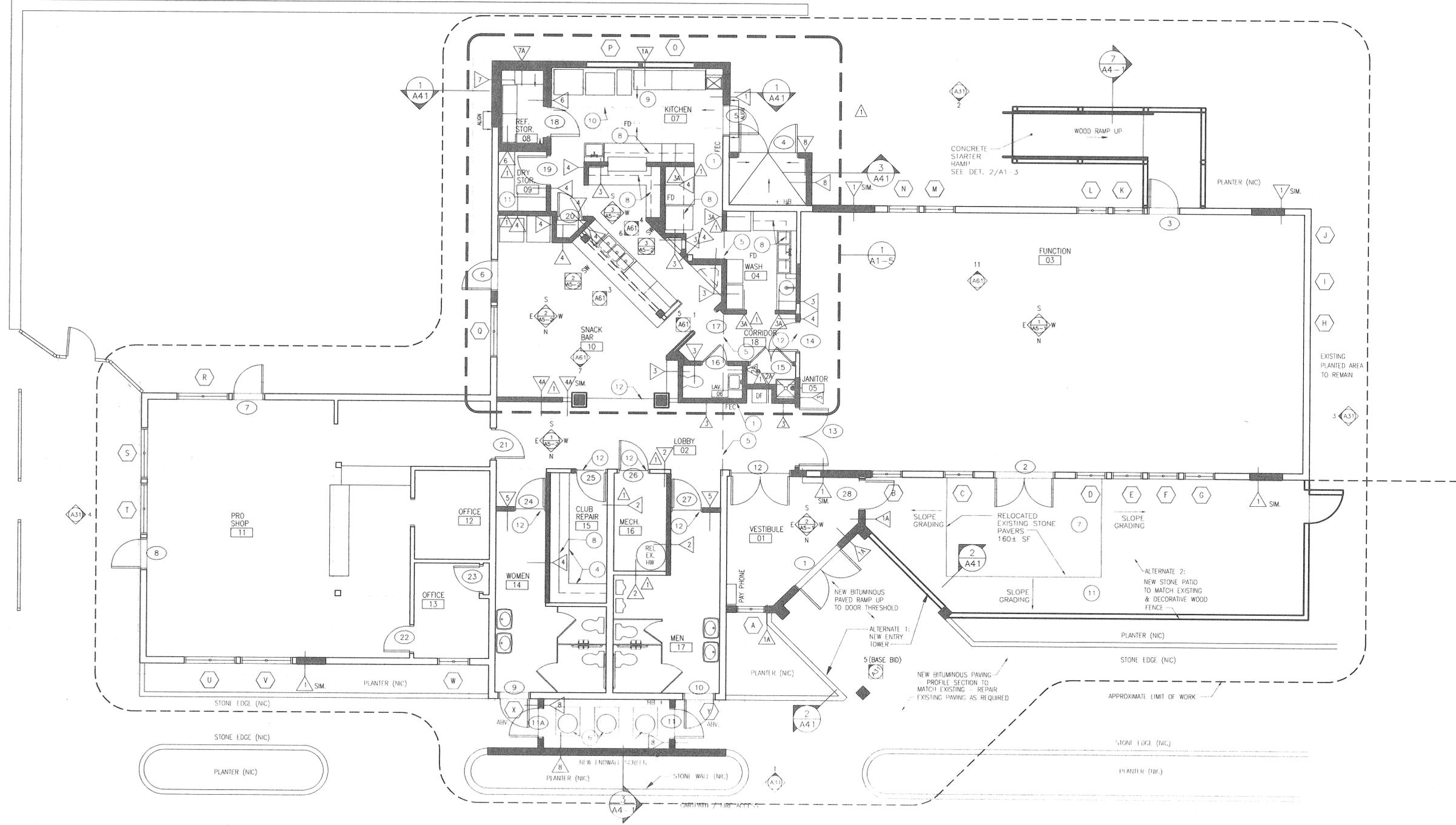
PROJECT TITLE / ADDRESS  
**BEAVER MEADOWS CLUBHOUSE ALTERATIONS**  
 BEAVER MEADOW ST.  
 CONCORD, NH.

DWG. NAME: 2502A1-2.DWG  
 XREF NAME: 2502B01-2.DWG  
 JOB NUMBER: 2502-1000  
 SCALE: AS SHOWN  
 DRAWN BY: P.M., L.P.  
 CHECKED BY: P.M., L.P.  
 ISSUE DATE: 01/09/2001

REVISIONS:  
 1. CHANGE TO SCREEN WALL DETAIL 01/09/2001  
 2. CHANGE TO SCREEN WALL DETAIL 01/09/2001  
 3. CHANGE TO SCREEN WALL DETAIL 01/09/2001

PRINT DATE: 01/09/2001  
 SHEET TITLE:  
**FLOOR PLAN, DETAILS & FOUNDATION PLAN**  
 SHEET NUMBER: 01 OF 22

A1-2

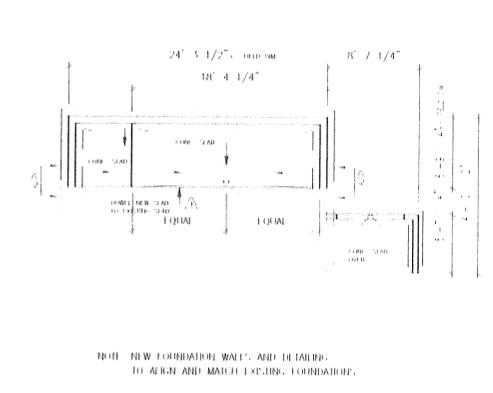


1 FLOOR PLAN  
 A1-2 @ 3/16" = 1'-0"

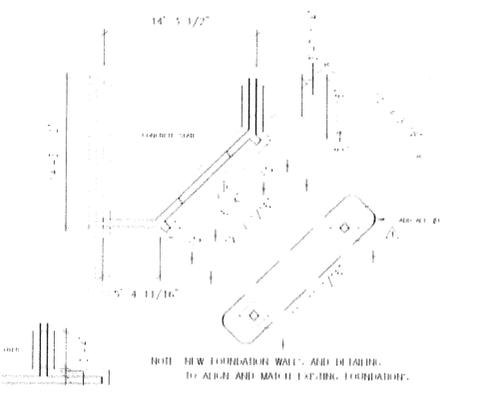
- PLAN NOTES**
- (1) (FEC) (-) 20 LB. ABC FIRE EXTINGUISHERS W/ RECESSED ADA CABINETS.
  - (2) GC SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DETAILS (E.G. FIRE ALARM STROBS) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
  - (3) NOT USED.
  - (4) MODIFY EXISTING OWNER SUPPLIED WORK BENCH TO FIT NEW CONDITIONS.
  - (5) PROVIDE NEW HEADER TO SUPPORT ROOF LOADS ABOVE.
  - (6) NEW HVAC EQUIPMENT, SEE MECHANICAL DWGS.
  - (7) RELOCATED EXISTING STONE PAVERS, PROVIDE SUB BASE AND INSTALLATION TO MATCH EXISTING SLOPE GRADING TO EXISTING GRADING BASE BID.
  - (8) SHELVES ABOVE EQUIPMENT / COUNTERTOPS.
  - (9) SEE SHEET A1-5 FOR EXPLANATION AND LAYOUT OF KITCHEN PLAN.
  - (10) RELOCATED EXISTING RANGE HOOD, SEE MECHANICAL PLANS, PROVIDE FIRE PROTECTION & HEAT SHIELD TO PROTECT WALL, AND CEILING ADJACENT TO HOOD PER CODE.
  - (11) FLOOR TO CEILING ADJUSTABLE SHELVING @ 15" O.C.
  - (12) TILE REDUCER STRIP - LOCATE AT CARPET TRANSITIONS.

**AREA CALCULATIONS**

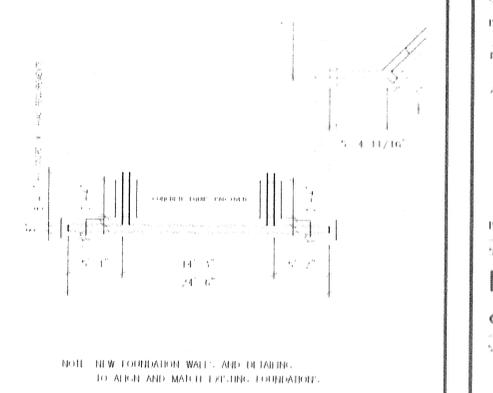
SUMMARY	
APPROXIMATE BUILDING SF CALCS.	
RENOVATED EXISTING SF	4063 SF
PROPOSED NEW BLDG. SF	449 SF
TOTAL SF	4512 SF
APPROXIMATE PATIO SF CALCS.	
EXISTING PATIO SF	2279 SF
PROPOSED NEW PATIO SF	601 SF
TOTAL SF	2880 SF



2 FOUNDATION PLAN-KITCHEN/CAN WASH  
 A1-2 1/8" = 1'-0"



3 FOUNDATION PLAN @ NEW VESTIBULE  
 A1-2 1/8" = 1'-0"



5 FOUNDATION PLAN @ SCREEN WALL  
 A1-2 1/8" = 1'-0"

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PROJECT TITLE / ADDRESS  
**BEAVER MEADOWS  
 CLUBHOUSE  
 ALTERATIONS**

**BEAVER MEADOW ST.  
 CONCORD, NH.**

DWG. NAME: 2302A1-3.DWG  
 XREF NAME: 2302REFP.DWG  
 JOB NUMBER: 2302.100  
 SCALE: 3/16"=1'-0"  
 DRAWN BY: DC, KM  
 CHECKED BY: JH, KM  
 ISSUE DATE: 01/09/2001

STAMP

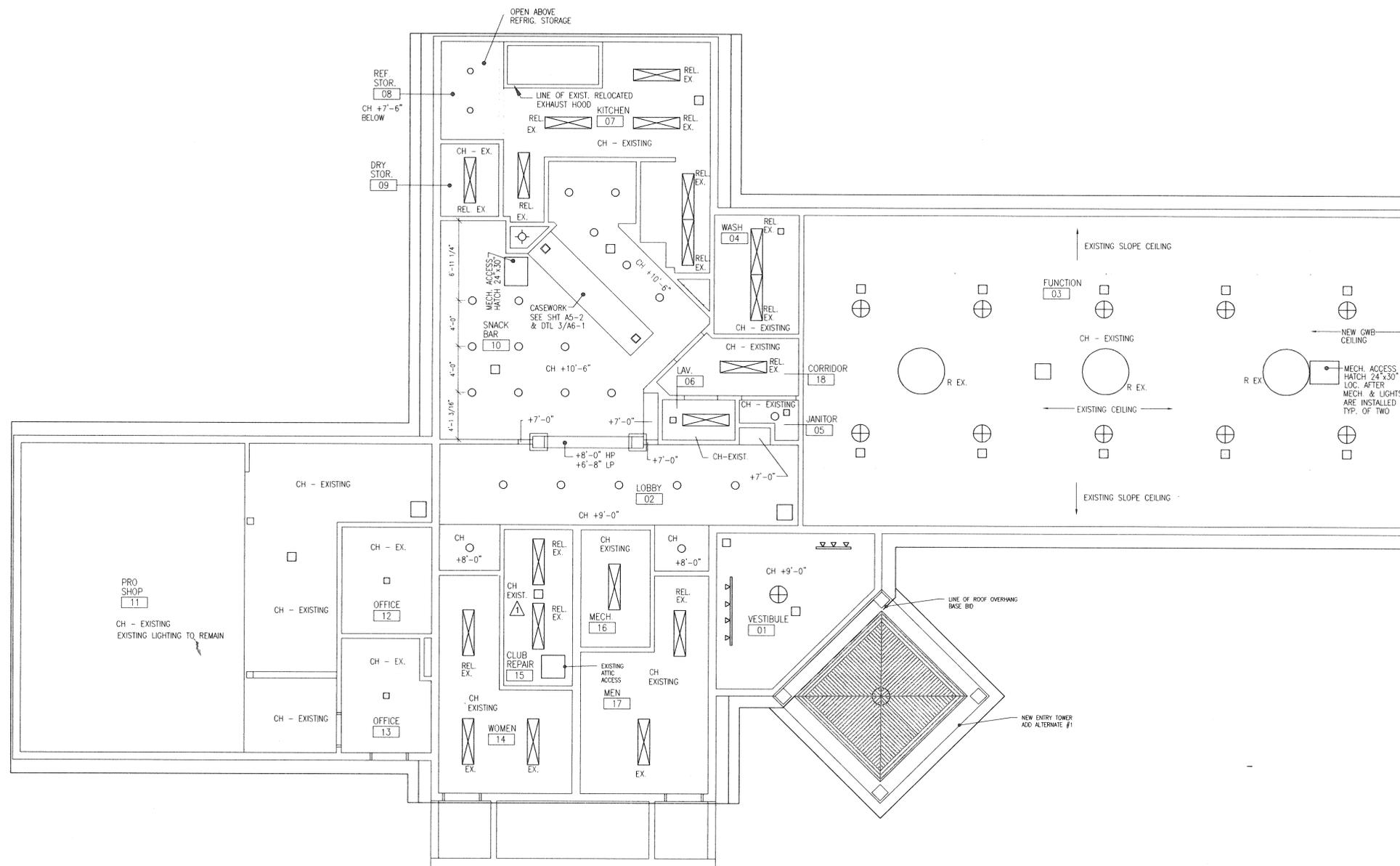
REVISIONS  
 1 ISSUED FOR CONSTRUCTION 01/09/2001  
 CLARIFICATION REVISIONS  
 CEILING REVISION

PRINT DATE 01/09/2001

SHEET TITLE  
**REFLECTED  
 CEILING PLAN**

SHEET NUMBER 10 OF 27

**A1-4**



1 REFLECTED CEILING PLAN  
 A1-4 @ 3/16"=1'-0"

BUILDING NORTH



TYPICAL PLAN NOTES

REFLECTED CEILING PLAN LEGEND

(SEE ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE)

- ⊕ PENDENT LIGHT FIXTURE
- REL. EX. [Symbol] RELOCATED EXIST. FLUORESCENT LIGHT FIXTURE, CLEAN & RELAMP
- EX. [Symbol] EXISTING FLUORESCENT LIGHT FIXTURE, CLEAN & RELAMP
- RECESSED CAN LIGHT FIXTURE
- R EX. [Symbol] RELOCATED EX. PADDLE FAN
- TRACK LIGHT FIXTURE
- ◇ UTILITY LIGHT FIXTURE

⊖ NOT USED  
 N.T.S.

⊖ NOT USED  
 N.T.S.

⊖ NOT USED  
 N.T.S.

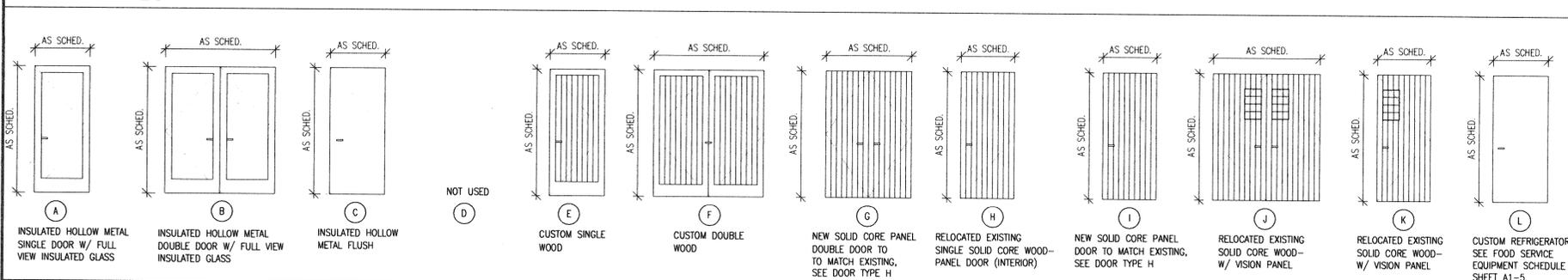


**DOOR SCHEDULE**

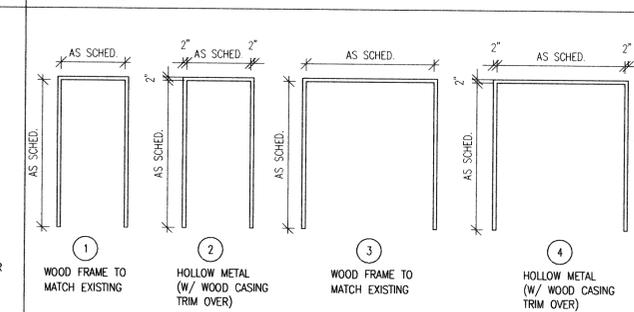
NUMBER	SIZE (NOM.)	DOOR MATERIAL	GLASS	DOOR TYPE / FRAME TYPE	FRAME MATERIAL	DOOR SILL	RATING	HARDWARE SET	FUNCTION	ROOM SIGN / TYPE	DOOR SIGNAGE	REMARKS
1	PR. 3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	B/4	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	1	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
2	PR. 3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	B/4	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	2	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
3	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	A/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
4	PR. 3'-0" X 7'-0"	CUSTOM SOLID CORE WOOD, PTD. #PT6	-	F/3 SIM.	WOOD, CUSTOM PTD. #PT6	-	-	4	HASP & LOCK	-	-	SIZE DOOR TO FIT WITHIN EXISTING WOOD TRIM, HEIGHT - SEE EXTERIOR ELEVATIONS
5	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	-	C/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
6	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	A/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
7	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	A/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
8	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	A/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
9	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	-	C/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
10	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	-	C/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	3	LOCKSET/ F91	-	EXIT, C	* WITH WOOD CASING TRIM OVER HOLLOW METAL FRAME.
11, 11A	3'-0" X 7'-0"	CUSTOM SOLID CORE WOOD, PTD. #PT6	-	E/1 SIM.	WOOD, CUSTOM PTD. #PT6	-	-	5	HASP & LOCK	-	-	SIZE DOOR TO FIT WITHIN EXISTING WOOD TRIM, HEIGHT - SEE EXTERIOR ELEVATIONS
12	PR. 3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	B/3	WOOD, PTD. #PT3	-	-	6	PUSH/ PULL	-	EXIT, C	-
13	EX. PR. 3'-0" X 6'-8"	EXISTING SOLID CORE WOOD, PTD. #PT3	EXISTING LEADED GLASS	J/3	WOOD, PTD. #PT3	-	-	6	PUSH/ PULL	FUNCTION ROOM, B	-	REPAIR EXISTING DOOR & FRAME AS REQUIRED & REPAIR, NEW FRAME & HARDWARE
14	EX. 3'-0" X 6'-8"	EXISTING SOLID CORE WOOD, PTD. #PT3	EXISTING LEADED GLASS	K/1	WOOD, PTD. #PT3	Q.T.	-	7	PUSH	KITCHEN, B	-	DOUBLE ACTING DOOR W/ SPRING HINGES, RELOCATED EXISTING DOOR, REPAIR DOOR AS REQ'D & REPAIR, NEW FRAME & HARDWARE.
15	PR. 2'-2" X 6'-8"	SOLID CORE WOOD, PTD. #PT3	-	G/1	WOOD, PTD. #PT3	Q.T.	-	8	DUMMY TRIM	JANITOR, B	-	-
16	2'-6" X 6'-8"	SOLID CORE WOOD, PTD. #PT3	-	I/1	WOOD, PTD. #PT3	Q.T.	-	9	PRIVACY/ F76	EMPLOYEE LAVATORY, B	-	-
17	3'-0" X 6'-8"	SOLID CORE WOOD, PTD. #PT3	-	I/1 SIM	WOOD, PTD. #PT3, SIM	-	-	10	POCKET DOOR	KITCHEN, B	-	POCKET DOOR
18	3'-0" X 6'-8"	MANUFACTURED REFRIGERATOR DOOR	-	L / BY MANUFACTURER	BY MANUFACTURER	-	-	11	REFRIGERATOR DOOR	COLD STORAGE, B	-	MANUFACTURER STANDARD DOOR & HARDWARE, SEE FOOD SERVICE SCHEDULE (SHEET A1-5)
19	EX. 3'-0" X 6'-8"	EX. SOLID CORE WOOD, PTD. #PT3	-	H/1	WOOD, PTD. #PT3	-	-	12	LOCKSET/ F84	DRY STORAGE, B	-	REPAIR EXISTING DOOR & FRAME AS REQUIRED & REPAIR, NEW HARDWARE AND FRAME.
20	2'-6" X 6'-8"	SOLID CORE WOOD, PTD. #PT3	-	I/1	WOOD, PTD. #PT3	-	-	12	LOCKSET/ F84	-	-	-
21	EXISTING	EXISTING SOLID CORE WOOD PTD. #PT3	EXISTING LEADED GLASS	K/1	EX. WOOD, PTD. #PT3	-	-	13	LOCKSET/ F91	PRO SHOP, B	-	REPAIR EXISTING DOOR & FRAME AS REQUIRED & REPAIR, NEW HARDWARE
22	EXISTING	EXISTING, PTD. #PT3	-	-	EXISTING, PTD. #PT3	-	-	14	LOCKSET/ F82	OFFICE, B	-	REPAIR EXISTING DOOR & FRAME AS REQUIRED & REPAIR, NEW HARDWARE
23	EXISTING	EXISTING, PTD. #PT3	-	-	EXISTING, PTD. #PT3	-	-	15	PASSAGE/ F75	-	-	REPAIR EXISTING DOOR & FRAME AS REQUIRED & REPAIR, NEW HARDWARE
24	EX. 3'-0" X 6'-8"	EXISTING SOLID CORE WOOD, PTD. #PT3	-	-	WOOD, PTD. #PT3	Q.T.	-	16	PUSH/ PULL	WOMEN, E	-	REPAIR EXISTING DOOR AS REQUIRED & REPAIR, NEW FRAME & HARDWARE
25	EX. 3'-0" X 6'-8"	EXISTING, PTD. #PT3	-	-	WOOD, PTD. #PT3	Q.T.	-	14	LOCKSET/ F82	CLUB REPAIR, B	-	REPAIR EXISTING DOOR AS REQUIRED & REPAIR, NEW FRAME & HARDWARE
26	3'-0" X 6'-8"	SOLID CORE WOOD, PTD. #PT3	-	I/1	MTL W/ WD TRIM, PTD. #PT3	Q.T.	1 HR. / 3/4 HR. DOOR	17	LOCKSET/ F86	MECHANICAL/ ELECTRICAL, B	-	3/4 HR. WOOD DOOR & FRAME, WITH WOOD CASING OVER HOLLOW METAL FRAME
27	EX. 3'-0" X 6'-8"	EXISTING SOLID CORE WOOD, PTD. #PT3	-	H/1	WOOD, PTD. #PT3	Q.T.	-	16	PUSH/ PULL	MEN, E	-	REPAIR EXISTING DOOR AS REQUIRED & REPAIR, NEW FRAME & HARDWARE
28	3'-0" X 6'-8"	INSULATED HOLLOW METAL, PTD. #PT3	MANUF. INSULATED FULL VIEW/ SAFETY	A/2	HOLLOW METAL, PTD. #PT3	ALUMINUM	-	18	LOCKSET/ F91	-	-	-

