

MAP 6442Z LOTS 12 & 12-2
SITE PLAN



LOFTS 11

5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE

SUBMITTED FOR AN AMENDMENT TO AN APPROVED MAJOR SITE
PLAN FOR THE FOLLOWING CHANGES:

- 1) REPLACE PORTIONS OF GRANITE CURBING WITH MONOLITHIC
CONCRETE CURB AND SIDEWALK
- 2) REPLACE PORTIONS OF GRANITE CURBING WITH CAPE COD
BERM (SHEETS 6, 7 & 17)
- 3) ADDED ALTERNATIVE TYPICAL PAVEMENT SECTION TO
INCLUDE RECLAIMED BASE MATERIAL (SHEET 17)
- 4) REVISED LANDSCAPE PLAN TO ADDRESS COMMENTS NH
DIVISION OF HISTORICAL RESOURCES (NHDHR) (BY PROJECT'S
LANDSCAPE ARCHITECT)



LOCATION PLAN
SCALE: 1" = 400'

PREPARED FOR



670 N. COMMERCIAL STREET, SUITE 303
MANCHESTER, NEW HAMPSHIRE 03101

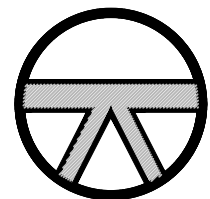
RECORD OWNER

STICKNEY AVENUE, LLC

670 N. COMMERCIAL STREET, SUITE 303
MANCHESTER, NEW HAMPSHIRE 03101

20 JULY 2022

9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
8	9/11/24	ADDRESS STAFF COMMENTS, ADD CIPP LINING SCOPE & REVISE EASEMENTS	TEZ
7	4/16/24	ADDRESS STAFF & NHDES COMMENTS	TEZ
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Hayner/Swanson, Inc.

Civil Engineers/Land Surveyors
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(603) 883-2057
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CITY OF CONCORD PLANNING BOARD
CONDITIONS OF APPROVAL:

THE CITY OF CONCORD PLANNING BOARD, AT ITS MEETING ON MARCH 15, 2023, VOTED TO GRANT ARCHITECTURAL
DESIGN REVIEW (ADR) APPROVAL TO REDEVELOP FIVE VACANT DOT HIGHWAY GARAGE STRUCTURES INTO (80)
MULTIFAMILY RESIDENTIAL UNITS AT 11 STICKNEY AVE IN THE OPPORTUNITY CORRIDOR PERFORMANCE (OCP).

THE BOARD ALSO VOTED TO GRANT THE CONDITIONAL USE PERMIT TO ARTICLE 28-4-5(a)(L) MIXED USE COMPONENT
REQUIRED TO NOT PROVIDE A COMMERCIAL COMPONENT IN THIS DEVELOPMENT.

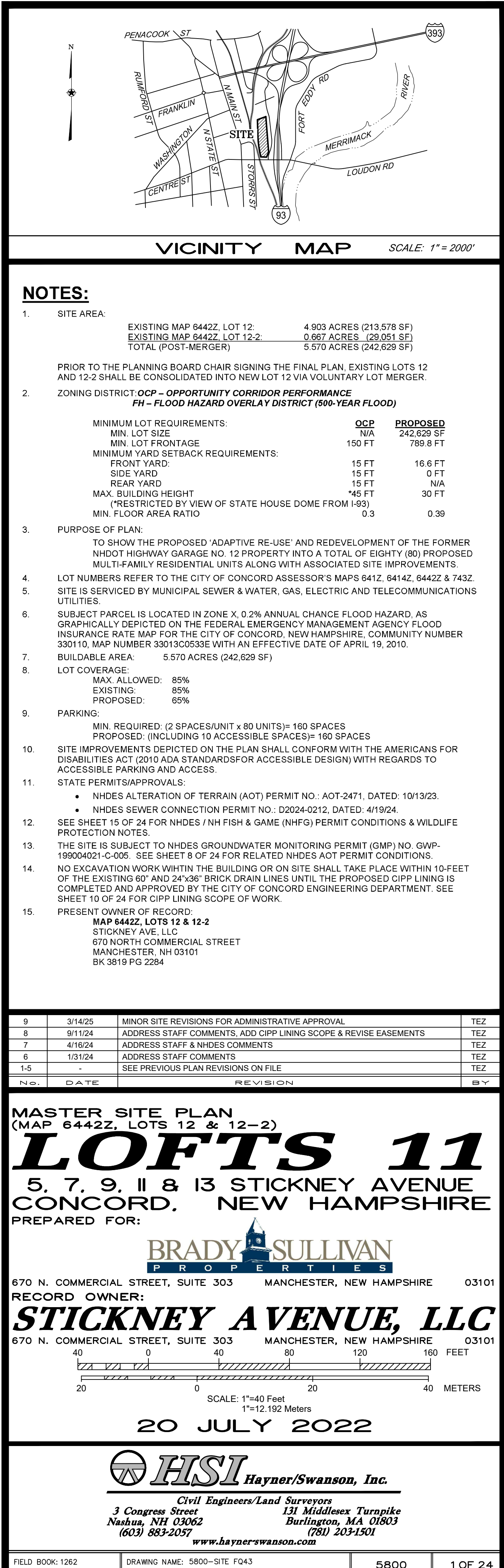
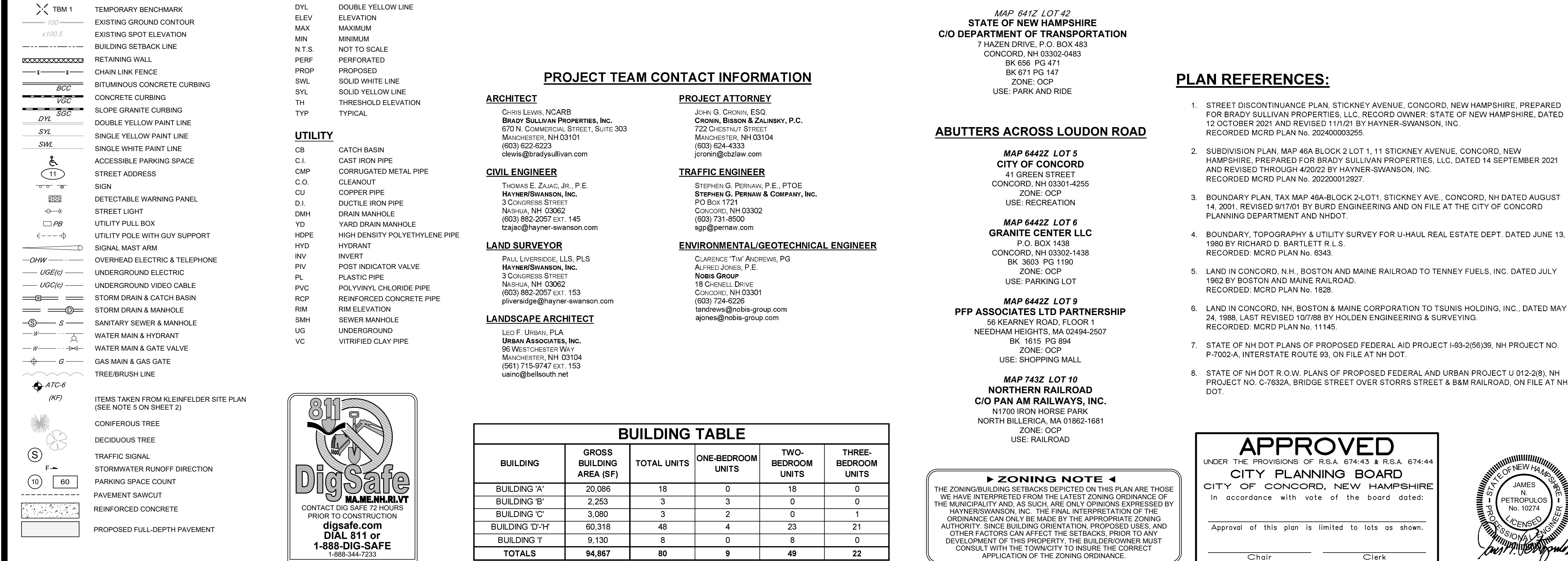
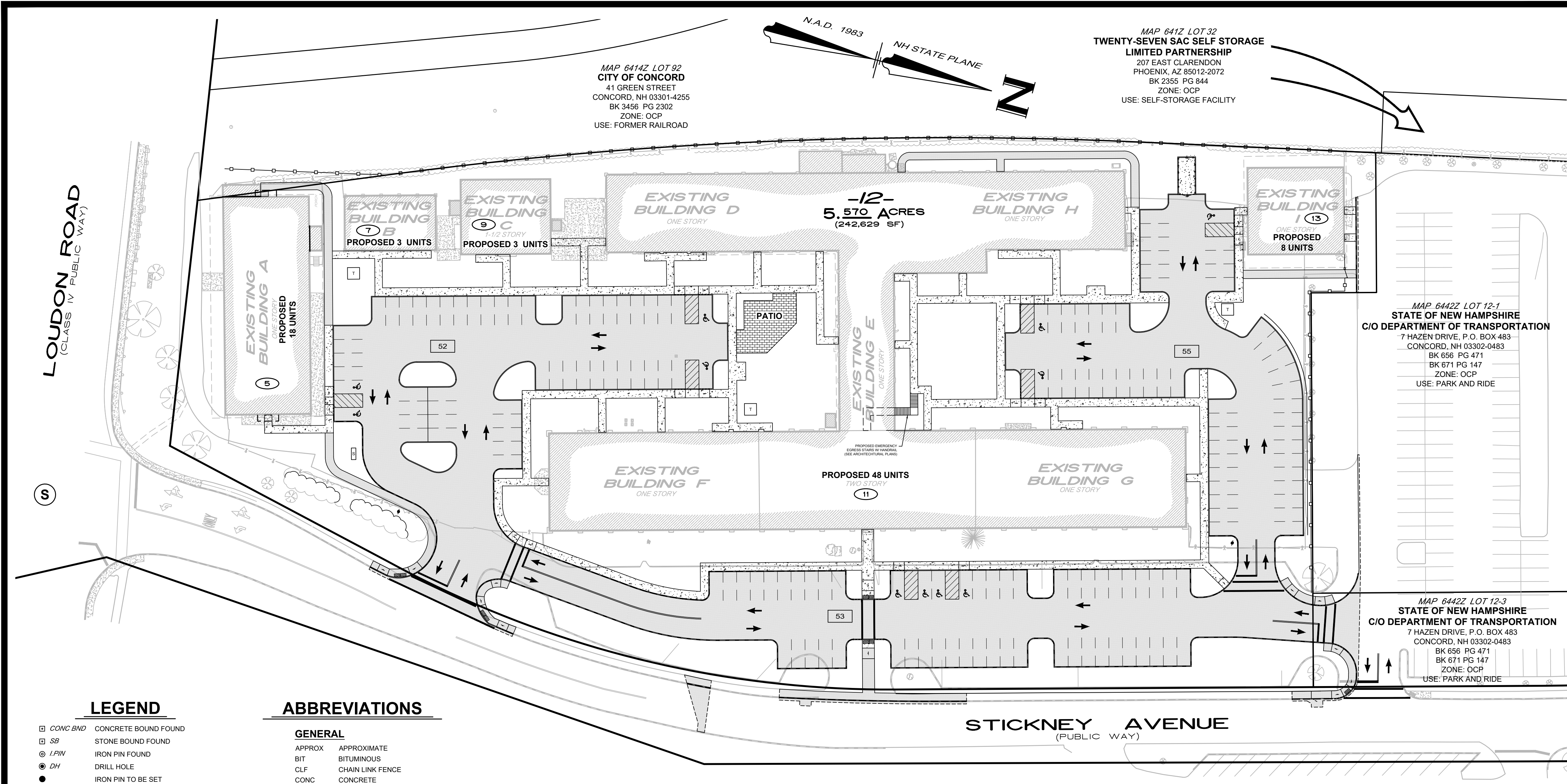
FINALLY, THE BOARD VOTED TO GRANT MAJOR SITE PLAN APPROVAL SUBJECT TO THE FOLLOWING SUBSEQUENT
CONDITIONS — TO BE FULFILLED AS SPECIFIED:

1. THE APPLICANT OR DESIGNATED AGENT SHALL CONTACT THE ENGINEERING SERVICES DIVISION TO SCHEDULE
A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES ONSITE. SEE
ENGINEERING MEMO FOR ADDITIONAL PRE-CONSTRUCTION ITEMS TO BE ADDRESSED.
2. PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT, THE APPLICANT WILL PROVIDE TO THE CITY
SOLICITOR A FINANCIAL GUARANTEE FOR ALL PUBLIC IMPROVEMENTS ON AND OFF SITE AND A GUARANTEE
FOR THE SITE STABILIZATION IN AN AMOUNT APPROVED BY THE CITY ENGINEER, AND IN A FORM ACCEPTABLE
TO THE CITY SOLICITOR.
3. THE APPLICANT SHALL COORDINATE ANY SIDEWALK CONSTRUCTION WITH THE CITY OF CONCORD GENERAL
SERVICES DEPARTMENT.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE
CITY ENGINEER IN ACCORDANCE WITH SECTION 12.09 OF THE SITE PLAN REGULATIONS. THE AS-BUILT
DRAWINGS SHALL BE SURVEYED ON NH STATE PLANE COORDINATES AND NAVD 88 DATUM.
5. TRAFFIC AND RECREATION IMPACT FEES SHALL BE ASSESSED FOR ANY RESIDENTIAL CONSTRUCTION
CONTAINED WITHIN THE LIMITS OF THE APPROVED SITE PLAN. THE IMPACT FEES AND PROCEDURES SHALL BE
THOSE IN EFFECT AT THE TIME OF THE ISSUANCE OF A BUILDING PERMIT AS SET FORTH IN THE CITY OF
CONCORD CODE OF ORDINANCES, TITLE IV, SUBDIVISION CODE CHAPTER 29.2, PUBLIC CAPITAL FACILITIES
IMPACT FEE ORDINANCE. THE SPECIFIC FEES ASSESSED ARE THOSE CONTAINED IN SECTION 29.2-1.1
ASSESSMENT AND COLLECTION; SUBSECTION (b) COMPUTATION OF THE AMOUNT OF IMPACT FEES; TABLE 2,
RECREATIONAL FACILITIES IMPACT FEE PER VARIABLE UNIT; AND TABLE 3, TRANSPORTATION FACILITIES
IMPACT FEE PER VARIABLE UNIT.
A. RECREATIONAL FACILITIES - MULTI-UNIT/APARTMENT
B. TRANSPORTATION FACILITIES - MULTI-UNIT/APARTMENT

INDEX OF PLANS

SHEET No.	TITLE
1 OF 24	MASTER SITE PLAN 1"= 40'
2-3 OF 24	EXISTING CONDITIONS PLANS 1"= 20'
4-5 OF 24	SITE DEMOLITION PLANS 1"= 20'
6-7 OF 24	SITE LAYOUT PLANS 1"= 20'
8-9 OF 24	SITE GRADING & DRAINAGE PLANS 1"= 20'
10-11 OF 24	SITE UTILITY PLANS 1"= 20'
12-14 OF 24	UTILITY PROFILES 1"= 40' H 1"= 4' V
15 OF 24	EROSION CONTROL PLAN 1"= 40'
16 OF 24	DETAIL SHEET - EROSION CONTROL
17-20 OF 24	DETAIL SHEET - GENERAL SITE
21 OF 24	DETAIL SHEET - SEWER
22 OF 24	DETAIL SHEET - WATER
23 OF 24	PHOTOMETRIC SITE LIGHTING PLAN 1"= 40'
24 OF 24	FIRE TRUCK TURNING PLAN 1"= 40'
	LANDSCAPE PLANS, NOTES & DETAILS (BY OTHERS)
	ARCHITECTURAL FLOOR PLANS & ELEVATIONS (BY OTHERS)





LOUDON ROAD
(CLASS IV PUBLIC WAY)

SEE SHEET 3 OF 24

MATCH LINE

SURVEY NOTES:

- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON A FIELD SURVEY PERFORMED BY THIS OFFICE IN JUNE & JULY 2021.
- SURVEY CONTROL INFORMATION:
VERTICAL DATUM: NAVD83
HORIZONTAL DATUM: NAD83
HORIZONTAL PROJECTION: NH STATE PLANE
UNITS: US SURVEY FEET
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE EXISTING TOPOGRAPHY PRIOR TO EARTHWORK OPERATIONS. NO CLAIM FOR EXTRA WORK DUE TO TOPOGRAPHIC INACCURACY SHALL BE CONSIDERED AFTER EARTHWORK HAS COMMENCED.
- THE CONTRACTOR SHALL ONLY USE BENCHMARKS AS PROVIDED BY THE ENGINEER.
- ITEMS IDENTIFIED WITH 'W' (WATER) SUCH AS MONITORING WELLS AND USTs ARE SHOWN AS DEPICTED ON A PLAN ENTITLED 'SITE PLAN, NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION, HIGHWAY GARAGE 12, 11 STICKNEY AVENUE, CONCORD, NEW HAMPSHIRE, SCALE: 1" = 100', DATED 07-08-2021 AND PREPARED BY KLEINFELDER AND WERE NOT LOCATED AS PART OF THIS SURVEY.
- LOUDON ROAD (FORMERLY BRIDGE STREET) IS A CLASS IV PUBLIC RIGHT OF WAY CONVEYED BY THE STATE OF NEW HAMPSHIRE TO THE CITY OF CONCORD AT BOOK 1392, PAGE 864.
- AT THEIR OCTOBER 11, 2022 MEETING, THE CONCORD CITY COUNCIL RESOLVED TO DISCONTINUE A PORTION OF OLD STICKNEY AVENUE. PRIVATE RIGHTS AND RIGHTS FOR PUBLIC UTILITIES MAY EXIST WITHIN THE FORMER LOCATION.
- THE PRESENT STICKNEY AVENUE WAS LAID OUT ACROSS LANDS OF THE STATE OF NEW HAMPSHIRE AND ACROSS PORTIONS OF (OLD) STICKNEY AVENUE AS A PART OF NH PROJECT NO. P-7002-A (INTERSTATE ROUTE 93). PER CORRESPONDENCE WITH THE CITY OF CONCORD ENGINEERING DEPARTMENT, THE CITY OF CONCORD CITY COUNCIL HAS NOT MADE A SPECIFIC ACCEPTANCE OF THE LAID-OUT LOCATION BY THE STATE OF NEW HAMPSHIRE. FURTHERMORE, THE CITY HAS NO RECORDS OF THE STATE OF NEW HAMPSHIRE RECLASSIFYING IT AND TURNING IT OVER TO THE CITY AS EITHER A CLASS IV OR V PUBLIC HIGHWAY.
- SEVERAL DRAIN MANHOLE STRUCTURES SHOWN ON THIS PLAN HAD SEWER COVERS AT TIME OF SURVEY.

EASEMENTS, RIGHTS & RESTRICTIONS:

- THE SUBJECT PROPERTY MAY BE SUBJECT TO THE FOLLOWING EASEMENT:
A. GROUNDWATER MANAGEMENT ZONE AS REFERENCED IN DOCUMENT RECORDED NOVEMBER 8, 2000 AT BOOK 2230, PAGE 1107.
- EASEMENTS, RIGHTS AND RESTRICTIONS LISTED ABOVE OR DEPICTED ON THIS PLAN ARE THOSE THAT WERE FOUND AT THE REGISTRY OF DEEDS FOR THE PURPOSES OF THE DETERMINATION AND LOCATION OF THE PROPERTY LINES OF THE SURVEYED PREMISES. EASEMENTS, RIGHTS AND RESTRICTIONS INCLUDING BUT NOT LIMITED TO UNWRITTEN RIGHTS MAY AFFECT THE PROPERTY. THE SURVEYOR MAKES NO PROFESSIONAL OPINION REGARDING TITLE, RIGHTS OR OWNERSHIP OF PROPERTY.

UTILITY NOTE

THE UNDERGROUND UTILITIES DEPICTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND PLOTTED FROM EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.

UTILITY QUALITY LEGEND

- SUBSURFACE UTILITIES AS DEPICTED ON THIS PLAN ARE IDENTIFIED BY QUALITY LEVELS DEFINED BY C/ASCE 38-02 "ASCE STANDARD GUIDELINE FOR COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"
- LEVEL A (a) PRECISE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES OBTAINED BY ACTUAL EXPOSURE AND SUBSEQUENT MEASUREMENTS OF SUBSURFACE UTILITIES.
 - LEVEL B (b) INFORMATION OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. (E DISSAFE)
 - LEVEL C (c) INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGEMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D INFORMATION.
 - LEVEL D (d) INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS.

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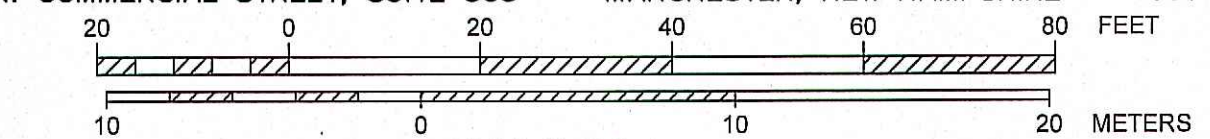
EXISTING CONDITIONS PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

RECORD OWNER:
STICKNEY AVENUE, LLC

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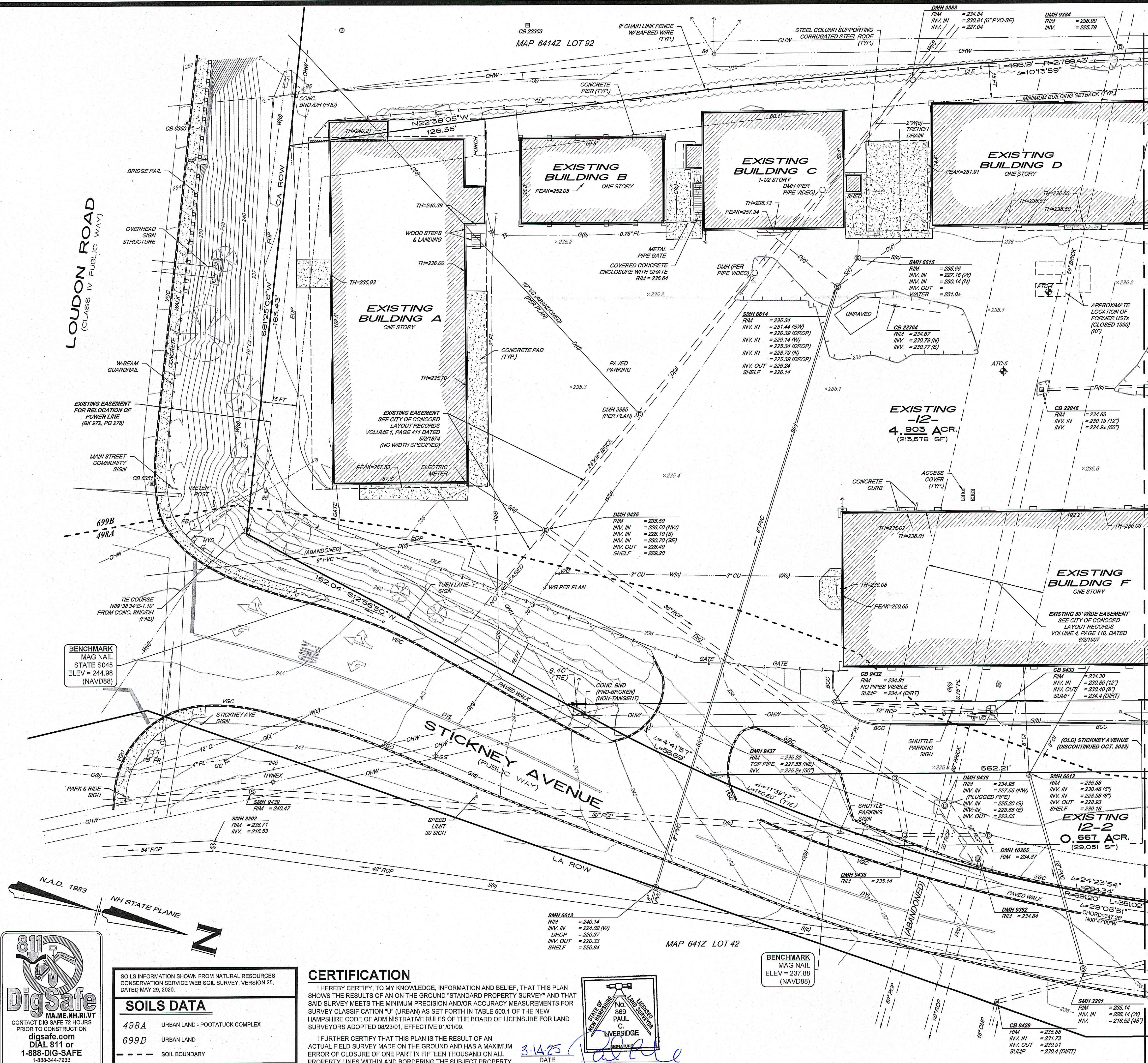


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FIELD BOOK: 1262	DRAWING NAME: 5800-SITE E222	5800	2 OF 24
DRAWING LOC.: \\5000\5800\DWG\5800 SITE	File Number	Sheet	



SOILS DATA

498A	URBAN LAND - FOOTLOCK COMPLEX
699B	URBAN LAND
---	SOIL BOUNDARY

CERTIFICATION

I HEREBY CERTIFY, TO MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THIS PLAN SHOWS THE RESULTS OF AN ON THE GROUND "STANDARD PROPERTY SURVEY" AND THAT SAID SURVEY MEETS THE MINIMUM PRECISION AND/OR ACCURACY MEASUREMENTS FOR SURVEY CLASSIFICATION "U" (URBAN) AS SET FORTH IN TABLE 500.1 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS ADOPTED 08/23/01, EFFECTIVE 01/01/09.

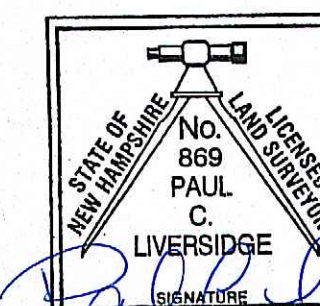
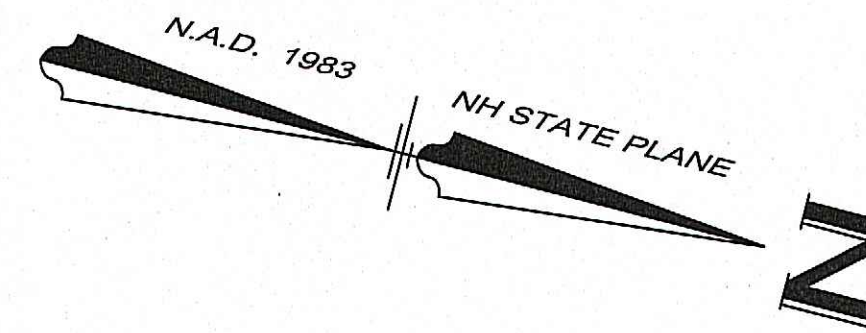
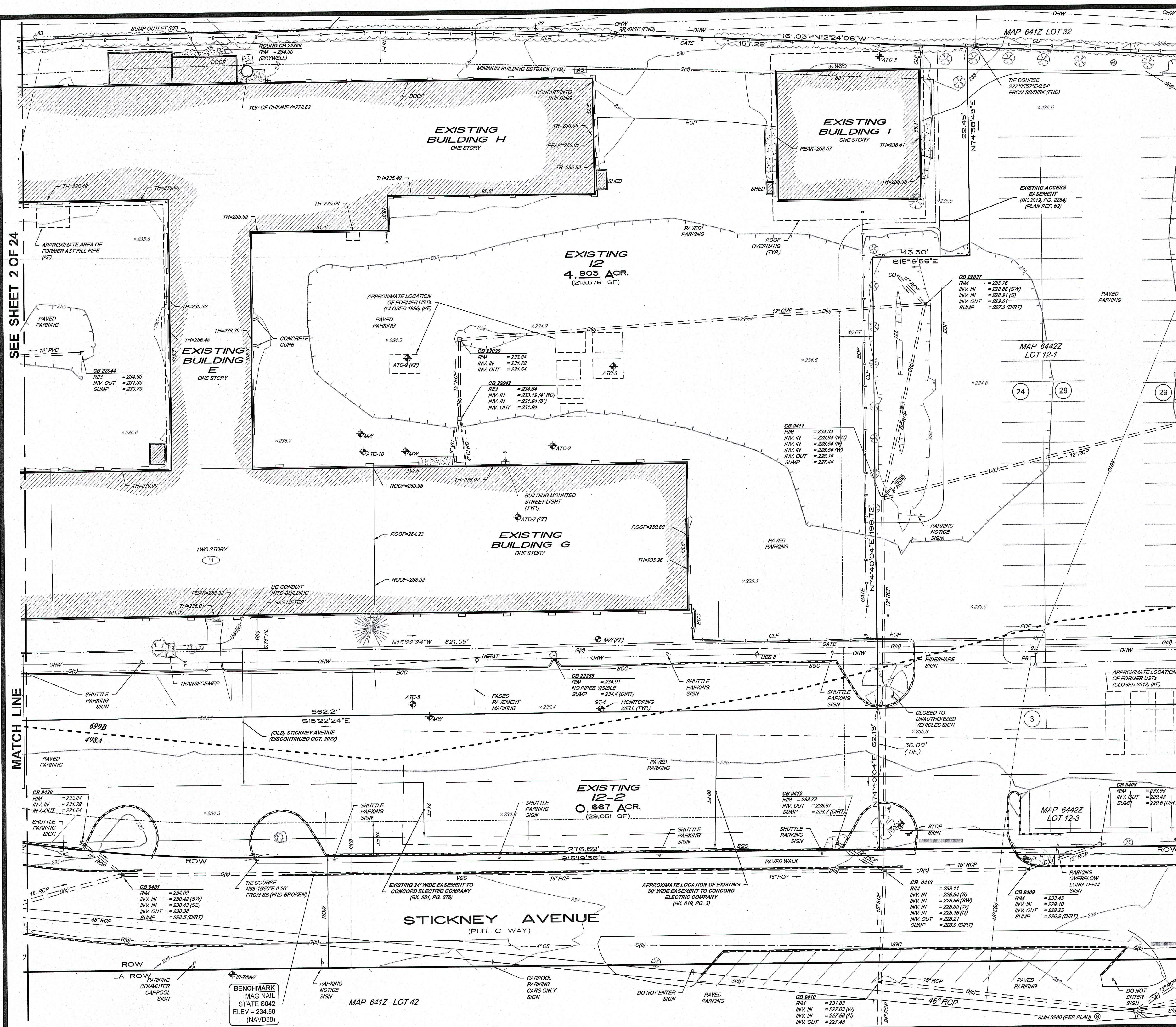
I FURTHER CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL FIELD SURVEY MADE ON THE GROUND AND HAS A MAXIMUM ERROR OF CLOSURE OF ONE PART IN FIFTEEN THOUSAND ON ALL PROPERTY LINES WITHIN AND BORDERING THE SUBJECT PROPERTY.