NOTES: 1. REPAIR & REPAINT EXISTING RELOCATED DOORS. 2. REPAIR/ REPLACE EXISTING DOOR FRAME AS REQUIRED. 3. ALL LOCKSET & PASSAGE SETS SHALL HAVE A.D.A. COMPLIANT LEVER HARDWARE. 4. PAINT EXTERIOR SIDE OF EXTERIOR DOORS AND FRAMES TO MATCH EXISTING WHITE COLOR (#PT6) PAINT INTERIOR SIDE OF EXTERIOR DOORS AND FRAMES AS INDICATED ON DOOR SCHEDULE. 5. PAINT INTERIOR DOORS AS INDICATED ON DOOR SCHEDULE. 6. EXTERIOR CAN STORAGE & CONDENSER DOORS PAINT BOTH SIDES WHITE #PT6.

**DOOR TYPES**



**FRAME TYPES**



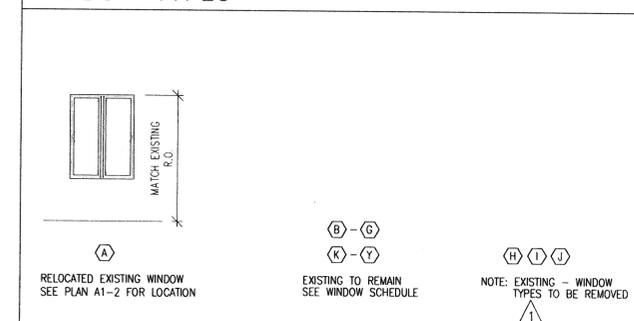
**HARDWARE SCHEDULE**

<p><b>HW Set 1</b> Door #1 Door Opening Shall Have 6 ea. Hinges 1 Lockset- Lever- F91 1 Dummy Trim- Lever 2 Flushbolts (Top &amp; Bottom) 2 Closers (Push Side) w/ Hold Open &amp; O.H. Stop 1 Set Weatherstripping (Double Door) 1 Aluminum Threshold (HC Compliant w/ Seal) 1 Astragal</p>	<p><b>HW Set 4</b> Door #4 6 ea. Hinges (Stainless Steel) 1 Hosp &amp; Lock 2 Cone Bolts</p>	<p><b>HW Set 9</b> Door #16 3 ea. Hinges 1 Privacy Lockset- Lever- F76 1 Set Silencers</p>	<p><b>HW Set 14</b> Door #22, 25 3 ea. Hinges 1 Lockset- Lever- F82 1 Wall Stop 1 Set Silencers Note: Provide Warning Strip on Lever @ Door #25</p>	<p><b>HW Set 18</b> Door #28 3 ea. Hinges 1 Lockset- Lever- F91 1 Set Weatherstripping 1 Aluminum Threshold (HC Compliant w/ Seal) 1 Closer (push side) w/ O.H. Stop &amp; Hold Open</p>
<p><b>HW Set 2</b> Door #2 Door Opening Shall Have 6 ea. Hinges 1 Lockset- Lever- F91 1 Dummy Trim- Lever 2 Flushbolts (Top &amp; Bottom) 2 Closers (Push Side) w/ Hold Open &amp; O.H. Stop 1 Set Weatherstripping (Double Door) 1 Aluminum Threshold (HC compliant w/ Seal) 1 Astragal</p>	<p><b>HW Set 5</b> Door #11, 11A 3 ea. Hinges (Stainless Steel) 1 Hosp &amp; Lock 1 Cone Bolt</p>	<p><b>HW Set 10</b> Door #17 1 Pocket Door Set 1 Set Door Pull/ Door Edge 1 Set Silencers</p>	<p><b>HW Set 15</b> Door #23 3 ea. Hinges 1 Passage Set- Lever- F75 1 Wall Stop 1 Set Silencers</p>	
<p><b>HW Set 3</b> Door #3, 5, 6, 7, 8, 9, 10 3 ea. Hinges 1 Lockset- Lever- F91 1 Set Weatherstripping 1 Aluminum Threshold (HC compliant w/ Seal) 1 Closer (Push Side)</p>	<p><b>HW Set 6</b> Door #12, 13 6 ea. Hinges 2 Push Pull Sets 2 Closers (Push Side) 1 Set Silencers Note: Provide metal edge strip at edge of tile under Door #12.</p>	<p><b>HW Set 11</b> Door #18 See Food Service Equipment Schedule</p>	<p><b>HW Set 16</b> Door #24, 27 3 ea. Hinges 1 Push/ Pull Set 1 Closer (Push Side) 1 Kick Plate (push side) 1 Set Silencers</p>	
	<p><b>HW Set 7</b> Door #14 3 ea. Spring Hinges 2 Push Sets 2 Kickplates (one each side)</p>	<p><b>HW Set 12</b> Door #19, 20 3 ea. Hinges 1 Lockset Lever, F84 1 Wall Stop 1 Set Silencers Note: 1. Omit Wallstop @ Door 20</p>	<p><b>HW Set 17</b> Door #26 3 ea. Hinges 1 Lockset- Lever- w/ Warning Strip on Lever- F86 1 Closer (push side) 1 Set Silencers</p>	
	<p><b>HW Set 8</b> Door #15 6 ea. Hinges 2 Dummy Trim- Lever- w/ Warning Strips 2 Magnetic Catches @ Door Head 1 Set Silencers</p>	<p><b>HW Set 13</b> Door #21 3 ea. Hinges 1 Lockset- Lever- F91 1 Closer (Push Side) 1 Set Silencers</p>		

**WINDOW SCHEDULE**

A	RELOCATED EXISTING CASEMENT WINDOW. R.O.H. TO MATCH EXISTING.
B, C, D, E, F, G, H, I, J, K, L, M, N	REPAIR EXISTING WINDOW HARDWARE AS REQUIRED TO RESTORE FULL OPERATION OF WINDOWS. REPAIR, REPLACE GLAZING AS REQUIRED & CLEAN EXISTING FIXED WINDOWS
O, P, Q, R, S, T, U, V, W, X, Y, Z	RELOCATE EXISTING WINDOWS IN NEW PARTITION TO MATCH EXISTING PREVIOUS LOCATION. REMOVED

**WINDOW TYPES**



**FINISH SCHEDULE**

ROOM #	ROOM NAME	FLOOR MATERIAL	FINISH	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	CEILING HEIGHT	REMARKS
01	VESTIBULE	CONCRETE	STONE TILE	6" RUBBER, COVE	*G.W.B., PTD. & WD. WAINSCOTING, PTD.	*G.W.B., PTD., #PT5	SEE REF. CLG. PLAN	*SEE INT. ELEV. FOR EXTENT OF WAINSCOT & OTHER FINISHES			
02	LOBBY	EX. CONCRETE	CARPET	6" RUBBER, STRAIGHT	*G.W.B., PTD. & WD. WAINSCOTING, PTD.	*G.W.B., PTD., #PT5	SEE REF. CLG. PLAN	*SEE INT. ELEV. FOR EXTENT OF WAINSCOT & OTHER FINISHES			
03	FUNCTION ROOM	EX. CONCRETE	CARPET	6" RUBBER, STRAIGHT	*G.W.B., PTD., W.C. #1, WOOD TRIM, PTD.	EX. G.W.B., PTD. #PT5	EXISTING	*SEE INT. ELEV. FOR EXTENT OF W.C. #1 & PTD. SURFACES, REPAIR EXISTING CLG. & MATCH EXISTING CLG. FINISH & PAINT.			
04	WASH	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT. PROVIDE M.R.G.W.B. @ NEW WALLS.
05	JANITOR	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT.
06	LAVATORY	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT.
07	KITCHEN	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT.
08	REFRIGERATED STORAGE	CONCRETE	Q.T.	6" RUBBER, COVE	PLASTIC COMPOSITION BOARD	PLASTIC COMPOSITION BOARD	PLASTIC COMPOSITION BOARD	PLASTIC COMPOSITION BOARD	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT.
09	DRY STORAGE	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR EXISTING CEILING AS REQUIRED, MATCH EXISTING FINISH & PAINT.
10	SNACK BAR	EX. CONCRETE	Q.T.	6" RUBBER, COVE	*G.W.B., PTD., W.C. #2, WOOD TRIM, PTD.	*G.W.B., PTD., #PT5	SEE REF. CLG. PLAN	*SEE INT. ELEV. FOR EXTENT OF W.C. #2 & PTD. SURFACES			
11	PRO SHOP	EX. CONCRETE	CARPET	6" RUBBER, STRAIGHT	EXISTING G.W.B., PTD. #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH			
12	OFFICE	EX. CONCRETE	CARPET	6" RUBBER, STRAIGHT	EXISTING G.W.B., PTD. #PT2	EX. G.W.B., PTD. #PT5	EXISTING	PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FLR. FINISH. REPAIR EX. CLG. & MATCH EX. CLG. FIN. & PAINT			
13	OFFICE	EX. CONCRETE	CARPET	6" RUBBER, STRAIGHT	EXISTING G.W.B., PTD. #PT2	EX. G.W.B., PTD. #PT5	EXISTING	PREPARE EXISTING CONCRETE FLOOR TO RECEIVE NEW FLR. FINISH. REPAIR EX. CLG. & MATCH EX. CLG. FIN. & PAINT			
14	WOMEN	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH
15	CLUB REPAIR	EX. CONCRETE	VCT.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH
16	MECHANICAL ROOM	EX. CONCRETE	VCT.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH
17	MEN	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH
18	CORRIDOR	EX. CONCRETE	Q.T.	6" RUBBER, COVE	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	G.W.B., PTD., #PT2	EX. G.W.B., PTD. #PT5	EXISTING	REPAIR AND REPAINT (#PT8) EXIST. METAL TOILET PARTITIONS, PREPARE EXISTING CONCRETE FLR. TO RECEIVE NEW FLR. FINISH

NOTES: 1. SEE MATERIAL LIST FOR SPECIFIC PRODUCT INFORMATION, IDENTIFICATION AND COLOR SELECTION REQUIREMENTS, SEE SHEET A0-2. 2. SEE INTERIOR ELEVATIONS SHEET A5-1 & A5-2 FOR PAINT COLOR SELECTION LOCATIONS. 3. WALLS ARE PAINTED PAINT COLOR P2 UNLESS OTHERWISE NOTED.

Sherman Greiner Halle Ltd.

ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS  
2 Capital Plaza, Concord, New Hampshire 03301 4911  
(603) 225-0640 (FAX) 225-0821  
Email: info@sghtd.com www.sghtd.com

01/09/2001  
ISSUED FOR CONSTRUCTION

CONSULTANTS  
Sue Bartlett - Interior Design  
P.O. Box 22, 31 So. Main Street  
Concord, NH 03301  
Ph. (603) 226-6688  
Fax (603) 226-0808

PROJECT TITLE / ADDRESS  
BEAVER MEADOWS  
CLUBHOUSE  
ALTERATIONS

BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME: 2302A2-1.DWG STAMP  
XREF NAME: bord.dwg  
JOB NUMBER: 2302.100  
SCALE: AS NOTED  
DRAWN BY: DC  
CHECKED BY: KM  
ISSUE DATE: 01/09/2001

REVISIONS  
ISSUED FOR CONSTRUCTION 01/09/2001  
CLARIFICATION REVISIONS, DOOR TYPE CLARIFIED, FIRE DOOR REV., WINDOW TYPE & HARDWARE SETS CLARIFIED.

PRINT DATE 01/09/2001  
SHEET TITLE  
SCHEDULES, DOOR & WINDOW TYPES  
SHEET NUMBER 12 OF 27

A2-1

230202-1.dwg 101600 11623



Sherman Greiner Halle' Ltd.

ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS  
 2 Capital Plaza, Concord, New Hampshire 03301 4911  
 (603) 225-0640 (FAX) 225-0621  
 Email: info@sghtd.com www.sghtd.com

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CONSULTANTS

Sue Bartlett - Interior Design  
 P.O. Box 22, 31 So. Main Street  
 Concord, NH 03301  
 Ph. (603) 226-6688  
 Fax (603) 226-0808

PROJECT TITLE / ADDRESS

BEAVER MEADOWS  
 CLUBHOUSE  
 ALTERATIONS

BEAVER MEADOW ST.  
 CONCORD, NH.

DWG. NAME: 2302AS-1.DWG

STAMP

XREF NAME: 2302REFIE.DWG

JOB NUMBER: 2302.100

SCALE: 1/4"=1'-0"

DRAWN BY: KM, DC

CHECKED BY: JH, KM

ISSUE DATE: 01/09/2001

REVISIONS  
 ISSUED FOR CONSTRUCTION 01/09/2001  
 CLARIFICATION REVISIONS

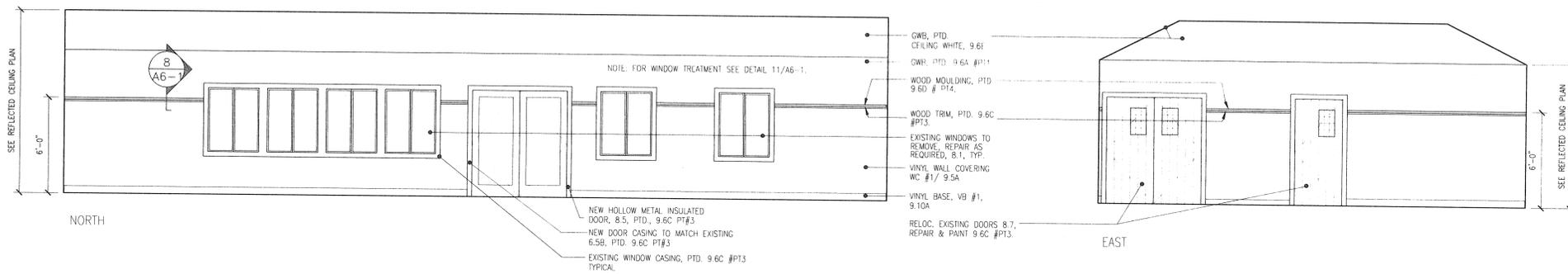
PRINT DATE 01/09/2001

SHEET TITLE  
 INTERIOR ELEVATIONS

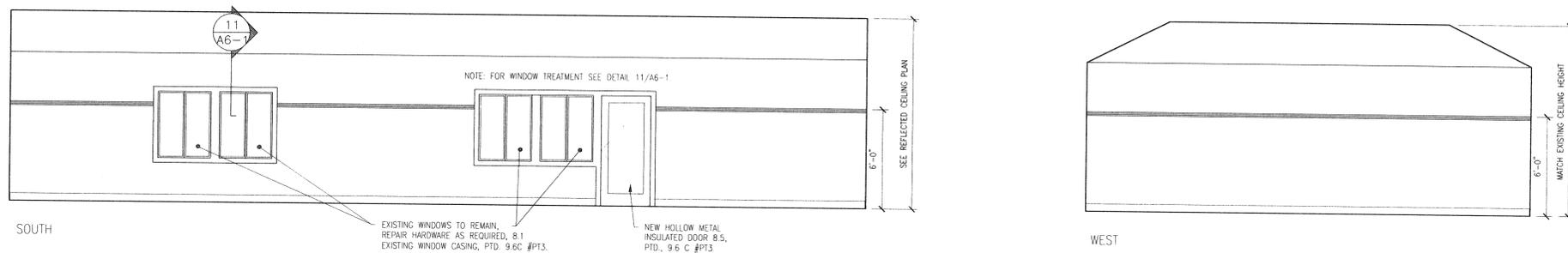
SHEET NUMBER 15 OF 27

A5-1

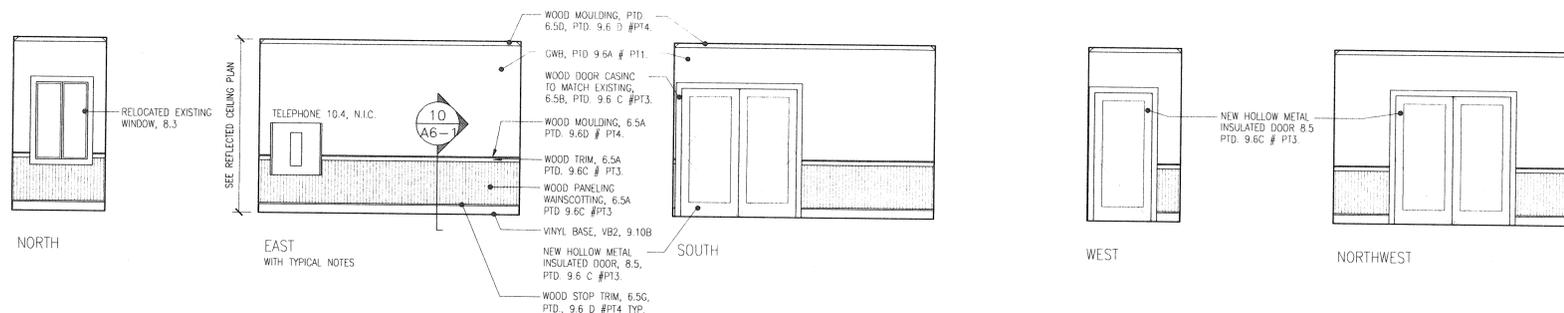
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1 FUNCTION ROOM  
 @ 1/4"=1'-0"



1 FUNCTION ROOM  
 @ 1/4"=1'-0"



2 VESTIBULE  
 @ 1/4"=1'-0"





01/09/2001  
 ISSUED FOR CONSTRUCTION

CONSULTANTS  
 Sue Bartlett - Interior Design  
 P.O. Box 22, 31 So. Main Street  
 Concord, NH 03301  
 Ph. (603) 226-6688  
 Fax (603) 226-0808

PROJECT TITLE / ADDRESS  
**BEAVER MEADOWS CLUBHOUSE ALTERATIONS**  
 SEWALLS FALLS RD.  
 CONCORD, NH.

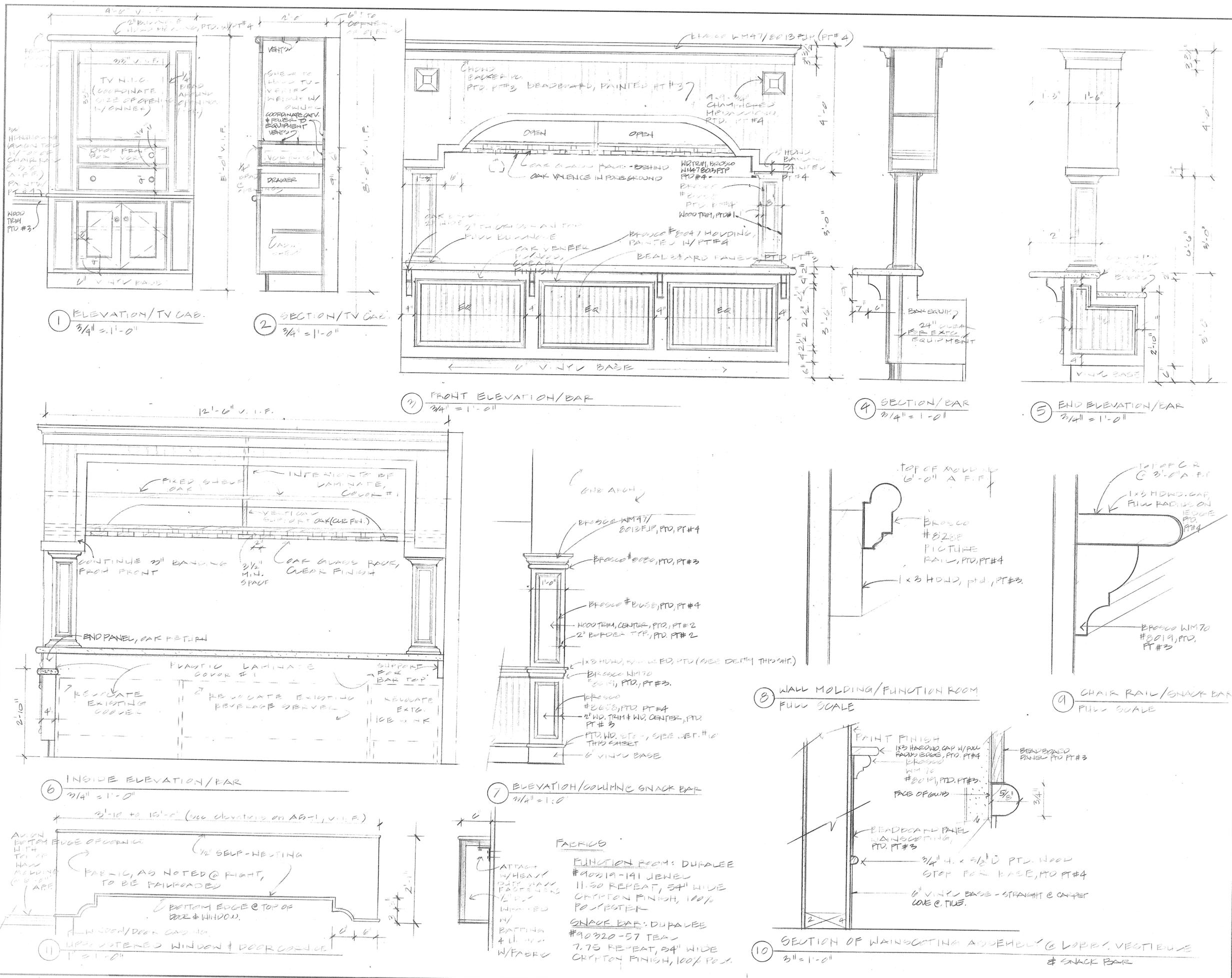
DWG. NAME: 2302A6-1.DWG STAMP  
 XREF NAME:  
 JOB NUMBER: 2302.100  
 SCALE: AS NOTED  
 DRAWN BY: SB  
 CHECKED BY: JH, KM  
 ISSUE DATE: 01/09/01

REVISIONS  
 1 ISSUED FOR CONSTRUCTION  
 2 CLARIFICATION REVISIONS - FINISHES, CROWN

PRINT DATE: 01/09/2001  
 SHEET TITLE: DETAILS

SHEET NUMBER 17 OF 27

A6-1





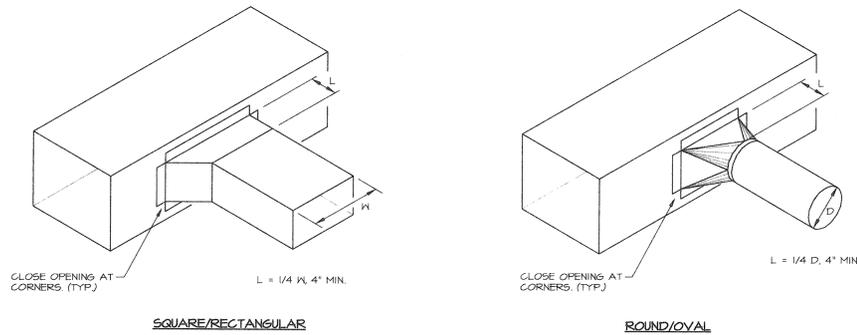
AIR COOLED CONDENSER SCHEDULE 45° F AMBIENT AIR												
UNIT NO.	LOCATION	CAPACITY TONS	CONDENSER				COMPRESSOR				DESIGN EQUIPMENT	
			NO. OF FANS	RPM	HP	VOLTS	PHASE	NO. OF STAGES	KVA	VOLTS		PHASE
ACC1	AS SHOWN	5 TONS	1	840	1/4	240	1	1	5	240	1	LENNOX H514 - 651 (SEER 12.0)
ACC2	AS SHOWN	5 TONS	1	840	1/4	240	1	1	5	240	1	LENNOX H514 - 651 (SEER 12.0)
ACC3	AS SHOWN	1-1/2 HP	2	1075	1/8	240	1	1	1-1/2 HP	240	1	TRENTON 'ES150H2 - H52' W/ BONN 'AD104' 35 deg F REFR. **

\*\* PROVIDE COMPLETE WITH REFRIGERANT ACCESSORIES, COMPLETE THERMOSTAT CONTROL SYSTEM, DEFROST CYCLE TIMER, AND CRANKCASE HEATER.

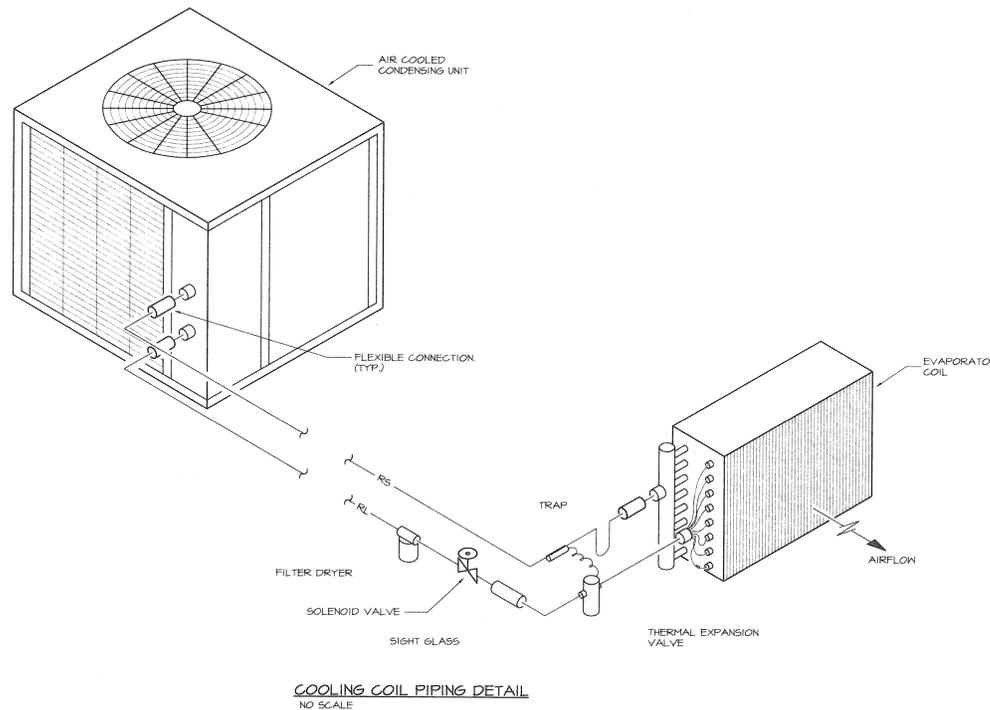
FAN SCHEDULE																	
UNIT NO.	LOCATION	SERVICE	TYPE	CFM	S.P.	FAN DIA.	BLADE TYPE	FAN RPM	DRIVE	ROTATION DISCHARGE	MOTOR					DESIGN EQUIPMENT	
											RPM	HP	VOLTS	PHASE	STARTER		PILOT LIGHT
EF1	AS SHOWN	TLT. EXHAUST	CEILING	75	0.15'	6"Ø	CENT.	1200	DIRECT	--	1200	60 W	120	1Ø	C MAG.	NO	COOKE "LITTLE GEM - 11"

AIR HANDLING UNIT SCHEDULE																								
UNIT NO.	LOCATION	SERVICE	CFM STD AIR	MIN O.A. CFM	S.P. IN W.G.		O.V. FPM	FAN RPM	FAN NO. AND MIN. DIA.	HEATING COIL				COOLING COIL				DESIGN EQUIPMENT						
					EXT	TOTAL				EAT °F	LAT °F	INPUT MBH	INLET PRES PSIG	E.A.T. DB F	L.A.T. DB F	TOTAL TONS								
F-1	AS SHOWN	DINING	1800	180	0.70	-	-	MED/HIGH	11-1/2"	MED/HIGH	3/4	240	1	C MAG	54	III	120	6.0" WC	74	65	56.7	55.3	5 TONS	LENNOX 6HR26G4/5 - 120 (AFUE 90%)
F-2	AS SHOWN	PRO SHOP	1875	180	0.70	-	-	MED/HIGH	11-1/2"	MED/HIGH	3/4	240	1	C MAG	54	III	120	6.0" WC	74	65	56.7	55.3	5 TONS	LENNOX 6HR26G4/5 - 120 (AFUE 90%)

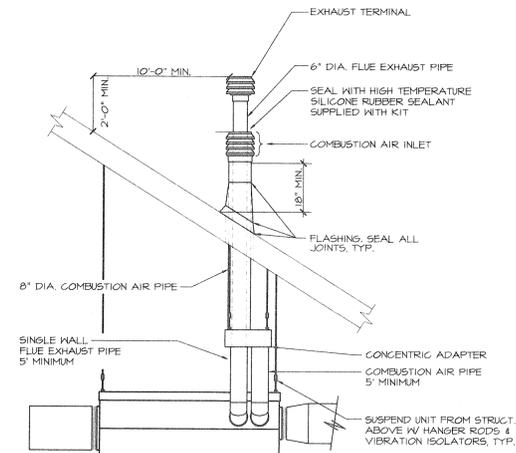
HVAC SYMBOL LIST	
ALL SYMBOLS ARE NOT NECESSARILY USED	
---LPS---	LOW PRESSURE STEAM
---LPC---	LOW PRESSURE CONDENSATE
---MPS---	MEDIUM PRESSURE STEAM
---MPC---	MEDIUM PRESSURE CONDENSATE
---HPS---	HIGH PRESSURE STEAM
---HPC---	HIGH PRESSURE CONDENSATE
---HWS---	HOT WATER SUPPLY
---HWR---	HOT WATER RETURN
---HPWS---	HEAT PUMP WATER SUPPLY
---HPWR---	HEAT PUMP WATER RETURN
---CWS---	CHILLED WATER SUPPLY
---CWR---	CHILLED WATER RETURN
---GS---	GLYCOL SUPPLY
---GR---	GLYCOL RETURN
---CS---	CONDENSER WATER SUPPLY
---CR---	CONDENSER WATER RETURN
---PC---	PUMPED CONDENSATE
---BF---	BOILER FEED
---BBD---	BOILER BLOW DOWN
---D---	DRAIN
---AV---	ATMOSPHERIC VENT
---VAC---	VACUUM
---RD---	REFRIGERANT DISCHARGE
---RL---	REFRIGERANT LIQUID
---RS---	REFRIGERANT SUCTION
---RHS---	REFRIGERANT HOT GAS
---A---	COMPRESSED AIR
---G---	GAS
---FOS---	FUEL OIL SUPPLY
---FOR---	FUEL OIL RETURN
---FOV---	FUEL OIL VENT
---FOF---	FUEL OIL FILL
---FOG---	FUEL OIL GAUGE
---DCW---	DOMESTIC COLD WATER (CW)
---D---	DIRECTION OF FLOW
---R---	REDUCER
---C---	CAP OR PLUG
---BCT---	BOTTOM CONNECTION/TURN AWAY
---TCT---	TOP CONNECTION/TURN TOWARDS
---U---	UNION (OR FLANGE)
---V---	VALVE (SHUT OFF)
---GV---	GLOBE VALVE
---CV---	CHECK VALVE
---C2V---	CONTROL VALVE (2-WAY)
---C3V---	PRESSURE RELIEF VALVE
---C4V---	CONTROL VALVE (3-WAY)
---TV---	TRIPLE DUTY VALVE
---PRV---	PRESSURE REDUCING VALVE
---BC---	BALANCING COCK
---FB---	FLOW BALANCER
---S---	STRAINER
---TTA---	THERMOSTATIC TRAP ASSEMBLY
---FTT---	FLOAT & THERMOSTIC TRAP ASSEMBLY
---BTA---	BUCKET TRAP ASSEMBLY
---TNT---	THERMODYNAMIC TRAP
---T---	THERMOMETER
---PG---	PRESSURE GAUGE
---AV---	AIR VENT
---TMC---	THERMOMETER/TEST/CONTROL WELL
---PUR---	PIPE PITCH UP/LINE RISE
---PDR---	PIPE PITCH DOWN/LINE DROP
---FTE---	FINNED TUBE RADIATION ELEMENT
---MWE---	WALL TO WALL FIN TUBE ENCLOSURE
---TSR---	TRANSITION-SQUARE TO ROUND
---SDS---	SUPPLY DUCT SECTION
---RDS---	RETURN OR EXHAUST DUCT SECTION
---RDR---	ROUND DUCT SECTION
---FD---	FIRE DAMPER
---BD---	BACKDRAFT DAMPER
---SD---	SMOKE DAMPER
---VD---	VOLUME DAMPER
---MD---	MANUAL DAMPER
---MOD---	MOTOR OPERATED DAMPER
---CFM---	CUBIC FEET/MINUTE
---FPM---	FEET/MINUTE
---NTS---	NOT TO SCALE
---DSD---	DUCT SMOKE DETECTOR
---TSD---	THOUSAND BTU/HOUR
---E---	EXISTING
---T---	THERMOSTAT
---T1---	ELECTRIC THERMOSTAT
---T2---	WITH MULTIPLE SET POINTS
---T3---	WITH A GUARD
---T4---	TEMPERATURE SENSOR
---T5---	STATIC PRESSURE SENSOR
---H---	HUMIDISTAT
---UCD---	UNDERCUT DOOR (1" BY THE G.C.)
---LD---	LOUVERED DOOR, INDICATES SQ. FT. FREE AREA
---A---	AIR FLOW
---L---	ACOUSTIC THERMAL LINING
---S---	SOUND ATTENUATOR
---X---	WORK TO BE REMOVED
---N---	NEW TO EXISTING CONNECTION
---R---	REGISTER, DIFFUSER, OR GRILLE DESIGNATION



TYPICAL BRANCH CONNECTION DETAIL  
NO SCALE



COOLING COIL PIPING DETAIL  
NO SCALE



GAS FIRED FURNACE FLUE DETAIL  
NOT TO SCALE

- NOTES:
1. LOCATE WEATHER GAP MIN. 2'-0" ABV. ANY PORTION OF ROOF WITHIN 10'-0".
  2. PROVIDE ROOF OPENING, FRAMING AND LOCATION, SETTING AND SECURING OF FLASHING.
  3. PROVIDE VENTING IN COMPLIANCE WITH MANUFACTURERS REQUIREMENTS.

Sherman Greiner Holle' Ltd.

ARCHITECTS - LANDSCAPE ARCHITECTS - PLANNERS  
2 Capital Plaza, Concord, New Hampshire 03301 4911  
(603) 225-0640 (FAX) 225-0621  
Email: info@sghtd.com www.sghtd.com

10/30/2000  
BIDDING DOCUMENTS  
NOT FOR CONSTRUCTION

CONSULTANTS

wv engineering associates  
pa

0012

mechanical electrical consulting engineers  
po box 764 keene, new hampshire 03431  
603 352 7007 fax 352 7005

www.wvengineering.com

PROJECT TITLE / ADDRESS

BEAVER MEADOWS  
CLUBHOUSE  
ALTERATIONS

BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME:	STAMP
XREF NAME:	
JOB NUMBER: 2302.100	
SCALE: AS SHOWN	
DRAWN BY: MAM	
CHECKED BY: MDV	
ISSUE: BIDDING	
ISSUE DATE: 10/30/00	

REVISIONS	

PRINT DATE 10/30/2000

SHEET TITLE  
MECHANICAL  
DETAILS & SCHEDULES

SHEET NUMBER OF

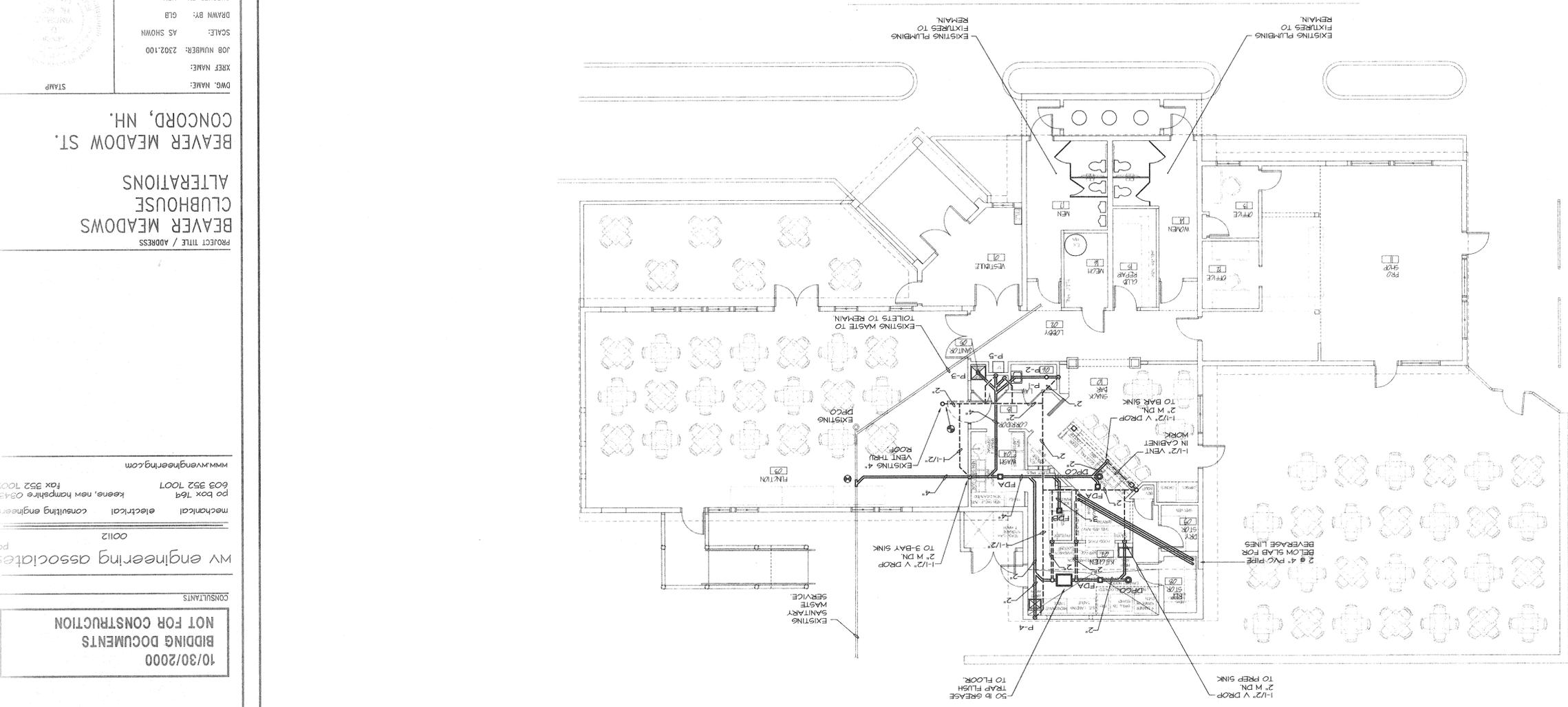
M-2

REVISIONS

NOTE: REMOVE EXISTING PLUMBING FIXTURES EXCEPT WHERE SHOWN TO REMAIN. REMOVE AND CAP ASSOCIATED WASTE AND VENT PIPING.