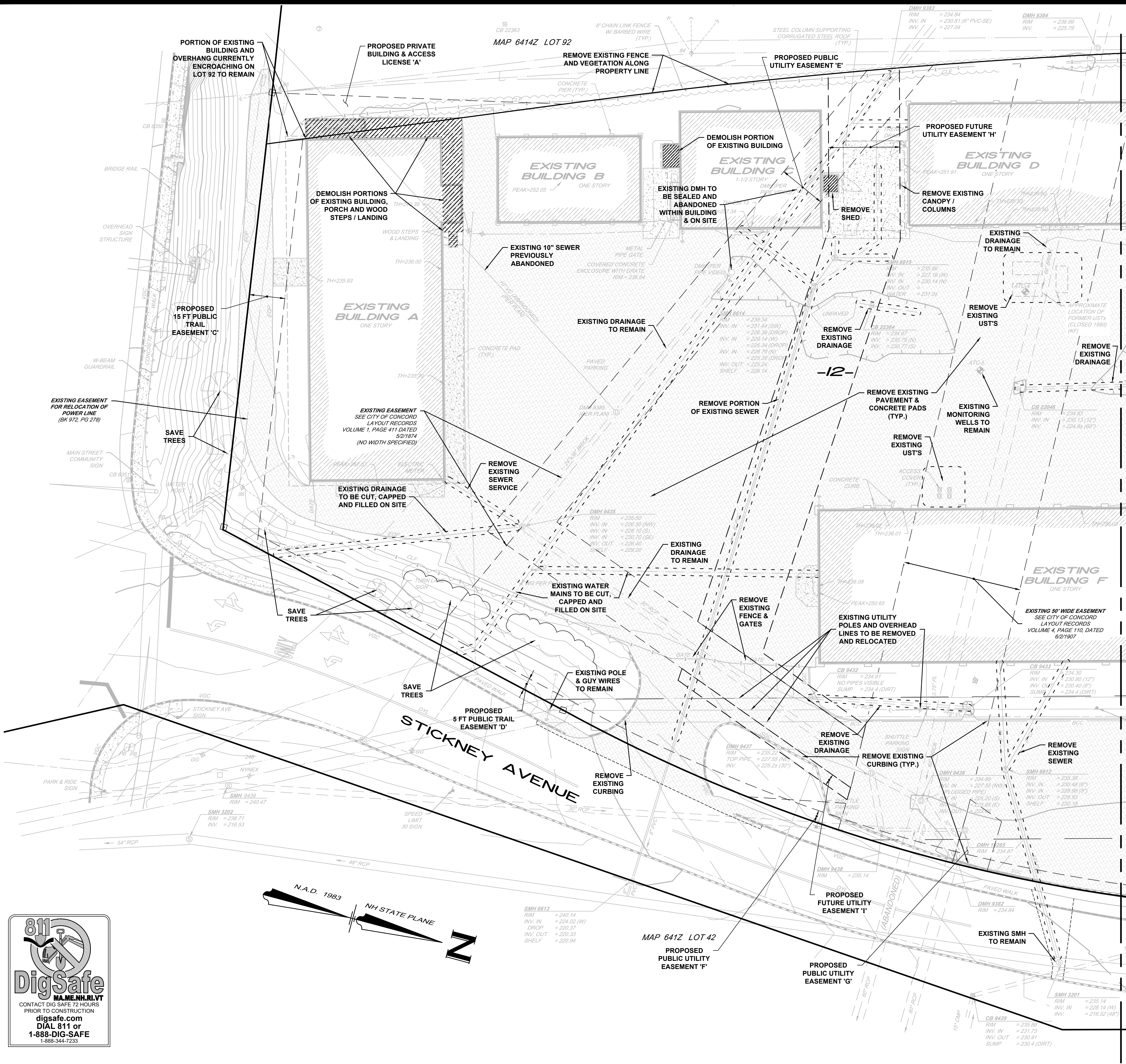
DATE: 3.14.25

PAUL C. LIVERSIDGE, LLS

BENCHMARK
MAG NAIL
ELEV = 237.88
(NAVD83)

811 DigSafe
MA, ME, NH, RI, VT
CONTACT DIG SAFE 72 HOURS
PRIOR TO CONSTRUCTION
digsafe.com
DIAL 811 or
1-888-DIG-SAFE
1-888-344-7233





SEE SHEET 5 OF 24

MATCH LINE

SITE DEMOLITION/CONSTRUCTION NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FOUNDATIONS, PARKING DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE GEOTECHNICAL SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR SITE DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ON SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. THE CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ROAD RIGHT OF WAY DURING CONSTRUCTION.
7. PRIOR TO SITE DEMOLITION OCCURRING, ALL APPROPRIATE EROSION CONTROL DEVICES ARE TO BE INSTALLED.
8. DURING THE REMOVAL OF THE EXISTING DRAINAGE AND SEWER SERVICE PIPE THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DIRT OR DEBRIS FROM ENTERING THE SYSTEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY OF CONCORD PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION. A DEMOLITION PERMIT SHALL BE OBTAINED FROM THE CITY OF CONCORD PRIOR TO THE COMMENCEMENT OF WORK.
10. FOR WORK WITHIN A PUBLIC STREET THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY ENGINEERING DEPARTMENT.
11. NO EXCAVATION WORK WITHIN THE BUILDING OR ON SITE SHALL TAKE PLACE WITHIN 10- FEET OF THE EXISTING 60" AND 24"x36" BRICK DRAIN LINES UNTIL THE PROPOSED CIPP LINING IS COMPLETED AND APPROVED BY THE CITY OF CONCORD ENGINEERING DEPARTMENT. SEE SHEET 10 OF 24 FOR CIPP LINING SCOPE OF WORK.

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SITE DEMOLITION PLAN
(MAP 6442Z, LOTS 12 & 12-2)
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5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:



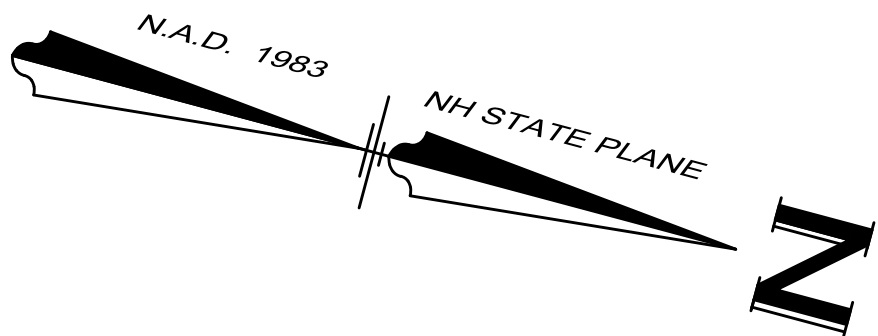
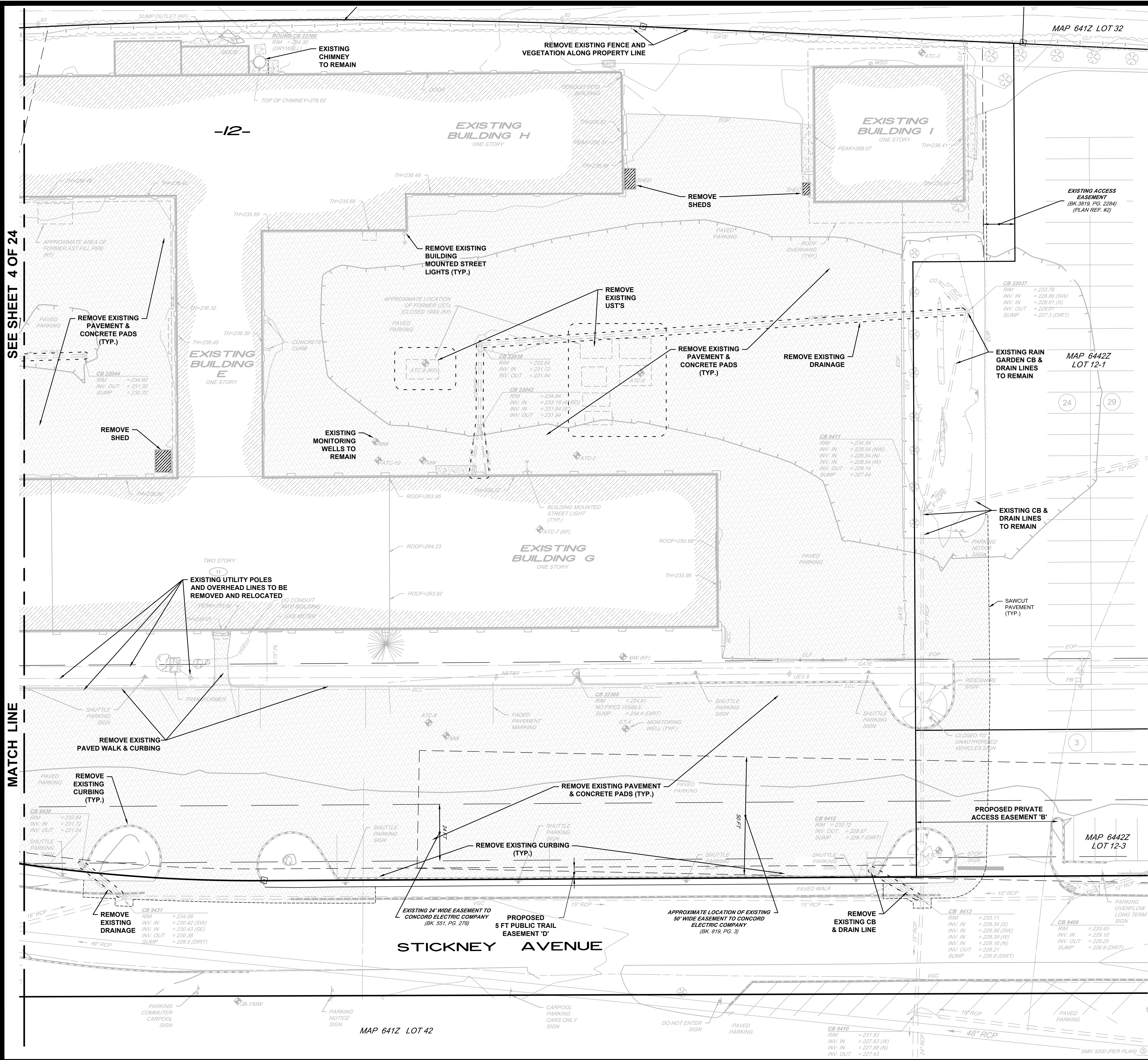
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20 JULY 2022



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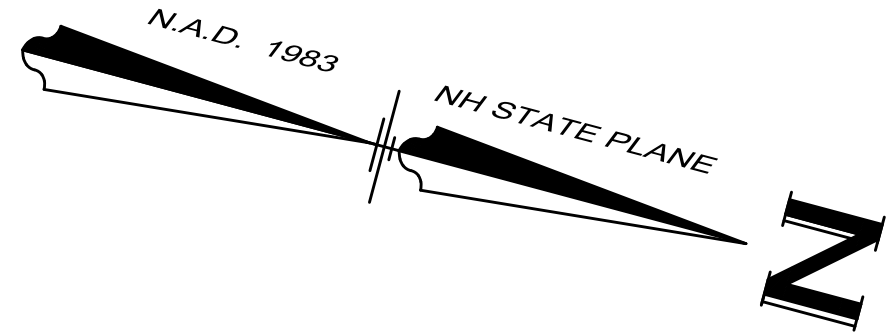
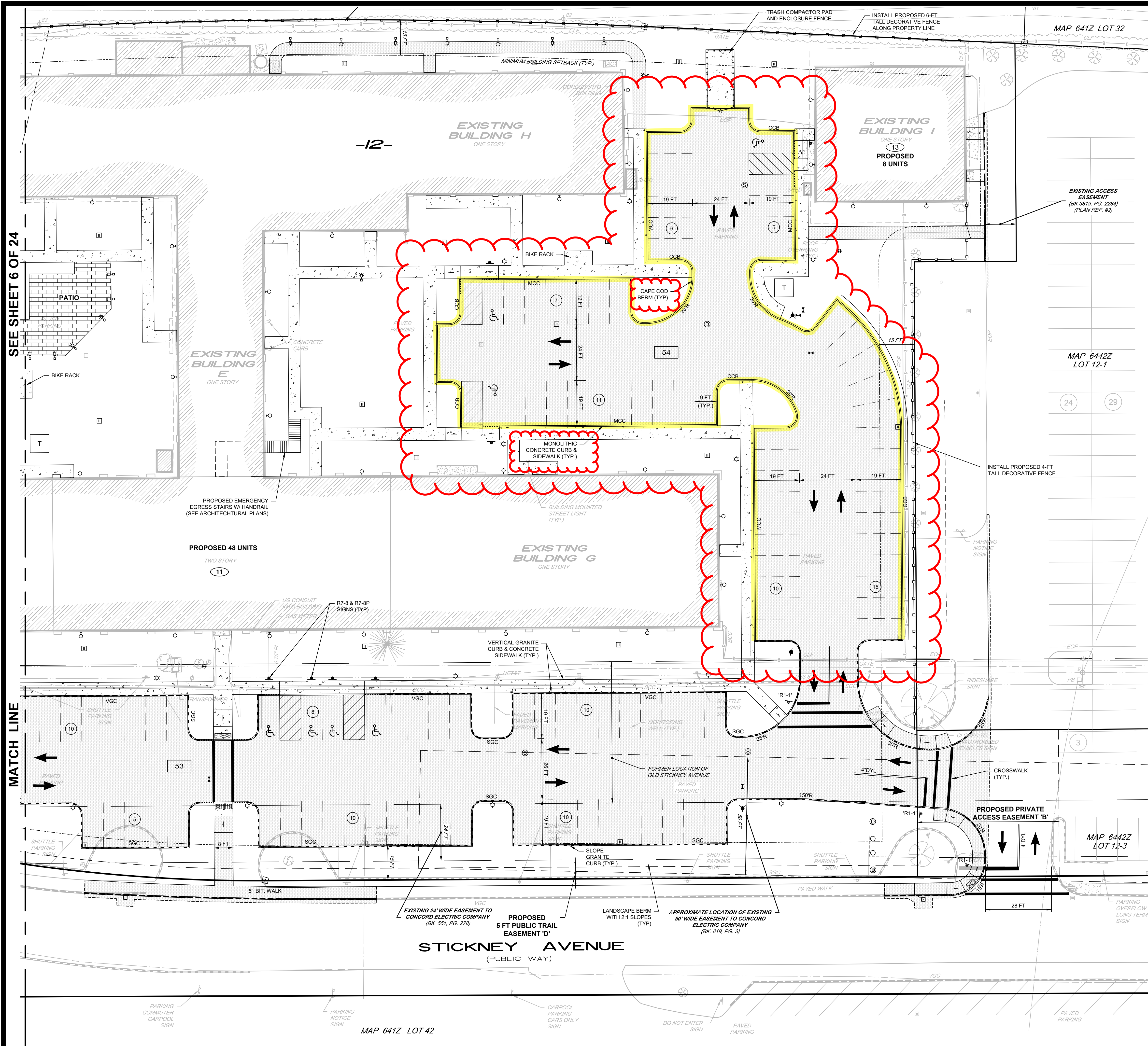
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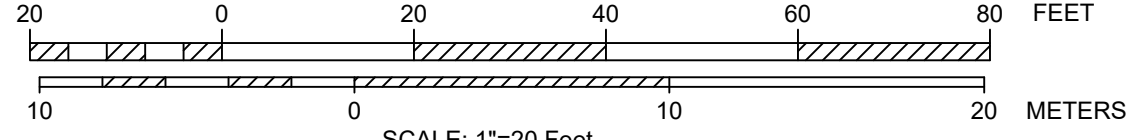


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SITE LAYOUT PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:



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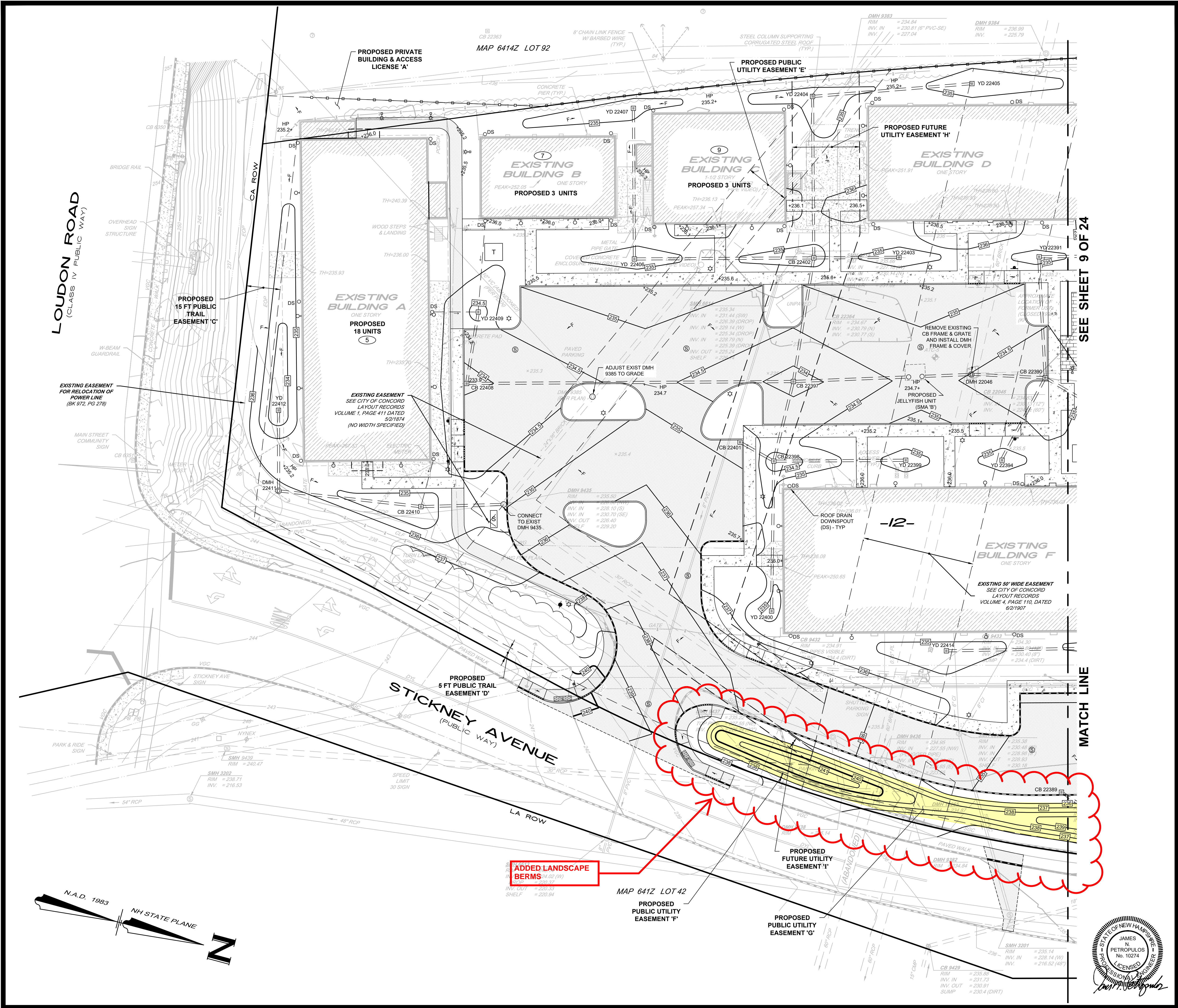


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FIELD BOOK: 1262	DRAWING NAME: 5800-SITE F022	5800	7 OF 24
DRAWING LOC.: \\5000\5800\DWG\5800 SITE	File Number		Sheet



CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF CONCORD, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CONSTRUCTION STANDARDS AND DETAILS, CITY OF CONCORD, NEW HAMPSHIRE, LATEST EDITION, ARE HEREBY INCORPORATED BY REFERENCE.
- ROAD AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE CONSTRUCTION STANDARDS AND DETAILS, CITY OF CONCORD, NEW HAMPSHIRE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION, AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS BEFORE DIGGING.
- BLASTING, IF NEEDED, SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF CONCORD FIRE DEPARTMENT REGULATIONS.
- ALL STUMPS SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED IMMEDIATELY UPON BEING CONSTRUCTED.
- PROPOSED LIGHT POLE BASES SHALL BE DESIGNED BY OTHERS.
- THE CONTRACTOR SHALL COORDINATE CONSTRUCTION OF THE PROPOSED SIDEWALKS AT THE BUILDINGS SUCH THAT THE SIDEWALK ELEVATION IS ONE-HALF INCH (1/2") LOWER THAN THE ELEVATION OF THE PROPOSED DOOR THRESHOLD.

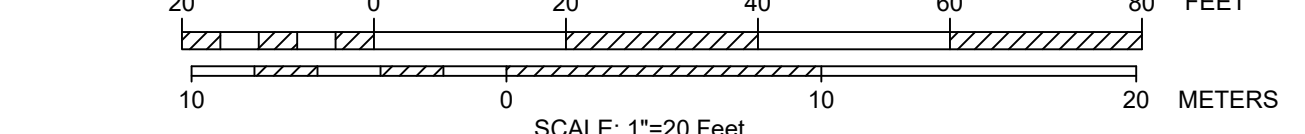
NHDES AOT PERMITTING NOTES:

- AS IDENTIFIED BY THE NHDES HAZARDOUS WASTE REMEDIATION BUREAU, IF DEWATERING IS REQUIRED DURING CONSTRUCTION, A TEMPORARY GROUNDWATER DISCHARGE PERMIT FROM THE NHDES GROUNDWATER DISCHARGE PROGRAM, WILL BE REQUIRED TO MANAGE CONTAMINATED GROUNDWATER.
- THERE ARE SOME AREAS ON THIS SITE WHERE SOIL CONTAMINATION EXISTS AND HAS NOT BEEN FULLY DELINEATED. IF ADDITIONAL SOIL CONTAMINATION IS ENCOUNTERED DURING REDEVELOPMENT ACTIVITIES, NHDES MUST BE NOTIFIED UNDER ENV-OR 604. IF CONTAMINATED SOIL IS ENCOUNTERED, IT MUST BE MANAGED IN ACCORDANCE WITH ENV-OR 600 RULES. THE NHDES OIL REMEDIATION AND COMPLIANCE BUREAU (OCRB) HIGHLY RECOMMENDS (BUT DOES NOT REQUIRE) THAT A SOIL AND GROUNDWATER MANAGEMENT PLAN IS PREPARED PRIOR TO DISTURBING THE SUBSURFACE. AREAS WITH POTENTIAL PETROLEUM CONTAMINATION IN SOIL INCLUDE, BUT ARE NOT LIMITED TO:
 - WEST OF BUILDING H IN THE VICINITY OF THE DRY WELL AND 8,000-GALLON AST.
 - EAST OF BUILDING D IN THE VICINITY OF FORMER USTS AND FORMER AST FILL PIPE.
- CONDITION #10 OF GMP WWP-199004021-C-005 REQUIRES THE RESPONSIBLE PARTY (RP) TO MAINTAIN ALL MONITORING WELLS AT THE SITE. IF ANY MONITORING WELLS ARE DAMAGED DURING REDEVELOPMENT ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE RP TO REPAIR AND/OR REPLACE DAMAGED OR DESTROYED WELLS. THESE REPAIRS WOULD NOT BE ELIGIBLE FOR REIMBURSEMENT UNDER THE PETROLEUM REIMBURSEMENT FUND, SO ORCB RECOMMENDS THAT EVERY EFFORT IS MADE TO AVOID DAMAGING ON-SITE MONITORING WELLS, WHERE POSSIBLE.

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6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ
NO.	DATE	REVISION	BY

SITE GRADING & DRAINAGE PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

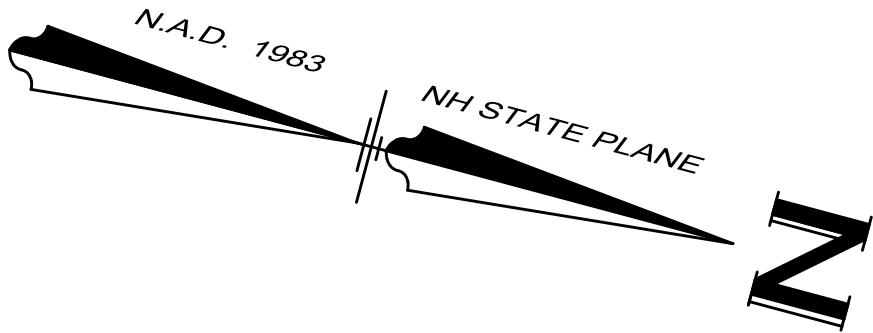
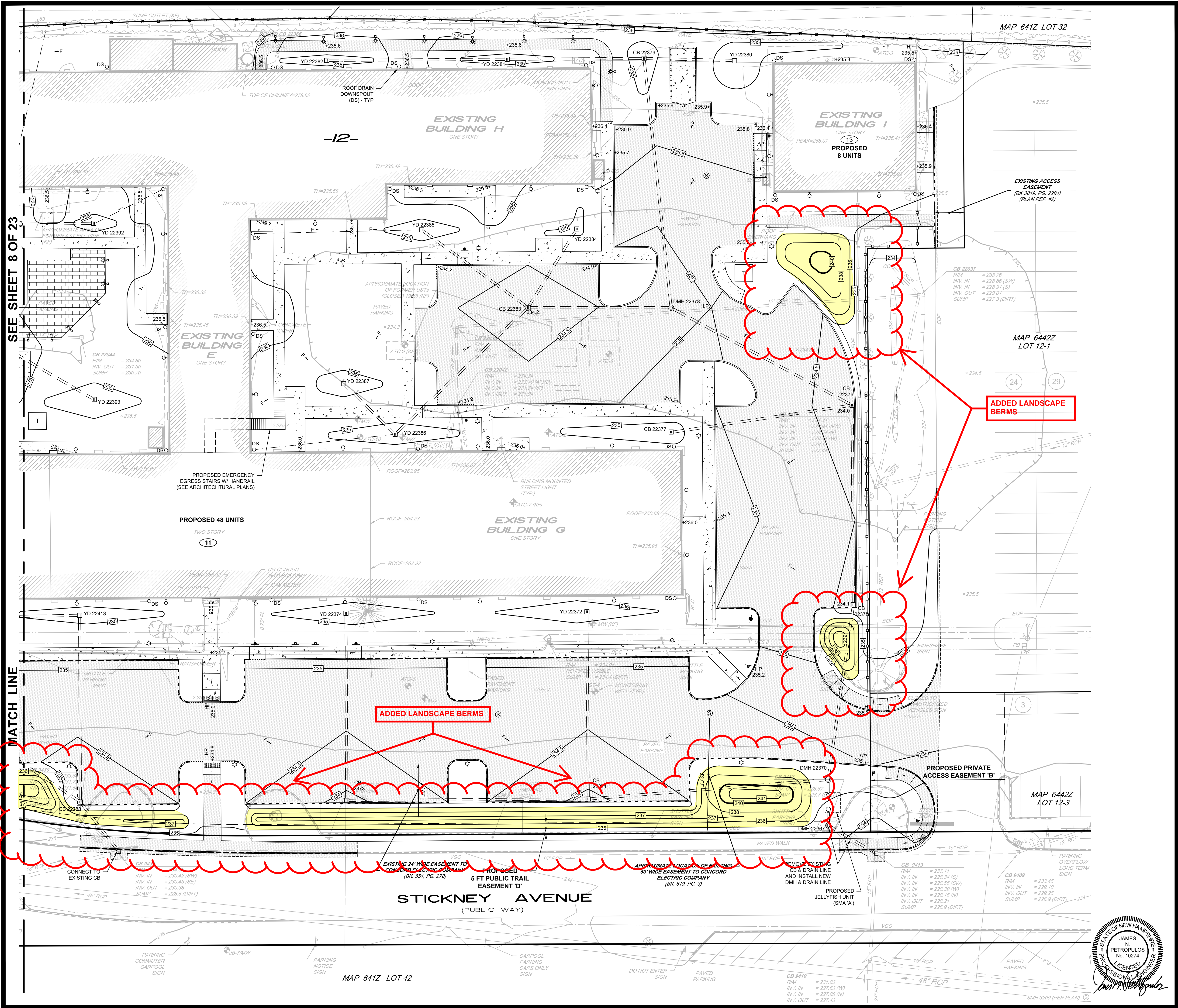
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
RECORD OWNER:
STICKNEY AVENUE, LLC
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101



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FIELD BOOK: 1262	DRAWING NAME: 5800-SITE.FG22	5800	8 OF 24
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**CITY OF CONCORD
CONTACTS**

PLANNING DIVISION
CITY OF CONCORD
PLANNING DIVISION
41 GREEN STREET
CONCORD, NH 03301
ATT: ANN MARIE SKINNER, AICP
(603) 230-3636

ENGINEERING DIVISION
CITY OF CONCORD
ENGINEERING SERVICES DIVISION
41 GREEN STREET
CONCORD, NH 03301
ATT: PETER KOHALMI, P.E.
(603) 230-3613

FIRE DEPARTMENT
CITY OF CONCORD
FIRE DEPARTMENT
24 HORSESHOE POND LANE
CONCORD, NH 03301
ATT: PAUL SIROIS, FIRE MARSHAL
(603) 225-8650

BUILDING/ZONING
CITY OF CONCORD
CODE ADMINISTRATION OFFICE
37 GREEN STREET
CONCORD, NH 03301
ATT: DAVID HALL
(603) 225-5550

**UTILITY COMPANY
CONTACTS**

GAS
LIBERTY UTILITIES
130 ELM STREET
MANCHESTER, NH 03103
ATTN: ANDREW MORGAN
(603) 327-5357

ELECTRIC
UNITIL ENERGY SYSTEMS
1 MCGUIRE STREET
CONCORD, NH 03301
ATTN: CHUCK LLOYD
(603) 227-4520

TELECOMMUNICATIONS
CONSOLIDATED COMMUNICATIONS
100 GAY STREET
MANCHESTER, NH 03103
ATT: JOY MENDONCA
(603) 722-9944

NOTE
SEE SHEET 18 OF 24 FOR
ACCESSIBLE PARKING AREA
GRADING AND DETAILS

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SITE GRADING & DRAINAGE PLAN
(MAP 6442Z, LOTS 12 & 12-2)

LOFTS 11

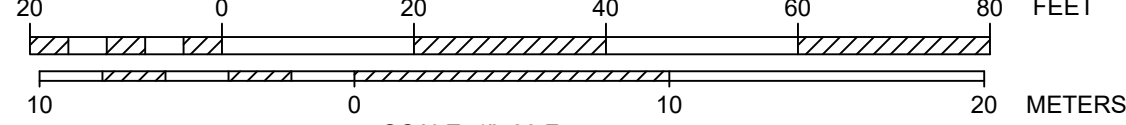
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE

PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

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670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101



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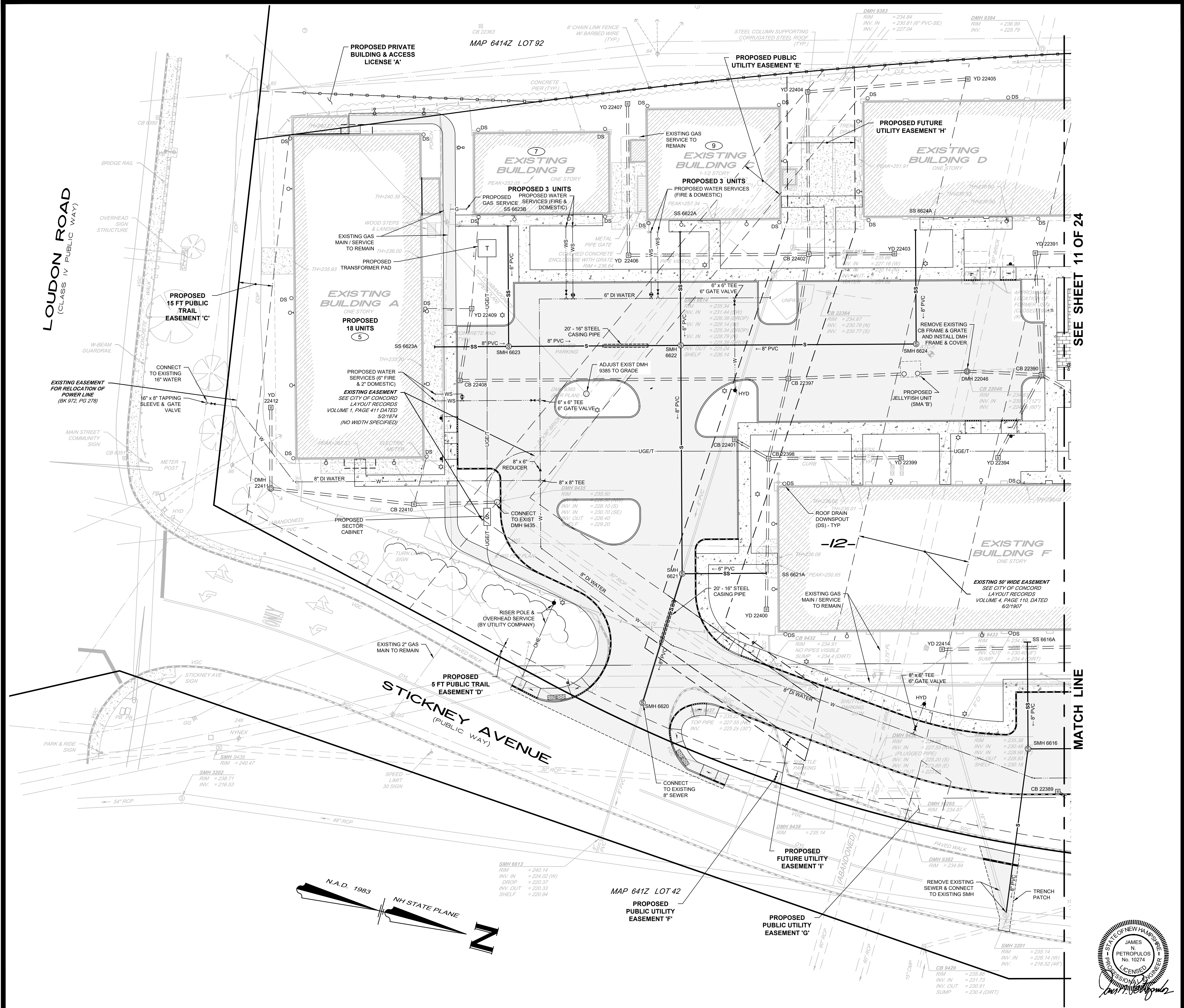
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UTILITY NOTES:

- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS
- CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS AND SPECIFICATIONS OF THE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
- ALL DRAINAGE PIPES SHALL BE CLASS IV 3000 D (RCP) UNLESS OTHERWISE NOTED. ALL DRAINAGE PIPE GREATER THAN 36 INCH DIAMETER SHALL BE CLASS V-3750D (RCP). CATCH BASINS SHALL BE TYPE B, AND HAVE 3 FT SUMPS UNLESS OTHERWISE NOTED.
- ALL DRAINAGE PIPE SHALL BE FURNISHED AND INSTALLED WITH FLEXIBLE GASKETS. JOINTS SHALL BE MADE WITH OIL RESISTANT COMPRESSION RINGS OF AN ELASTOMERIC MATERIAL CONFORMING TO ASTM C-443. MANUFACTURER'S INSTALLATION INSTRUCTIONS SHALL BE FOLLOWED.
- ALL STORMWATER MANAGEMENT IMPROVEMENTS WILL BE MAINTAINED BY THE PROPERTY OWNER IN PERPETUITY IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS, NHDES STORMWATER MANUAL RECOMMENDATIONS, STORMWATER MAINTENANCE AND OPERATIONS PLANS, AND ANY MANUFACTURER SPECIFICATIONS.
- ALL ELECTRIC RELATED WORK SHALL COMPLY WITH UNTIL ELECTRIC STANDARDS AND SPECIFICATIONS.
- ALL PRIMARY AND SECONDARY SERVICE LOCATIONS ARE APPROXIMATE AND ARE SHOWN FOR COORDINATION PURPOSES ONLY.
- THE SECONDARY POWER RUN FROM TRANSFORMER PAD TO THE BUILDING SHALL BE PERFORMED BY THE PROJECT'S ELECTRICAL CONTRACTOR.
- ALL TELECOMMUNICATIONS RELATED WORK SHALL COMPLY WITH FAIRPOINT COMMUNICATIONS STANDARDS AND SPECIFICATIONS.
- ALL TELECOMMUNICATIONS LINE LOCATIONS ARE APPROXIMATE AND SHOWN FOR COORDINATION PURPOSES ONLY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE EXACT SIZE AND LOCATION OF THE NATURAL GAS MAIN AND SERVICES WITH LIBERTY UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE FINAL WATER SERVICE (DOMESTIC & FIRE PROTECTION) WITH THE PROJECT'S MEP/FP ENGINEER.
- THE CONTRACTOR SHALL REFER TO THE PROJECT'S GEOTECHNICAL ENGINEERING REPORT PREPARED BY NOBIS GROUP AS IT RELATES TO UTILITY INSTALLATION, DETWATERING AND GROUNDWATER CONTROL.
- BASED UPON RECENT VIDEO INSPECTIONS, IT APPEARS THAT THERE MAY BE SEVERAL ON-SITE BLIND CONNECTIONS THAT TIE INTO THE EXISTING 60" DRAIN LINE, INCLUDING WITHIN THE FOOTPRINT OF EXISTING BUILDINGS 'D' AND 'F'. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONNECTIONS INTO THE ABOVE-REFERENCED DRAIN LINE DURING BUILDING/SITE DEMOLITION AND CONSTRUCTION, WITH THE EXCEPTION OF THE PROPOSED SITE DRAINAGE CONNECTIONS AT EXISTING CATCH BASIN 22046 AS SHOWN ON THE PLANS.
- THERE ARE MULTIPLE LOCATIONS WHERE THERE IS LESS THAN 36" OF SEPARATION BETWEEN DRAINAGE AND WATER PIPES, 2" RIGID POLYSTYRENE THERMAL INSULATION WITH A MINIMUM "R" VALUE OF 10 SHALL BE INSTALLED WITH A MINIMUM WIDTH OF 2-FT ON EACH SIDE OF THE UTILITY AND A MINIMUM LENGTH OF 8-FT ON EACH SIDE OF THE UTILITY CROSSING.