SCALE: 1/8" = 1'-0"

FIRST FLOOR PLUMBING WASTE & VENT PLAN



EXISTING SANITARY WASTE SERVICE

EXISTING TOILETS TO REMAIN

EXISTING WASTE TO REMAIN

EXISTING PLUMBING FIXTURES TO REMAIN

EXISTING PLUMBING TO REMAIN

EXISTING PLUMBING TO REMAIN

EXISTING PLUMBING TO REMAIN

EXISTING PLUMBING TO REMAIN



REVISIONS  
JOB NUMBER: 2302100  
XREF NAME:  
DWG. NAME: STAIR  
SCALE: AS SHOWN  
DRAWN BY: GJB  
CHECKED BY: MDV  
ISSUE: BDDMG  
ISSUE DATE: 10/30/00

PROJECT TITLE / ADDRESS  
BEAVER MEADOWS CLUBHOUSE ALTERATIONS  
BEAVER MEADOW ST.  
CONCORD, NH.

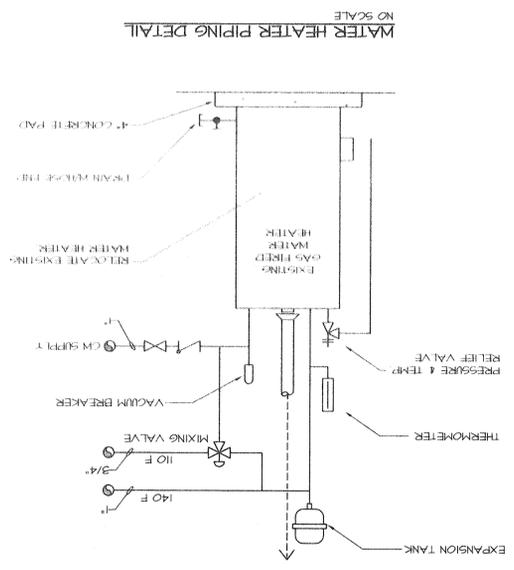
mechanical electrical consult  
603 352 7007  
po box 769  
keene, new hamp  
www.mvengineering.com

mv engineering asso  
00112

CONSULTANTS  
10/30/2000  
BIDDING DOCUMENTS  
NOT FOR CONSTRUCTION

Architects: LANDSCAPE ARCHITECTS  
2 Capital Plaza, Concord, New Hampshire  
(603) 225-0640 (FAX) 225-  
Email: info@sghtd.com www.sgh

Sherrin Greiner Ha



HVAC SYMBOL LIST  
ALL SYMBOLS ARE NOT NECESSARILY USED

SYMBOLS	DESCRIPTION	ABBREVIATION
SM	SAINTARY SOIL AND WASTE ABOVE GROUND	SM
SM	SAINTARY SOIL AND WASTE BELOW GROUND/SLAB	SM
V	SAINTARY VENT	V
CM	COLD WATER	CM
HM	HOT WATER	HM
HMR	HOT WATER RECIPIE	HMR
GV	GATE VALVE	GV
BV	BALL VALVE	BV
CV	CHECK VALVE	CV
GLV	GLOBE VALVE (BALANCING VALVE)	GLV
FRV	PRESSURE REDUCING VALVE	FRV
WM	WATER METER	WM
CDROP, DN	PIPING DROP OR DOWN THROUGH FLOOR	CDROP, DN
RISE, UP	PIPING RISE OR UP THROUGH CEILING	RISE, UP
CO	CLEANOUT	CO
WCO	WALL CLEANOUT	WCO
CDOP	CLEANOUT DECK FLATE	CDOP
FD, RD	FLOOR OR ROOF DRAIN	FD, RD
MHA	WATER HAMMER ARRESTER	MHA
LP, NG	LP OR NATURAL GAS	LP, NG
PTV	PRESSURE & TEMPERATURE RELIEF VALVE	PTV
RV	PRESSURE RELIEF VALVE	RV
STRAINER	STRAINER	STRAINER
UNION	UNION	UNION
PG	PRESSURE GAUGE	PG
TH	THERMOMETER	TH

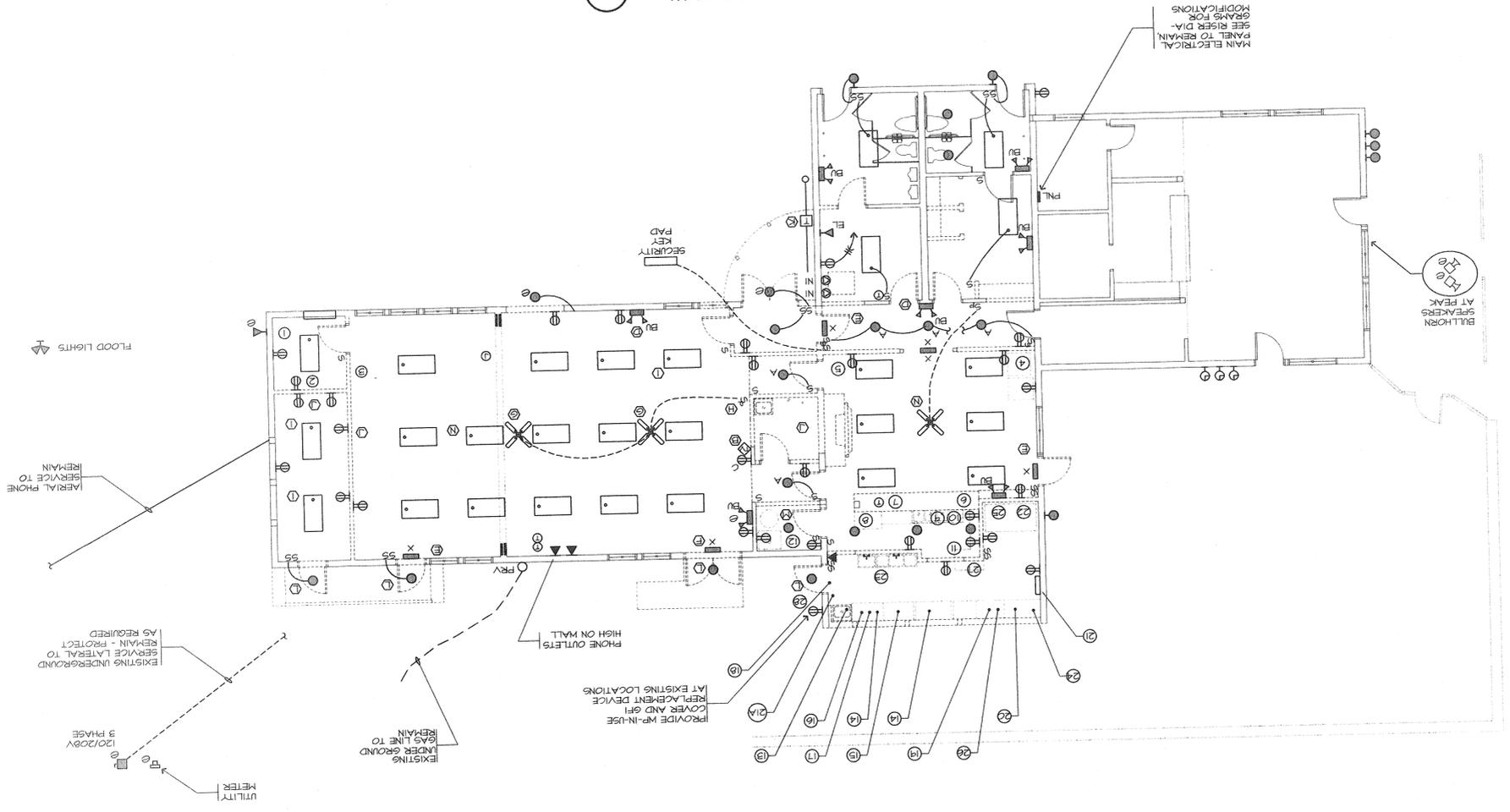
FIXTURE CONNECTION SCHEDULE

SYMBOL	FIXTURE	SUP	TRP	WASTE VENT	COLD	HOT	REMARKS
P-1	WATER CLOSET	1"	-	4"	2"	1-1/4"	FLOOR MOUNTED HC
P-2	LAVATORY	3/8"	1-1/4"	1-1/2"	1/2"	1/2"	WALL HANG
P-3	JANITORS SINK	1/2"	2"	1-1/2"	1/2"	1/2"	
P-4	SINK	3/8"	1-1/4"	1-1/2"	1/2"	1/2"	FURNISHED WITH KITCHEN EQUIP.
P-5	WATER COOLER	3/8"	1-1/4"	1-1/2"	1/2"	1/2"	

KITCHEN EQUIPMENT CONNECTION SCHEDULE

ITEM	EQUIPMENT	MINIMUM BRANCH SIZE	LP GAS	WASTE VENT	VENT SIZE	LOAD (BTU)	REMARKS
	PREP SINK	1/2"	2"	1-1/2"	1/2"		
	3 BAY SINK	3/4"	2"	1-1/2"	1/2"		WITH SPRAYER AND DISHWASHER
	BAR SINK	1/2"	1-1/2"	1-1/2"	1/2"		
	RANGE/OVEN	3/4"	60,000 BTU/HR				
	GRILLE	3/4"	60,000 BTU/HR				
	FRIOLATOR	3/4"	60,000 BTU/HR				





- EQUIPMENT - RELOCATED UNLESS NOTED OTHERWISE (SEE A1-5)
- 1 CHEST FREEZER
  - 2 UPRIGHT REFRIGERATOR - RESIDENTIAL TYPE
  - 3 UPRIGHT REFRIGERATOR - 2 DOOR REACH IN - OLD
  - 4 BEVERAGE REACH IN - UPRIGHT
  - 5 PORTABLE HOT DOG STATION - STEAMER AND HOT POT FOR SOUP
  - 6 CASH REGISTER - NO PHONE LINE NEEDED - 120 VOLT
  - 7 BUINN - 2 BURNER COFFEE MAKER - 1200, 119 WATTS
  - 8 REACH IN BEER COOLER
  - 9 3-BOWL - BAN SINK - 3 DRAIN - ONE FAUCET - DIRECT CONNECTION
  - 10 1-BOWL - STAND ALONE - BAR SINK - INDIRECT DRAIN (10-A) EXISTING FLUSH FLOOR DRAIN - HAS SINK INDIRECT, BEER TAP DRIP PAN DRAIN, SODA DRAIN
  - 11 BUB JUICE COOLER - 120 VOLT
  - 12 REACH IN FREEZER - 120 VOLT
  - 13 PRESENT HAND SINK - TO BE RELOCATED AS VEGGIE SINK - INDIRECT WASTE
  - 14 TABLE
  - 15 SANDWICH COOLER / PREP STATION
  - 16 COOKIE MICROWAVE
  - 17 MICROWAVE
  - 18 RADIO
  - 19 GAS CHARBROIL
  - 20 GAS RANGE
  - 21 ANSUL SYSTEM BOX (21A) FULL STATION
  - 22 BEER KE6 COOLER - WILL BE REPLACED
  - 23 3-BOWL SINK WITH SWING ARM FAUCET, ONE DRAIN BOARD ON LEFT
  - 24 HOOD - STAINLESS WITH SUPPRESSION SYSTEM AND LIGHT
  - 25 INTAKE FOR HOOD ABOVE
  - 26 EXHAUST UP TO FAN
  - 27 PANEL - REPLACE
  - 28 EXTERIOR SODA MACHINE

**ELECTRICAL DEMOLITION PLAN**  
SCALE: 1/8" = 1'-0"



- ELECTRICAL DEMOLITION NOTES**
- A - REMOVE INCANDESCENT DOWNLIGHTS
  - B - REMOVE HIGH TV CABLE OUTLET - RELOCATE TO 18" AFF - PATCH
  - C - REMOVE HIGH 120 VOLT OUTLET - PATCH - RELOCATE TO 18" AFF
  - D - REPLACE BATTERY UNITS - NOT IN OPERATING CONDITION
  - E - REPLACE EXIT SIGN - NOT IN OPERATING CONDITION
  - F - REMOVE/DISCARD EXISTING EXIT SIGN - NOT IN OPERABLE CONDITION
  - G - RETAIN EXISTING 3 BLADE WHITE INDUSTRIAL TYPE PADDLE FANS - RELOCATE AS SHOWN
  - H - RELOCATE FLUSH WALL MOUNTED, ROTARY FAN CONTROL
  - I - REMOVE/STORE ON-SITE/CLEAN - REINSTALL AS SHOWN - EXISTING 4-LAMP REPARAOUND FIXTURES
  - J - REMOVE ALL WIRING WITHIN EXISTING WALLS SCHEDULED TO BE REMOVED
  - K - PHONE COMPANY TO REMOVE/REINSTALL PAY PHONE EXISTING EXTERIOR LIGHT TO REMAIN - LOCAL SWITCH
  - L - P.C. TO RELOCATE DOMESTIC WATER HEATER WIRING 75 GALLON - 51000 BTU - GAS FIRED - SEE MECHANICAL SHEETS
  - M - REMOVE EXISTING 3-BLADE FAN AND CONTROLS, RELOCATE PADDLE FAN TYPE METAL SUPPORT BOX AND SUPPORT BRACKET
  - N - REMOVE EXISTING 3-BLADE FAN AND CONTROLS, RELOCATE TO FUNCTION ROOM COORDINATE ON SITE. PROVIDE PADDLE FAN TYPE METAL SUPPORT BOX AND SUPPORT BRACKET

FLOOD LIGHTS

AERIAL PHONE REMAIN SERVICE TO REMAIN

EXISTING UNDERGROUND GAS LINE TO 120/200V 3 PHASE UTILITY METER

EXISTING UNDERGROUND GAS LINE TO REMAIN

PHONE OUTLETS HIGH ON WALL

PROVIDE WP-IN-USE COVER AND GFI REPLACEMENT DEVICE AT EXISTING LOCATIONS

10/30/2000  
BIDDING DOCUMENTS  
NOT FOR CONSTRUCTION

CONSULTANTS

wv engineering associates

00112

mechanical electrical consulting engineers

po box 769 keene, new hampshire 03431

603 352 7007 fax 352 7005

www.wvengineering.com

PROJECT TITLE / ADDRESS

BEAVER MEADOWS  
CLUBHOUSE  
ALTERATIONS

BEAVER MEADOW ST.  
CONCORD, NH.

DWG. NAME:

STAMP

XREF NAME:

JOB NUMBER: 2302.100

SCALE: AS SHOWN

DRAWN BY: WRW

CHECKED BY: WRW

ISSUE: BIDDING

ISSUE DATE: 10/30/00

REVISIONS

PRINT DATE 10/30/2000

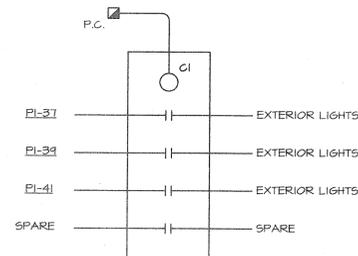
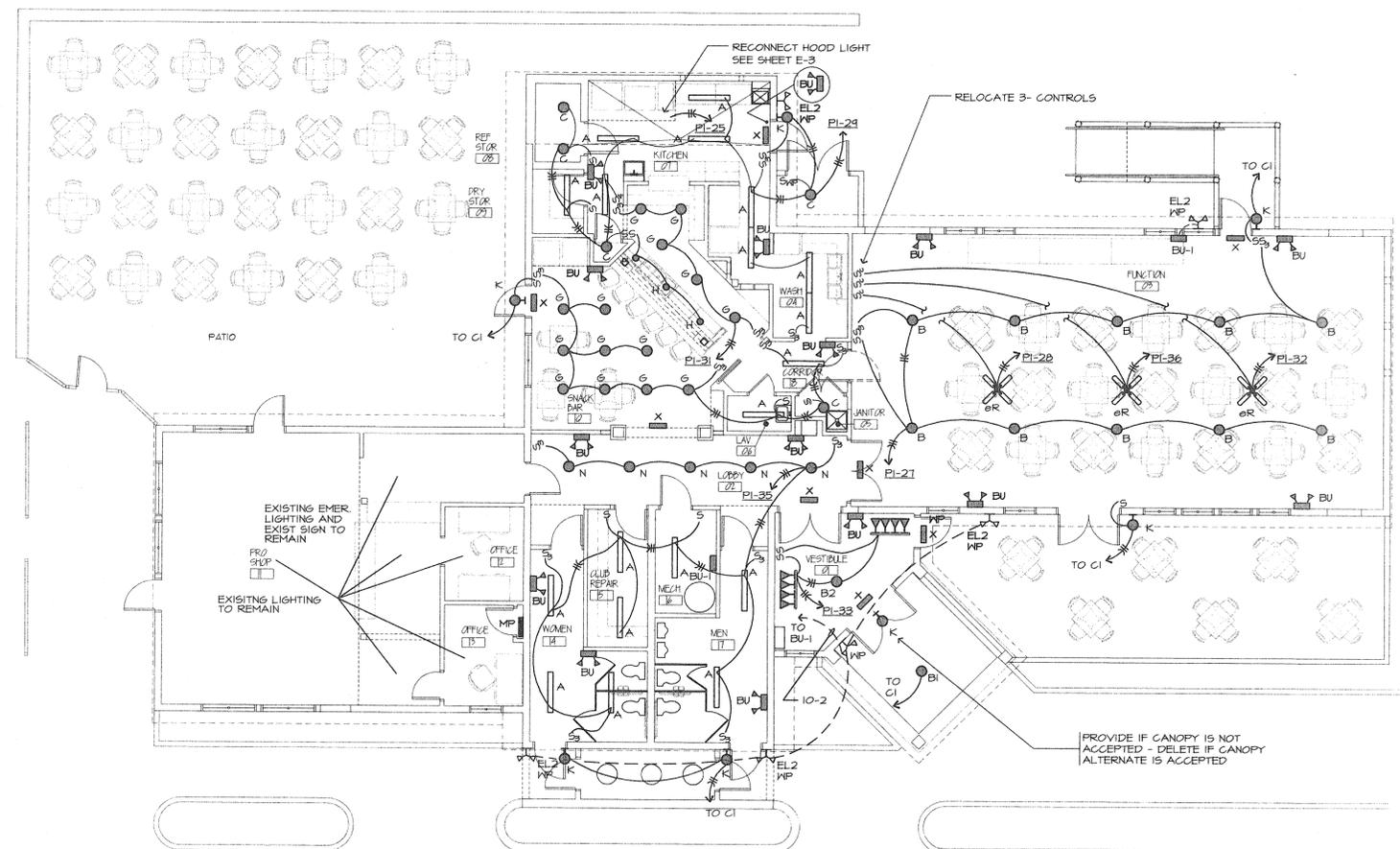
SHEET TITLE

LIGHTING  
FLOOR PLAN

SHEET NUMBER 25 OF

E-2

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EXTERIOR LIGHTING DIAGRAM  
NOT TO SCALE

LIGHTING FLOOR PLANS  
SCALE: 1/8" = 1'-0"