CURED-IN-PLACE PIPE (CIPP) LINING NOTE:

- THE CONTRACTOR SHALL PERFORM CURED-IN-PLACE PIPE (CIPP) LINING OF THE FOLLOWING EXISTING PUBLIC DRAIN LINES IN ACCORDANCE WITH NASSCO PACP GUIDELINES:
 - APPROXIMATELY 328-FT 60" BRICK DRAIN FROM DMH 9384 TO DMH 9436
 - APPROXIMATELY 180-FT 24"x36" BRICK DRAIN FROM DMH 9383 TO DMH 9385
- THE EXISTING BRICK SEWER/RAIN LINES AS REFERENCED ABOVE AND SHOWN ON THE SITE PLANS SHALL BE REHABILITATED BY THE INSTALLATION OF A CURED-IN-PLACE PIPE (CIPP) IN ACCORDANCE WITH ASTM F 1743. REHABILITATION OF EXISTING PIPELINES AND CONDUITS BY PULLED-IN-PLACE INSTALLATION OF CURED-IN-PLACE THERMOSETTING RESIN PIPE (CIPP); AND THE LINER DESIGN SHALL CONFORM TO ASTM F 1216. STANDARD PRACTICE FOR REHABILITATION OF EXISTING PIPELINES AND CONDUITS BY THE INVERSION AND CURING OF A RESIN-IMPREGNATED TUBE. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE A LINER DESIGN SUBMITTAL TO THE ENGINEER, STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW HAMPSHIRE, FOR REVIEW AND ACCEPTANCE.
- THE WORK SHALL INCLUDE BY-PASS PUMPING, CLEANING AND ROOT CUTTING INCLUDING DECANTING AND DISPOSAL OF SURPLUS DEBRIS, INITIAL CLOSED-CIRCUIT TELEVISION (CCTV) INSPECTION, INSTALLATION OF RESIN-IMPREGNATED TUBE INTO THE EXISTING PIPE FOLLOWED BY HOT WATER OR STEAM CURING AS SPECIFIED BY THE RESIN MANUFACTURER, AND FINAL CLOSED-CIRCUIT TELEVISION (CCTV) INSPECTION ACCEPTABLE TO THE ENGINEER, AND ALL OTHER RELATED WORK. ALL SUCH WORK SHALL COMPLY WITH THE REFERENCED TECHNICAL SPECIFICATIONS AND THE SPECIFIC PRODUCT MANUFACTURER'S RECOMMENDATIONS. ANY CONFLICT BETWEEN THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND ANY PORTION OF THE TECHNICAL SPECIFICATIONS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK.

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SITE UTILITY PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

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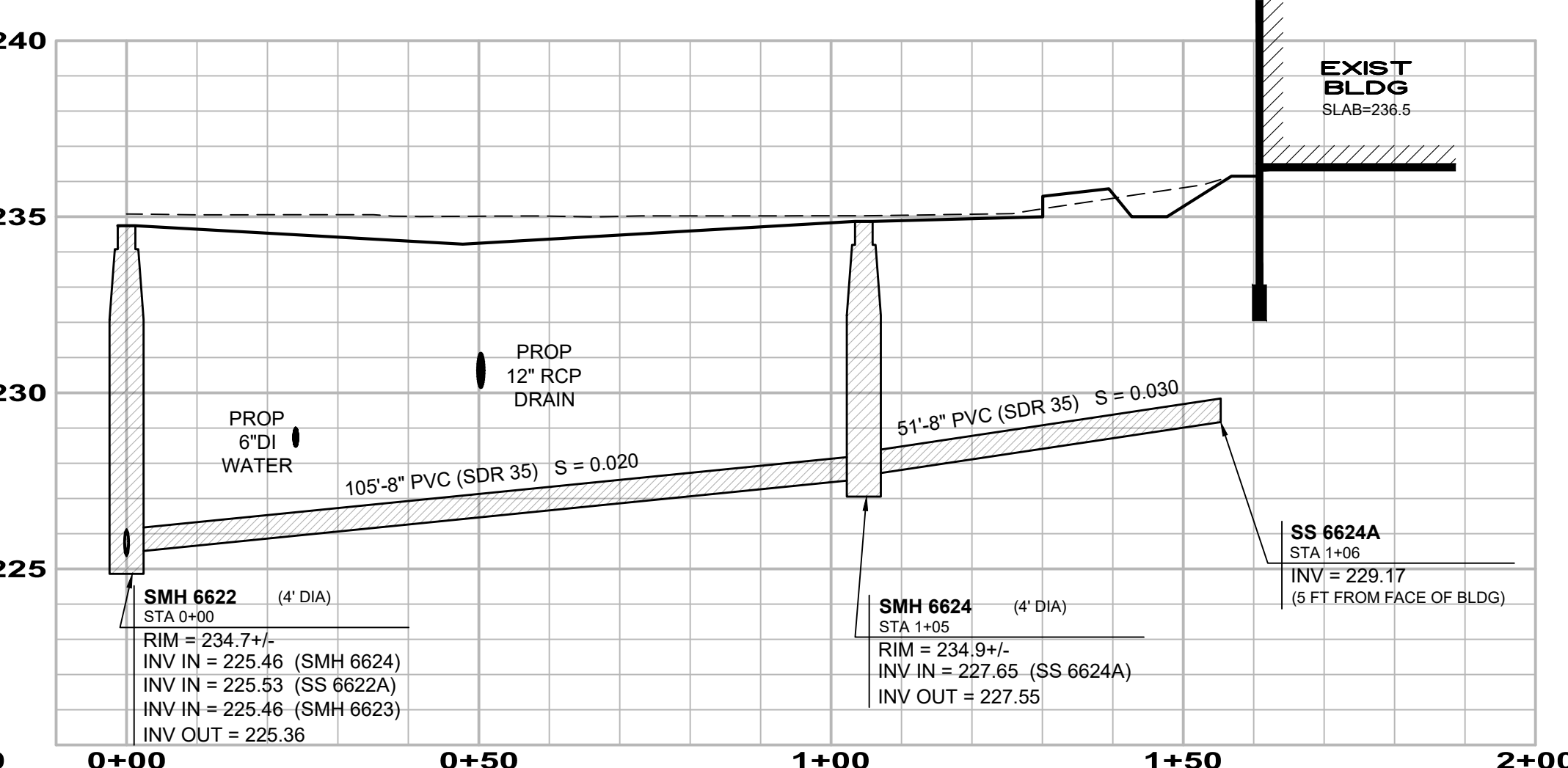
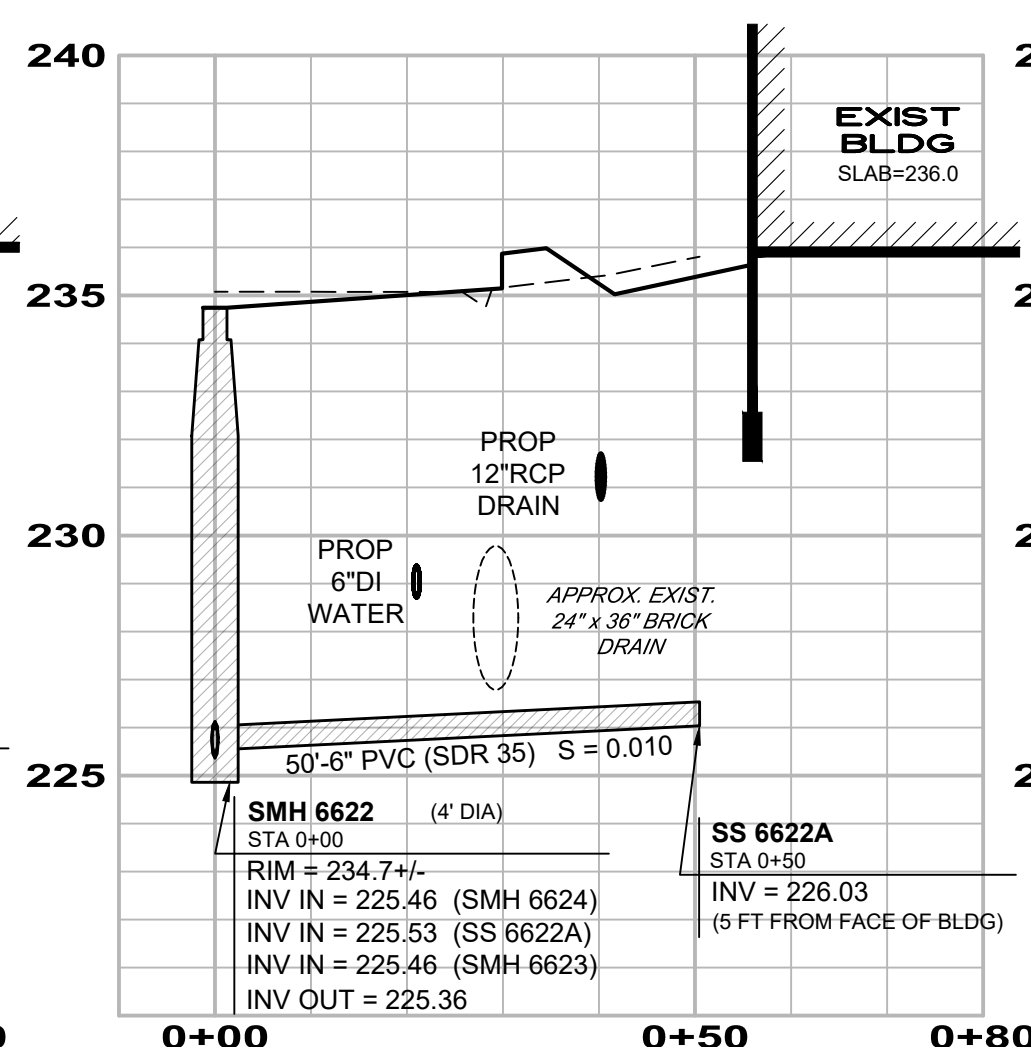
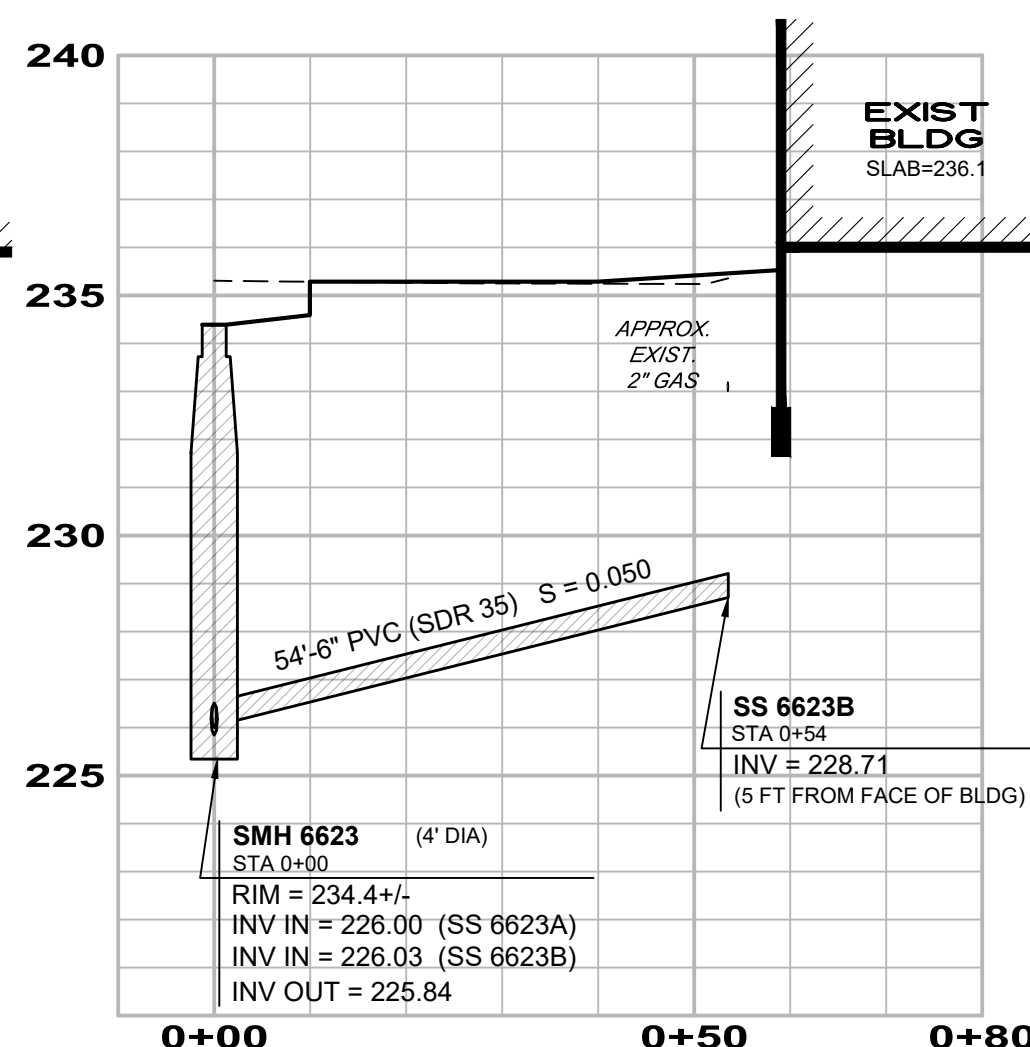
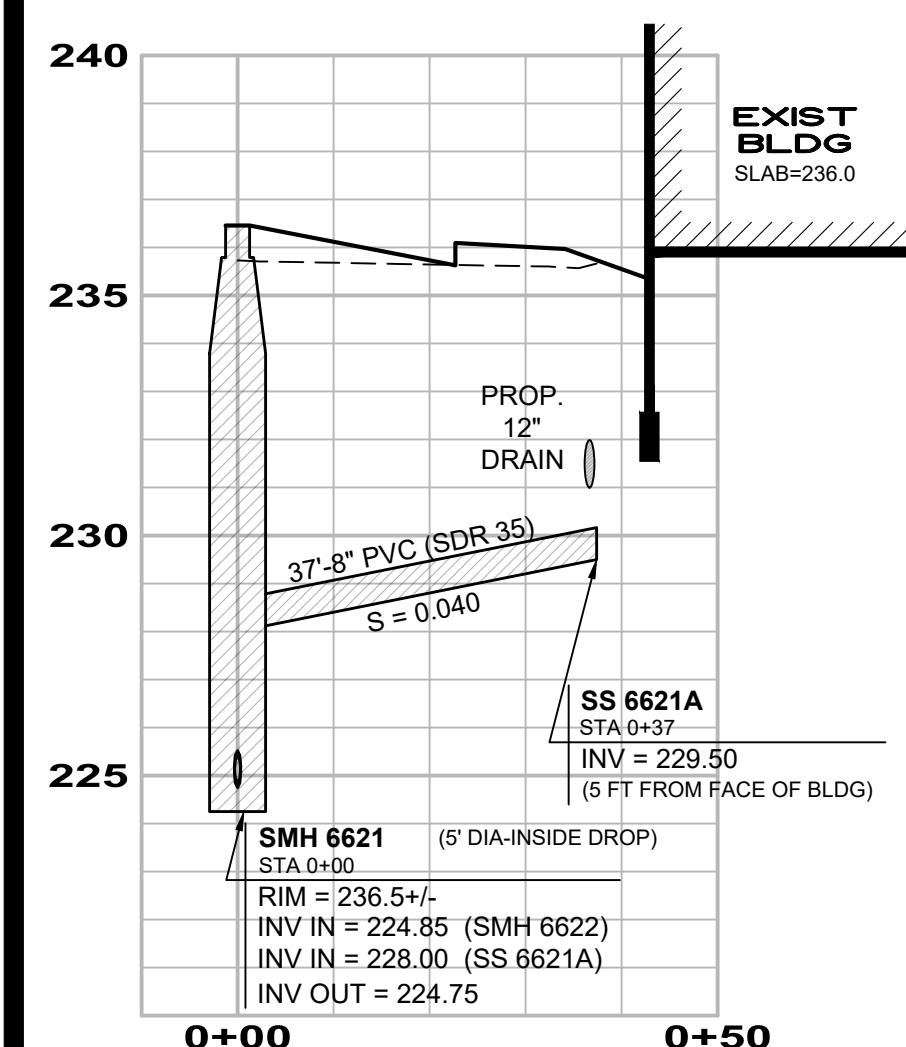
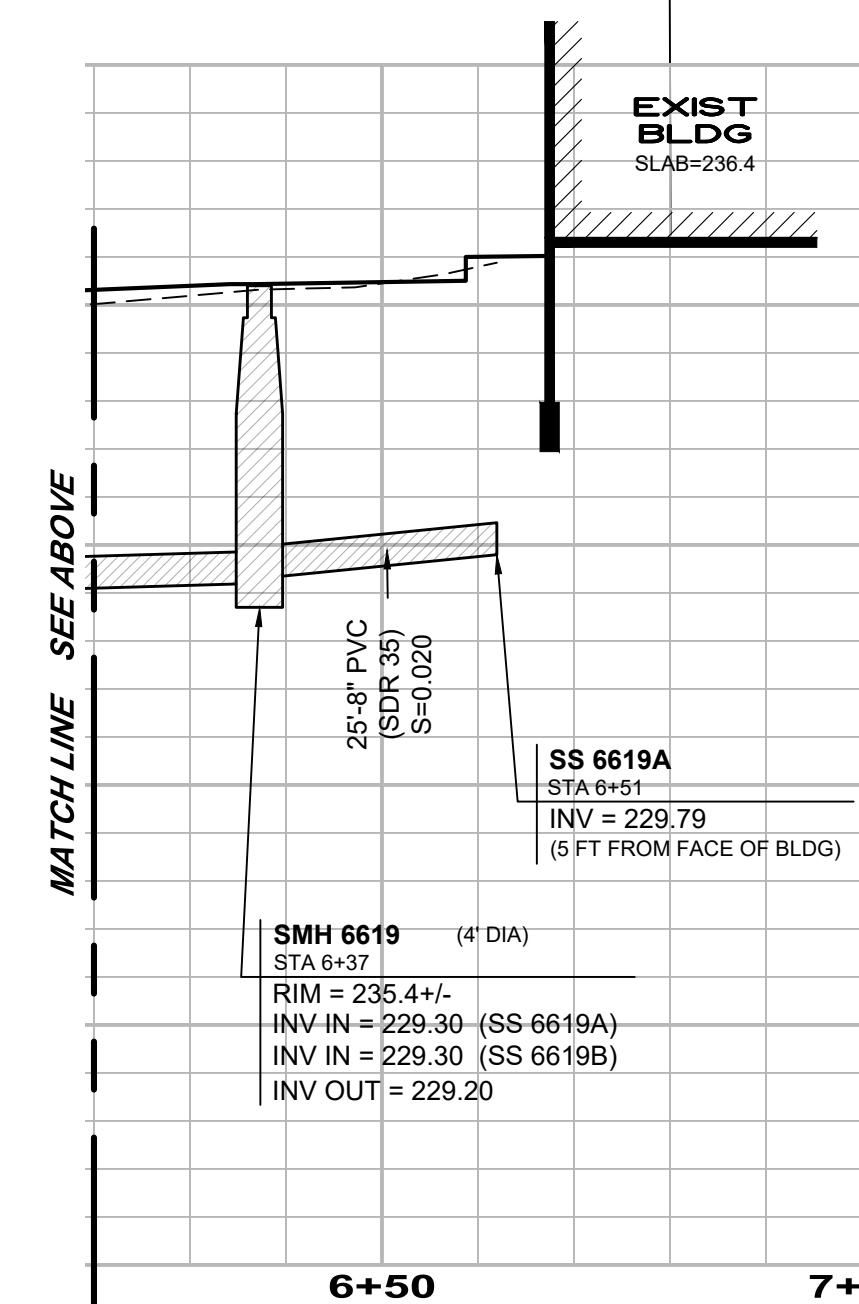
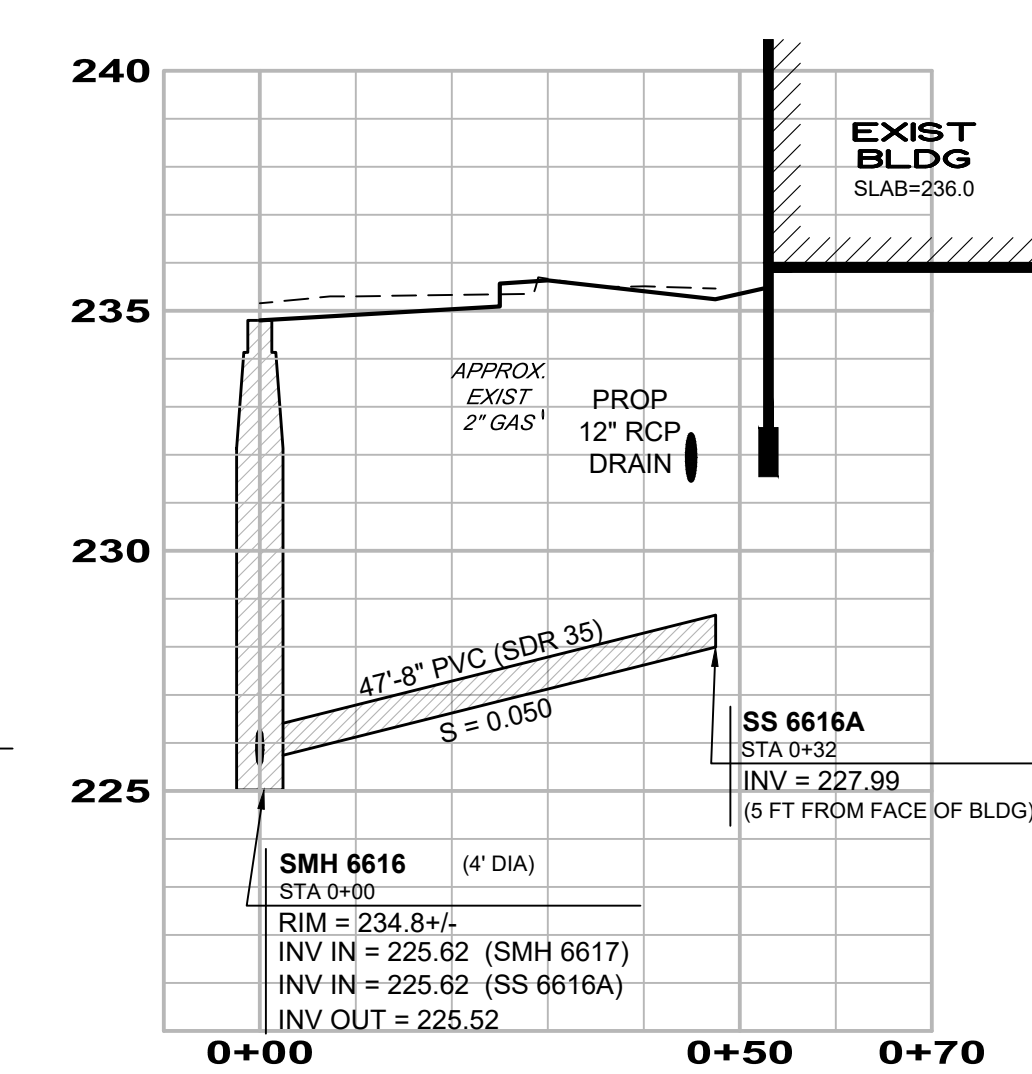
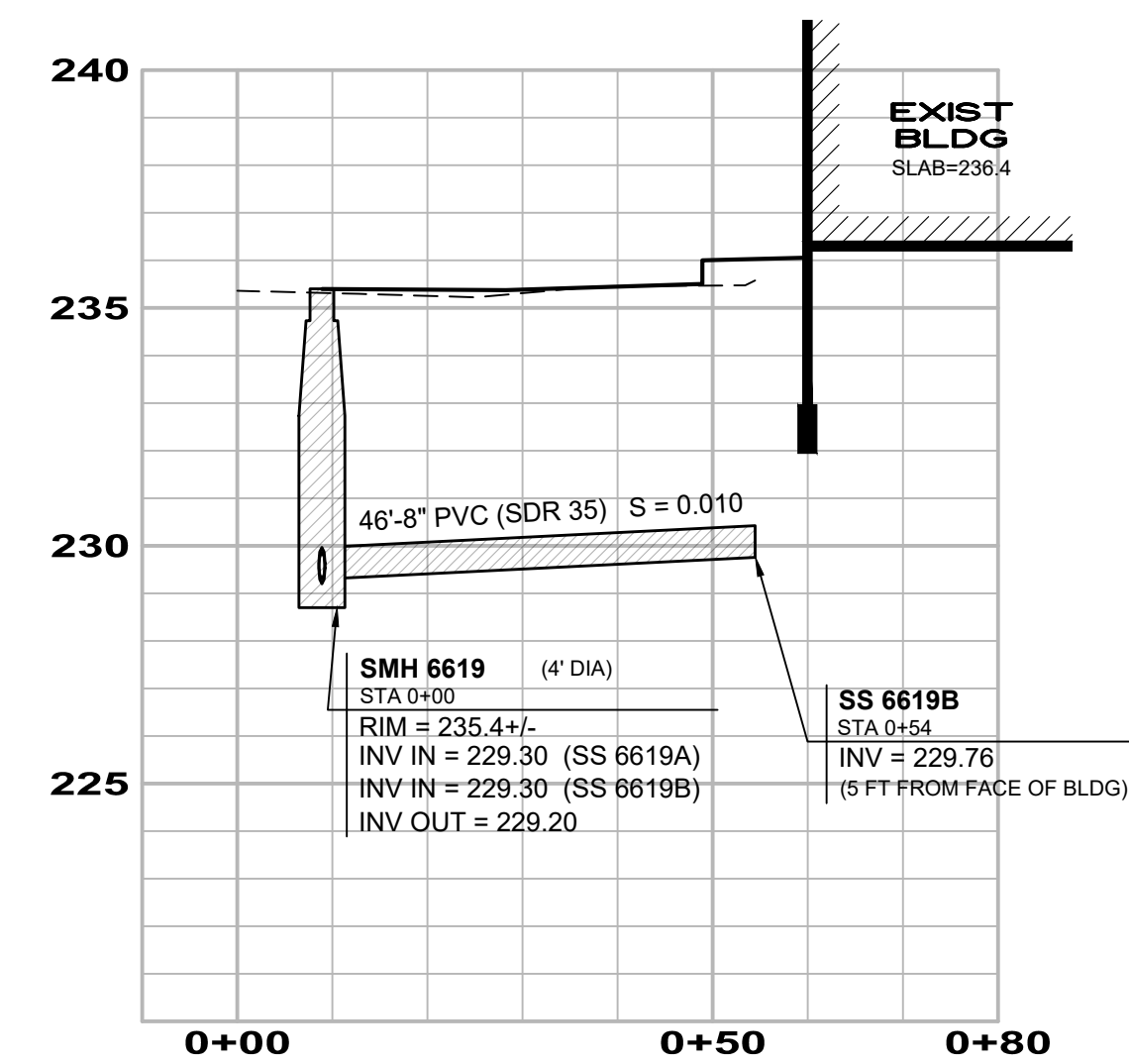
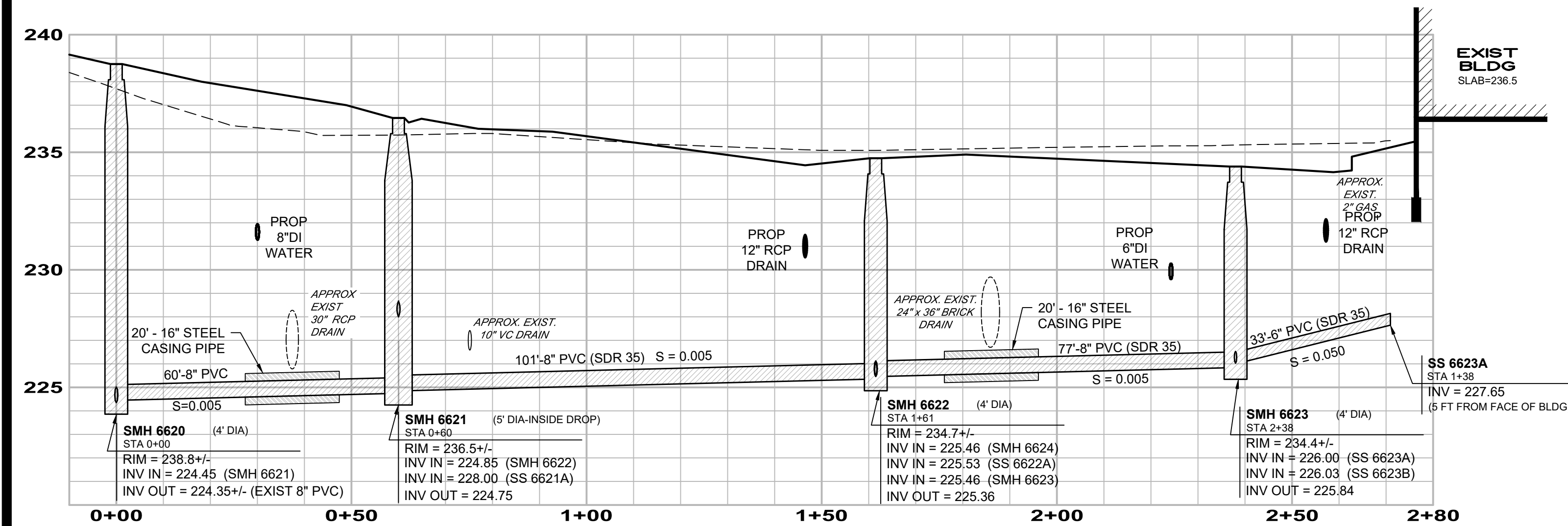
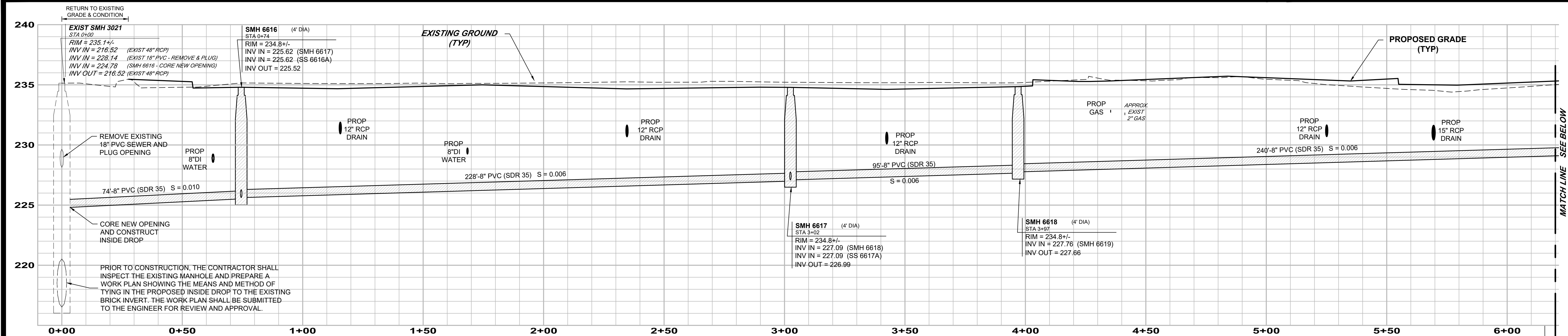
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NOTES

- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
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NOTE

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UTILITY PROFILES
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

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RECORD OWNER:
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670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

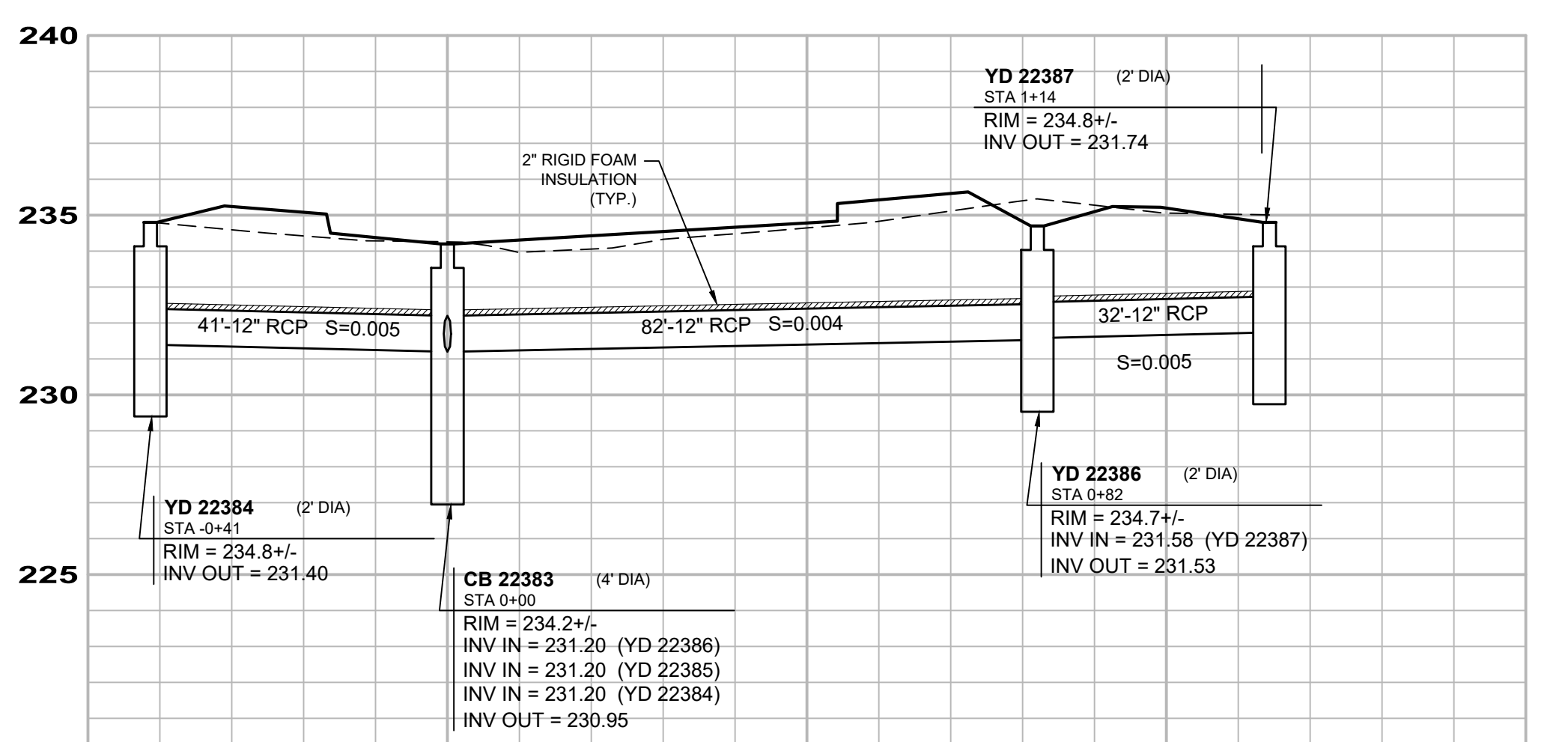
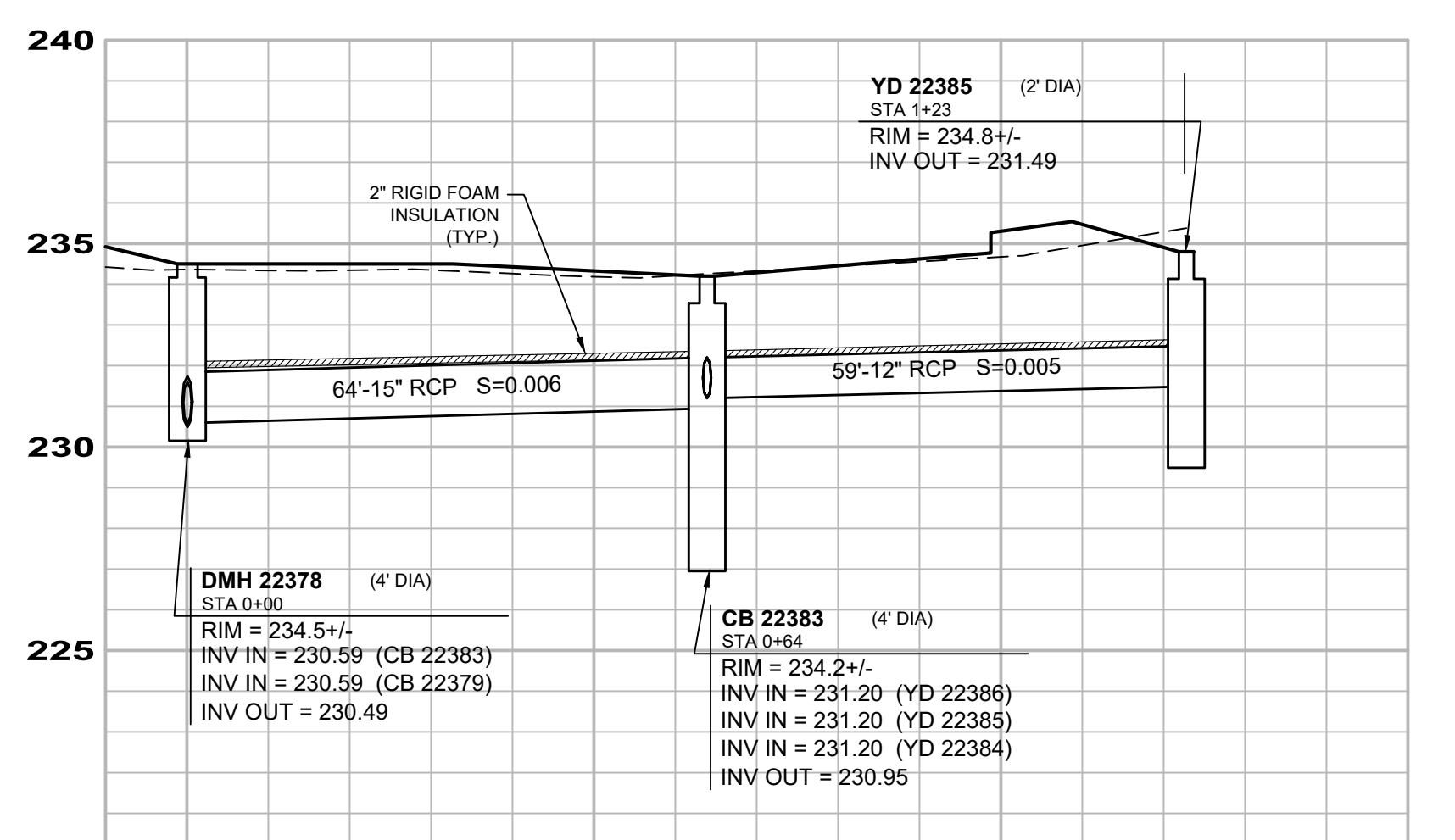
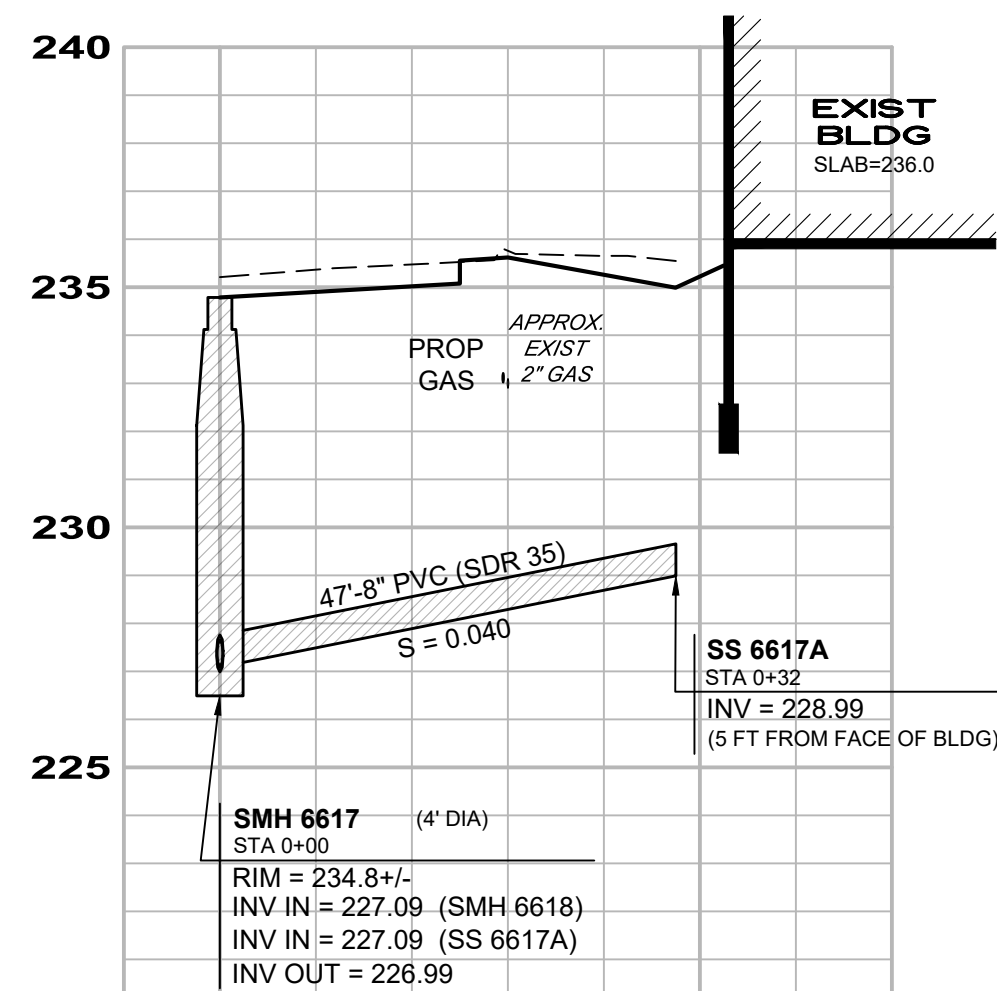
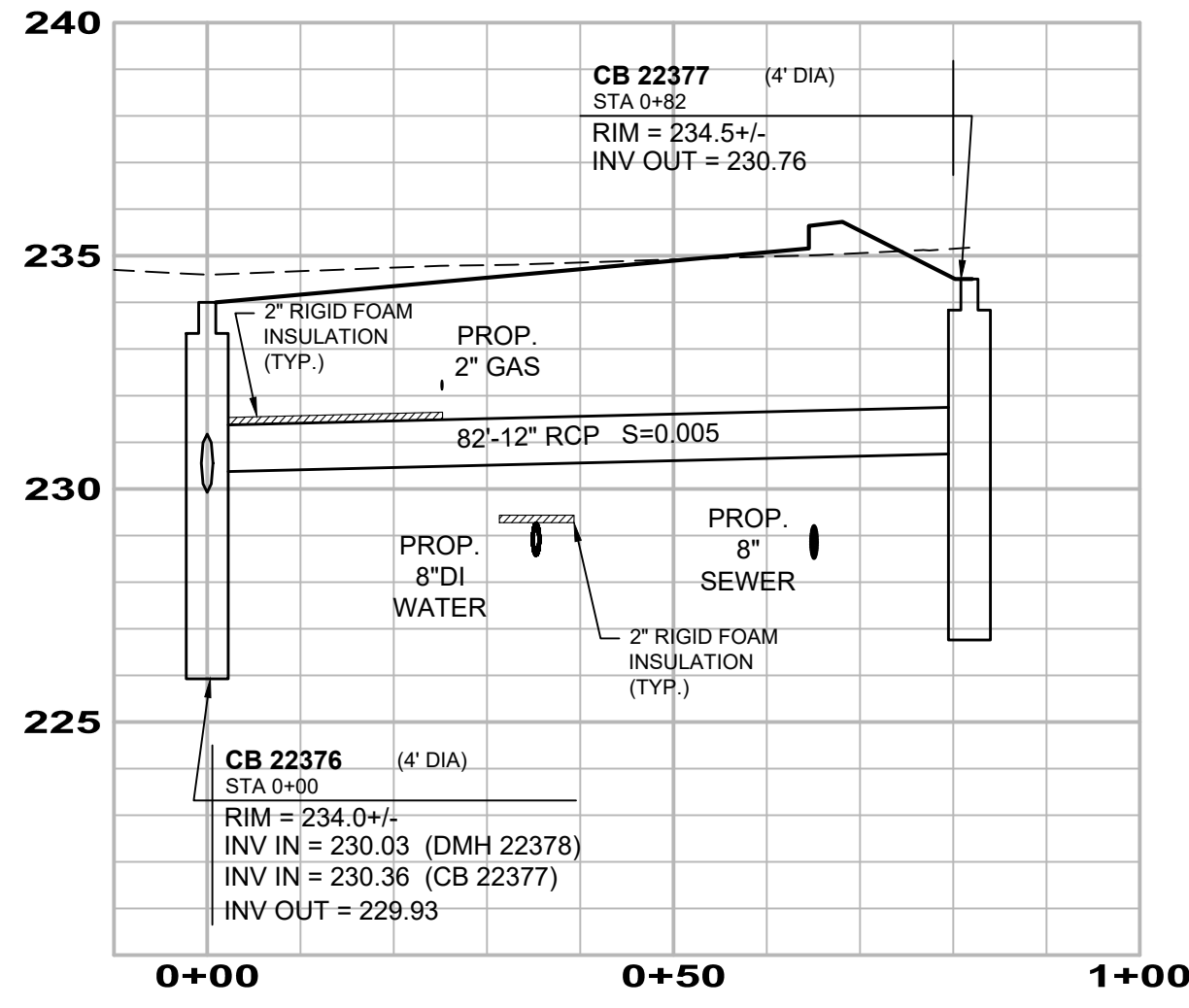
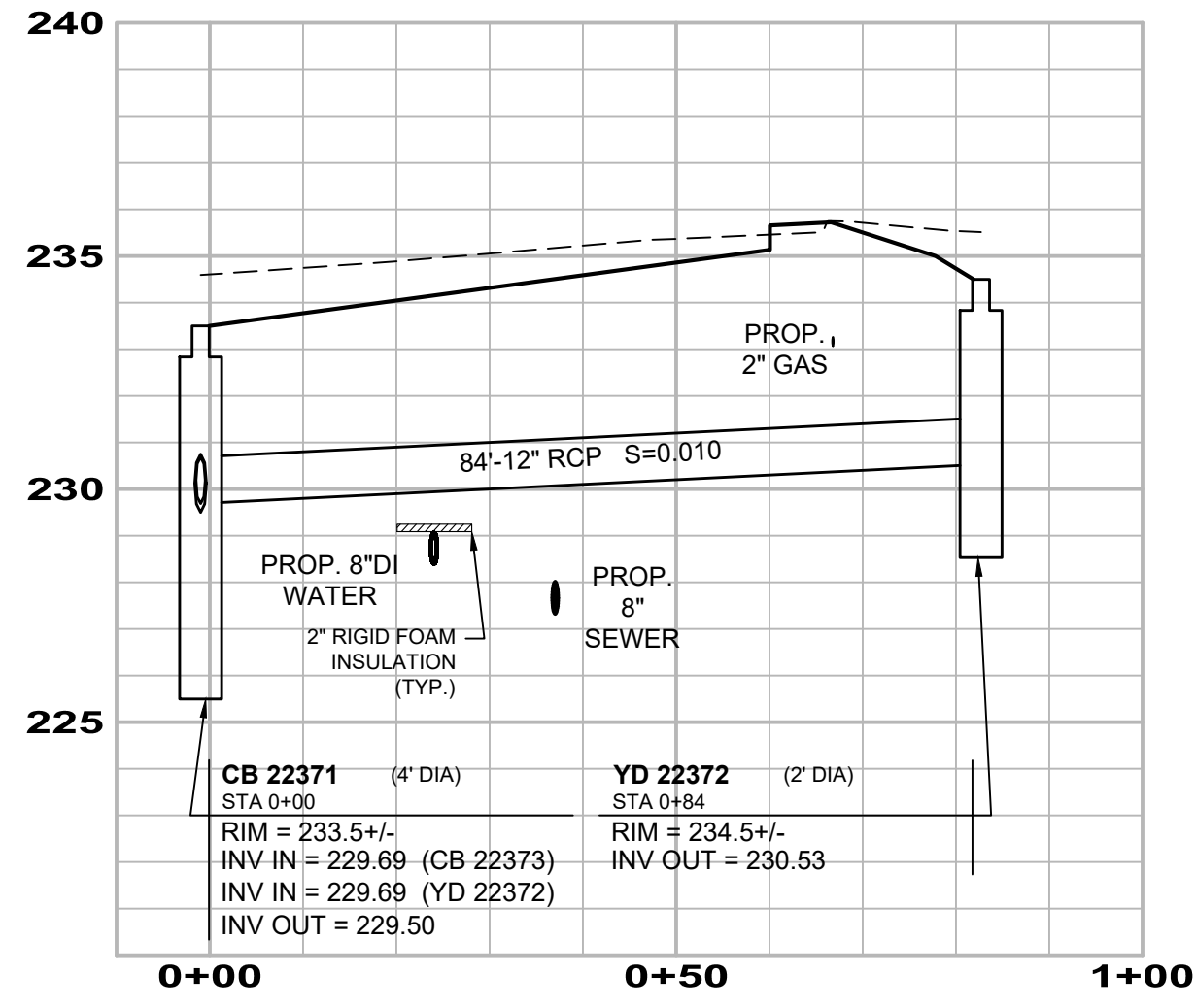
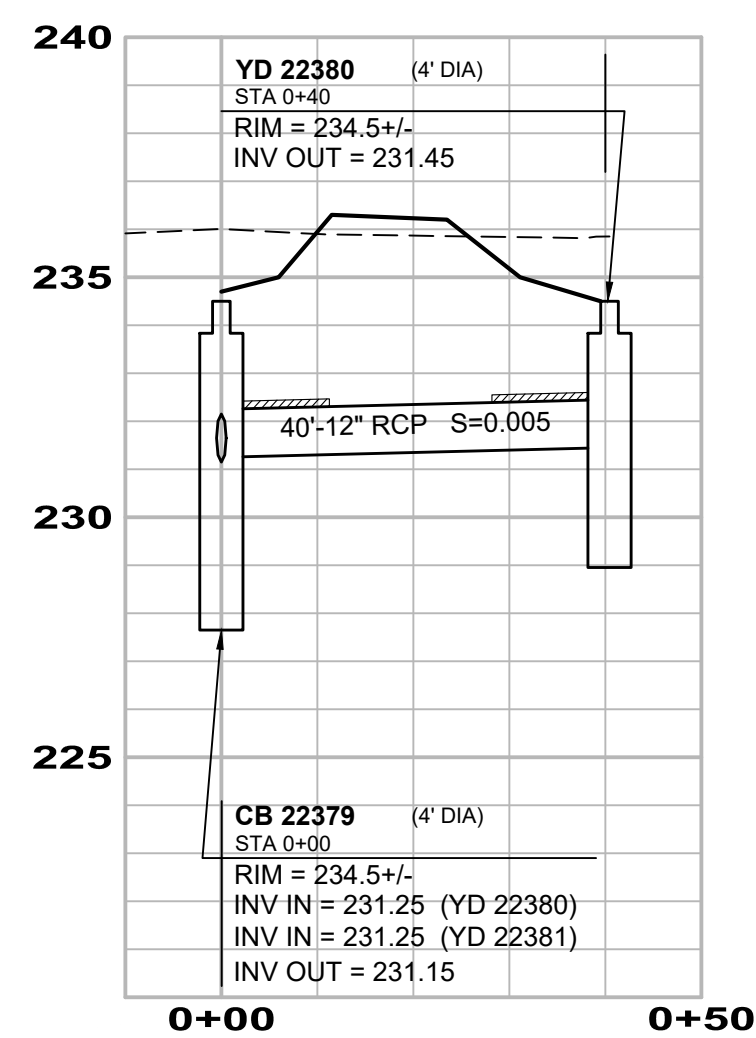
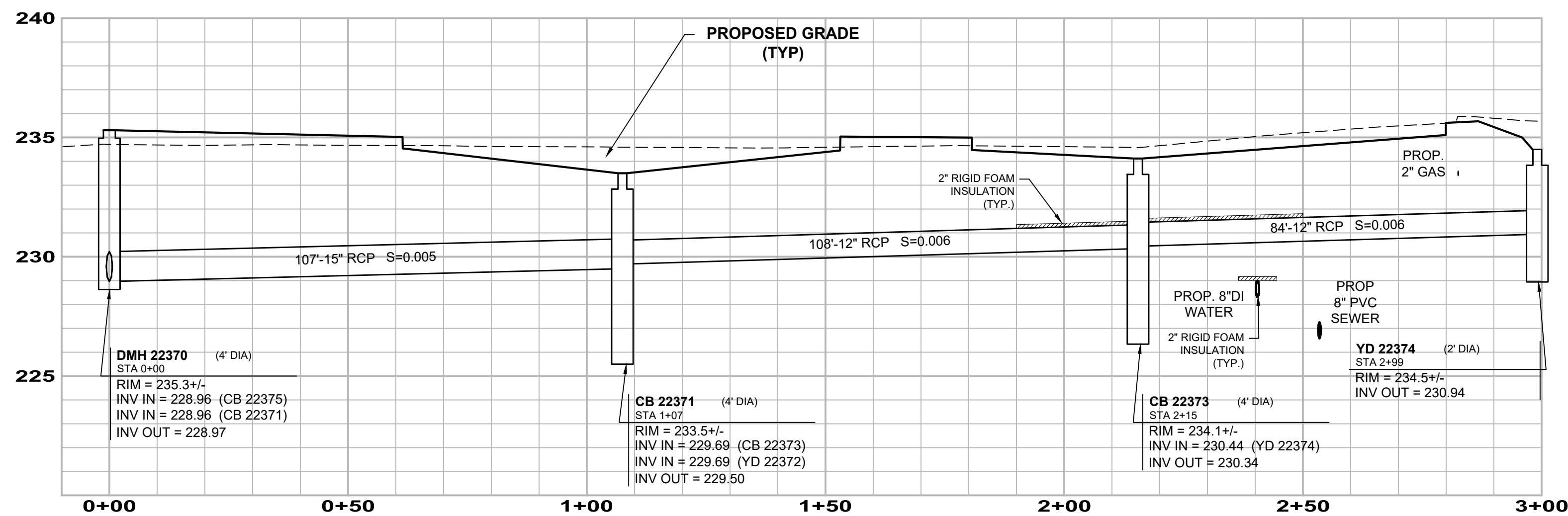
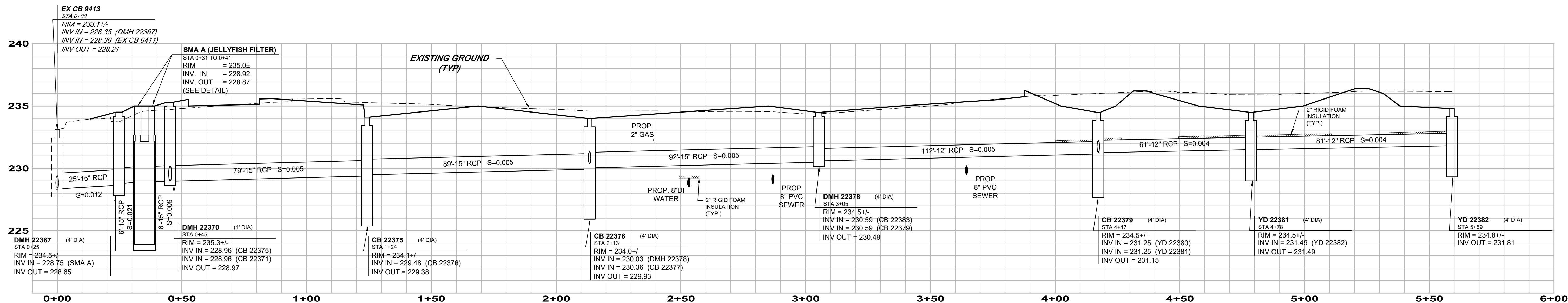
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VERT. 1" = 4 Feet