EMERGENCY AND EXIT LIGHTING WIRING NOTES

1. WIRE BATTERY UNITS IN EACH ROOM OR CORRIDOR TO LOCAL LIGHTING CIRCUIT SERVING THAT AREA - AHEAD OF LOCAL OR CENTRAL SWITCHING
2. WIRE SELF CONTAINED EXIT SIGNS IN EACH ROOM OR CORRIDOR TO LOCAL LIGHTING CIRCUIT SERVING THAT AREA - AHEAD OF LOCAL OR CENTRAL SWITCHING
3. INDICATE CIRCUITRY ON RECORD DRAWINGS

10/30/2000  
 BIDDING DOCUMENTS  
 NOT FOR CONSTRUCTION

CONSULTANTS  
 wv engineering associates  
 00112

mechanical electrical consulting engineers  
 po box 764 keene, new hampshire 03428  
 603 352 7007 fax 352 7007  
 www.wvengineering.com

PROJECT TITLE / ADDRESS  
 BEAVER MEADOWS  
 CLUBHOUSE  
 ALTERATIONS

BEAVER MEADOW ST.  
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DWG. NAME:  
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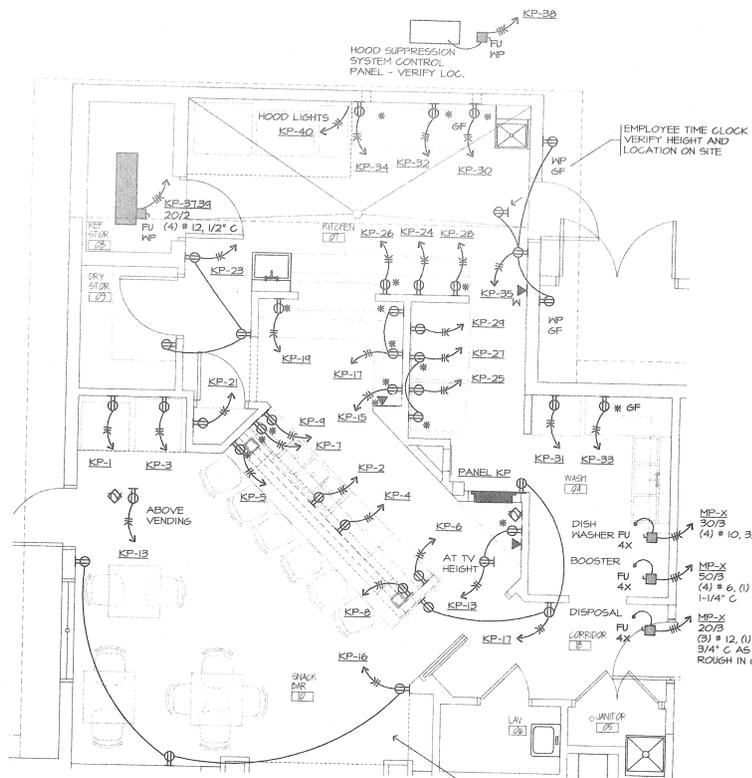
REVISIONS

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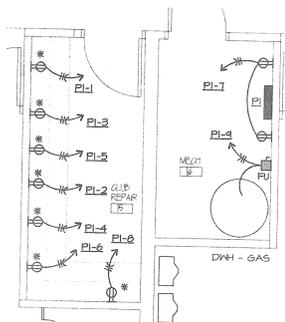
SHEET TITLE  
 POWER  
 FLOOR PLAN

SHEET NUMBER: 26 OF

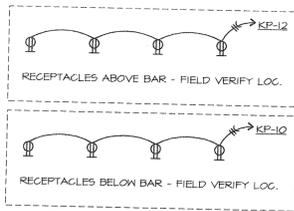
E-3



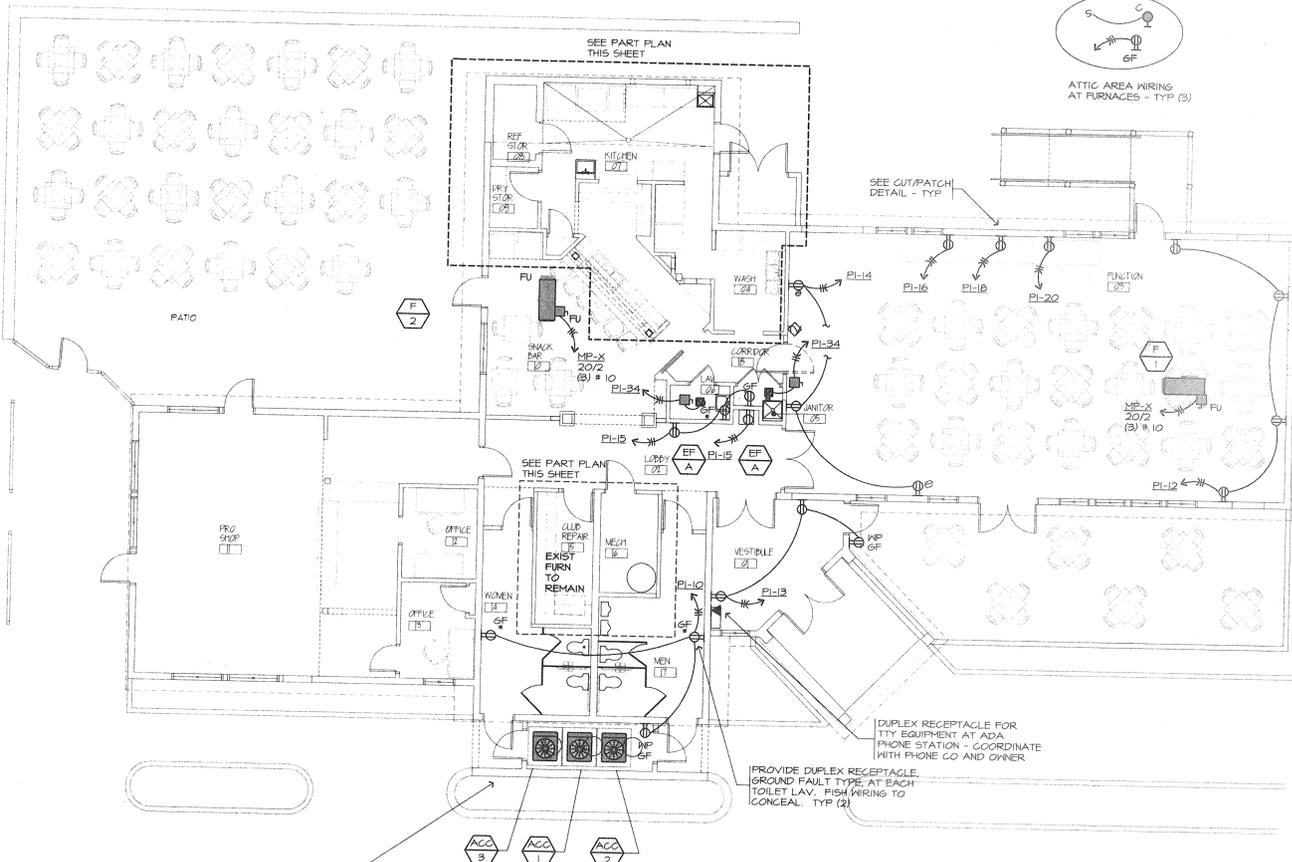
KITCHEN AREA PART PLAN  
 SCALE: 1/4" = 1'-0"



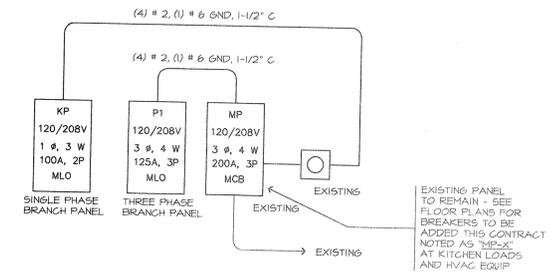
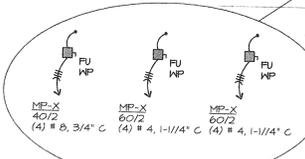
CLUB REPAIR / MECH PART PLAN  
 SCALE: 1/4" = 1'-0"



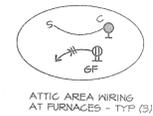
PROVIDE NEW BREAKERS  
 AT EXISTING PANEL - FIELD  
 VERIFY ON SITE PRIOR TO  
 BIDDING



LIGHTING FLOOR PLANS  
 SCALE: 1/8" = 1'-0"



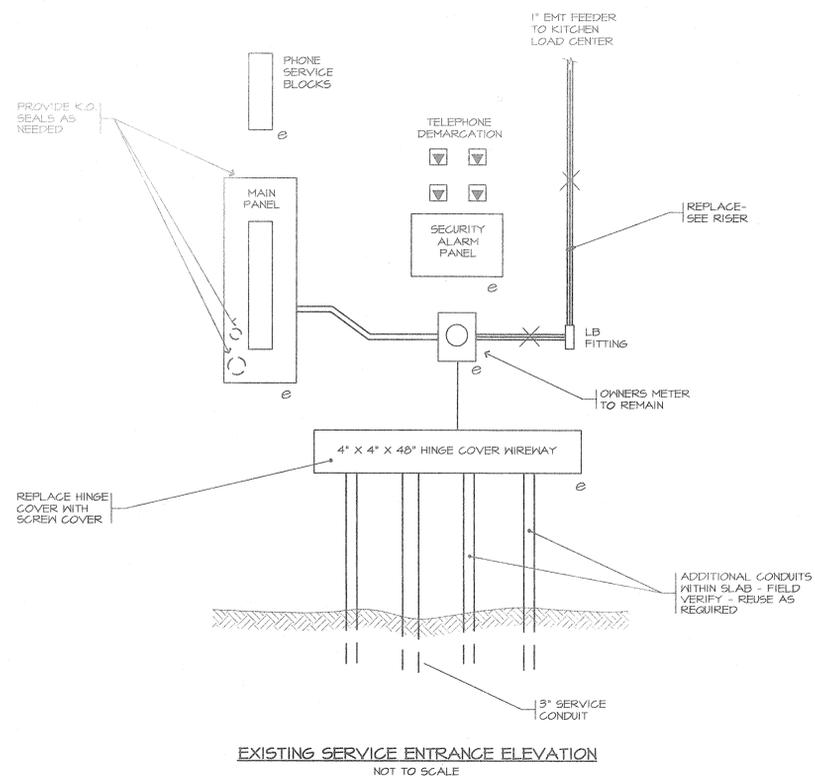
ELECTRICAL POWER RISER  
 NO SCALE



SEE CUT/PATCH  
 DETAIL - TYP

PROVIDE DUPLEX RECEPTACLE  
 FOR TTY EQUIPMENT AT ADA  
 PHONE STATION - COORDINATE  
 WITH PHONE CO AND OWNER

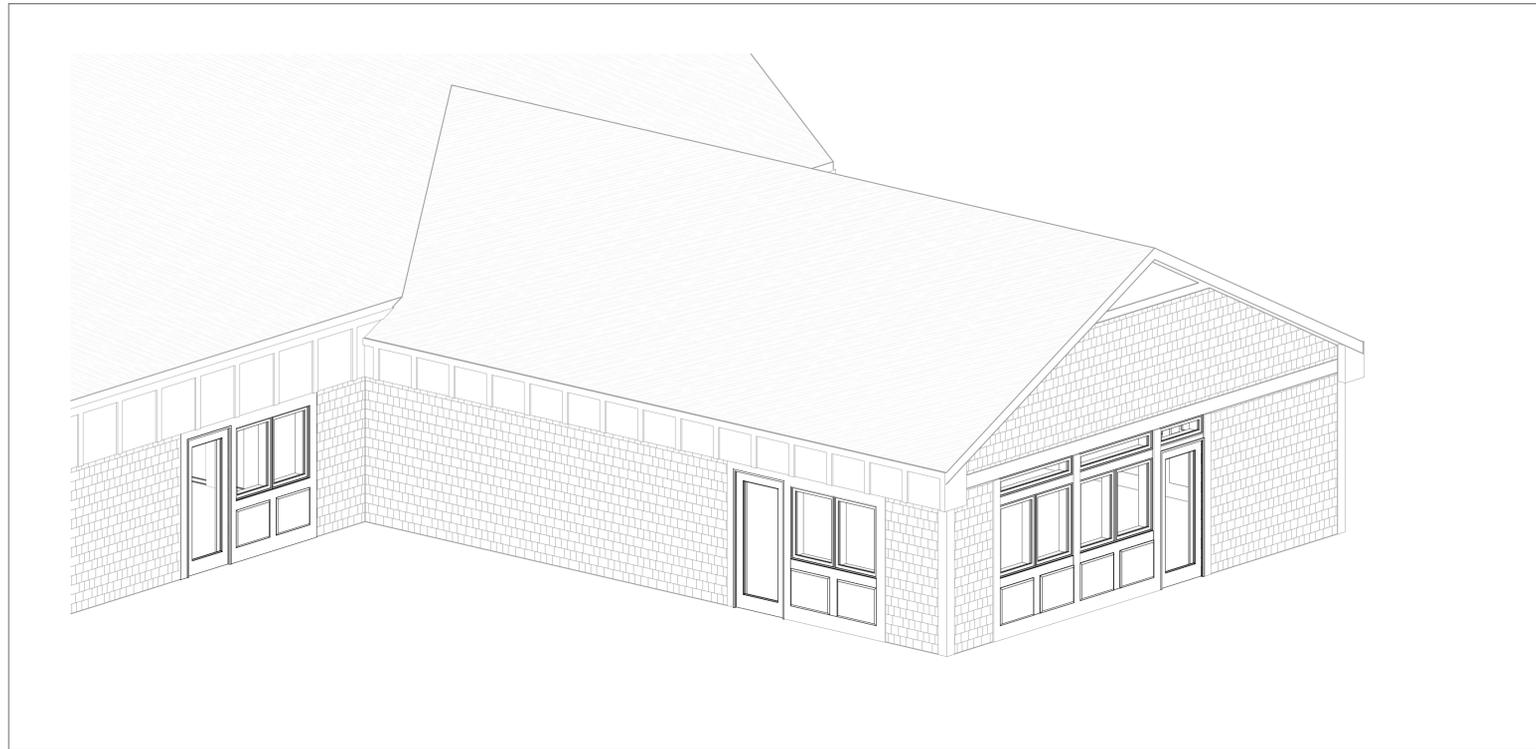
PROVIDE DUPLEX RECEPTACLE  
 GROUND FAULT TYPE AT EACH  
 TOILET LAV. FISH WIRING TO  
 CONCEAL - TYP (2)



PANEL: P1 VOLTAGE: 120/208 PHASE: 3? MAIN: 125 A - MLO <input checked="" type="checkbox"/> MCB <input type="checkbox"/>											
TYPE: PANELBOARD <input checked="" type="checkbox"/> LOADCENTER <input type="checkbox"/> PLUG IN <input type="checkbox"/> BOLT ON <input checked="" type="checkbox"/> FAULT RATING: 10,000 AIC											
LOCATION: MECHANICAL ROOM				MOUNTING:				SURFACE			
DIRECTORY	TRIP	⌘	A?	B?	C?	⌘	TRIP	DIRECTORY	TRIP	⌘	A?
CLUB REPAIR RECEPTACLES	20/1	1	300				20/1	CLUB REPAIR RECEPTACLES	2	20/1	
CLUB REPAIR RECEPTACLES	20/1	3	300	300			20/1	CLUB REPAIR RECEPTACLES	4	20/1	
CLUB REPAIR RECEPTACLES	20/1	5		300			20/1	CLUB REPAIR RECEPTACLES	6	20/1	
CLUB REPAIR RECEPTACLES	20/1	7	300				20/1	CLUB REPAIR RECEPTACLES	8	20/1	
GAS WATER HEATER PILOT / CONTROLS	20/1	9		500			20/1	TOILET ROOM RECEPTACLES	10	20/1	
SPARE	20/1	11			500	720	20/1	FUNCTION ROOM RECEPTACLES	12	20/1	
VESTIBULE RECEPTACLES	20/1	13	540			720	20/1	FUNCTION ROOM RECEPTACLES	14	20/1	
LOBBY RECEPTACLES	20/1	15		540		1000	20/1	FUNCTION ROOM FOOD STATION RECEPTACLES	16	20/1	
GENERAL KITCHEN RECEPTACLES	20/1	17			500	1000	20/1	FUNCTION ROOM FOOD STATION RECEPTACLES	18	20/1	
SPARE	20/1	19	500			1000	20/1	FUNCTION ROOM FOOD STATION RECEPTACLES	20	20/1	
SPARE	20/1	21		500		500	20/1	SPARE	22	20/1	
SPARE	20/1	23			500	500	20/1	SPARE	24	20/1	
KIT HOOD LIGHTING	20/1	25	360			800	20/1	SPARE	26	20/1	
FUNCTION RM LIGHTING	20/1	27		1000		800	20/1	PADDLE FANS	28	20/1	
KITCHEN LIGHTING	20/1	29			500	800	20/1	PADDLE FANS	30	20/1	
DINING AREA LIGHTING	20/1	31	1000			800	20/1	PADDLE FANS	32	20/1	
VESTIBULE LIGHTING	20/1	33		1000		500	20/1	EXHAUST FANS	34	20/1	
LOBBY / TOILET LIGHTING	20/1	35			1000	500	20/1	SPARE	36	20/1	
EXTERIOR LIGHTING	20/1	37	600			500	20/1	SPARE	38	20/1	
EXTERIOR LIGHTING	20/1	39		600		500	20/1	SPARE	40	20/1	
EXTERIOR LIGHTING	20/1	41			600	500	20/1	ATTIC RECEPTACLES	42	20/1	
CONNECTED LOAD			8020	8540		8220		NOTES			
DEMAND	70%		5614	5978		5754					
TOTAL DEMAND LOAD				17346							

PANEL: KP VOLTAGE: 120/208 PHASE: 1? MAIN: 100 A - MLO <input checked="" type="checkbox"/> MCB <input type="checkbox"/>											
TYPE: PANELBOARD <input checked="" type="checkbox"/> LOADCENTER <input type="checkbox"/> PLUG IN <input type="checkbox"/> BOLT ON <input checked="" type="checkbox"/> FAULT RATING: 10,000 AIC											
LOCATION: DIRECTORY				MOUNTING:				SURFACE			
DIRECTORY	TRIP	⌘	A?	B?	C?	⌘	TRIP	DIRECTORY	TRIP	⌘	A?
SODA MACHINE RECEPTACLES	20/1	1	800			1000	20/1	COCKTAIL UNIT RECEPTACLES	2	20/1	
SODA MACHINE RECEPTACLES	20/1	3		800		1000	20/1	BEER COOLER RECEPTACLES	4	20/1	
BAR TOP RECEPTACLES	20/1	5	500			1000	20/1	COFFEE STATION RECEPTACLES	6	20/1	
BAR TOP RECEPTACLES	20/1	7		500		1000	20/1	COFFEE STATION RECEPTACLES	8	20/1	
BAR TOP RECEPTACLES	20/1	9	500			500	20/1	BAR AREA RECEPTACLES	10	20/1	
---	20/1	11			500	500	20/1	ABOVE BAR RECEPTACLES	12	20/1	
TV NOOK RECEPTACLES	20/1	13	500			500	20/1	SPARE	14	20/1	
BAR TOP RECEPTACLES	20/1	15		500		360	20/1	SNACK BAR GENERAL RECEPTACLES	16	20/1	
BAR TOP RECEPTACLES	20/1	17		500		1000	20/1	HOT DOG STEAMER RECEPTACLES	18	20/1	
BAR TOP RECEPTACLES	20/1	19	500			1000	20/1	SOUP POT RECEPTACLES	20	20/1	
BEVERAGE EQUIPMENT RECEPTACLES	20/1	21	500			500	20/1	SPARE	22	20/1	
SPARE	20/1	23			500	600	20/1	SANDWICH COOLER RECEPTACLES	24	20/1	
ICE MAKER RECEPTACLES	20/1	25	1000			360	20/1	WORK AREA COUNTER RECEPTACLES	26	20/1	
COUNTER TOP RECEPTACLES	20/1	27		360		600	20/1	WORK AREA COUNTER RECEPTACLES	28	20/1	
FREEZER RECEPTACLES	20/1	29	200			1000	20/1	MICROWAVE RECEPTACLES	30	20/1	
FREEZER RECEPTACLES	20/1	31		800		1000	20/1	MICROWAVE RECEPTACLES	32	20/1	
WASH AREA COUNTER RECEPTACLES	20/1	33	500			360	20/1	COUNTER TOP RECEPTACLES	34	20/1	
GENERAL RECEPTACLES	20/1	35		360		500	20/1	SPARE	36	20/1	
COOLER EVAPORATOR (VERIFY VOLTAGE)	20/2	37	600			100	20/1	HOOD SUPPRESSION CONTROLS	38	20/1	
---	---	39			600	500	20/1	HOOD LIGHTS	40	20/1	
CONNECTED LOAD			11420			12480		NOTES			
DEMAND	70%		8344			8736		FEED THROUGH EXISTING SINGLE PHASE METER			
TOTAL DEMAND LOAD						17060					