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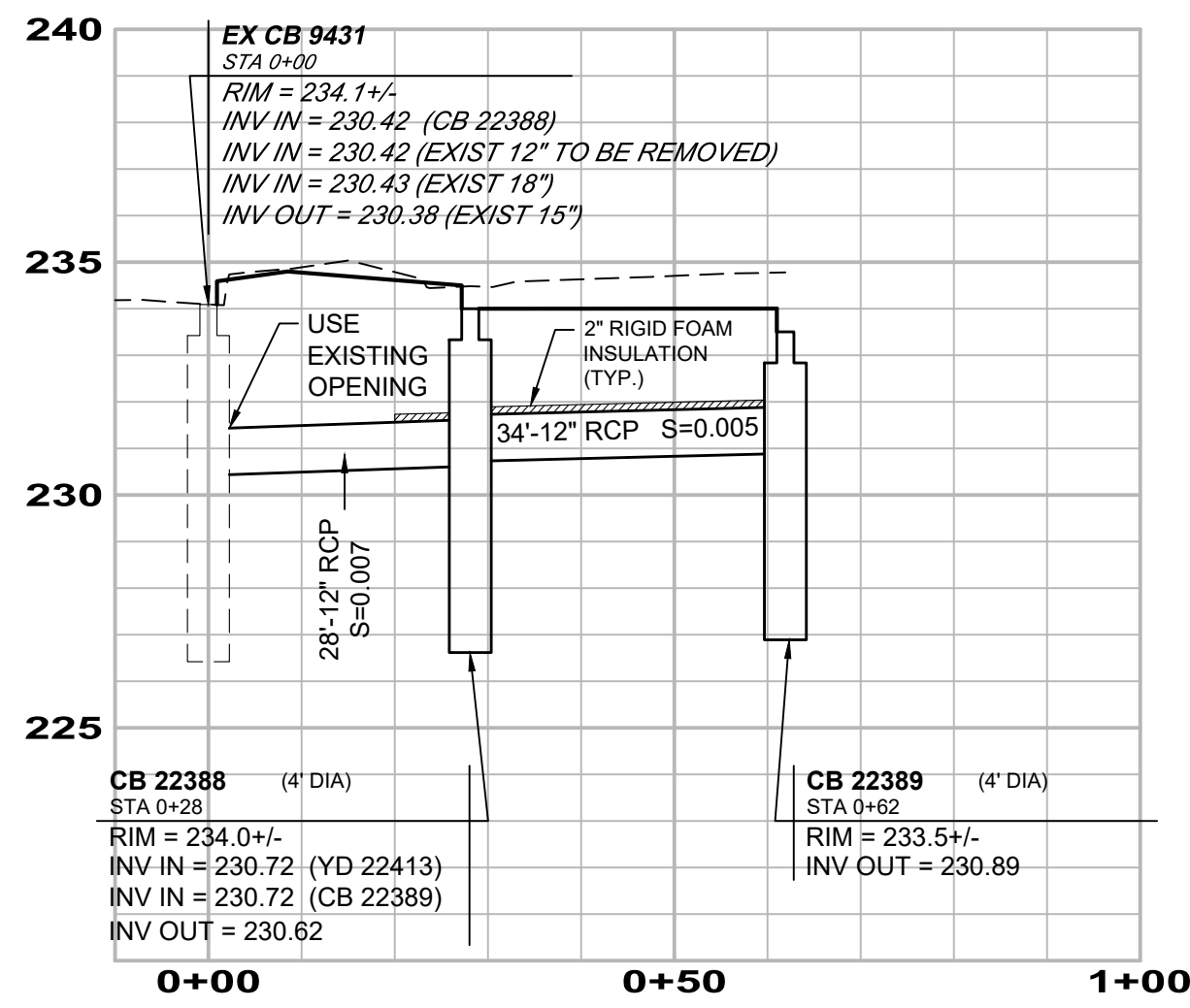
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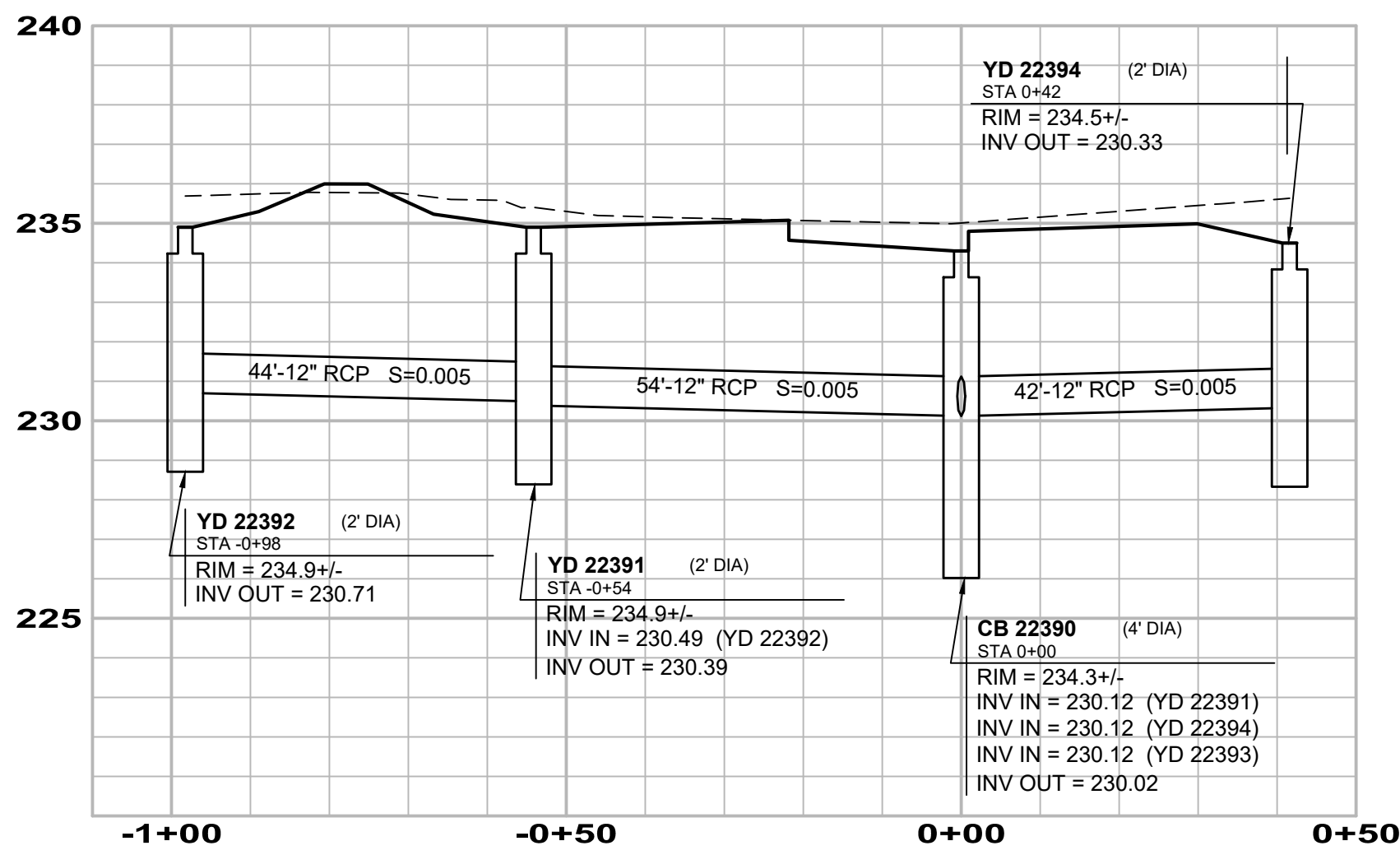
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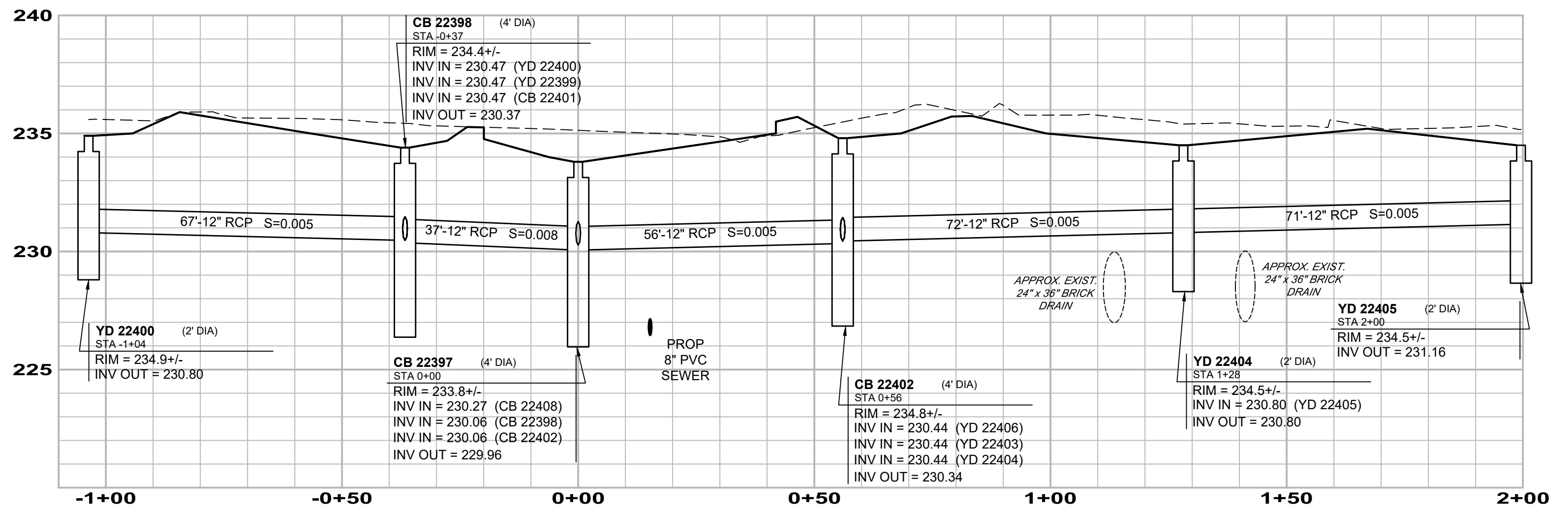
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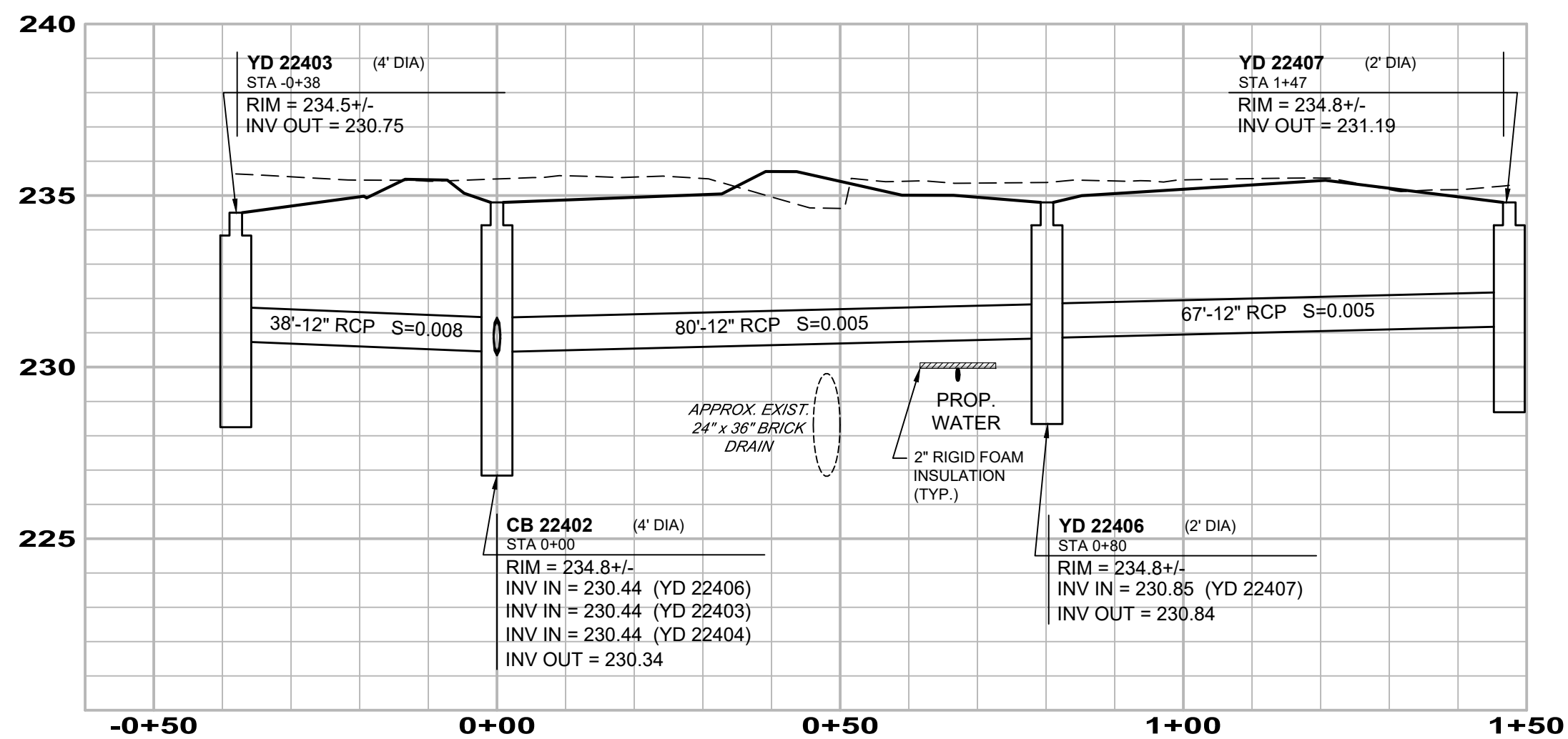
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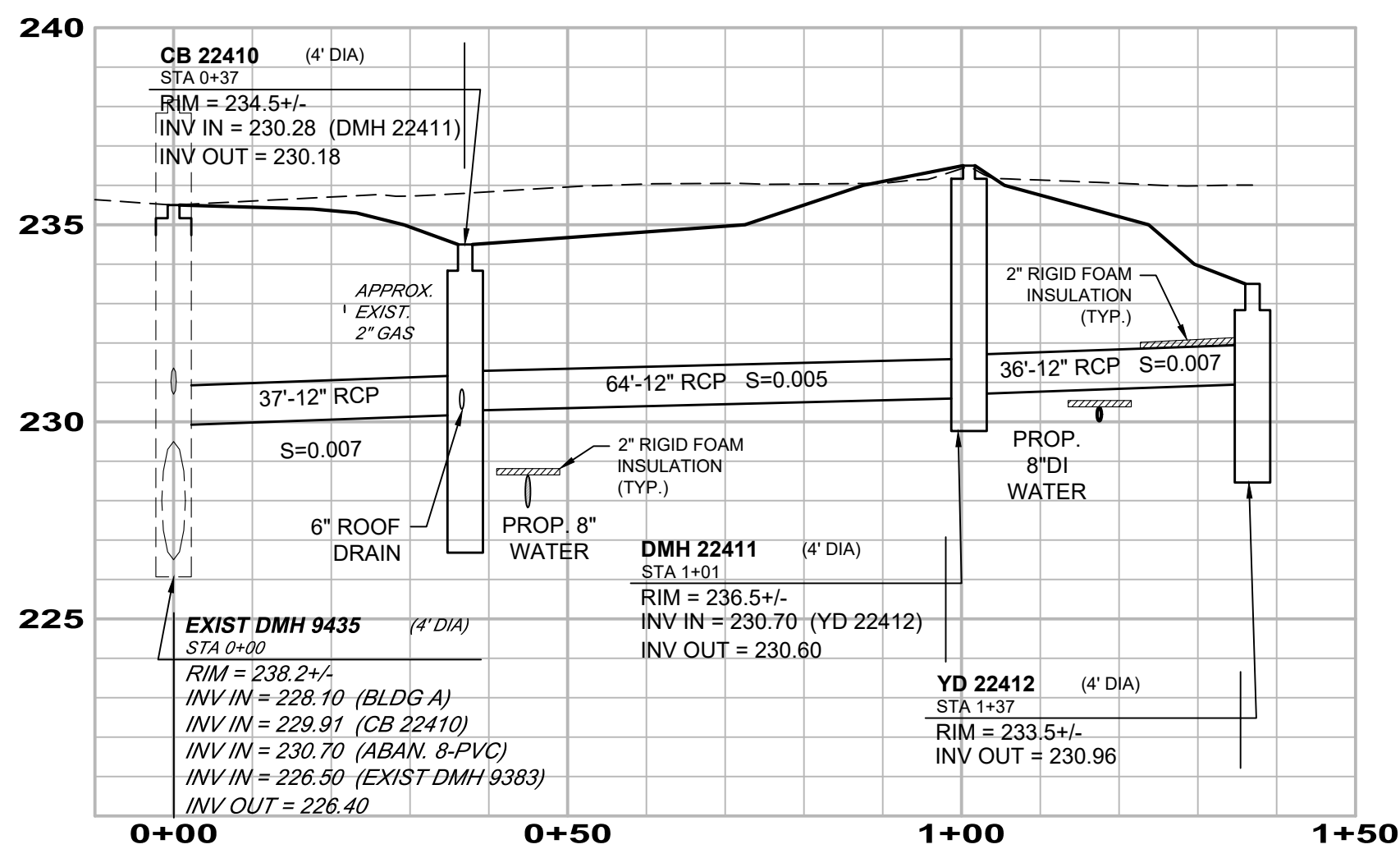
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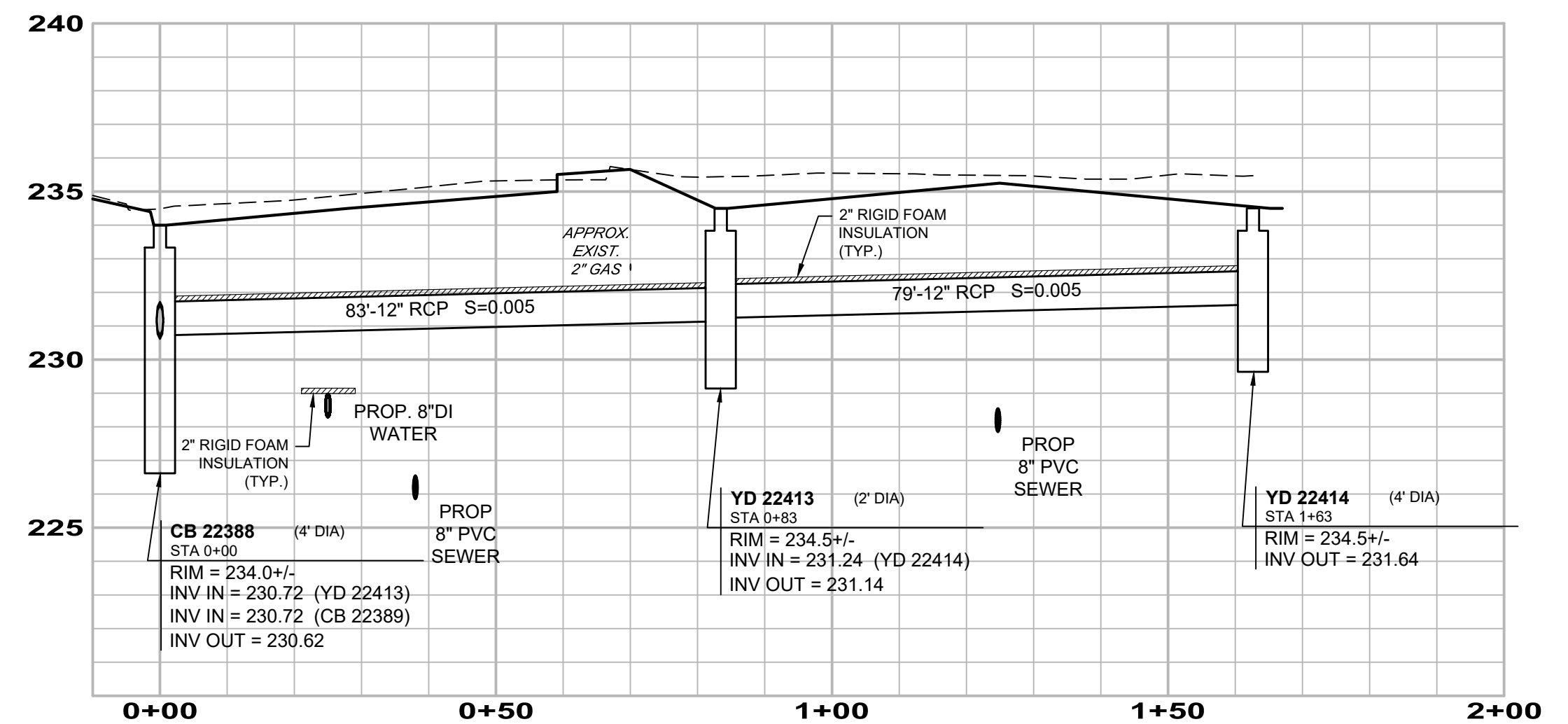
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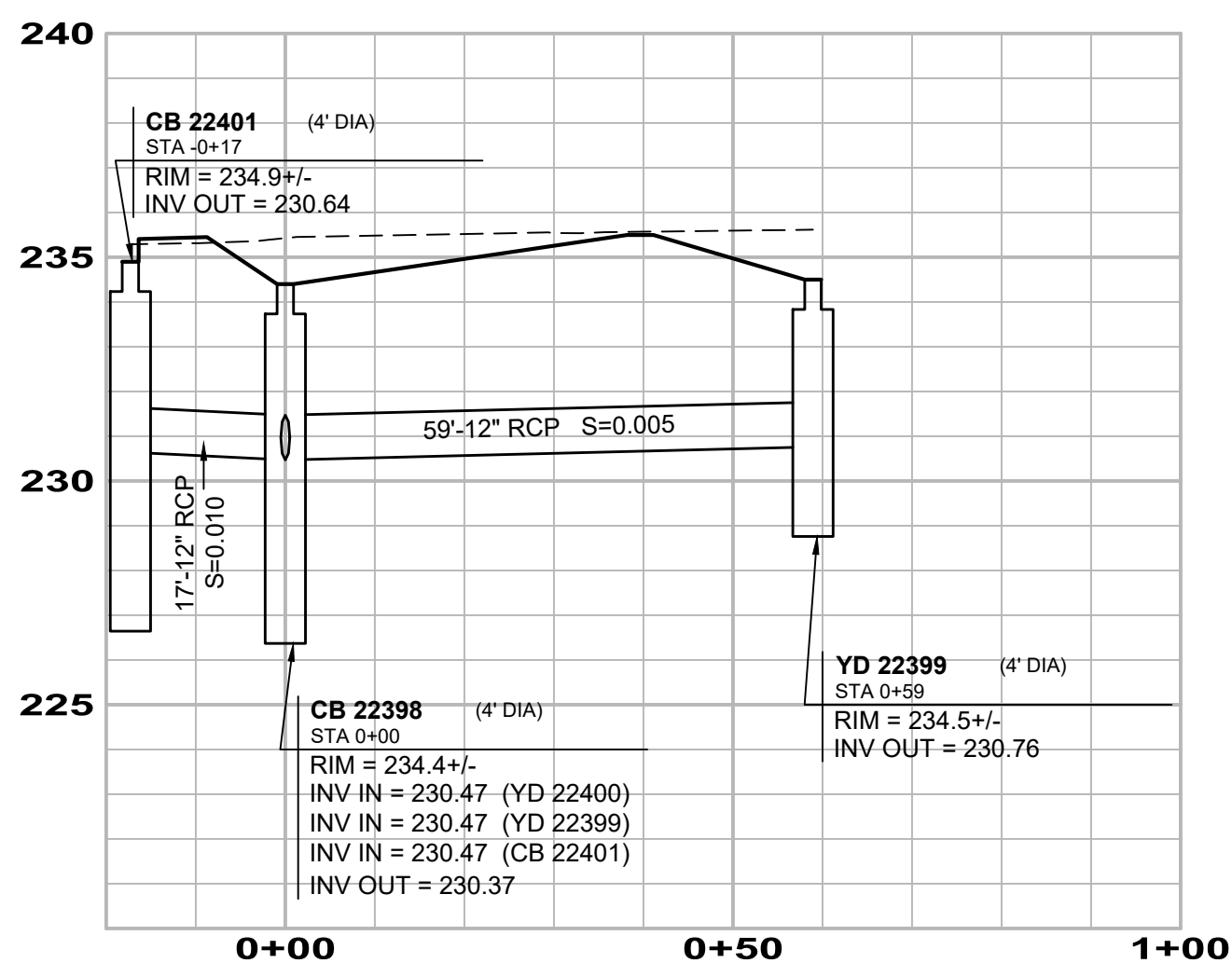
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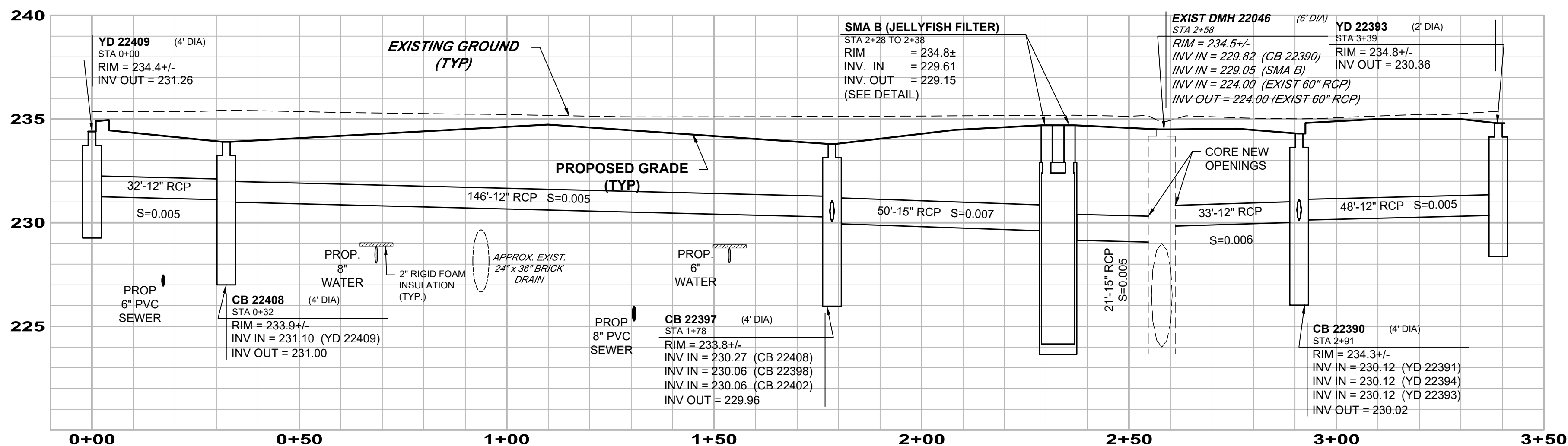
CB 22388 TO YD 22390

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'



CB 22401 TO YD 22399

Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'



YD 22393 TO YD 22409

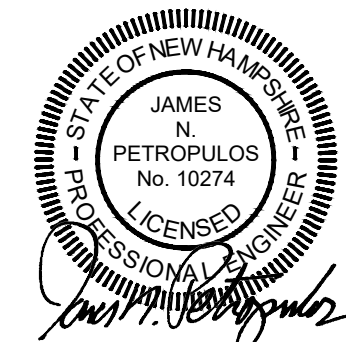
Horizontal Scale: 1" = 20'
Vertical Scale: 1" = 4'

NOTE

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF ALL EXISTING SEWER AND DRAINAGE PIPES WHERE UTILITY CROSSINGS ARE PROPOSED. ANY CONFLICTS OR DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

NOTES

- STRUCTURE DIAMETERS AS SHOWN ON DRAINAGE PROFILES ARE CONSIDERED TO BE MINIMUM INSIDE DIMENSIONS. ALL STRUCTURES SHALL BE A MINIMUM INSIDE DIAMETER OF 48" UNLESS OTHERWISE INDICATED. LARGER STRUCTURES MAY BE NECESSARY DUE TO ALIGNMENT AND/OR PIPE SIZES. STRUCTURE MANUFACTURER SHALL DETERMINE FINAL SIZE.
- PIPE LENGTHS ARE MEASURED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
- EXTERIOR FOUNDATION WALLS AND FOOTINGS AS SHOWN ARE APPROXIMATE.
- VERTICAL DATUM IS NAVD88 (SEE NOTE 2 ON SHEET 2).



NO.	DATE	REVISION	BY
9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
8	9/11/24	ADDRESS STAFF COMMENTS, ADD CIPP LINING SCOPE & REVISE EASEMENTS	TEZ
7	4/16/24	ADDRESS STAFF & NHDES COMMENTS	TEZ
6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ

UTILITY PROFILES
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

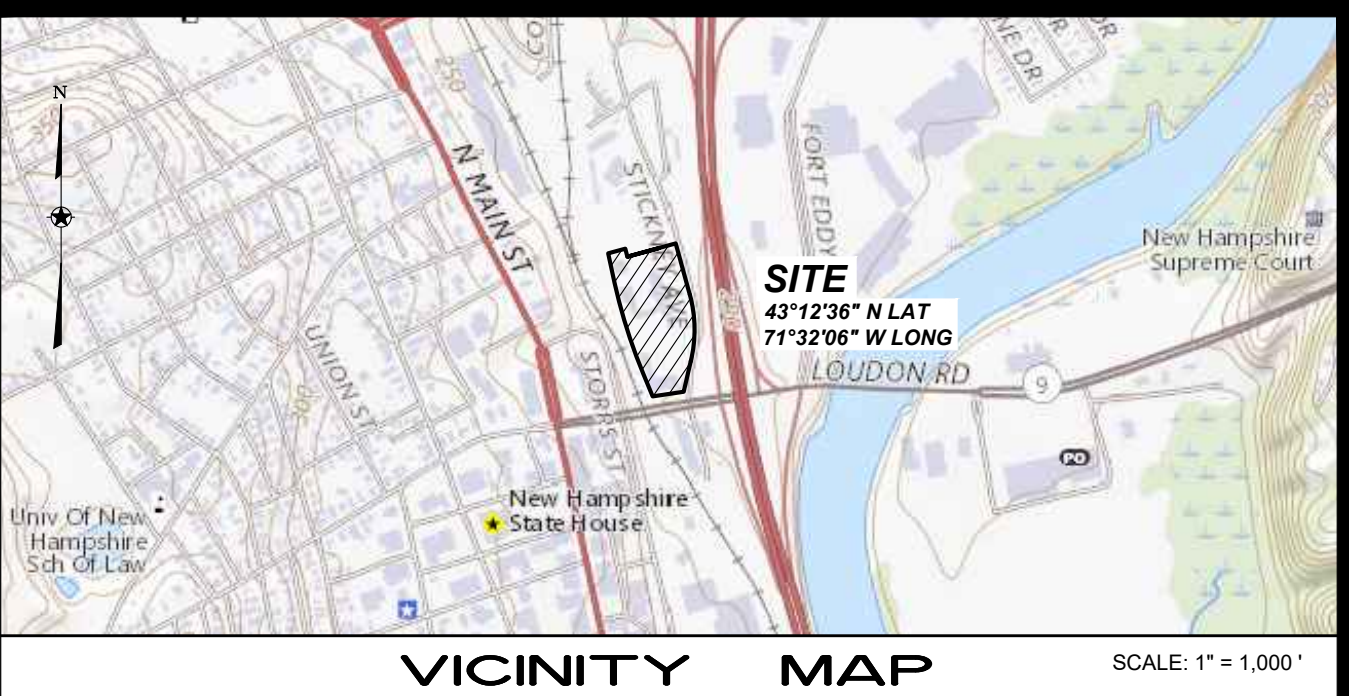
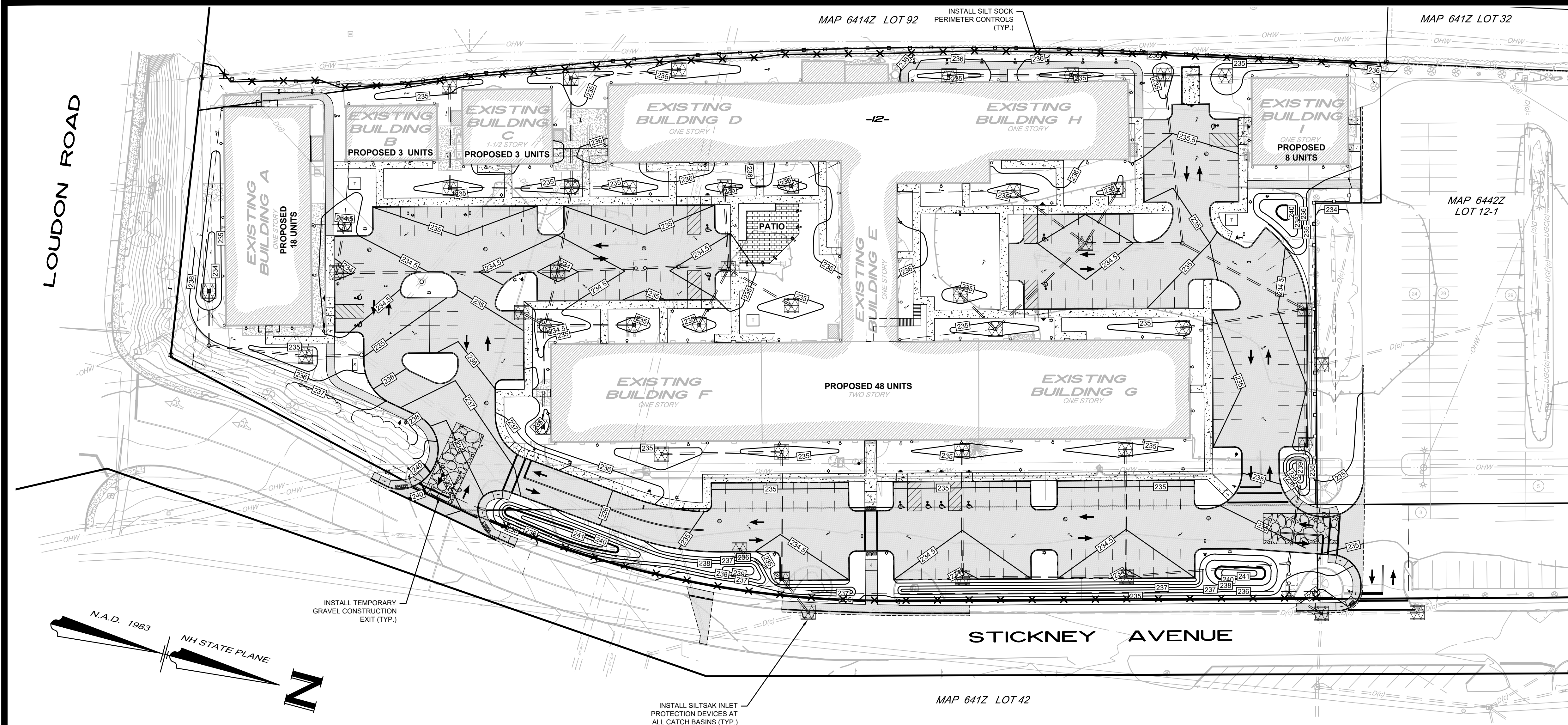
BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
RECORD OWNER:
STICKNEY AVENUE, LLC
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
SCALE: HORIZ. 1" = 20 FEET
VERT. 1" = 4 FEET

20 JULY 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
131 Middlesex Turnpike
Burlington, MA 01803
(603) 883-2057
www.hayner-swanson.com

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- GENERAL NOTES:**
- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) AND BECOME FAMILIAR WITH THEIR CONTENTS.
 - THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
 - EARTH MATERIAL STOCKPILE AREAS SHALL BE SURROUNDED BY SILT SOCKS AND STABILIZED IF THEY WILL BE UNUSED FOR FOURTEEN (14) DAYS OR MORE.
 - ALL MEASURES STATED ON THIS EROSION CONTROL PLAN, AND IN THE STORMWATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETE PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT.
 - SILT SOCKS SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM SILT SOCKS WHEN IT REACHES ONE-QUARTER THE HEIGHT OF THE BARRIER.
 - INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
 - ALL SEEDED AREAS SHALL BE CHECK REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEED AS NEEDED.
 - THE TEMPORARY GRAVEL CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AS CONDITIONS DEMAND.
 - PROPER CONSTRUCTION DEWATERING PRACTICES MUST BE USED IN ORDER TO PREVENT DISCHARGED WATER FROM ERODING SOIL ON SITE AND THE SEDIMENTATION OF DOWNSTREAM WATER RESOURCES. METHODS FOR SETTLING OR FILTERING SEDIMENT FROM DEWATERING INCLUDE TEMPORARY BASIN/SEDIMENT TRAPS AND MANUFACTURED FABRIC BAGS DESIGNED FOR FILTERING PUMPED DISCHARGES. DURING DEWATERING ACTIVITIES, INSPECTION OF THE DEWATERING FACILITY SHOULD BE PERFORMED DAILY OR MORE FREQUENTLY AS WARRANTED BY SITE CONDITIONS.

- CONSTRUCTION SEQUENCE:**
- INSTALL GRAVEL CONSTRUCTION EXIT AND SILT SOCK PERIMETER CONTROLS PRIOR TO COMMENCING EARTH DISTURBANCE ACTIVITIES.
 - INSTALL SILT SACK INLET PROTECTION AROUND EXISTING STORM DRAIN STRUCTURES ON SITE. THE CONTROL SHALL REMAIN UNTIL THE SITE IS SUFFICIENTLY STABILIZED.
 - PERFORM SITE DEMOLITION, INCLUDING REMOVAL OF EXISTING PAVEMENT AND UTILITIES.
 - PERFORM SITE GRADING OF PARKING AREAS. STORMWATER BMP'S AND DRAINAGE SWALES MUST BE INSTALLED PRIOR TO ROUGH GRADING OF THE SITE. RUNOFF SHALL BE DIRECTED TO TEMPORARY PRACTICES UNTIL STORMWATER BMP'S ARE STABILIZED. ALL SLOPE AREAS SHALL BE LOADED AND SEED AND MULCHED IMMEDIATELY AFTER BEING CONSTRUCTED.
 - INSTALL SITE UTILITIES IN ACCORDANCE WITH THE PLAN.
 - PREPARE SITE FOR PAVING.
 - LOAM AND SEED ALL DISTURBED AREAS. COMPLETED AREAS SHALL BE STABILIZED 72 HOURS AFTER COMPLETION.
 - ALL PERMANENT STORMWATER MANAGEMENT MEASURES SHALL HAVE A HEALTHY STAND OF VEGETATION ESTABLISHED PRIOR TO DIRECTING RUNOFF INTO THEM.
 - FINAL PAVING OF PARKING AND DRIVEWAYS.
 - INSPECTION OF ALL SEDIMENT AND EROSION CONTROL MEASURES.
 - INSTALL SITE LANDSCAPING ALONG WITH PERMANENT SEEDING OF DISTURBED AREAS.
 - REMOVE ANY TEMPORARY EROSION CONTROL MEASURES NOT NEEDED.

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NO.	DATE	REVISION	BY

EROSION CONTROL PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
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SCALE: 1"=40 Feet
1"=12.192 Meters
20 JULY 2022

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FIELD BOOK: 1262	DRAWING NAME: 5800-SITE-ER42	5800	15 OF 24
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NHDES/NHFG PERMIT CONDITIONS

- COMMON NIGHTHAWK (ENDANGERED), OCCUR WITHIN THE VICINITY OF THE PROJECT AREA. ALL OPERATORS AND PERSONNEL WORKING ON OR ENTERING THE SITE SHALL BE MADE AWARE OF THE POTENTIAL PRESENCE OF THESE SPECIES AND SHALL BE PROVIDED FLYERS THAT HELP TO IDENTIFY THESE SPECIES, ALONG WITH NHFG CONTACT INFORMATION. SEE THIS SHEET.
- RARE WILDLIFE SPECIES INFORMATION (E.G. IDENTIFICATION, OBSERVATION AND REPORTING OF OBSERVATIONS, WHEN TO CONTACT NHFG IMMEDIATELY AND NHFG CONTACT INFORMATION) SHALL BE COMMUNICATED DURING MORNING TAILGATE MEETINGS PRIOR TO WORK COMMENCEMENT DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, WITH THE EXCEPTION OF TURF REINFORCEMENT MATS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, INLET PROTECTION, CHECK DAMS, AND SEDIMENT TRAPS SHALL NOT CONTAIN PLASTIC, OR MULTIFILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES.
- ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES ON THE PROJECT SITE SHALL BE REPORTED IMMEDIATELY TO THE NHFG WILDLIFE AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV, WITH THE EMAIL SUBJECT LINE CONTAINING THE NHB DATA CHECK TOOL RESULTS LETTER ASSIGNED NUMBER, THE PROJECT NAME, AND THE TERM WILDLIFE SPECIES OBSERVATION.
- PHOTOGRAPHS OF THE OBSERVED SPECIES AND NEARBY ELEMENTS OF HABITAT OR AREAS OF LAND DISTURBANCE SHALL BE PROVIDED TO NHFG IN DIGITAL FORMAT AT THE ABOVE EMAIL ADDRESS FOR VERIFICATION, AS FEASIBLE.
- IN THE EVENT A THREATENED OR ENDANGERED SPECIES IS OBSERVED ON THE PROJECT SITE DURING THE TERM OF THE PERMIT, THE SPECIES SHALL NOT BE DISTURBED, HANDLED, OR HARMED IN ANY WAY PRIOR TO CONSULTATION WITH NHFG AND IMPLEMENTATION OF CORRECTIVE ACTIONS RECOMMENDED BY NHFG.
- ALL CONSTRUCTION MATERIALS AND MATERIALS RELATED TO CONSTRUCTION SHALL BE REMOVED FROM THE PROPERTY UPON COMPLETION OF WORK.
- THE NHFG, INCLUDING ITS EMPLOYEES AND AUTHORIZED AGENTS, SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.

LEGEND

- EXISTING GROUND CONTOUR
- PROPOSED GRADE
- RUNOFF DIRECTION
- SILT SOCK PERIMETER BARRIER
- SILT-SACK INLET PROTECTION DEVICES
- GRAVEL CONSTRUCTION EXIT
- STABILIZATION MATTING
- TEMPORARY STONE CHECK DAM



REPORT OBSERVATIONS OF COMMON NIGHTHAWKS



The NH Fish & Game Department is requesting observations of Common Nighthawk that could be encountered onsite. Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime. Please report promptly, noting specific location and date - Photographs strongly encouraged



- State Endangered
 - Possession and take prohibited
 - Nests protected
- Medium-sized bird (about the size of a dove) ~ 9 inches from tip to end of tail
- Wingspan is 21-22 inches
- Well camouflaged with mottling pattern of browns, black and grey
- Distinct, broad, white patch on underside of each outer wing (visible when flying)
- "peent" - sounding call



- Nesting occurs typically between mid-late May and early August
- Nests usually consists of 2 eggs that are dark and speckled
- May have more than 1 nest in a season
- Nest is not "built" but rather eggs are laid directly on the ground in an open area (gravel, bare dirt, pea stone, bark/mulch)
- Incubation is for 16-20 days - another 30 plus days for fledging



- An adult doing a broken wing display if driven from the nest.
- Adults may also hiss and open their mouth at you if in distress.

GENERAL NOTES

- ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS THEREOF IN NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STORMWATER MANUALS, VOLUME 1-3, LATEST EDITION.
- THE WORK AREA SHALL BE GRADED, SHAPED, AND OTHERWISE DRAINED IN SUCH A MANNER AS TO MINIMIZE SOIL EROSION, SILTATION OF DRAINAGE CHANNELS, DAMAGE TO EXISTING VEGETATION, AND DAMAGE TO PROPERTY OUTSIDE THE LIMITS OF THE WORK AREA. SILT FENCES, STRAW BALES AND/OR DETENTION BASINS WILL BE NECESSARY TO ACCOMPLISH THIS END.
- STRIPPED TOPSOIL SHALL BE STOCKPILED, WITHOUT COMPACTION, AND STABILIZED AGAINST EROSION IN ACCORDANCE WITH "TEMPORARY STABILIZATION OF DISTURBED AREAS", AS OUTLINED IN NOTE No. 4.
- TEMPORARY STABILIZATION OF DISTURBED AREAS:
SEED BED PREPARATION: 10-10-10 FERTILIZATION TO BE SPREAD AT THE RATE OF 7 LBS PER 1,000 SF AND AGRICULTURAL LIMESTONE AT A RATE OF 90 LBS PER 1,000 SF AND INCORPORATED INTO THE SOIL. THE SOIL, FERTILIZER AND LIMESTONE SHALL BE TILLED TO PREPARE FOR SEEDING.

A. SEED MIXTURE: USE ANY OF THE FOLLOWING:

SPECIES	RATE PER 1,000 SF	DEPTH	SEEDING DATES
WINTER RYE	2.5 LBS	1"	08/15 TO 09/15
OATS	2.5 LBS	1"	04/15 TO 10/15
ANNUAL RYE GRASS	1.0 LBS	0.25"	08/15 TO 09/15

B. MULCHING: MULCH SHOULD BE USED ON HIGHLY ERODABLE AREAS, AND WHERE CONSERVATION OF MOISTURE WILL FACILITATE PLANT ESTABLISHMENT AS FOLLOWS:

TYPE	RATE PER 1,000 SF	USE & COMMENTS
STRAW	70 TO 90 LBS	MAY BE USED WITH PLANTINGS, MUST BE ANCHORED TO BE USED ALONE
WOOD CHIPS OR BARK MULCH	460 TO 920 LBS	USED WITH TREE AND SHRUB PLANTINGS
FIBROUS MATTING	AS RECOMMENDED BY MANUFACTURER	MUST BE BIODEGRADABLE. USE IN SLOPE AREAS AND AREAS DIFFICULT TO VEGETATE.
CRUSHED STONE 1/4" TO 1 1/2" DIA	SPREAD TO GREATER THAN 1/2" THICKNESS	USE IN SPECIFIC AREAS AS SHOWN ON PLAN OR AS NEEDED.

PERMANENT STABILIZATION OF DISTURBED AREAS:

- ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- AN AREA SHALL BE CONSIDERED STABILIZED IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
 - OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED
- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES ALTERATION OF TERRAIN PERMIT No. A07-2471.
- SITE LOCATION: 43° 12' 36" N LATITUDE, 71° 32' 06" W LONGITUDE (PER GOOGLE EARTH)
- TOTAL AREA OF DISTURBED SOILS: 184,000± SF.

- REFERENCE IS MADE TO THE LATEST EDITION OF THE FEDERAL REGISTER (63 FR 7857), ENVIRONMENTAL PROTECTION AGENCY NPDES EXERCISE PERMITS FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. FOR ADDITIONAL INFORMATION CONTACT (202) 564-5545 OR www.epa.gov/npdes/stormwater.
- THE ENTIRE CONTENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE RETAINED ON-SITE FOR THE DURATION OF THE CONTRACT AND BE MADE AVAILABLE TO LOCAL, STATE AND FEDERAL CODE ENFORCEMENT PERSONNEL.
- THIS PROJECT SHALL BE MANAGED TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:63 AND AGR 3800 RELATIVE TO INVASIVE SPECIES, AND FUGITIVE DUST IS CONTROLLED IN ACCORDANCE WITH ENV-A 1000.
- THERE SHALL BE NO PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH WITH AN OPENING SIZE OF GREATER THAN 1/8 INCHES MATERIAL UTILIZED (NOT APPLICABLE TO TURF REINFORCEMENT MATS).

SITE MAINTENANCE/INSPECTION PROGRAM

THE FOLLOWING PROVIDES AN ITEMIZATION OF SPECIFIC SITE MAINTENANCE PRACTICES THAT WILL BE EMPLOYED ON THE SITE TO MINIMIZE POLLUTANT GENERATION AND TRANSPORT FROM THE SITE. THE SITE MAINTENANCE PROGRAM INCLUDES ROUTINE INSPECTIONS, PREVENTATIVE MAINTENANCE AND "GOOD HOUSEKEEPING" PRACTICES.

ROUTINE INSPECTIONS

- THE CONTRACTOR SHALL INSPECT ALL CONTROL MEASURES AT LEAST ONCE A WEEK AND WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A STORM WITH RAINFALL AMOUNT GREATER THAN 0.25 INCHES. THE INSPECTIONS WILL VERIFY THAT THE STRUCTURAL BMPs DESCRIBED IN THE PLANS ARE IN GOOD CONDITION AND ARE MINIMIZING EROSION. A MAINTENANCE INSPECTION REPORT WILL BE MADE WITH EACH INSPECTION. COMPLETED INSPECTION FORMS SHALL BE KEPT ON-SITE FOR THE DURATION OF THE PROJECT. FOLLOWING CONSTRUCTION, THE COMPLETED FORMS SHALL BE RETAINED AT THE CONTRACTOR'S OFFICE FOR A MINIMUM OF ONE YEAR.

PREVENTATIVE MAINTENANCE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL TEMPORARY AND PERMANENT CONTROLS THROUGHOUT THE DURATION OF THIS CONTRACT. MAINTENANCE PRACTICES SHALL INCLUDE, BUT ARE NOT LIMITED TO:

- CLEANING OF CATCH BASINS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY QUARTERLY INSPECTIONS.
- CLEANING OF SEDIMENT AND DEBRIS FROM STORMWATER MANAGEMENT AREAS TWICE PER YEAR OR MORE FREQUENTLY AS DICTATED BY MONTHLY INSPECTIONS.
- IMPLEMENTATION OF OTHER MAINTENANCE OR REPAIR ACTIVITIES AS DEEMED NECESSARY BASED UPON WEEKLY INSPECTIONS.
- REMOVAL OF BUILT UP SEDIMENT ALONG SILT SOCKS AND/OR STONE CHECK DAMS.
- REMOVAL OF BUILT UP SEDIMENT IN BOTH TEMPORARY AND PERMANENT CONTROLS SUCH AS GRASS SWALES, SEDIMENT FOREBAYS AND RECHARGE/DETENTION BASINS.
- RECONSTRUCTING THE TEMPORARY GRAVEL CONSTRUCTION EXIT IF NOT WORKING PROPERLY.
- TREATMENT OF NON-STORM WATER DISCHARGES SUCH AS WATER FROM WATER LINE FLUSHINGS OR GROUNDWATER FROM DEWATERING EXCAVATIONS. SUCH FLOWS SHOULD BE DIRECTED TO A TEMPORARY SEDIMENTATION BASIN OR STORMWATER MANAGEMENT AREA.
- SWEEP PARKING LOTS AND DRIVES REGULARLY TO MINIMIZE SEDIMENT ACCUMULATION. FREQUENCY WILL VARY SEASONALLY ACCORDING TO SEDIMENT ACCUMULATION ON PAVE SURFACES (E.G., MORE FREQUENT SWEEPING DURING THE WINTER AND SPRING).

GOOD HOUSEKEEPING PRACTICES

- THE CONTRACTOR SHALL EMPLOY MEASURES AND PRACTICES TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS TO STORM AND WATER RUNOFF. THE CONTRACTOR SHALL PAY SPECIAL ATTENTION TO THE HANDLING, USE AND DISPOSAL OF MATERIALS SUCH AS PETROLEUM PRODUCTS, FERTILIZERS AND PAINTS TO ENSURE THAT THE RISK ASSOCIATED WITH THE USE OF THESE PRODUCTS IS MINIMIZED. THE FOLLOWING "GOOD HOUSEKEEPING" PRACTICES SHALL BE FOLLOWED DURING CONSTRUCTION OF THE PROJECT:
 - AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THEIR MANUFACTURERS' LABELS.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED BEFORE DISPOSING OF THE CONTAINER.
 - MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED.
 - THE CONTRACTOR SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS.

SPILL PREVENTION AND CLEANUP PRACTICES

- MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE. EQUIPMENT AND MATERIAL WILL INCLUDE BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

WINTER CONDITION NOTES

- ALL PROPOSED POST-DEVELOPMENT VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE PLACEMENT OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES SHALL BE PROTECTED WITH A MINIMUM OF 3-INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

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DETAIL SHEET - EROSION CONTROL
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

RECORD OWNER:

STICKNEY AVENUE, LLC
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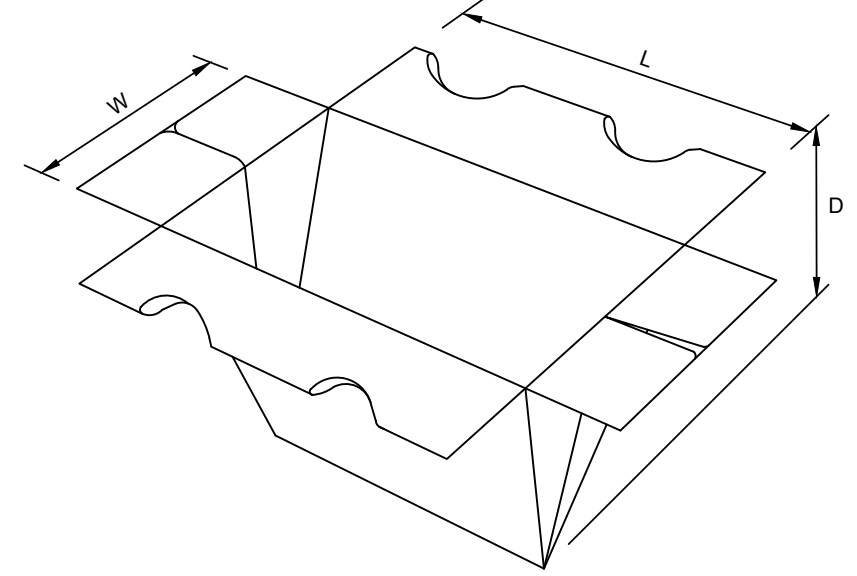
SCALE AS SHOWN

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FIELD BOOK: 1262	DRAWING NAME: 5800-SITE DET1	5800	16 OF 24
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SILTSAK® NOTES:

- THE SILTSAK® SHALL BE MANUFACTURED FROM WOVEN POLYPROPYLENE AND SEWN BY A DOUBLE NEEDLE MACHINE, USING A HIGH STRENGTH NYLON THREAD.
- THE SILTSAK® SEAMS SHALL HAVE A CERTIFIED AVERAGE WIDE WIDTH STRENGTH PER ASTM D-4884 STANDARDS AS FOLLOWS:

SILTSAK® STYLE	TEST METHOD	TEST METHOD
REGULAR FLOW	ASTM D-4884	165.0 LBS/IN
HI-FLOW	ASTM D-4884	114.6 LBS/IN
- THE SILTSAK® WILL BE MANUFACTURED TO FIT THE OPENING OF THE CATCH BASIN OR DROP INLET. THE SILTSAK® WILL HAVE THE FOLLOWING FEATURES: TWO DUMP STRAPS ATTACHED AT THE BOTTOM TO FACILITATE THE EMPTYING OF THE SILTSAK®. THE SILTSAK® SHALL HAVE LIFTING LOOPS AS AN INTEGRAL PART OF THE SYSTEM TO BE USED TO LIFT THE SILTSAK® FROM THE BASIN. THE SILTSAK® SHALL HAVE A RESTRAINT CORD APPROXIMATELY HALFWAY UP THE SACK TO KEEP THE SIDES AWAY FROM THE CATCH BASIN WALLS. THIS YELLOW CORD IS ALSO A VISIBLE MEANS OF INDICATING WHEN THE SACK SHOULD BE EMPTIED, CLEANED, AND PLACED BACK INTO THE BASIN.
- THE GEOTEXTILE FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC WITH THE FOLLOWING PROPERTIES:

SILTSAK® REGULAR FLOW

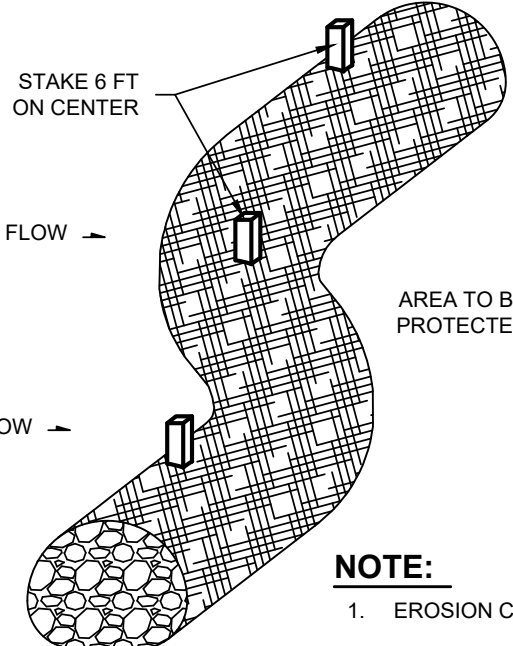
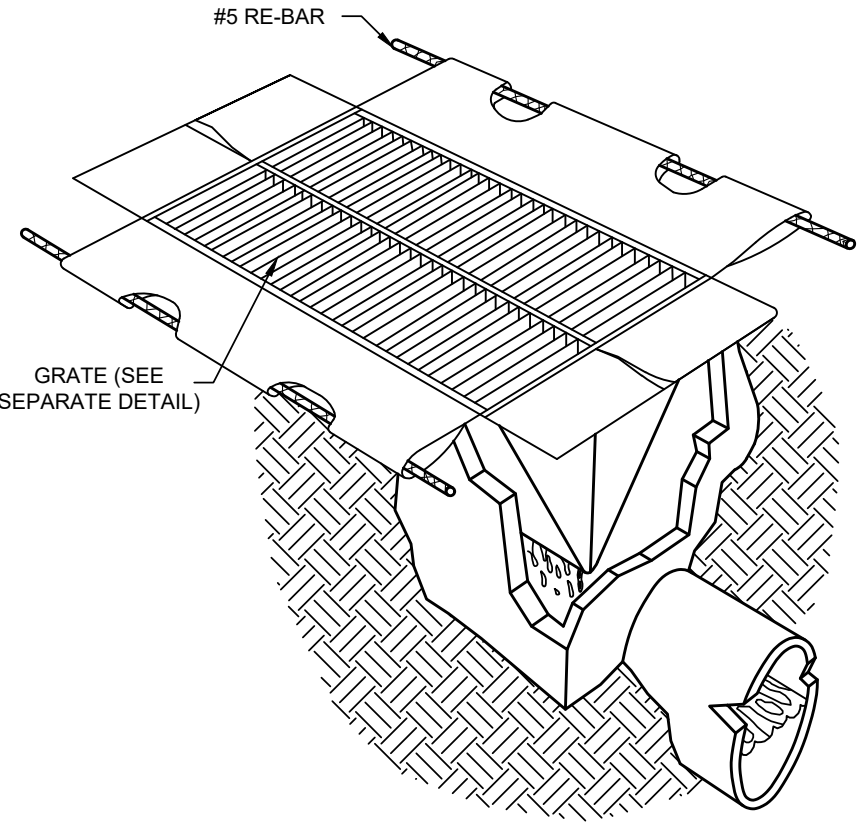
PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	300 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	120 LBS
MULLEN BURST	ASTM D-3786	800 PSI
TRAPEZOID TEAR	ASTM D-4533	120 LBS
UV RESISTANCE	ASTM D-4355	80%
APPARENT OPENING	ASTM D-4751	40 US SIEVE
FLOW RATE	ASTM D-4491	40 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	0.55 SEC

OR SILTSAK® HI-FLOW

PROPERTY	TEST METHOD	TEST RESULT
GRAB TENSILE	ASTM D-4632	265 LBS
GRAB ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
MULLEN BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	45 LBS
UV RESISTANCE	ASTM D-4355	90%
APPARENT OPENING	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/FT2
PERMITTIVITY	ASTM D-4491	1.5 SEC

SILTSAK® DETAIL

NOT TO SCALE



SECTION VIEW

NOTE:

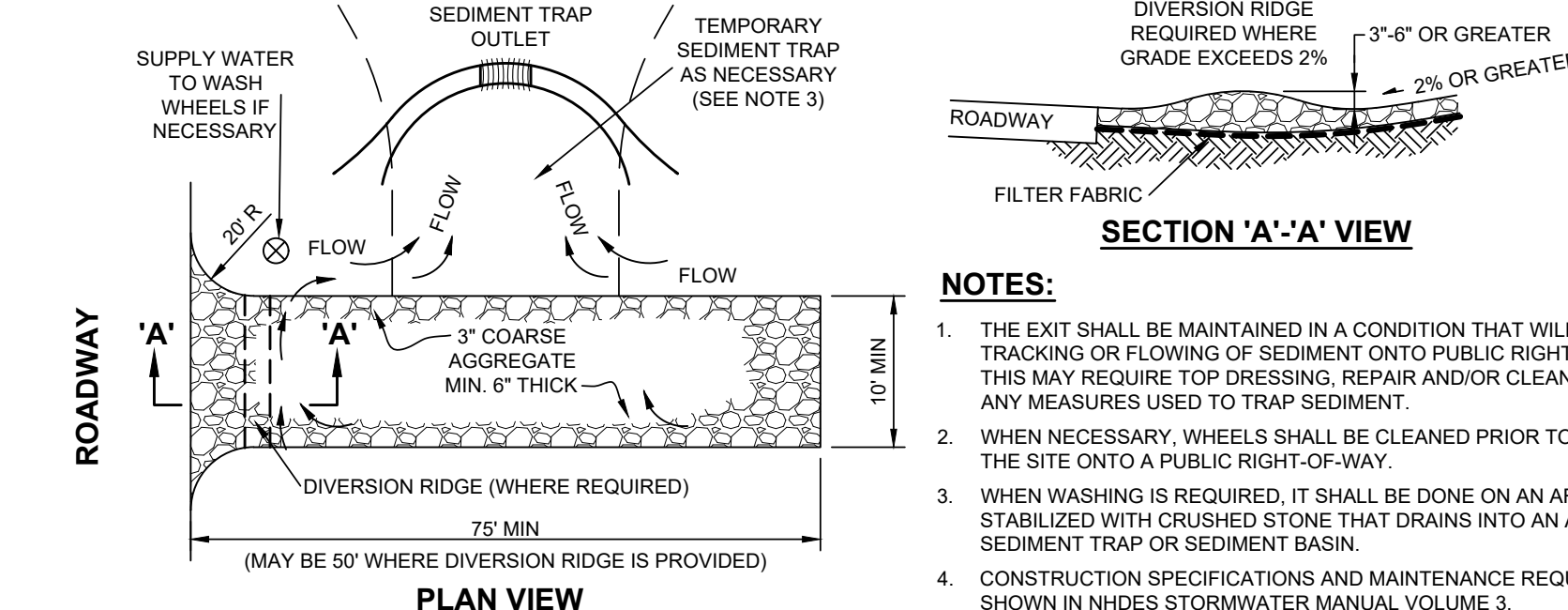
- EROSION CONTROL FILTER SHALL BE FILTERMITT OR SILTSOXX OR APPROVED EQUAL.
- EROSION CONTROL FILTER SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- COMPOST TO BE REMOVED OR DISPOSED ON-SITE AS DETERMINED BY THE ENGINEER.

MAINTENANCE

- SILT SOCK BARRIER SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
 - IF THE SILT SOCK SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE BARRIER SHALL BE REPLACED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
 - SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE BARRIER HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.
- THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
 - THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
 - WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION, AND BOTTOM.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED.
 - FENCE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND. WOOD POSTS SHALL BE OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

SILT SOCK DETAIL

NOT TO SCALE

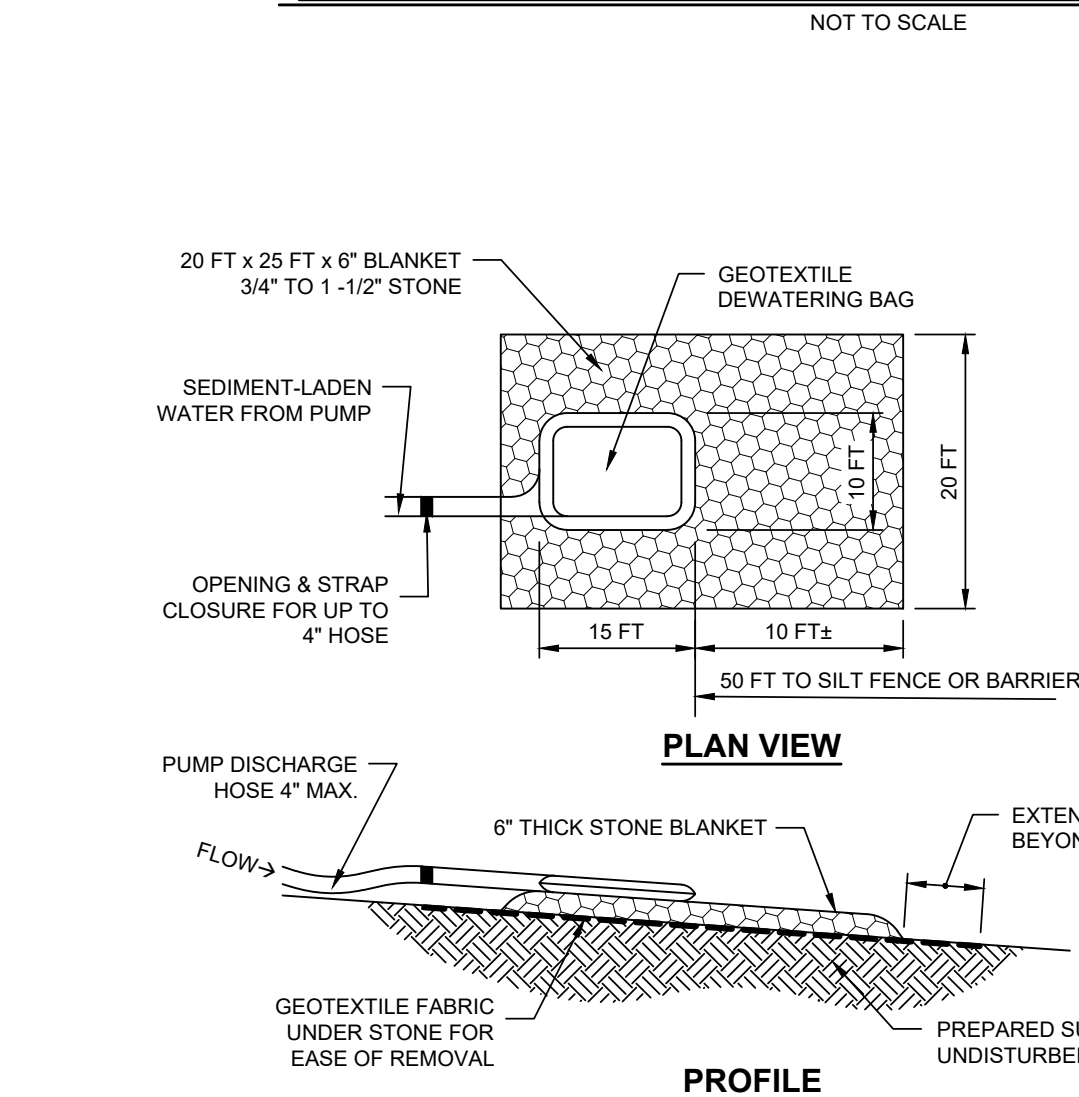


NOTES:

- THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO EXITING THE SITE ONTO A PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- CONSTRUCTION SPECIFICATIONS AND MAINTENANCE REQUIREMENTS SHOWN IN NHDES STORMWATER MANUAL VOLUME 3.

TEMPORARY GRAVEL CONSTRUCTION EXIT

NOT TO SCALE



PLAN VIEW

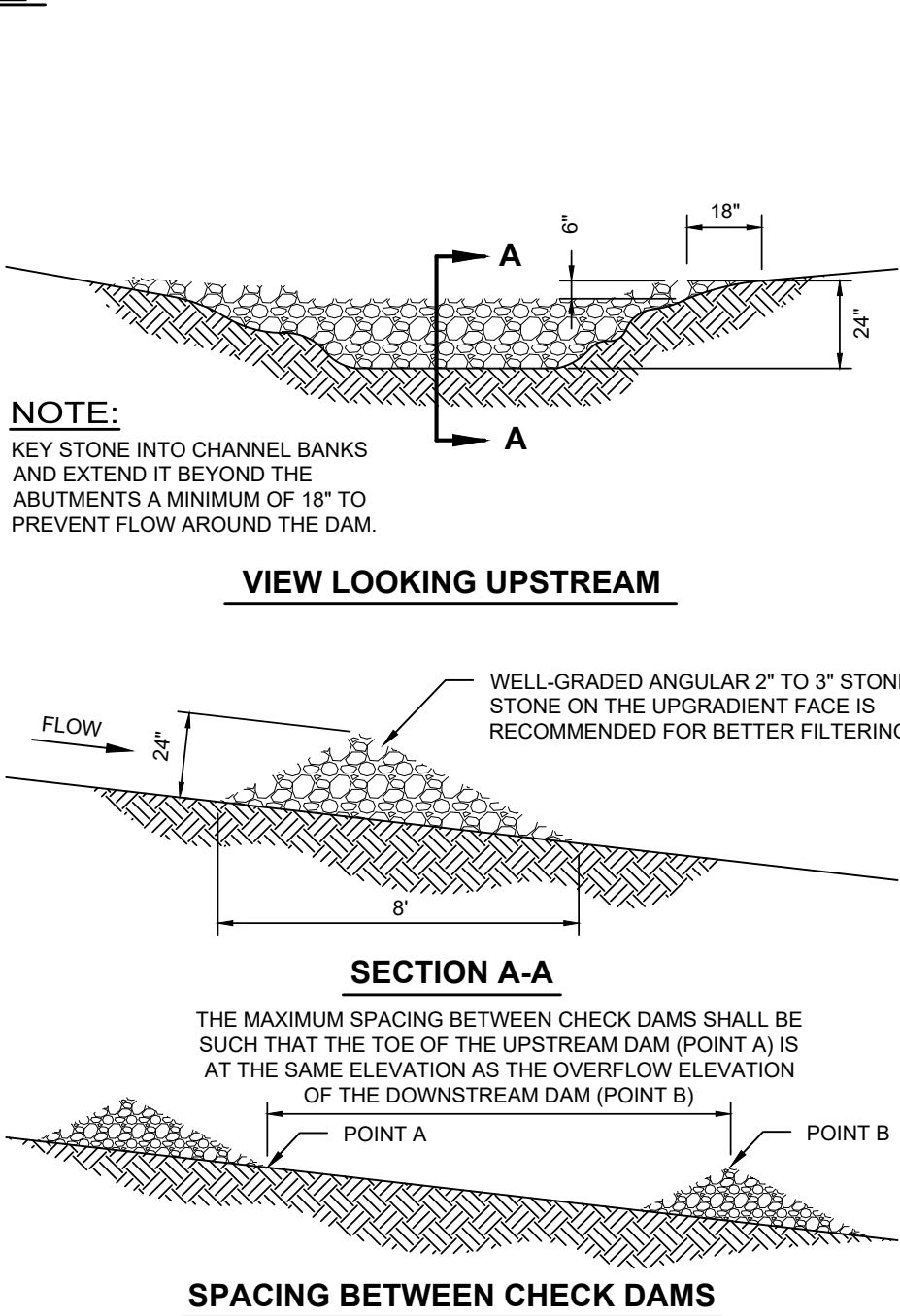
PROFILE

NOTES:

- GEOTEXTILE BAG MATERIAL BASED ON PARTICLE SIZE IN PUMPED WATER, I.E., FOR COARSE PARTICLES A WOVEN MATERIAL; FOR SILT/LAYS A NON-WOVEN MATERIAL.
- DO NOT OVER PRESSURIZE BAG OR USE BEYOND CAPACITY.
- LOCATE DISCHARGE SITE ON FLAT UPLAND AREAS AS FAR AWAY AS POSSIBLE FROM STREAMS, WETLANDS, OTHER RESOURCES AND POINTS OF CONCENTRATED FLOW.
- DOWNGRADIENT FROM RECEIVING AREA MUST BE WELL VEGETATED OR OTHERWISE STABLE FROM EROSION, E.G. FOREST FLOOR OR COARSE GRAVEL/STONE.
- DISCHARGE LOCATION SHALL MEET ALL REGULATORY SETBACKS FROM WETLANDS AND OTHER WATER COURSES.