# BEAVER MEADOW GOLF COURSE CLUBHOUSE RENOVATIONS



**ISSUED FOR BIDDING**  
**12/14/2018**

**1 BEAVER MEADOW DR  
CONCORD, NH 03301**

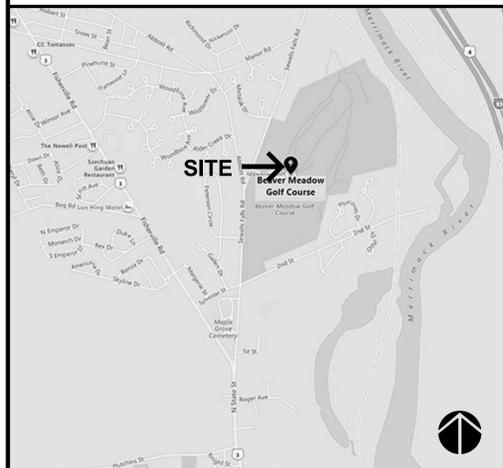
PROJECT NUMBER: 4793

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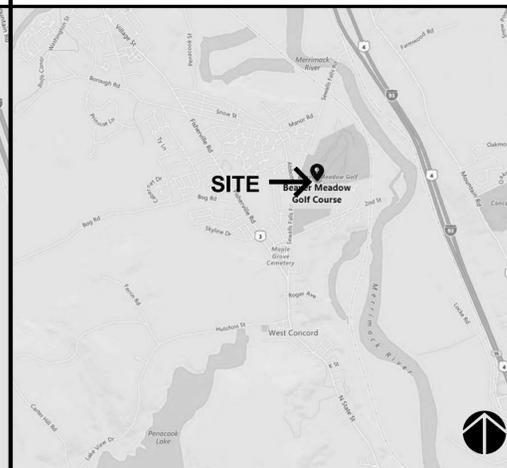
SHEET NUMBER	DRAWING TITLE
ARCHITECTURAL	
A0.1	LEGEND & GENERAL INFORMATION
A0.2	SPEC. SHEET
D1.1	PARTIAL FIRST FLOOR PLAN - DEMOLITION
A1.1	PARTIAL FIRST FLOOR & REFLECTED CEILING PLANS
A1.2	DETAILED FLOOR PLAN & INTERIOR ELEVATIONS
A2.1	SCHEDULES & PARTITION TYPES
A3.1	EXTERIOR ELEVATIONS
A4.1	SECTIONS & DETAILS



LOCUS MAP 1



LOCUS MAP 2



DESIGNED AND ENGINEERED BY:

TURNER  
GROUP

**THE H.L. TURNER GROUP Inc.**

ARCHITECTS • ENGINEERS  
CONSTRUCTION MANAGERS • BUILDING SCIENTISTS

27 LOCKE ROAD  
CONCORD, NEW HAMPSHIRE 03301  
T:603.228.1122 / F:603.228.1126  
W:www.hlturner.com

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ELECTRICAL ENGINEERING  
EQUIPMENT VENDOR

THE HL TURNER GROUP INC.      T:603.228.1122      F:603.228.1124

BUILDING DESIGN CRITERIA:

CONSTRUCTED BY:

MILESTONE III

ENGINEERING & CONSTRUCTION, INC.

1 Horseshoe Pond Lane  
Concord, NH 03302  
T: 603.226.3877  
F: 603.226.3361  
www.milestoneengcon.com

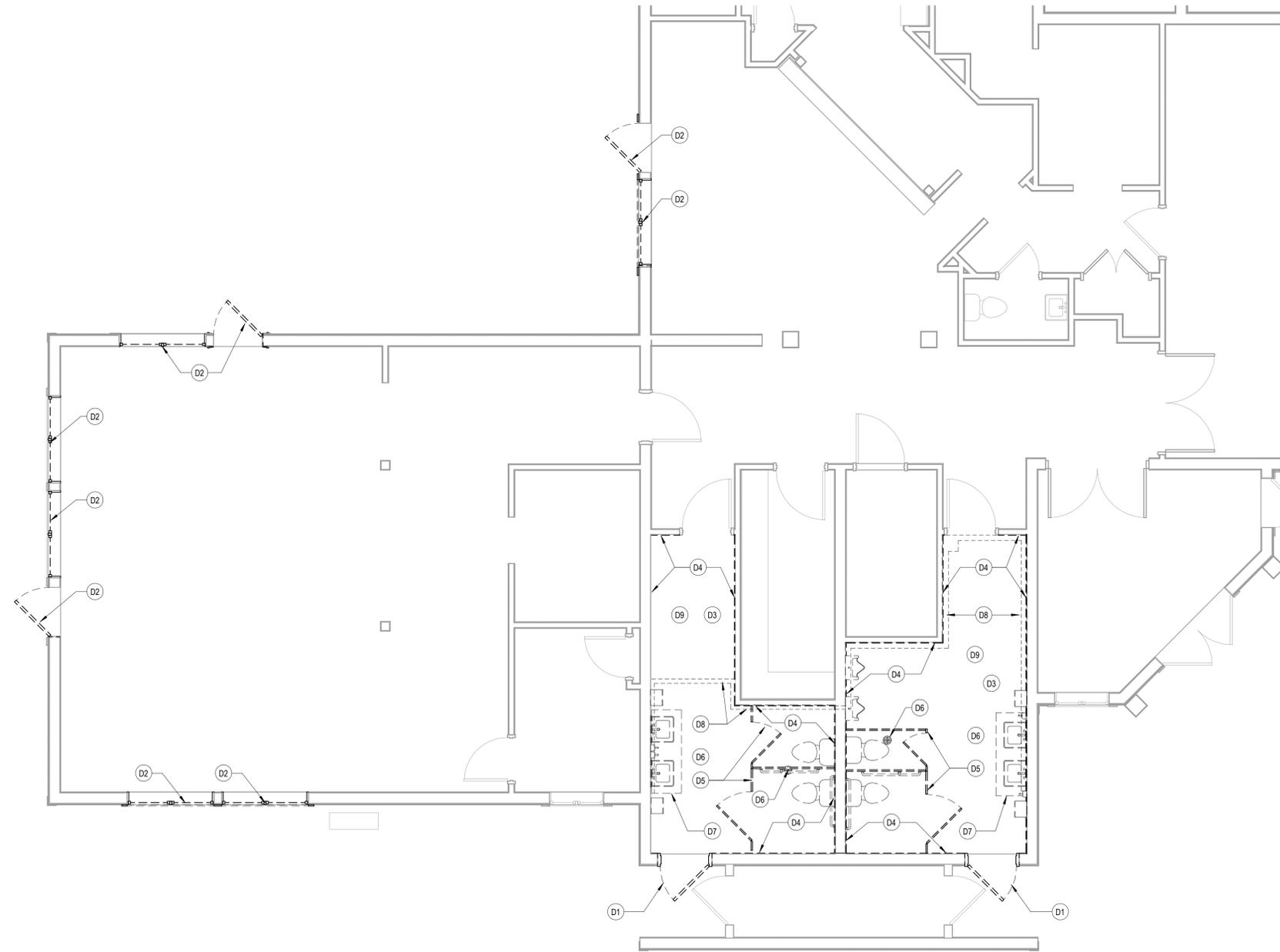
ARCHITECT OF RECORD:

RICHARD D. PROCTOR  
HL TURNER GROUP, INC.





1/8" = 1'-0"  
 0' 4" 8" 16" 32"  
 4  
 3/32" = 1'-0"  
 0' 8" 16" 32"  
 3  
 1/16" = 1'-0"  
 0' 8" 16" 32"  
 2  
 1



**GENERAL DEMOLITION NOTES**

1. WHEN UTILITY SYSTEMS NEED TO BE REMOVED, PROVIDE CAP, VALVE, PLUG, OR SEAL TO MEET CODE REQUIREMENTS AND MAINTAIN CONTINUUM OF THE SYSTEM.
2. PROVIDE TEMPORARY BARRICADES AND PROTECTION TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT CONSTRUCTION TO REMAIN. DURING DEMOLITION ACTIVITIES, MAINTAIN BUILDING SO IT REMAINS WATER TIGHT AND WEATHER TIGHT.
3. UNLESS DEMOLISHED MATERIAL IS INDICATED TO REMAIN, REMOVE MATERIAL FROM PROJECT SITE AND DISPOSE OF LEGALLY.
4. THE CONTRACTOR IS TO PROTECT THE EXISTING BUILDING STRUCTURE AND FINISHES TO REMAIN.
5. THE CONTRACTOR IS TO CAP AND PROTECT ALL UTILITIES AS ENCOUNTERED.

**DEMOLITION LEGEND**

- DASHED LINE - DESIGNATION FOR ITEMS TO BE REMOVED
- SOLID LINE - DESIGNATION FOR ITEMS TO REMAIN
- (X) - CONSTRUCTION NOTE. SEE LEGEND BELOW

**DEMOLITION NOTE LEGEND**

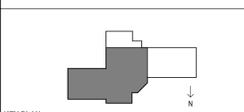
- (D1) REMOVE DOOR & HARDWARE ONLY; FRAME & CASING TO REMAIN UNDISTURBED
- (D2) REMOVE DOORS, FRAMES, HARDWARE & WINDOWS; EXISTING FRAMED OPENINGS TO REMAIN UNDISTURBED. PREPARE OPENINGS FOR NEW DOORS, FRAMES, HARDWARE, WINDOWS & NEW EXTERIOR WALL INFILL CONSTRUCTION
- (D3) REMOVE QUARRY TILE FLOORING, MORTAR, BASE, ETC. TO EXPOSE EXIST. FLOOR SLAB
- (D4) REMOVE RESTROOM GYPSUM WALLBOARD TO EXPOSE EXIST. WOOD FRAMING
- (D5) REMOVE TOILET PARTITIONS
- (D6) REMOVE ALL PLUMBING FIXTURES INCLUDING FLOOR DRAINS; RELOCATE WATER SUPPLY & DRAINAGE PIPING AS REQUIRED TO PROVIDE FIXTURE CLEARANCES INDICATED; SEE ENLARGED FLOOR PLAN 9/A1.2
- (D7) REMOVE COUNTERTOP
- (D8) REMOVE SUPPLY PIPING ENCLOSURE; SECTIONS OF WATER SUPPLY PIPING TO BE RELOCATED ABOVE NEW CEILINGS
- (D9) REMOVE ALL TOILET ACCESSORIES



The H.L. Turner Group Inc.  
 27 Locke Rd.  
 Concord, New Hampshire 03301  
 t:603.228.1122  
 hiturner.com

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KEY PLAN:

PROJECT TITLE / ADDRESS:  
**BEAVER MEADOW GOLF COURSE**  
**CLUBHOUSE RENOVATIONS**

1 BEAVER MEADOW DR  
 CONCORD, NH 03301

ISSUE:  
**ISSUED FOR BIDDING**  
 12/14/2018

PROJ. NO.:	4793	STAMP
SCALE:	As indicated	
DES. BY:	RDP	
DRAWN BY:	KD	
CHKD BY:	BH	
ISSUE DATE:	12/14/18	

REVISIONS

NO.	DESCRIPTION	DATE

SHEET TITLE:  
**PARTIAL FIRST FLOOR PLAN - DEMOLITION**

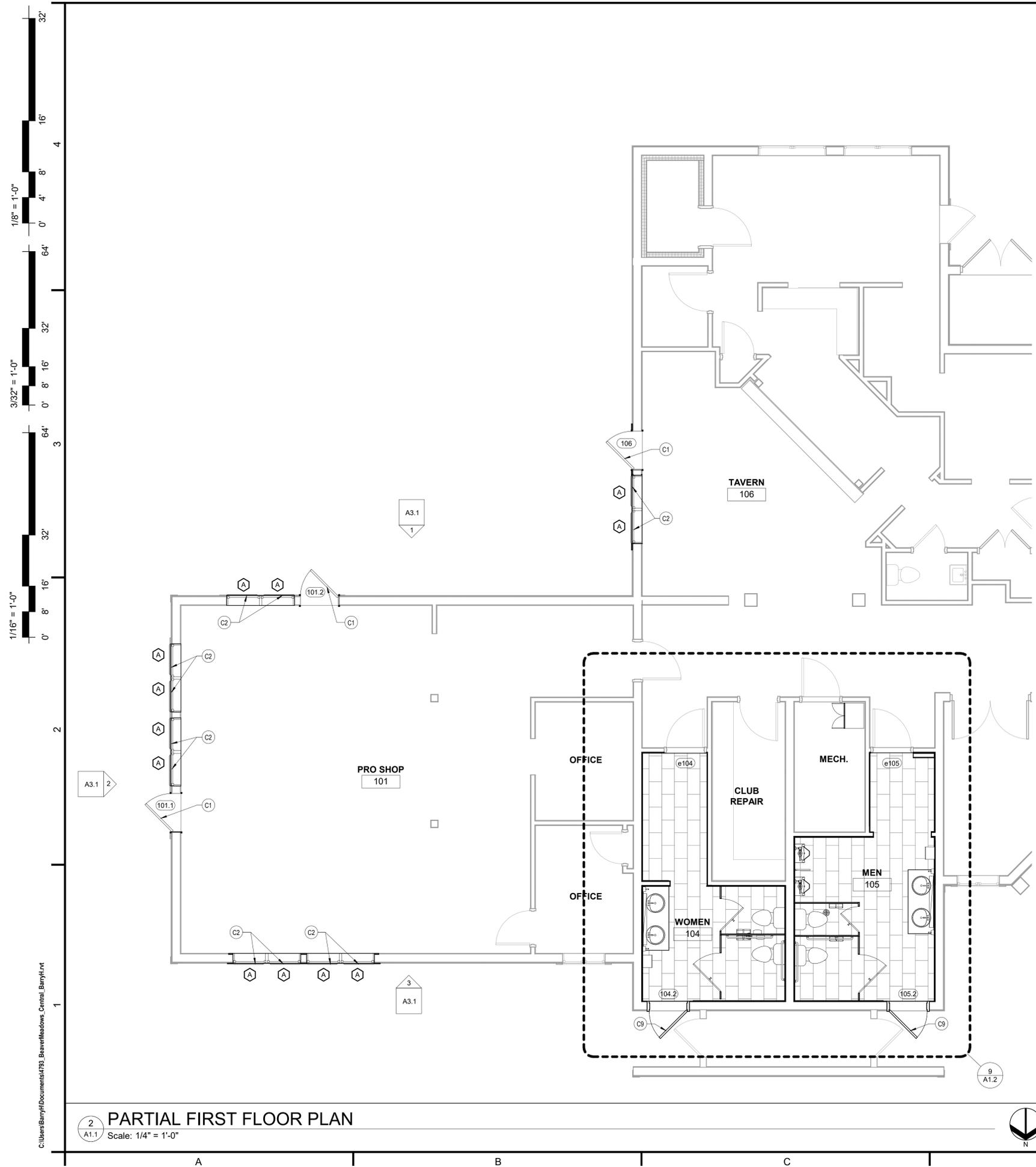
**D1.1**



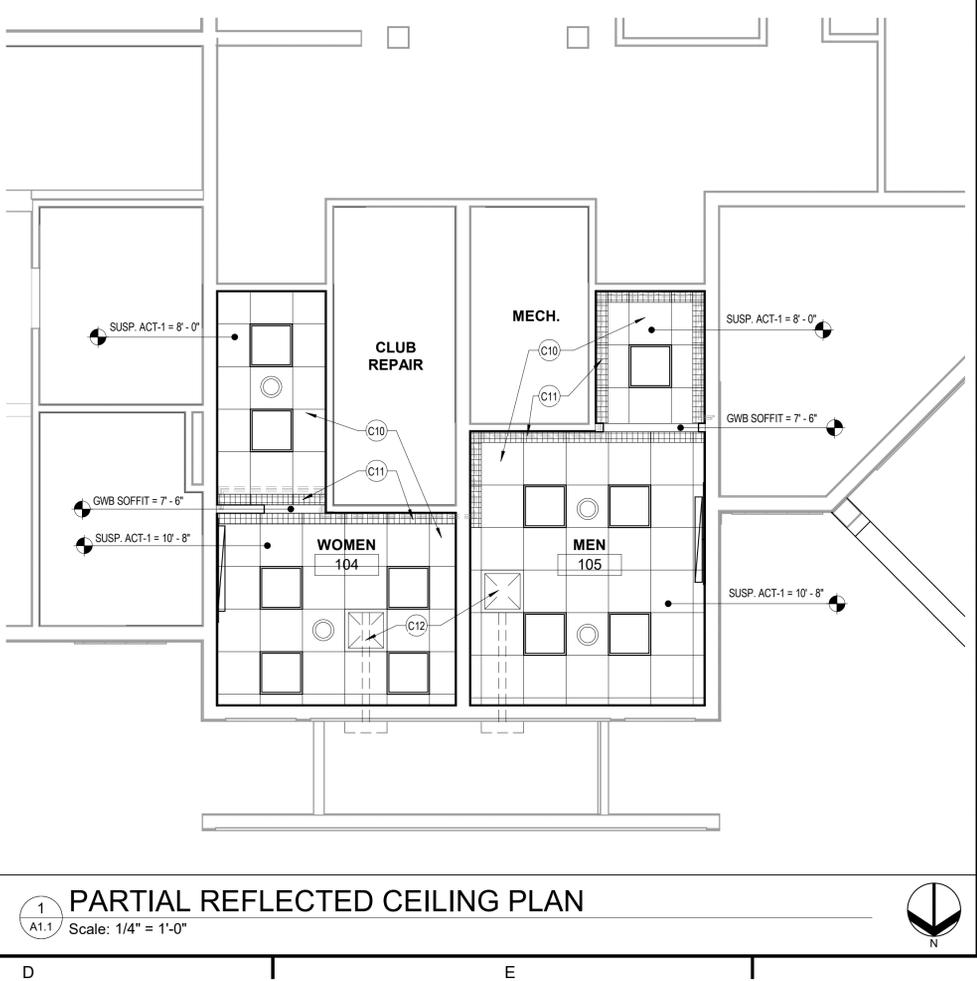
A | B | C | D | E | F

c:\Users\Bary\Documents\4793\_BeaverMeadows\_Concord\_Bary.rvt

PARTIAL FIRST FLOOR PLAN - DEMOLITION D1.1 12/13/2018 10:56:41 AM



<p><b>RCP GENERAL NOTES</b></p> <p>1. SEE SHEET A2.1 FOR CEILING TYPE LOCATIONS AND CEILING HEIGHTS.</p>	<p><b>CONSTRUCTION LEGEND</b></p> <p>[Symbol] - NEW PARTITIONS</p> <p>[Symbol] - CONSTRUCTION NOTE SEE LEGEND BELOW</p>	<p><b>GENERAL FLOOR PLAN NOTES</b></p> <p>1. FINISH FLOOR ELEVATION = XXX'-X".          -(X) = DISTANCE OF GRADE BELOW FFE IN INCHES.          +X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FINISH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0", AND IS MEASURED FROM THE TOP OF CONCRETE SLAB.</p> <p>2. DO NOT SCALE DRAWINGS</p> <p>3. THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED.</p> <p>4. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.</p> <p>5. CM SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.</p> <p>6. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY OR CENTER OF OPENING, UNLESS NOTED OTHERWISE.</p> <p>7. BUILDER SHALL COORDINATE ALL ROUGH OPENING DIMENSIONS WITH FLASHING DETAILS.</p>
<p><b>CEILING LEGEND</b></p> <p><b>CEILINGS</b></p> <p>[Symbol] - 2' x 2' SUSPENDED ACOUSTICAL PANEL CEILING</p> <p>[Symbol] - 6' x 2' SUSPENDED OPEN GRID CEILING PANEL</p> <p>[Symbol] - GWB SOFFIT</p> <p><b>ELECTRICAL</b></p> <p>[Symbol] - 2' x 2' RECESSED FLUORESCENT LIGHTING FIXTURE</p> <p>[Symbol] - WALL MOUNTED LIGHTING FIXTURE</p> <p><b>MECHANICAL</b></p> <p>[Symbol] - MECHANICAL CEILING DIFFUSER</p> <p>[Symbol] - NEW CEILING EXHAUST FAN DIFFUSER</p> <p><b>GENERAL</b></p> <p>[Symbol] - CONSTRUCTION NOTE. SEE LEGEND.</p>	<p><b>CONSTRUCTION NOTE LEGEND</b></p> <p>C1 NEW DOOR, FRAME &amp; HARDWARE, AS SCHED.</p> <p>C2 NEW FIXED GLASS FIBERGLASS WINDOW UNIT w/GLAZING AS SCHED.; NEW EXTERIOR 5/4x... PVC CASING TRIM, NEW INTERIOR 5/4x... WOOD CASING TRIM, PAINT</p> <p>C3 NEW PORCELAIN FLOOR TILE w/EPOXY GROUT</p> <p>C4 NEW TOILET PARTITIONING</p> <p>C5 NEW PLUMBING FIXTURES, RELOCATE FIXTURES, WATER SUPPLY &amp; DRAINAGE PIPES AS REQUIRED TO MAINTAIN MINIMUM CLEARANCES INDICATED. SEE ENLARGED FLOOR PLAN 9/11.2</p> <p>C6 NEW RELOCATED URINAL PLUMBING FIXTURE, SEE INTERIOR ELEVATIONS</p> <p>C7 EXIST. WATER SUPPLY PIPING TO BE RELOCATED TO ABOVE NEW SUSP. A.C.T. CEILING &amp; LET INTO NEW OR EXIST. WALL CONSTRUCTION AS SHOWN. EXTEND BELOW NEW VANITY COUNTER FOR NEW LAVATORY SINKS</p> <p>C8 NEW SOLID SURFACE VANITY COUNTER</p> <p>C9 NEW DOOR, HARDWARE &amp; INTERIOR 5/4x... WOOD CASING TRIM TO MATCH EXISTING, PAINT; EXISTING DOOR FRAME &amp; EXTERIOR WOOD CASING TRIM TO REMAIN, REPAINT</p>	<p><b>GENERAL PARTITION NOTES</b></p> <p>1. SEE SHEET A2.1 FOR PARTITION TYPES.</p> <p>2. ALL DIMENSIONS ARE TO FACE OF STUD OR CENTER OF OPENING UNLESS NOTED OTHERWISE.</p> <p>3. INSTALL ALL FIRE RATED WALL &amp; CEILING ASSEMBLIES FOLLOWING DETAILS, FASTENERS AND SPACING IN ACCORDANCE WITH UL FIRE RESISTANCE DIRECTORY.</p> <p>4. EXTEND GWB TO UNDERSIDE OF FLOOR OR DECK ON FIRE BARRIERS, GWB SHALL TERMINATE AT UNDERSIDE OF DECK AT FIRE PARTITIONS UNLESS OTHERWISE DETAILED.</p> <p>5. STAGGER ALL ELECTRICAL DEVICES IN FIRE BARRIERS &amp; FIRE PARTITIONS.</p> <p>6. INSTALL APPROVED FIRE STOP MATERIAL AT ALL PENETRATIONS THROUGH FIRE RATED WALLS &amp; FLOORS.</p> <p>7. ALL WIRE PENETRATIONS THROUGH FIRE RATED WALLS PLATES &amp; FLOORS SHALL BE SEALED WITH FIRE STOP SEALANT.</p> <p>8. METALLIC PIPE PENETRATIONS SHALL BE SEALED AROUND PENETRATIONS WITH FIRE STOP SEALANT AT FIRE RATED WALLS, FLOORS &amp; CEILINGS.</p> <p>9. NON-METALLIC PIPE PENETRATIONS SHALL BE SEALED WITH FIRE STOP COLLAR AROUND PENETRATION WITH FIRE STOP SEALANT.</p> <p>10. CM SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.</p>
<p><b>CEILING LEGEND</b></p> <p>C10 NEW SUSP. ACOUSTICAL TILE CEILING</p> <p>C11 NEW 6' X 24" OPEN GRID CEILING TILE</p> <p>C12 NEW MECHANICAL CEILING DIFFUSER; EXTEND CEILING DIFFUSER LOCATED IN EXIST. GWB CEILING TO NEW SUSP. CLG. DIFFUSER</p>		



The H.L. Turner Group Inc.  
 27 Locke Rd.  
 Concord, New Hampshire 03301  
 t:603.228.1122  
 h:turner.com

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KEY PLAN:  
 PROJECT TITLE / ADDRESS:  
**BEAVER MEADOW GOLF COURSE**  
**CLUBHOUSE RENOVATIONS**

1 BEAVER MEADOW DR  
 CONCORD, NH 03301

ISSUE:  
**ISSUED FOR BIDDING**  
 12/14/2018

PROJ. NO.:	4793	STAMP
SCALE:	As indicated	
DES. BY:	ROP	
DRAWN BY:	KD	
CHKD BY:	ROP	
ISSUE DATE:	12/14/18	
REVISIONS		

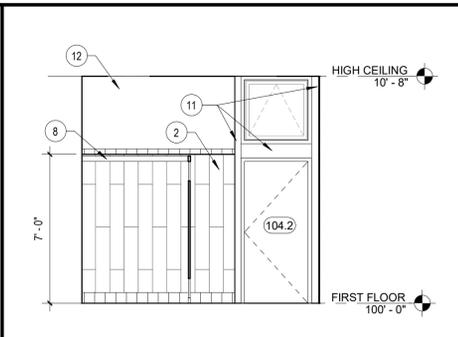
SHEET TITLE:  
**PARTIAL FIRST FLOOR & REFLECTED CEILING PLANS**

**A1.1**

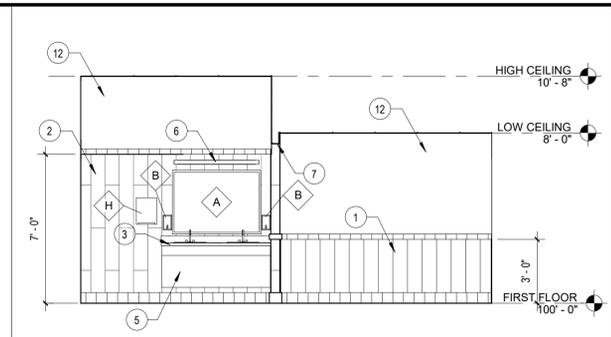
2  
 A1.1 **PARTIAL FIRST FLOOR PLAN**  
 Scale: 1/4" = 1'-0"

1  
 A1.1 **PARTIAL REFLECTED CEILING PLAN**  
 Scale: 1/4" = 1'-0"

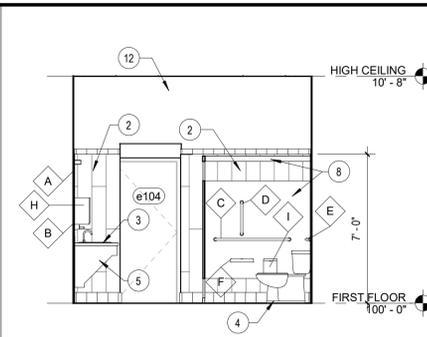
1/8" = 1'-0"  
 3/32" = 1'-0"  
 1/16" = 1'-0"  
 12/13/2018 10:56:35 AM



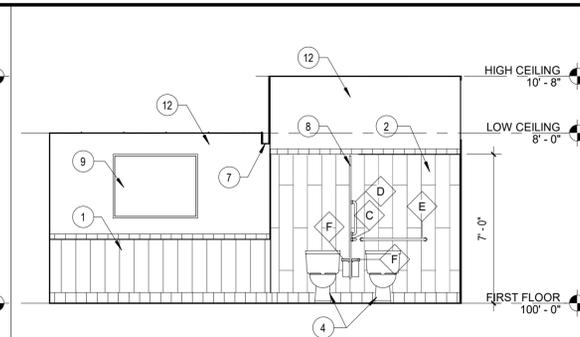
**1 WOMENS RESTROOM (N)**  
 A1.2 Scale: 1/4" = 1'-0"



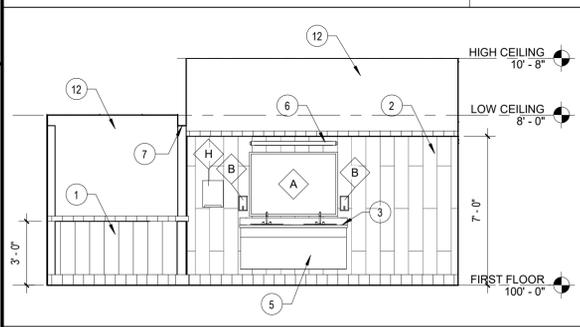
**2 WOMENS RESTROOM (E)**  
 A1.2 Scale: 1/4" = 1'-0"



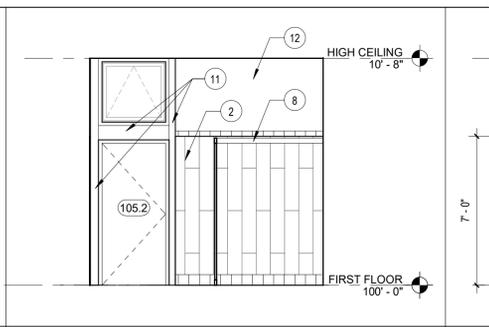
**3 WOMENS RESTROOM (S)**  
 A1.2 Scale: 1/4" = 1'-0"



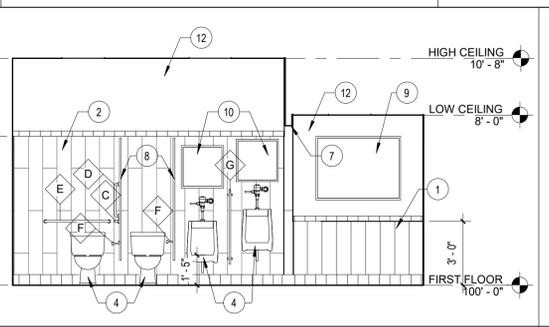
**4 WOMENS RESTROOM (W)**  
 A1.2 Scale: 1/4" = 1'-0"



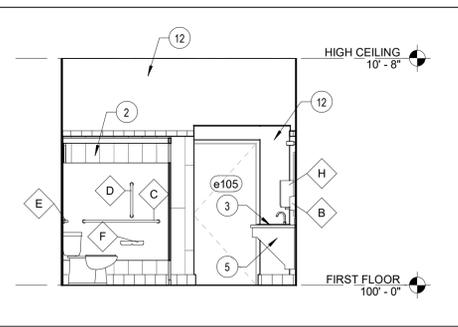
**5 MENS RESTROOM (W)**  
 A1.2 Scale: 1/4" = 1'-0"



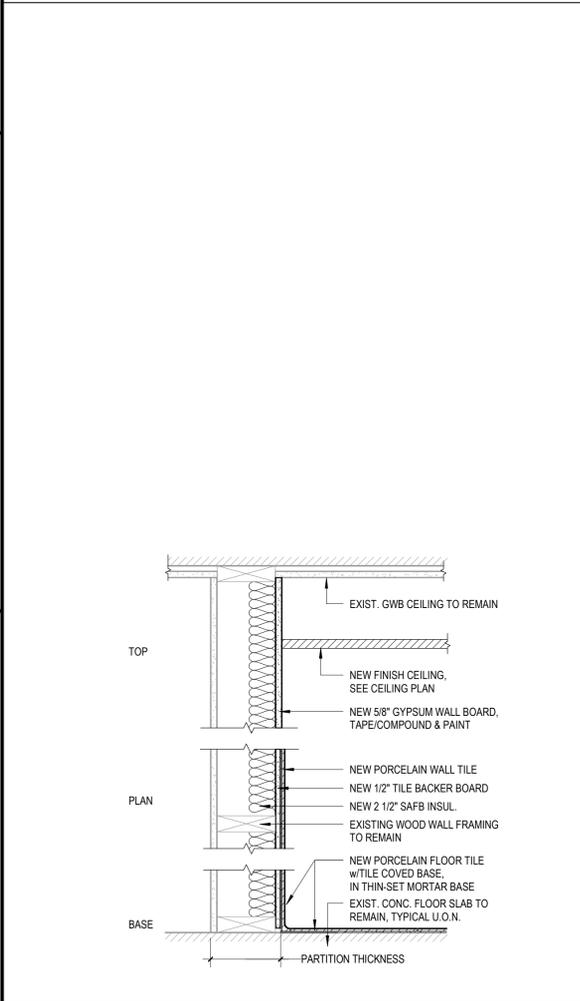
**6 MENS RESTROOM (N)**  
 A1.2 Scale: 1/4" = 1'-0"



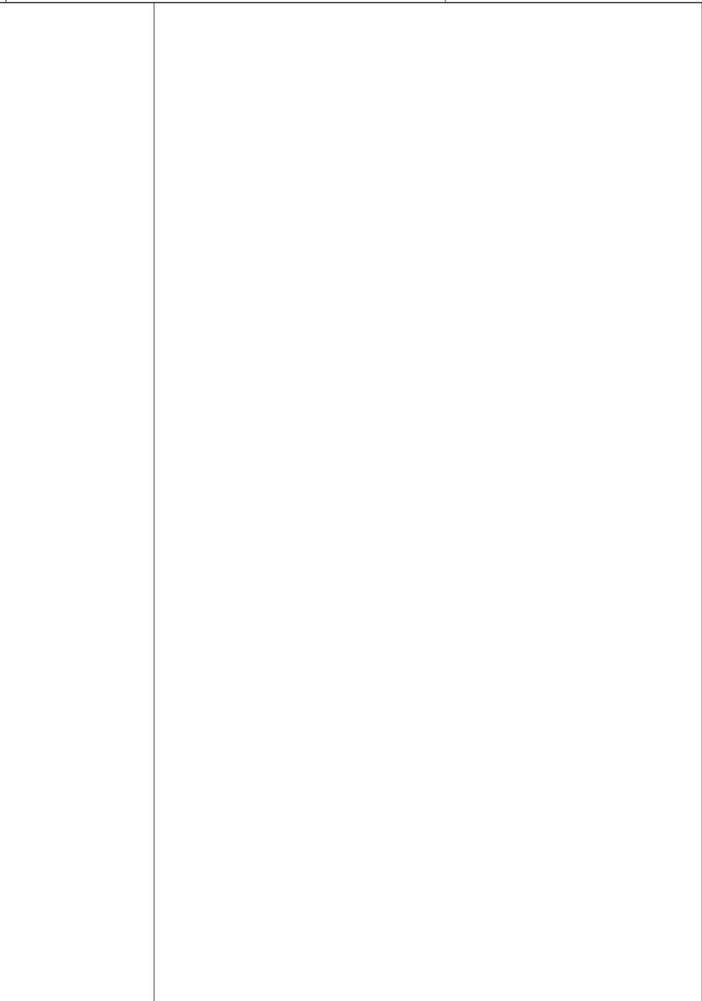
**7 MENS RESTROOM (E)**  
 A1.2 Scale: 1/4" = 1'-0"



**8 MENS RESTROOM (S)**  
 A1.2 Scale: 1/4" = 1'-0"



**11 TYPICAL INT. PARTITION TYPE @ RESTROOM**  
 A1.2 Scale: 1 1/2" = 1'-0"



**9 DETAILED RESTROOM FLOOR PLAN**  
 A1.2 Scale: 1/4" = 1'-0"

MARK	DESCRIPTION	COMMENTS
A	50" x 36" MIRROR	MAX. 40" A.F.F. TO GLASS
B	SURFACE MOUNTED SOAP DISPENSER	MAX. 48" A.F.F. TO OPERATOR
C	42" HORIZONTAL GRAB BAR	MAX. 36" A.F.F. TO TOP
D	18" VERTICAL GRAB BAR	SEE SHEET A0.1 FOR MOUNTING HEIGHT
E	36" HORIZONTAL GRAB BAR	MAX. 36" A.F.F. TO TOP
F	TOILET TISSUE DISPENSER	SEE SHEET A0.1 FOR MOUNTING HEIGHT
G	WALL HUNG URINAL SCREEN	
H	SURFACE MOUNTED PAPER TOWEL DISPENSER	SEE SHEET A0.1 FOR MOUNTING HEIGHT
I	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL	SEE SHEET A0.1 FOR MOUNTING HEIGHT
J	COAT HOOK	MAX. 47" A.F.F. TO TOP



**9 DETAILED RESTROOM FLOOR PLAN**  
 A1.2 Scale: 1/4" = 1'-0"

- CONSTRUCTION LEGEND**
- NEW PARTITIONS
  - CONSTRUCTION NOTE SEE LEGEND BELOW

- CONSTRUCTION NOTE LEGEND**
- C1 NEW DOOR, FRAME & HARDWARE, AS SCHED.
  - C2 NEW FIXED GLASS FIBERGLASS WINDOW UNIT w/GLAZING AS SCHED.; NEW EXTERIOR 5/4" PVC CASING TRIM, NEW INTERIOR 5/4" WOOD CASING TRIM, PAINT
  - C3 NEW PORCELAIN FLOOR TILE w/EPOXY GROUT
  - C4 NEW TOILET PARTITIONING
  - C5 NEW PLUMBING FIXTURES, RELOCATE FIXTURES, WATER SUPPLY & DRAINAGE PIPES AS REQUIRED TO MAINTAIN MINIMUM CLEARANCES INDICATED. SEE ENLARGED FLOOR PLAN @ A1.2
  - C6 NEW RELOCATED URINAL PLUMBING FIXTURE, SEE INTERIOR ELEVATIONS
  - C7 EXIST. WATER SUPPLY PIPING TO BE RELOCATED TO ABOVE NEW SUSP. A.C.T. CEILING & LET INTO NEW OR EXIST. WALL CONSTRUCTION AS SHOWN. EXTEND BELOW NEW VANITY COUNTER FOR NEW LAVATORY SINKS
  - C8 NEW SOLID SURFACE VANITY COUNTER
  - C9 NEW DOOR, HARDWARE & INTERIOR 5/4" WOOD CASING TRIM TO MATCH EXISTING, PAINT. EXISTING DOOR FRAME & EXTERIOR WOOD CASING TRIM TO REMAIN, REPAINT

- INTERIOR ELEVATION NOTES**
- NEW 8" X 48" VERTICAL PORCELAIN WALL TILE, PLANK PATTERN, w/BULLNOSE CAP
  - NEW 8" X 48" VERTICAL PORCELAIN WALL TILE, STAGGERED PATTERN, w/BULLNOSE CAP
  - NEW SOLID SURFACE COUNTERTOP
  - NEW PLUMBING FIXTURE
  - NEW PLASTIC LAMINATED ADA SINK FRONT
  - NEW WALL MOUNTED LIGHT FIXTURE
  - NEW SOFFIT @ 7'-6" HEIGHT
  - NEW TOILET PARTITIONING
  - NEW 4" X 3" TACKBOARD
  - NEW 2" X 2" TACKBOARD
  - NEW INTERIOR 5/4" WOOD CASING TO MATCH EXIST., PAINT
  - NEW WALL PAINT

- GENERAL FLOOR PLAN NOTES**
- FINISH FLOOR ELEVATION = XXX'-X".  
 (-X) = DISTANCE OF GRADE BELOW FFE IN INCHES.  
 +X = DISTANCE OF GRADE ABOVE FFE IN INCHES. FINISH FLOOR ELEVATION OF BUILDING IS REFERENCED AS ARCHITECTURAL DATUM ELEVATION 100'-0", AND IS MEASURED FROM THE TOP OF CONCRETE SLAB.
  - DO NOT SCALE DRAWINGS
  - THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED.
  - ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED INCLUDING ALL SILL PLATES FOR WOOD STUD WALLS.
  - CM SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.
  - ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY OR CENTER OF OPENING, U.N.O.
  - BUILDER SHALL COORDINATE ALL ROUGH OPENING DIMENSIONS WITH FLASHING DETAILS.