GEOTEXTILE DEWATERING BAG DETAIL

NOT TO SCALE



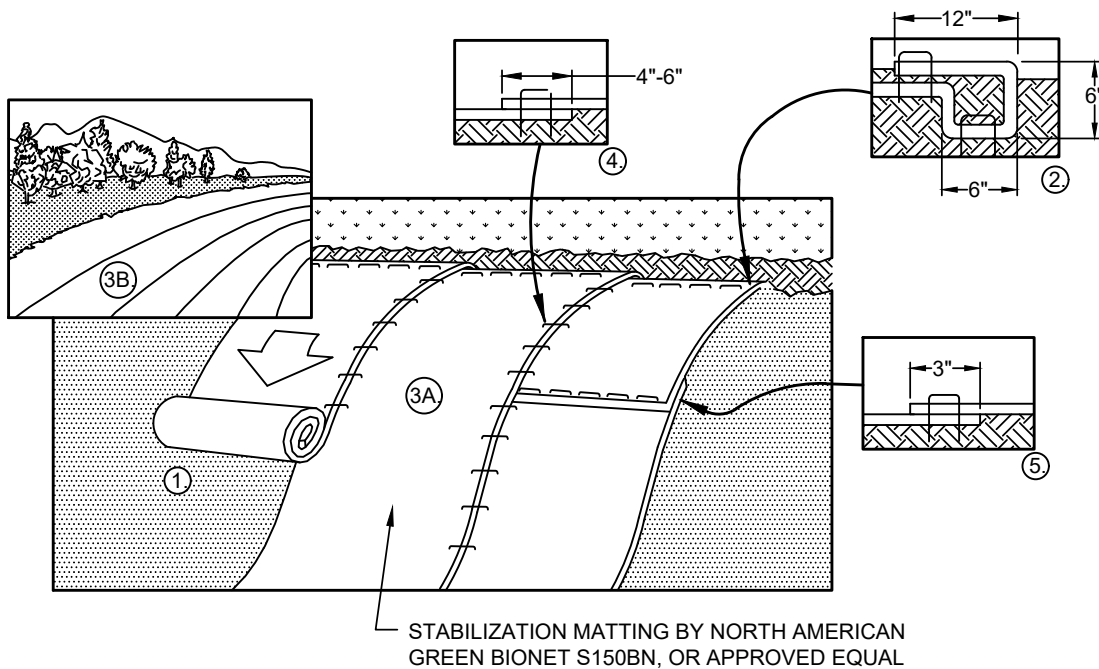
VIEW LOOKING UPSTREAM

SECTION A-A

SPACING BETWEEN CHECK DAMS

TEMPORARY STONE CHECK DAM TYPICAL SECTION

NOT TO SCALE

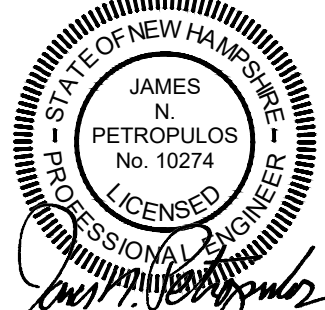
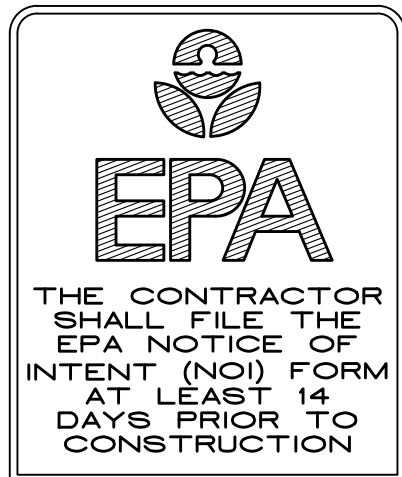


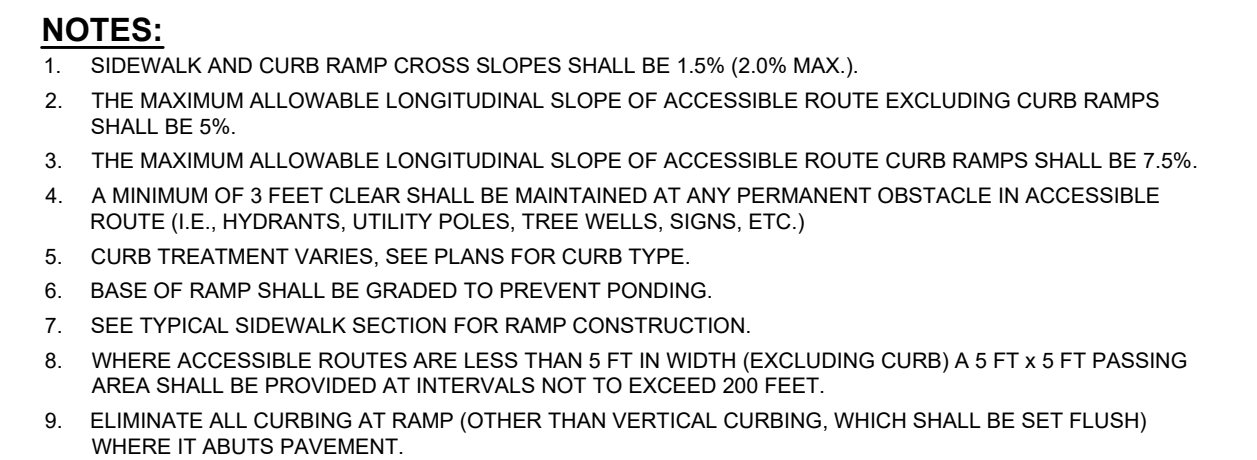
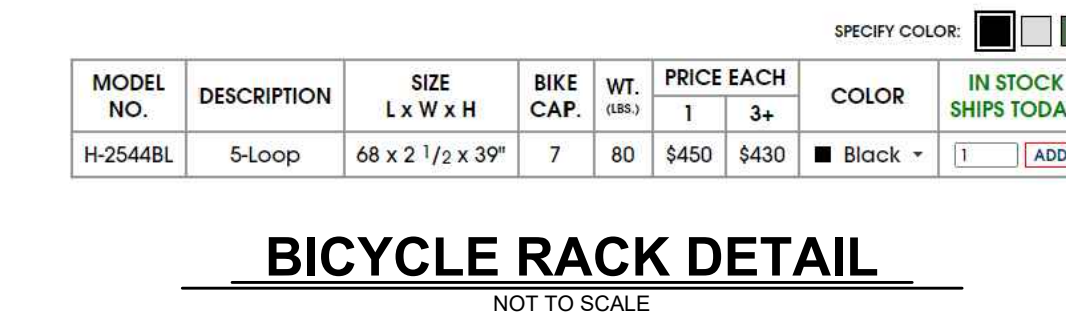
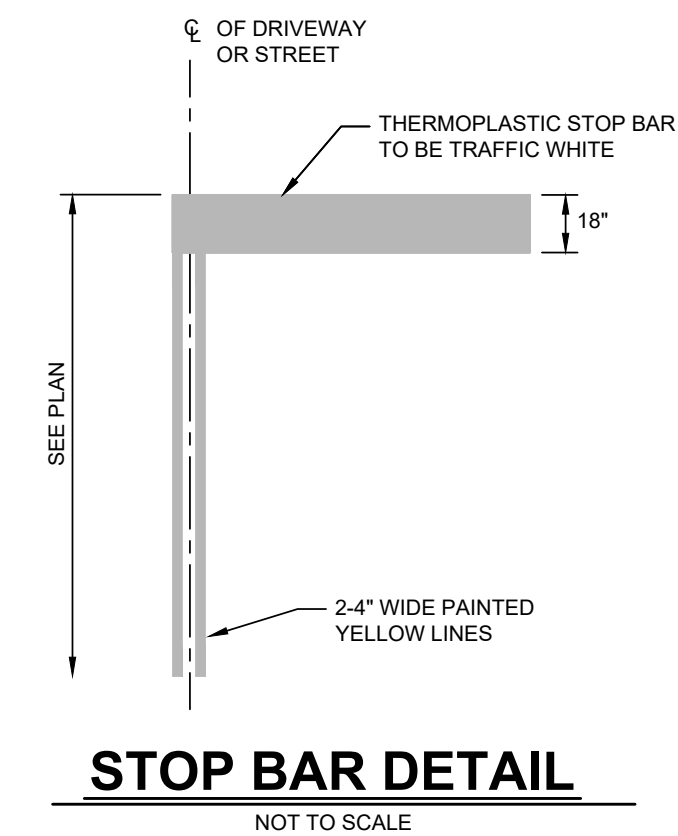
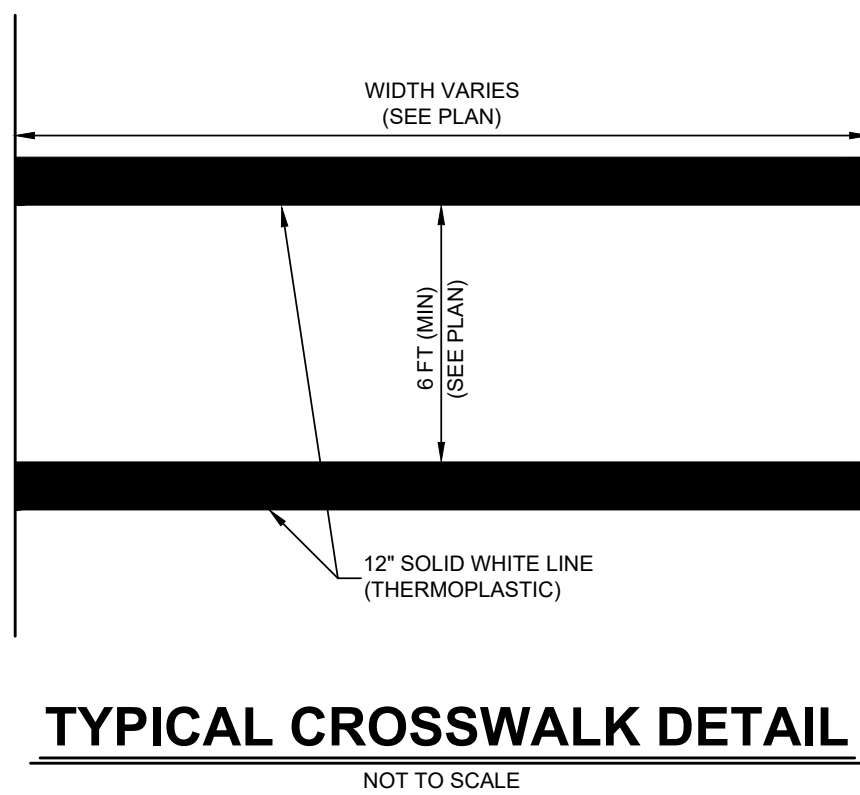
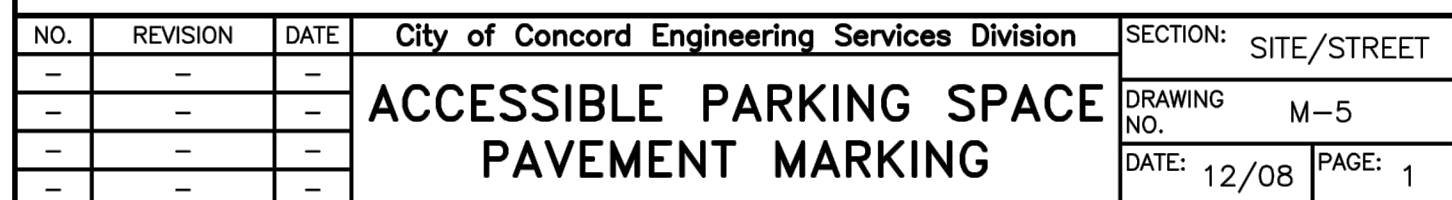
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6\"/>

NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"/>

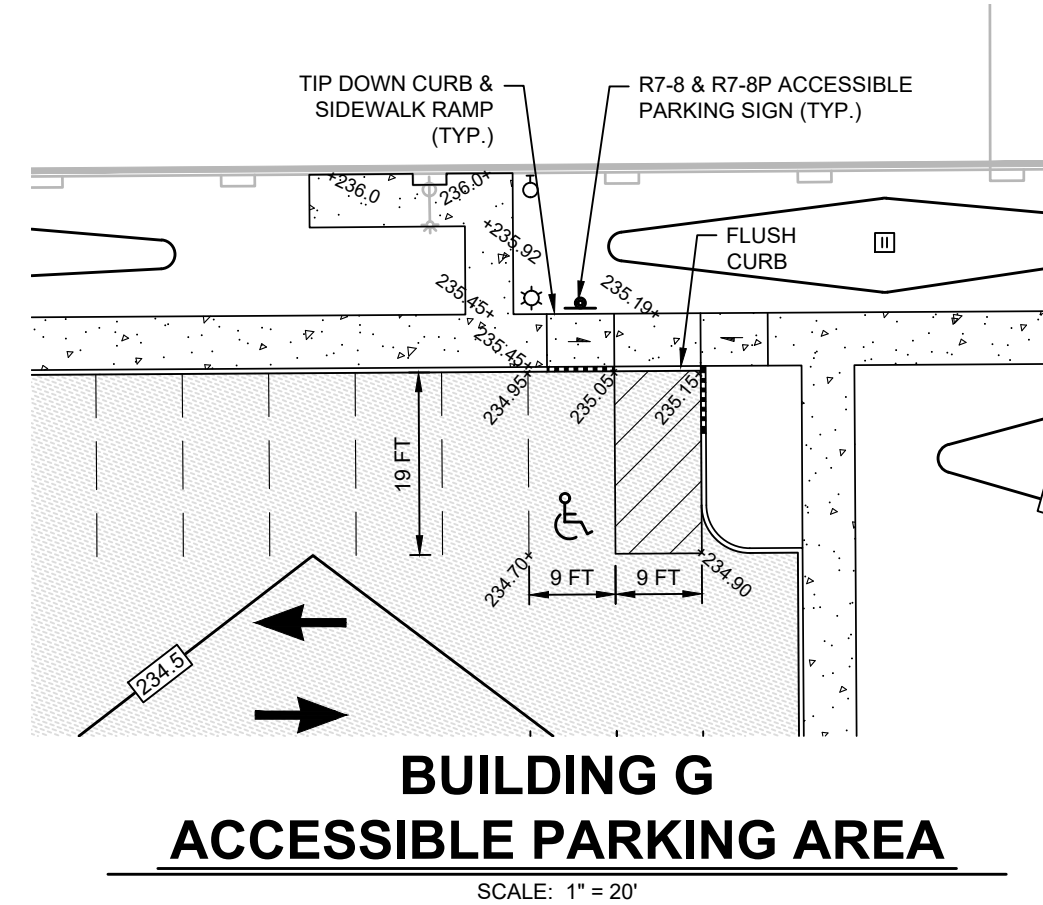
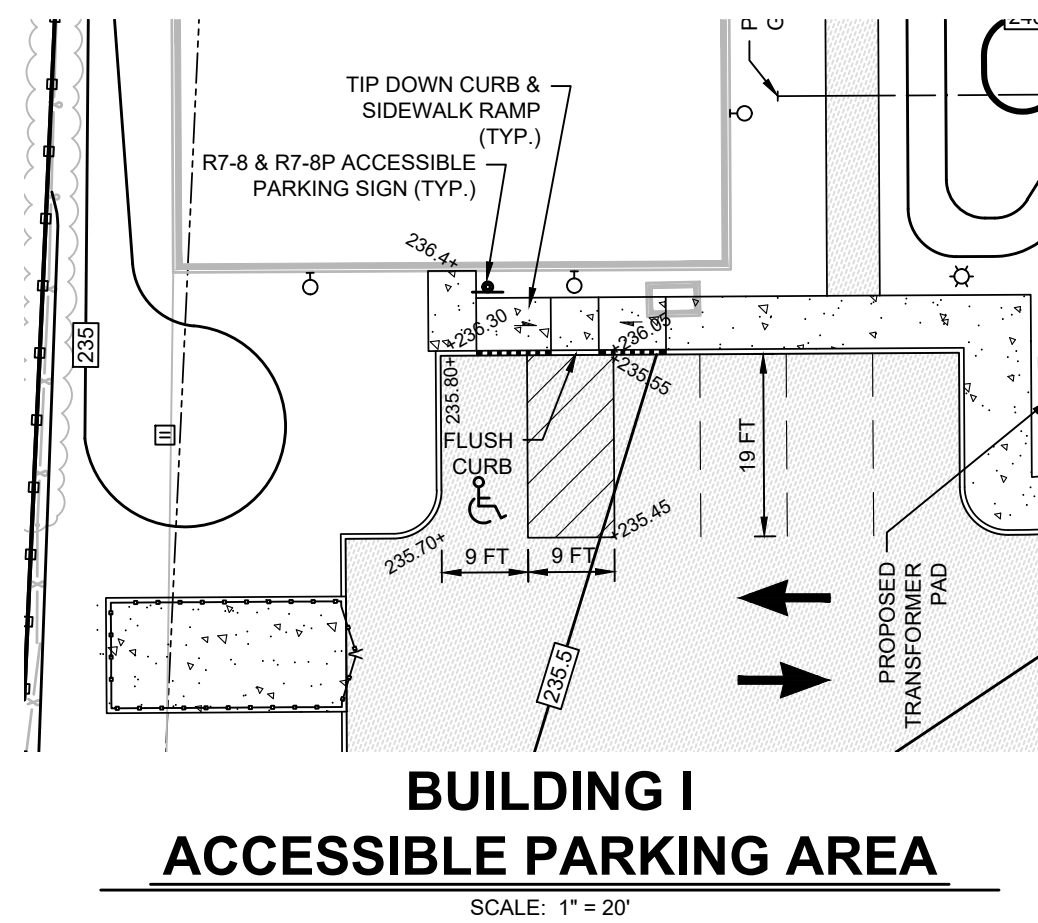
STABILIZATION MATTING DETAIL

NOT TO SCALE





NOT TO SCALE



A circular professional engineer seal for the State of New Hampshire. The outer ring contains the text "STATE OF NEW HAMPSHIRE" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by dashes. The inner circle contains the text "JAMES N. PETROPOULOS", "No. 10274", and "LICENSED". A handwritten signature, "James N. Petropoulos", is written across the bottom of the seal.

9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
8	9/11/24	ADDRESS STAFF COMMENTS, ADD GPP LINING SCOPE & REVISE EASEMENTS	TEZ
7	4/16/24	ADDRESS STAFF & NHDES COMMENTS	TEZ
6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ
No.	DATE	REVISION	BY

DETAIL SHEET - GENERAL SITE
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR: *L*

BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
STICKNEY AVENUE, LLC
 670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