- GENERAL PARTITION NOTES**
- SEE SHEET A2.1 FOR PARTITION TYPES.
  - ALL DIMENSIONS ARE TO FACE OF STUD OR CENTER OF OPENING UNLESS NOTED OTHERWISE.
  - INSTALL ALL FIRE RATED WALL & CEILING ASSEMBLIES FOLLOWING DETAILS, FASTENERS AND SPACING IN ACCORDANCE WITH UL FIRE RESISTANCE DIRECTORY.
  - EXTEND GWB TO UNDERSIDE OF FLOOR OR DECK ON FIRE BARRIERS. GWB SHALL TERMINATE AT UNDERSIDE OF DECK AT FIRE PARTITIONS UNLESS OTHERWISE DETAILED.
  - STAGGER ALL ELECTRICAL DEVICES IN FIRE BARRIERS & FIRE PARTITIONS.
  - INSTALL APPROVED FIRE STOP MATERIAL AT ALL PENETRATIONS THROUGH FIRE RATED WALLS & FLOORS.
  - ALL WIRE PENETRATIONS THROUGH FIRE RATED WALLS PLATES & FLOORS SHALL BE SEALED WITH FIRE STOP SEALANT.
  - METALLIC PIPE PENETRATIONS SHALL BE SEALED AROUND PENETRATIONS WITH FIRE STOP SEALANT AT FIRE RATED WALLS, FLOORS & CEILINGS.
  - NON-METALLIC PIPE PENETRATIONS SHALL BE SEALED WITH FIRE STOP COLLAR AROUND PENETRATIONS WITH FIRE STOP SEALANT.
  - CM SHALL REVIEW PRIOR TO INSTALLATION ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW.

- INTERIOR MATERIALS LEGEND**
- NOTE: REFER TO SHEET A0.2 FOR FULL MATERIAL DESCRIPTIONS.
- COUNTERTOP**
- TOP-1 - WILSONART SOLID SURFACE, AVALANCHE MELANGE 9175ML
  - TOP-2 - WILSONART SOLID SURFACE, TBD
- PLASTIC LAMINATE**
- PL-1 - CABINET PLASTIC LAMINATE - WILSONART TBD
- CERAMIC TILE**
- CT-1 - 8" X 48" PORCELAIN WALL TILE - SEASON WOOD SW05 DAL TILE PLANK w/3" X 12" BULLNOSE CAP
  - CT-2 - 12" X 24" PORCELAIN FLOOR TILE - FLORIDA TILE FT12821X24 LIGHT GROTTO w/6" X 12" TILE COVED BASE
- ACOUSTICAL PANEL CEILING**
- ACT-1 - ARMSTRONG CERAMAGUARD 605 WITH 15/16" WHITE SUSPENSION SYSTEM
- PAINT**
- PT-1 - INTERIOR FIELD COLOR - TBD
  - PT-2 - INTERIOR TRIM COLOR - TBD
  - PT-3 - INTERIOR FIELD COLOR - TBD
  - PT-4 - INTERIOR TRIM COLOR - TBD
  - PT-5 - INTERIOR FIELD COLOR - TBD
  - PT-6 - INTERIOR TRIM COLOR - TBD
- X - CONSTRUCTION NOTE. SEE LEGEND BELOW

The H.L. Turner Group Inc.  
 27 Locke Rd.  
 Concord, New Hampshire 03301  
 t:603.228.1122  
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**KEY PLAN:**

PROJECT TITLE / ADDRESS:  
**BEAVER MEADOW GOLF COURSE**  
**CLUBHOUSE RENOVATIONS**

**1 BEAVER MEADOW DR**  
**CONCORD, NH 03301**

ISSUE:  
**ISSUED FOR BIDDING**  
**12/14/2018**

PROJ. NO.:	4793	STAMP
SCALE:	As indicated	
DESN. BY:	ROP	
DRAWN BY:	KD	
CHKD BY:	ROP	
ISSUE DATE:	12/14/18	

REVISIONS


SHEET TITLE:  
**DETAILED FLOOR PLAN & INTERIOR ELEVATIONS**

# A1.2

DETAILED FLOOR PLAN & INTERIOR ELEVATIONS  
 A1.2







**MILESTONE ENGINEERING & CONSTRUCTION INC.**  
**BUDGET SUMMARY**

Project Name: Beaver Meadow Golf Club - Bathroom & Pro Shop  
 Project Location: Concord, NH  
 Date: 1/8/2019

Div.	Description	Total Mat'l Cost	Total Sub Cost Or Lump Sum	Labor Cost	Labor Fringe	Total Job Cost
1	General Requirements	11445.01	250.00	12810.00	7686.00	32191.01
2	Sitework	0.00	0.00	0.00	0.00	0.00
2A	Demolition	100.00	7700.00	500.00	300.00	8600.00
3	Concrete	280.00	0.00	600.00	360.00	1240.00
4	Masonry	0.00	0.00	0.00	0.00	0.00
5	Metals	0.00	0.00	0.00	0.00	0.00
6	Rough Carpentry	500.00	13670.00	600.00	360.00	15130.00
6A	Finish Carpentry	0.00	11648.00	0.00	0.00	11648.00
7	Moisture Protection	1250.00	600.00	800.00	480.00	3130.00
8	Doors & Windows	0.00	16422.57	0.00	0.00	16422.57
9	Finishes	0.00	38769.50	0.00	0.00	38769.50
10	Specialties	350.00	6200.00	100.00	60.00	6710.00
11	Equipment	0.00	0.00	0.00	0.00	0.00
12	Furnishings	0.00	0.00	0.00	0.00	0.00
13	Special Construction	0.00	0.00	0.00	0.00	0.00
14	Conveying Systems	0.00	0.00	0.00	0.00	0.00
15	Mechanical	0.00	24733.00	0.00	0.00	24733.00
16	Electrical	0.00	5500.00	0.00	0.00	5500.00
<b>TOTALS</b>		<b>13925.01</b>	<b>125493.07</b>	<b>15410.00</b>	<b>9246.00</b>	<b>164074.08</b>

*TMH*                      **516**

Total Direct	164074.08
Sub Bonds	0.00
Bond	2000.00
<b>Subtotal</b>	<b>166074.08</b>
MEC Fee @ 7%	11625.19
Subtotal	177699.27
Contingency @ 10%	16607.41
<b>BUDGET TOTAL</b>	<b>194306.67</b>

**MILESTONE ENGINEERING & CONSTRUCTION INC.**  
**ESTIMATE**

**Project Name:** Beaver Meadow Golf Club - Bathroom & Pro Shop  
**Project Location:** Concord, NH  
**Date:** 1/8/2019

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
<b>1</b>	<b>General Requirements</b>											
	Building Permit	1	ls	1800.00	1800.00	0.00	0.00		0.00	0.00	0.00	1800.00
	Performance Bond	1	See cover	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Builders Risk	1	Allowance	3500.00	3500.00	0.00	0.00		0.00	0.00	0.00	3500.00
	GL Ins./Labor	16000	\$9.81/m	0.01	156.96	0.00	0.00		0.00	0.00	0.00	156.96
	GL Ins./Subcontractors	126000	\$1.80 /m	0.00	226.80	0.00	0.00		0.00	0.00	0.00	226.80
	Umbrella Ins. Coverage	195000	\$1.00 /m	0.00	195.00	0.00	0.00		0.00	0.00	0.00	195.00
	Professional Liability Ins.	195000	\$0.75 /m	0.00	146.25	0.00	0.00		0.00	0.00	0.00	146.25
	Project Manager	8	weeks	0.00	0.00	0.00	0.00	40	37.50	1500.00	900.00	2400.00
	Project Superintendent	8	weeks	0.00	0.00	0.00	0.00	320	30.00	9600.00	5760.00	15360.00
	General Super	8	weeks	0.00	0.00	0.00	0.00	20	37.50	750.00	450.00	1200.00
	Estimator		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Project Engineer		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Time Keeper		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Watchmen		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Traffic Control		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Project Layout		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Project Safety	2	months	125.00	250.00	0.00	0.00		0.00	0.00	0.00	250.00
	Travel Exp. - Supt.	8	weeks	150.00	1200.00	0.00	0.00		0.00	0.00	0.00	1200.00
	Office/Storage Trailer		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Storage Trailer		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Toilet	2	months	150.00	300.00	0.00	0.00		0.00	0.00	0.00	300.00
	Temp. Phone	2	months	125.00	250.00	0.00	0.00		0.00	0.00	0.00	250.00
	Temp. Data/Wireless		By Owner	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Power		By Owner	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Heat - Allow		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Heat - Equip		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp. Enclosures	1	Allowance	750.00	750.00	0.00	0.00		0.00	0.00	0.00	750.00
	Temp. H2O/Sewer		By Owner	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Snow Removal		By Owner	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Field Office Supplies	8	weeks	15.00	120.00	0.00	0.00		0.00	0.00	0.00	120.00
	Daily Clean - Up		By Super	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
	Dumpster/Disp.	8	weeks	200.00	1600.00	0.00	0.00		0.00	0.00	0.00	1600.00
	Final Cleaning	1	ls	300.00	300.00	0.00	0.00	16	30.00	480.00	288.00	1068.00
	Project Drawings	1	allowance	250.00	250.00	0.00	0.00		0.00	0.00	0.00	250.00
	Small Tools	8	weeks	50.00	400.00	0.00	0.00		0.00	0.00	0.00	400.00
	Site Fencing	50	lf	0.00	0.00	5.00	250.00		0.00	0.00	0.00	250.00
	Encumbrance Permits		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Punch List	16	mh	0.00	0.00	0.00	0.00	16	30.00	480.00	288.00	768.00
	Testing		By Owner	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								412				
<b>Total General Requirements</b>				<b>11445.01</b>	<b>250.00</b>					<b>12810.00</b>	<b>7686.00</b>	<b>32191.01</b>
<b>2 Sitework</b>												
			NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
<b>Total Sitework</b>				<b>0.00</b>	<b>0.00</b>					<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>2A Demolition</b>												
	<b>Demolition Sub</b>	1	Sub	0.00	0.00	7700.00	7700.00		0.00	0.00	0.00	7700.00
	Remove Gypsum Walls		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Doors	5	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Windows	6	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Quarry Tile Floors	350	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Toilet Partitions		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Countertops		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Plumbing Fixtures		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Remove Concrete for Relocation		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Trenching and Backfill</b>	1	Allowance	0.00	0.00	0.00	0.00	8	25.00	200.00	120.00	320.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Cut Openings for Vents</b>	2	ea	25.00	50.00	0.00	0.00	4	25.00	100.00	60.00	210.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Misc. Demo</b>	1	Allowance	50.00	50.00	0.00	0.00	8	25.00	200.00	120.00	370.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								20				
<b>Total Demolition</b>				<b>100.00</b>	<b>7700.00</b>					<b>500.00</b>	<b>300.00</b>	<b>8600.00</b>

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
<b>3</b>	<b>Concrete</b>											
	<b>Patch Slab</b>			0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Concrete	1	cy	150.00	150.00	0.00	0.00		0.00	0.00	0.00	150.00
	Dowels	50	ea	2.00	100.00	0.00	0.00	16	25.00	400.00	240.00	740.00
	Pour and Finish	30	sf	1.00	30.00	0.00	0.00	8	25.00	200.00	120.00	350.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								24				
	<b>Total Concrete</b>				<b>280.00</b>		<b>0.00</b>			<b>600.00</b>	<b>360.00</b>	<b>1240.00</b>
<b>4</b>	<b>Masonry</b>											
			NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Masonry</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>5</b>	<b>Metals</b>											
	<b>Accessible Ramp Rails</b>		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Metal</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>6</b>	<b>Rough Carpentry</b>											
	<b>Framing Sub</b>	1	Sub	0.00	0.00	13670.00	13670.00		0.00	0.00	0.00	13670.00
	Install		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Materials	1	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Frame New Window/Door Openings		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Sheathing and Vapor Barrier	40	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Install HM Door Frames	3	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Misc. Carpentry</b>	1	Allowance	500.00	500.00	0.00	0.00	24	25.00	600.00	360.00	1460.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								24				
	<b>Total Rough Carpentry</b>				<b>500.00</b>		<b>13670.00</b>			<b>600.00</b>	<b>360.00</b>	<b>15130.00</b>
<b>6A</b>	<b>Finish Carpentry</b>											
	<b>Millwork Sub</b>	1	Sub	0.00	0.00	11648.00	11648.00		0.00	0.00	0.00	11648.00
	<b>Men 105</b>		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
	P.lam ADA Front	5	lf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Solid Surface Countertop	5	lf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Integral Sinks	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Women 104</b>		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	P.lam ADA Front	5	lf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Solid Surface Countertop	5	lf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Integral Sinks	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Trim</b>			0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	1x6 Door Casing	150	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	1x4 Poplar Window Trim	160	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	1x6 Poplar Jamb Extensions	210	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Solid Surface Sills	38	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Exterior Trims</b>		in Framing	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Labor		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Materials		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	5/4x6x18 PVC		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	5/4x10x18 PVC		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	3/8" PVC Sheet		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	1" Perimeter Moulding		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Finish Carpentry</b>				<b>0.00</b>		<b>11648.00</b>			<b>0.00</b>	<b>0.00</b>	<b>11648.00</b>
<b>7</b>	<b>Moisture Protection</b>											
	<b>Window Caulking</b>	200	lf	2.00	400.00	0.00	0.00	8	25.00	200.00	120.00	720.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Metal Window Flashing</b>	50	lf	12.00	600.00	0.00	0.00	8	25.00	200.00	120.00	920.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Insulation Sub</b>	1	Sub	0.00	0.00	600.00	600.00		0.00	0.00	0.00	600.00
	R-21 Unfaced Batt		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	6 Mil Vapor Barrier		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	SAFB 2-1/2" Insulation		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Draft Stop		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Misc. Caulking and Sealants</b>	1	Allowance	250.00	250.00	0.00	0.00	16	25.00	400.00	240.00	890.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								32				
	<b>Total Moisture Protection</b>				<b>1250.00</b>		<b>600.00</b>			<b>800.00</b>	<b>480.00</b>	<b>3130.00</b>

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
<b>8</b>	<b>Doors &amp; Windows</b>											
	<b>D/F/H Sub</b>	1	Sub	0.00	0.00	10050.00	10050.00		0.00	0.00	0.00	10050.00
	Full Glass HM Doors	3	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Flush HM Doors	2	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	HM Frames	5	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Hardware		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Door Glass</b>	1	Allowance	0.00	0.00	1628.00	1628.00		0.00	0.00	0.00	1628.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Windows</b>	1	ls	0.00	0.00	4744.57	4744.57		0.00	0.00	0.00	4744.57
	Type A	6	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Type B	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Type C	1	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Install		in Framing	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Doors &amp; Windows</b>				<b>0.00</b>		<b>16422.57</b>			<b>0.00</b>	<b>0.00</b>	<b>16422.57</b>
<b>9</b>	<b>Finishes</b>											
	<b>Drywall Sub</b>	1	Sub	0.00	0.00	6250.00	6250.00		0.00	0.00	0.00	6250.00
	Tile Backer Board		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	5/8" MR Gyp.		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	New Soffit Framing		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Wall Stub Outs		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>ACT Sub</b>	1	Sub	0.00	0.00	6372.00	6372.00		0.00	0.00	0.00	6372.00
	ACT	350	sf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Open Grid Tile	30	sf	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Tile Sub</b>	1	Sub	0.00	0.00	16670.00	16670.00		0.00	0.00	0.00	16670.00
	Floor Tile	350	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Wall Tile	700	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Bullnose		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Antifracture Membrane	350	sf	0.00	0.00	2.65	927.50		0.00	0.00	0.00	927.50
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Floor Prep</b>	350	sf	0.00	0.00	1.00	350.00		0.00	0.00	0.00	350.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Painting Sub</b>	1	Sub	0.00	0.00	8200.00	8200.00		0.00	0.00	0.00	8200.00

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
	Paint New Gyp Walls		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Proshop		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint 1 Wall @ Tavern		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint New & Affected Trim		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint New Door and Frames		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Interior of New Windows		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Touch up Shakes @ Removal		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint New PVC Trim		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Exist Wood Trim @ Bathroom Entrie		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Soffit		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Convector Covers		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Paint Ceilings		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Finishes</b>				<b>0.00</b>		<b>38769.50</b>			<b>0.00</b>	<b>0.00</b>	<b>38769.50</b>
<b>10</b>	<b>Specialties</b>											
	<b>Toilet Accessories Sub</b>	1	Sub	0.00	0.00	750.00	750.00		0.00	0.00	0.00	750.00
	Qualifying Bradley	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	50x36 Mirror	2	ea	0.00	0.00	350.00	700.00		0.00	0.00	0.00	700.00
	Soap Disp.	4	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	42" Grab Bar	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	18" Grab Bar	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	36" Grab Bar	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Toilet Paper Dispenser	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	PT Dispenser	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Napkin Disposal	2	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Coat Hooks	4	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Tackboards</b>		See Items	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	4'x3' Tackboard	2	ea	100.00	200.00	0.00	0.00	2	25.00	50.00	30.00	280.00
	2'x2' Tackboard	2	ea	75.00	150.00	0.00	0.00	2	25.00	50.00	30.00	230.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Toilet Partitions Sub</b>	1	Sub	0.00	0.00	4750.00	4750.00		0.00	0.00	0.00	4750.00
	Stalls	4	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Urinal Screens	1	ea	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								4				
	<b>Total Specialties</b>				<b>350.00</b>		<b>6200.00</b>			<b>100.00</b>	<b>60.00</b>	<b>6710.00</b>

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
11	Equipment		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Equipment</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
12	Furnishings		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Window Treatments		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Furnishings</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
13	Special Construction		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Special Construction</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
14	Conveying Systems		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Conveying Systems</b>				<b>0.00</b>		<b>0.00</b>			<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
15	Mechanical											
	<b>Mechanical Sub</b>	1	Sub	0.00	0.00	24733.00	24733.00		0.00	0.00	0.00	24733.00
	Exhaust Fans	2	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Ceiling Diffusers	2	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Insulated Domestic Water		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Pipe Toilets to Existing Pipe Locations		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Stamped Mech/Plumb Drawings</b>		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Sprinkler Work</b>		NONE	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00

DIV.	DESCRIPTION	QTY.	Unit	UNIT / MAT'L COST	TOTAL MAT'L COST	UNIT SUB COST	TOTAL SUB COST OR L.S.	LABOR HOURS	LABOR RATE	LABOR COST	LABOR FRINGE	TOTAL JOB COST
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Mechanical</b>				<b>0.00</b>		<b>24733.00</b>			<b>0.00</b>	<b>0.00</b>	<b>24733.00</b>
<b>16</b>	<b>Electrical</b>											
	<b>Electrical Sub</b>	1	Sub	0.00	0.00	5500.00	5500.00		0.00	0.00	0.00	5500.00
	Make Safe		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Temp Wiring and Lighting		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	2x2 LED Lighting	11	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Ceiling Occupancy Sensors	2	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	20A GFCI Receptacles	4	in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Relocate Existing Strobe Devices		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Power Wiring for Ceiling Fan		in Sub	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	<b>Stamped Electrical Drawings</b>		<b>NONE</b>	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	HVAC Control Wiring		<b>NONE</b>	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Fire Alarm		<b>NONE</b>	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Tel / Data		<b>NONE</b>	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
	Security		<b>NONE</b>	0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
				0.00	0.00	0.00	0.00		0.00	0.00	0.00	0.00
								0				
	<b>Total Electrical</b>				<b>0.00</b>		<b>5500.00</b>			<b>0.00</b>	<b>0.00</b>	<b>5500.00</b>
								516				
	<b>Grand Totals</b>				<b>13925.01</b>		<b>125493.07</b>			<b>15410.00</b>	<b>9246.00</b>	<b>194,306.67</b>

**CORPORATE OFFICE:**

27 Locke Road  
Concord, NH 03301  
Telephone: (603) 228-1122  
Fax: (603) 228-1126  
E-mail: [info@hlturner.com](mailto:info@hlturner.com)  
Web Page: [www.hlturner.com](http://www.hlturner.com)

**BRANCH OFFICES:**

26 Pinewood Lane  
Harrison, ME 04040-4334  
Telephone: (207) 583-4571  
Fax: (207) 583-4572

P.O. Box 1365  
75 South Street  
Lyndonville, VT 05851-1365  
Telephone: (802) 626-8233

100 Pearl Street, 14<sup>th</sup> Floor  
Hartford, CT 06103  
Telephone: (860) 249-7105  
Fax: (860) 249-7001