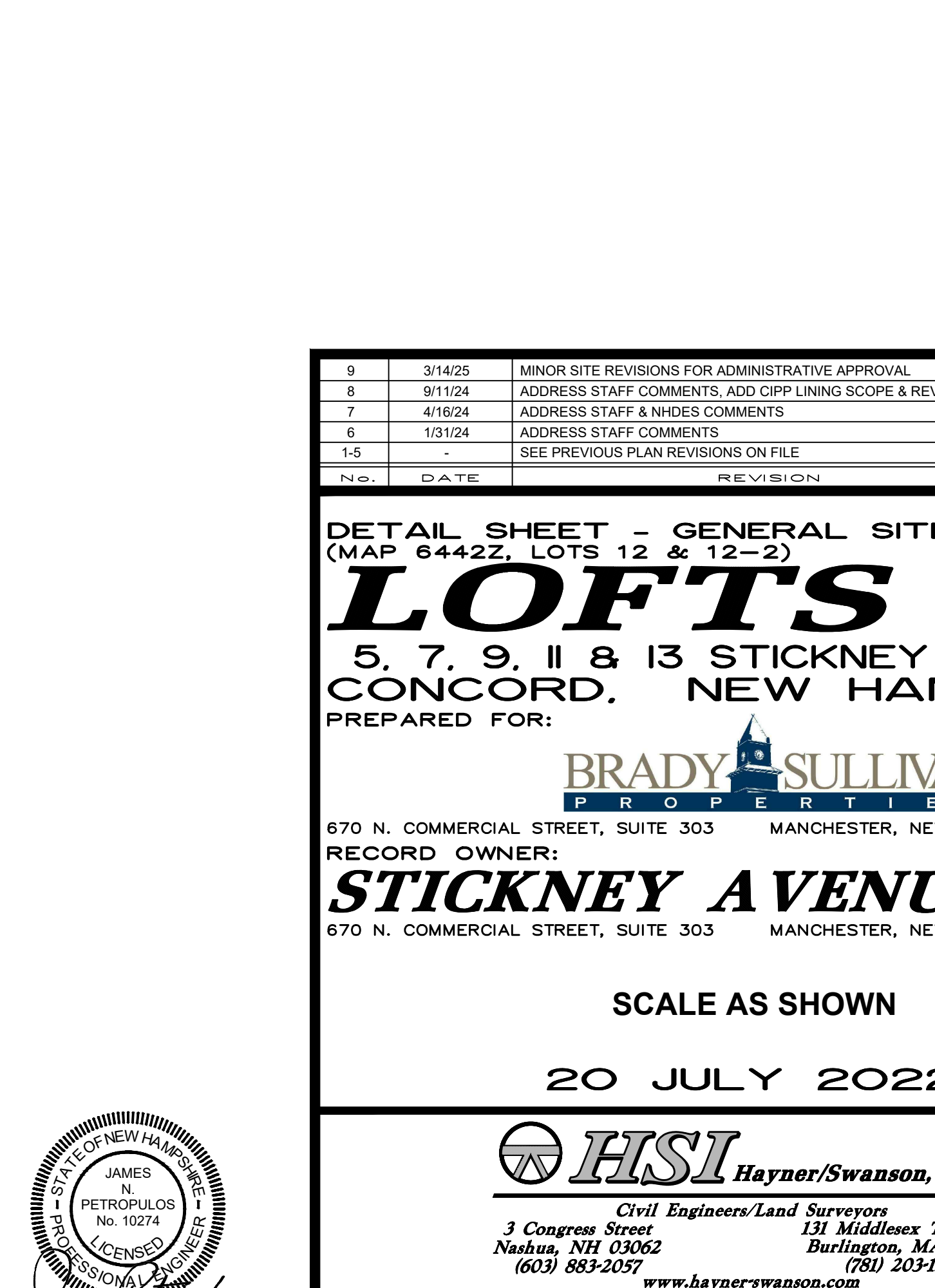
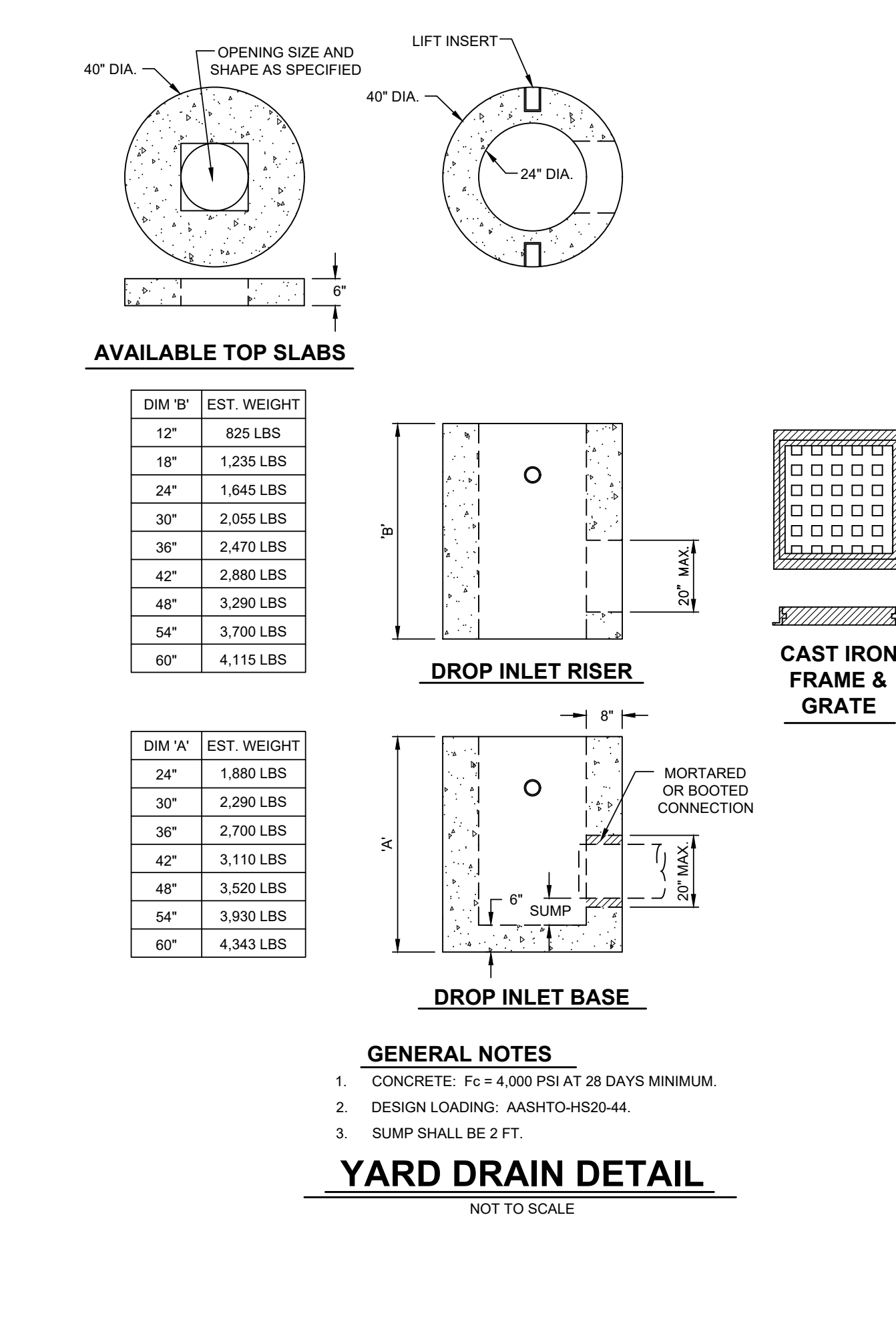
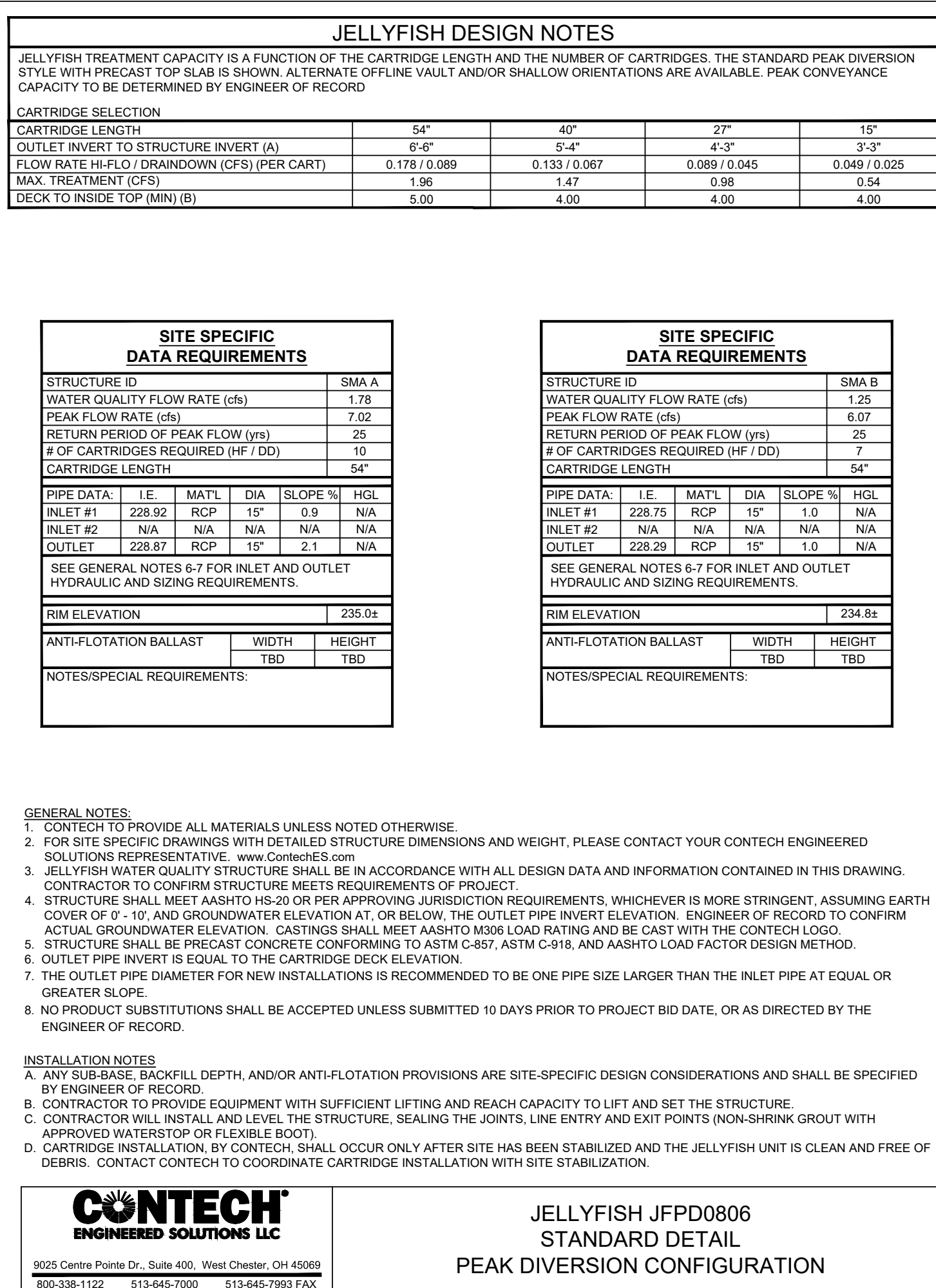
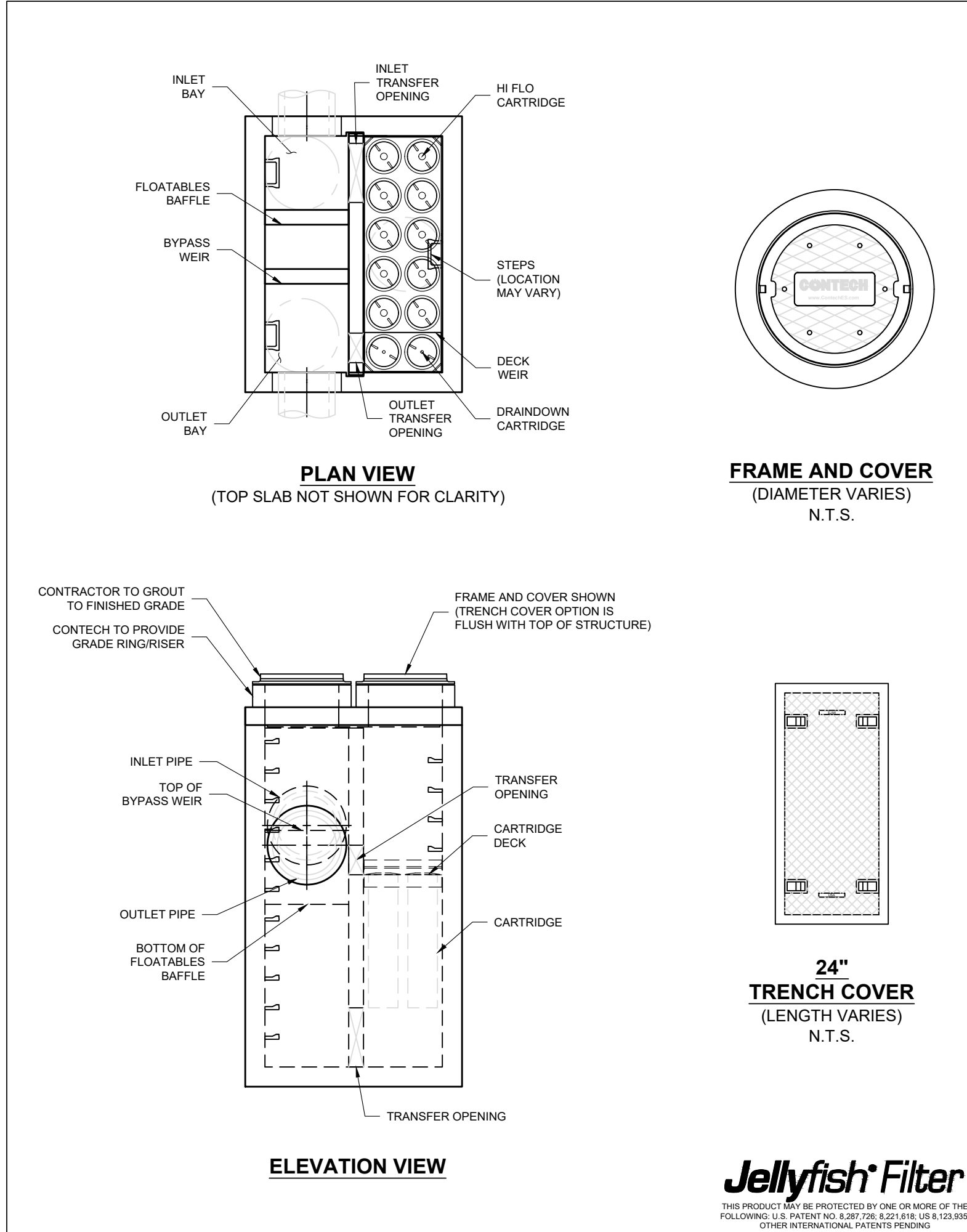
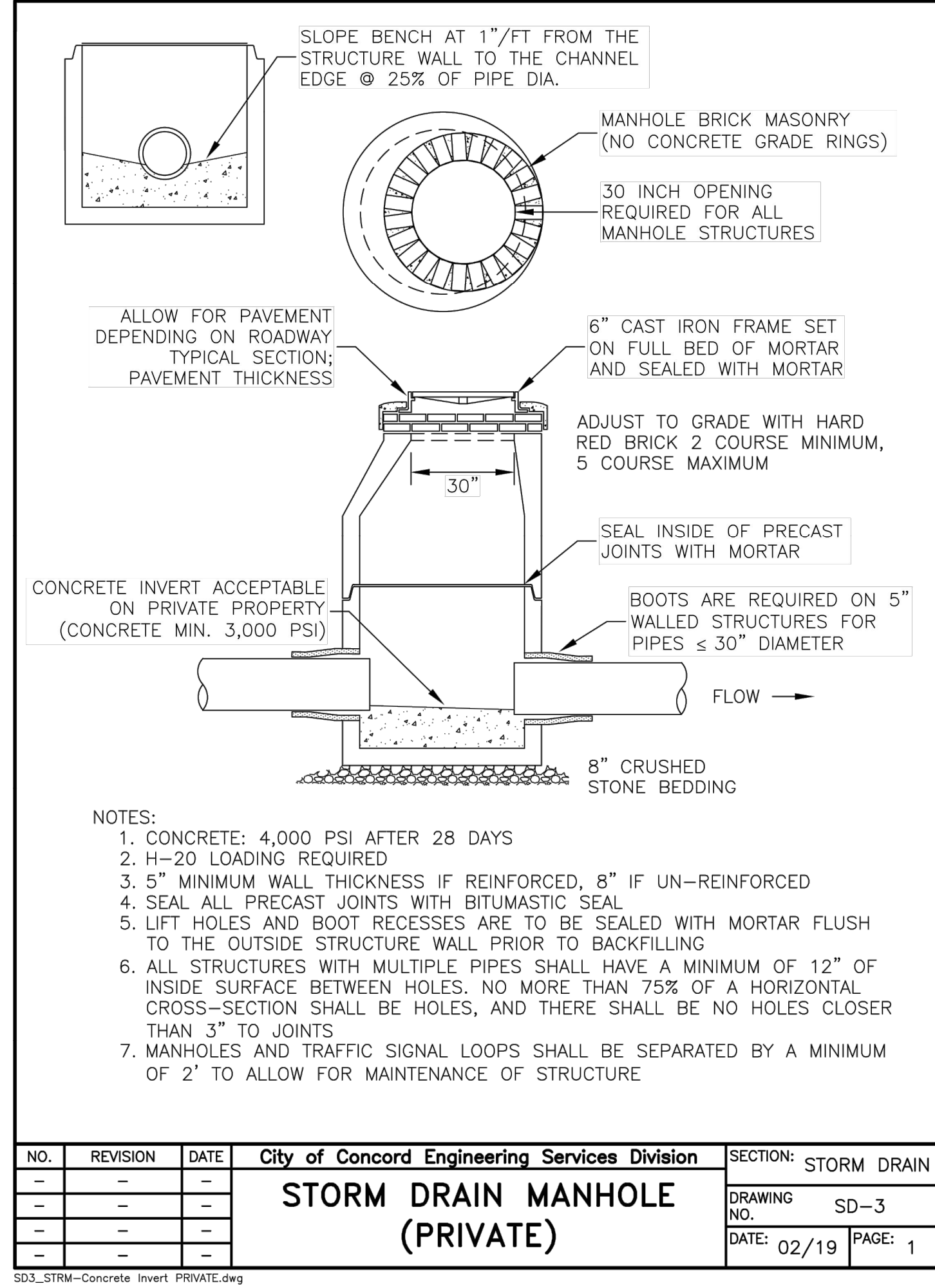
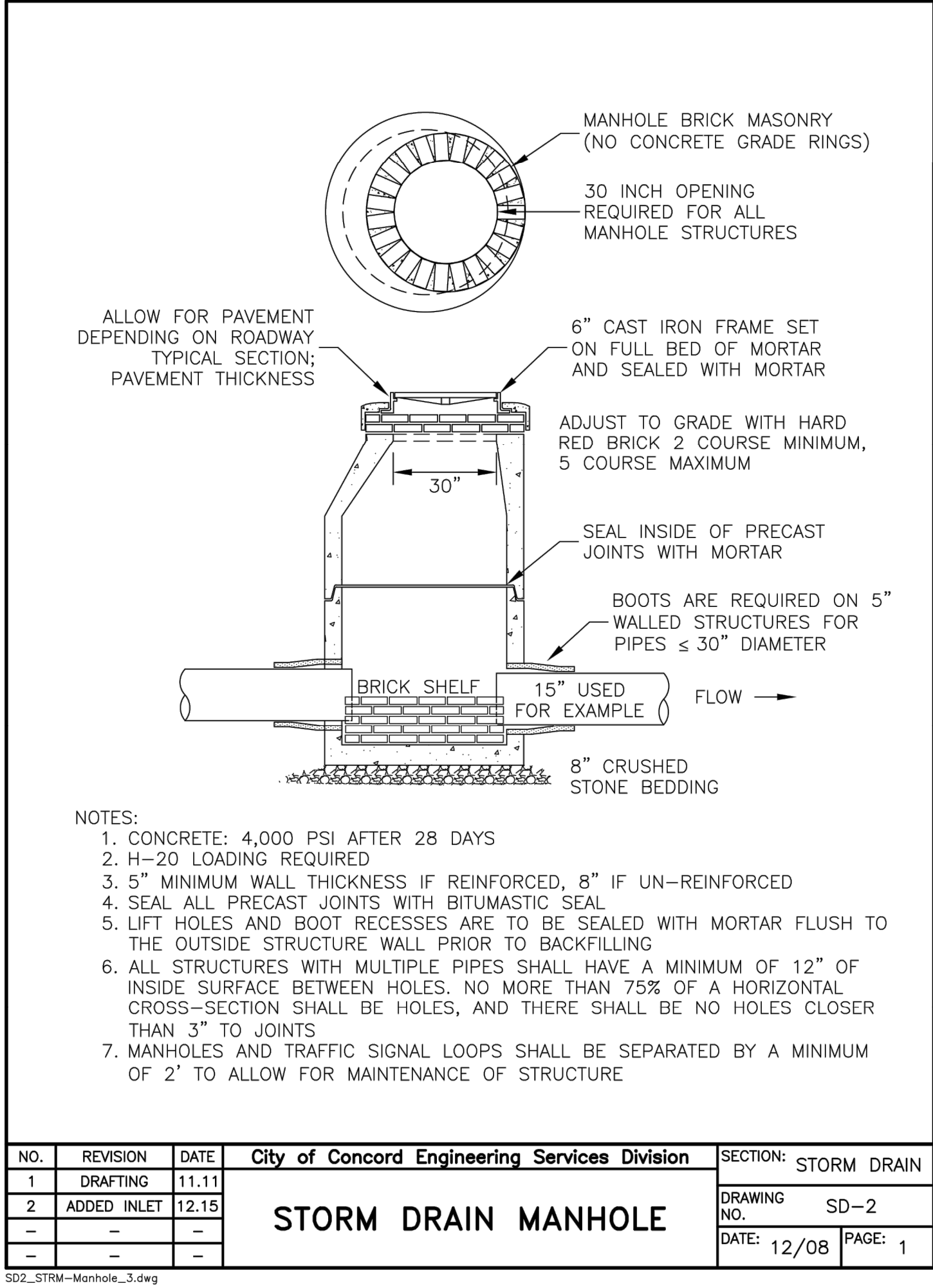
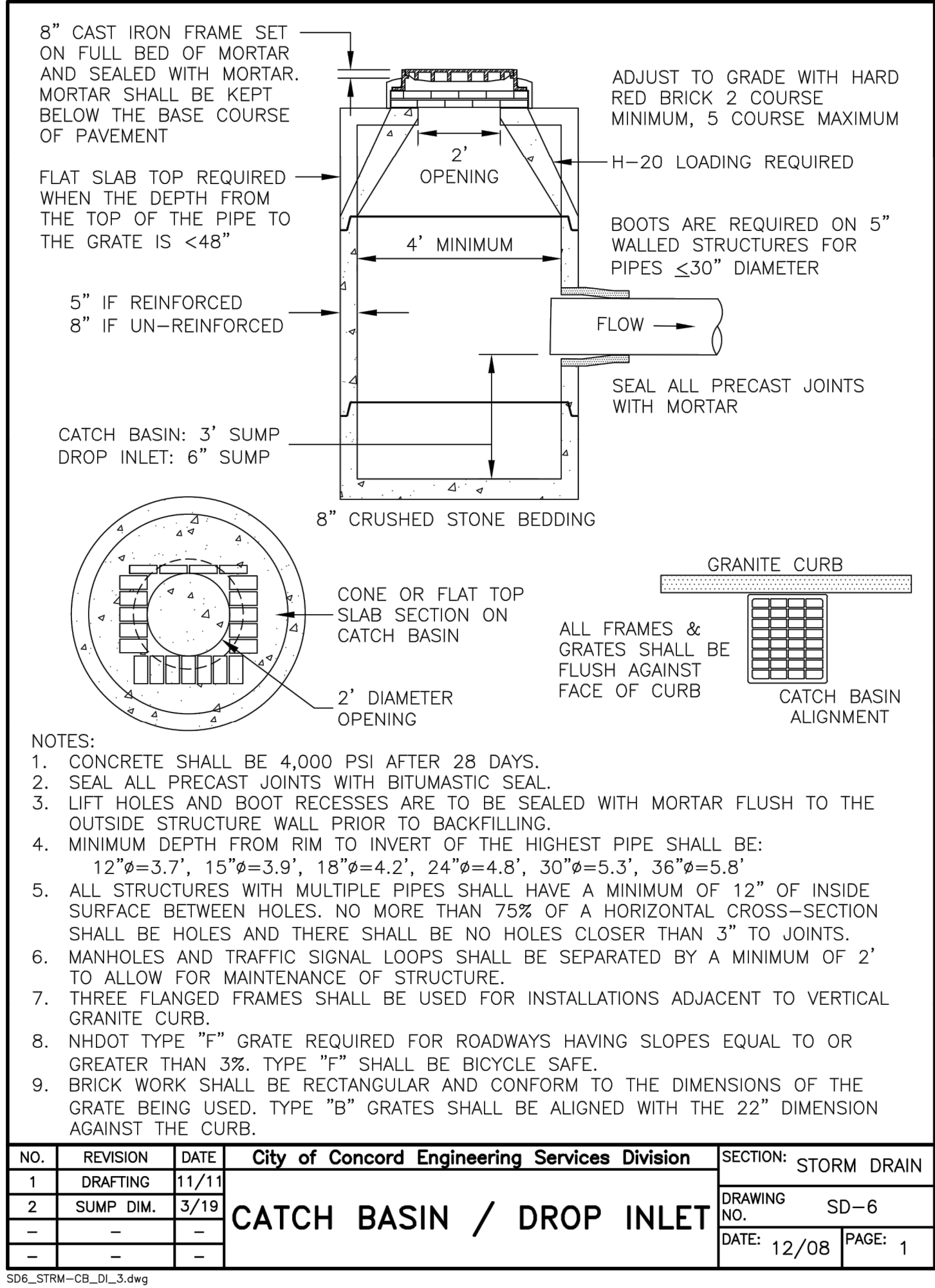
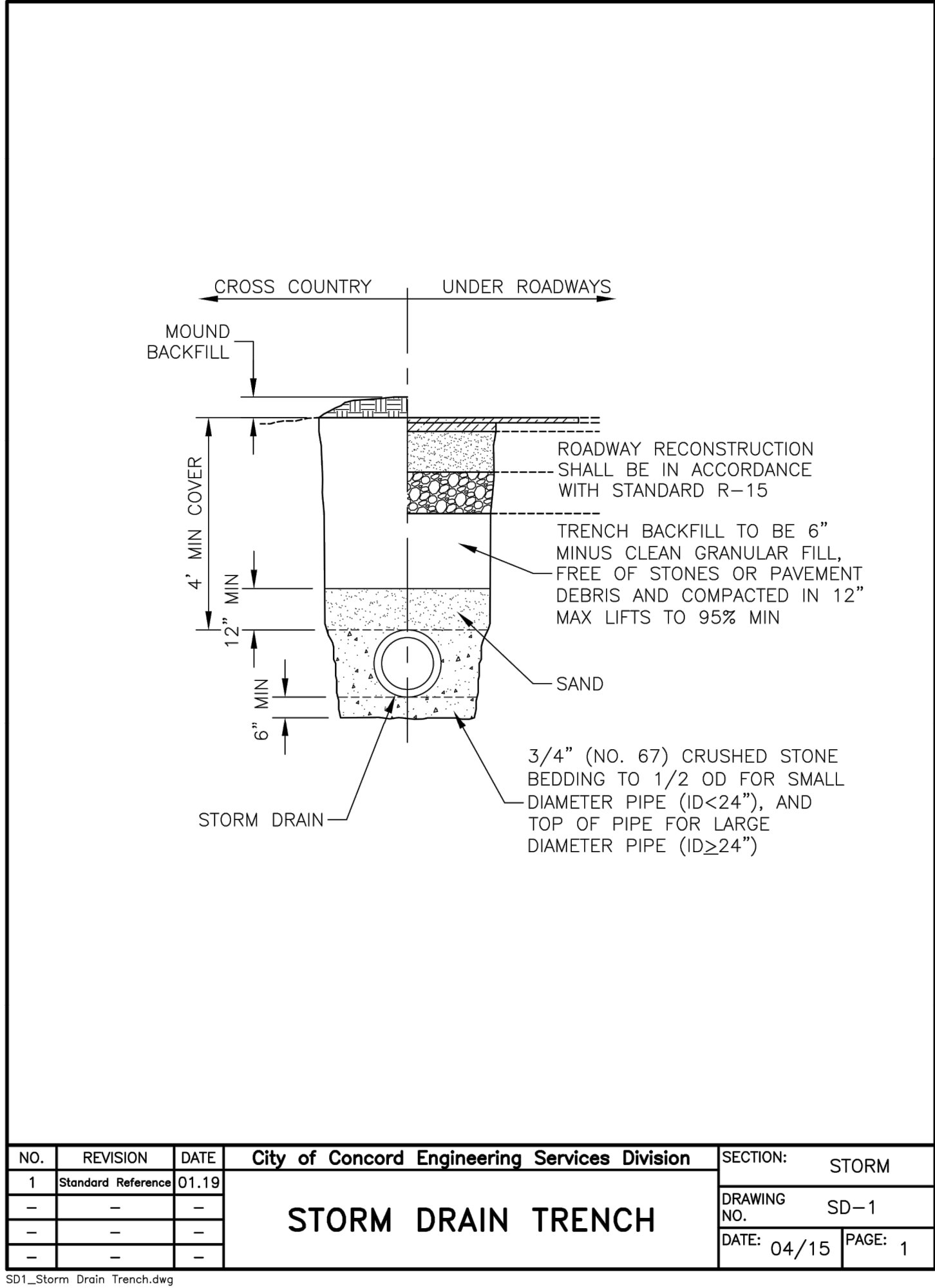
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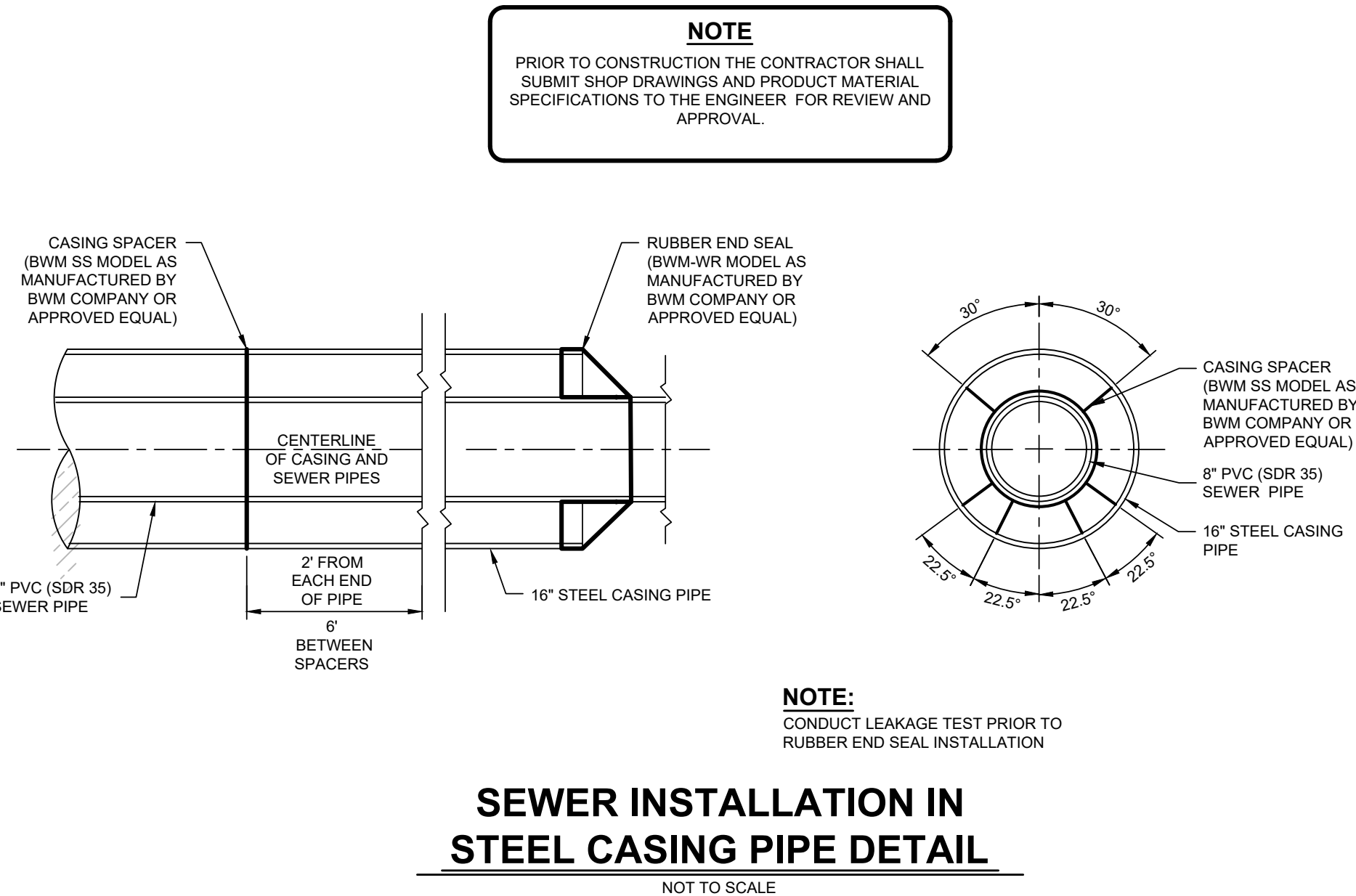
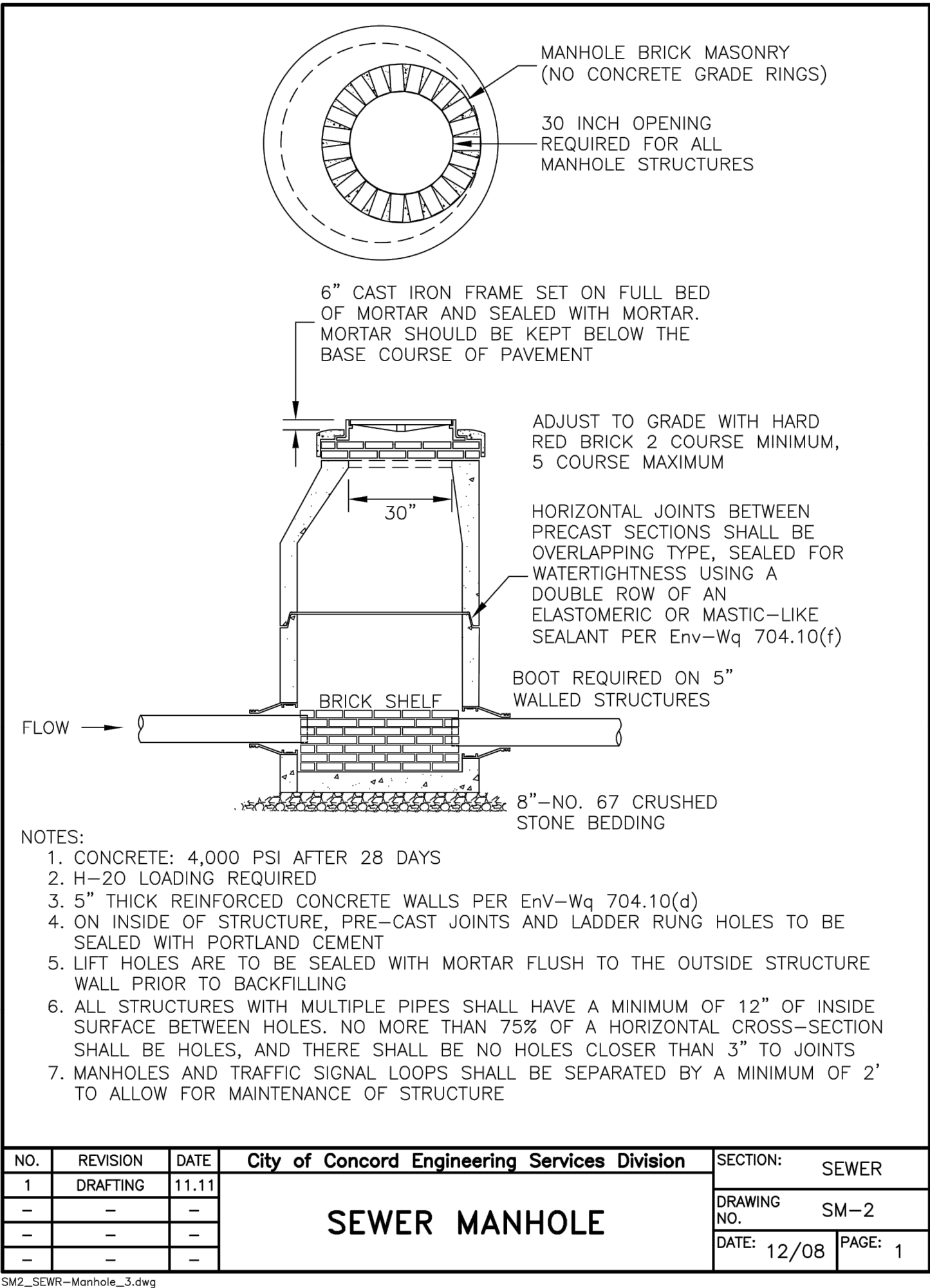
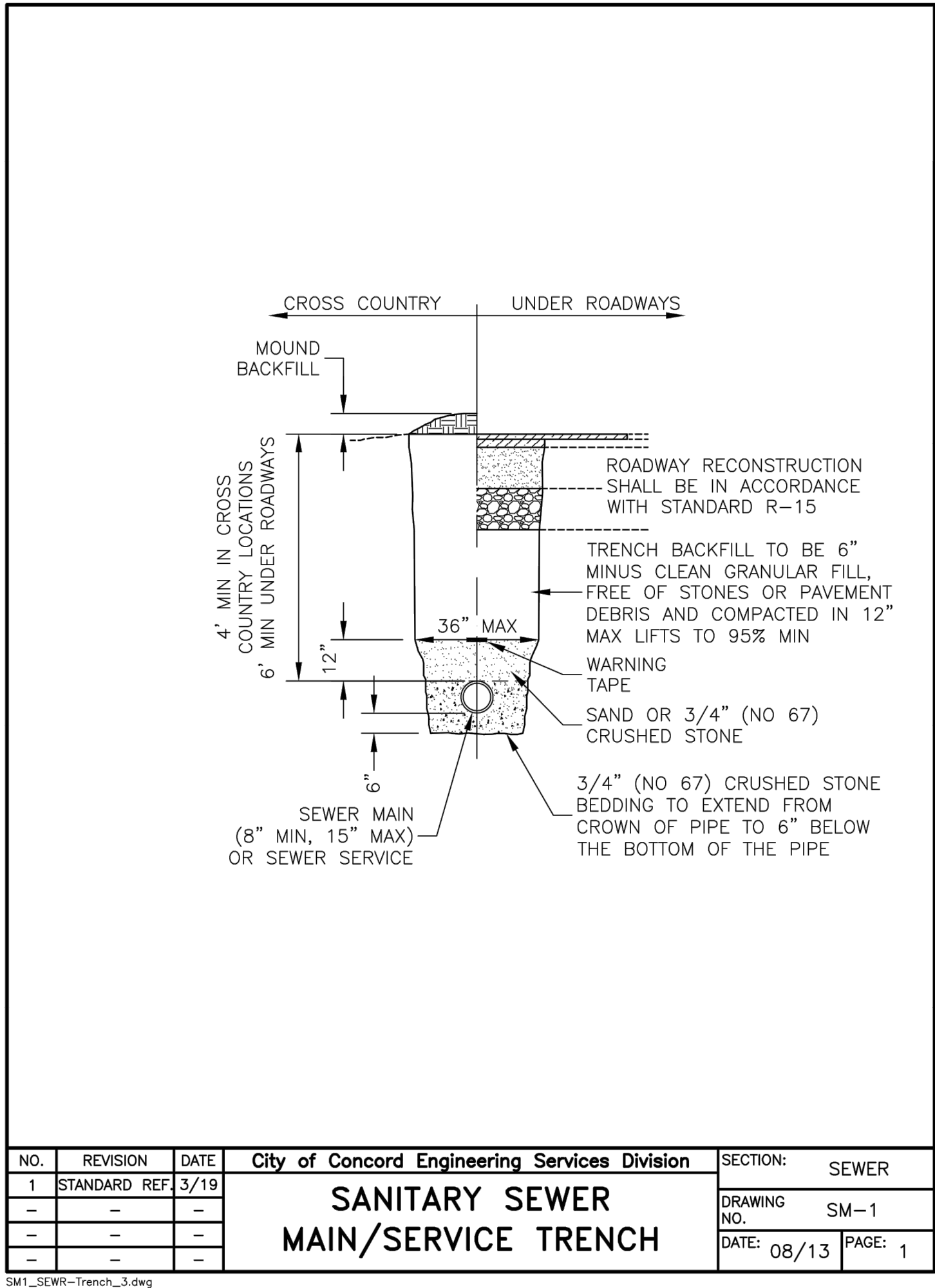
20 JULY 2022



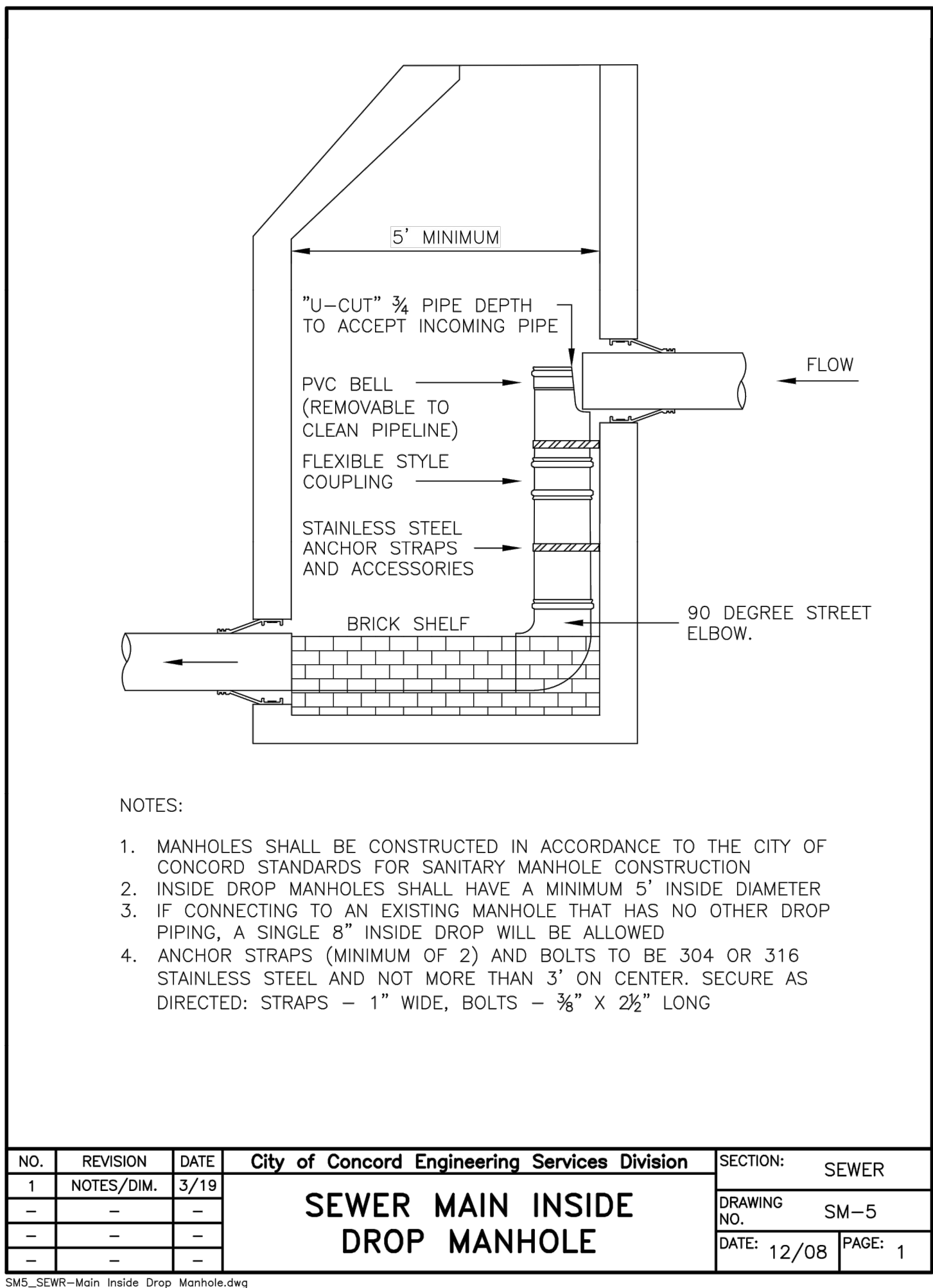
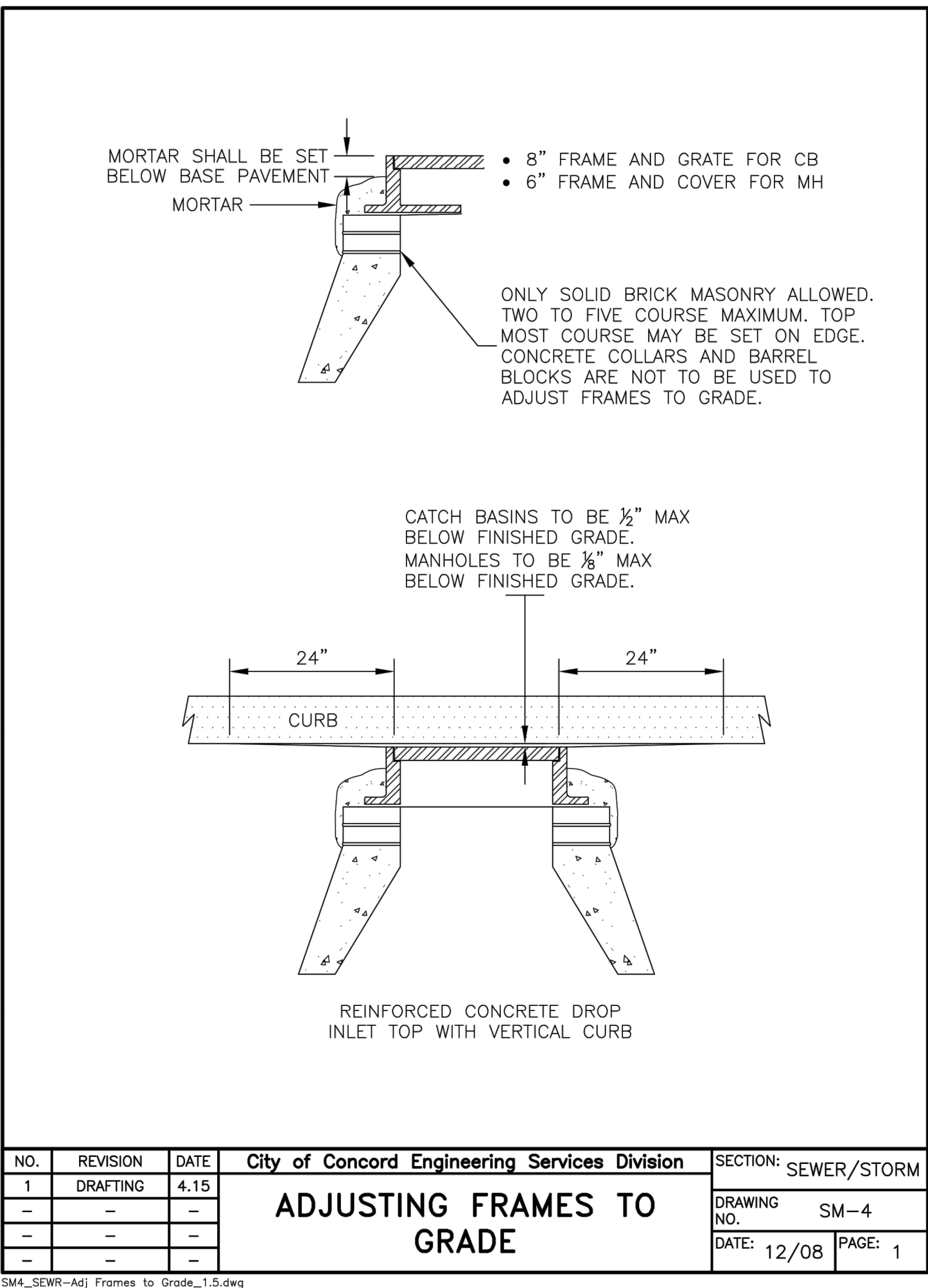
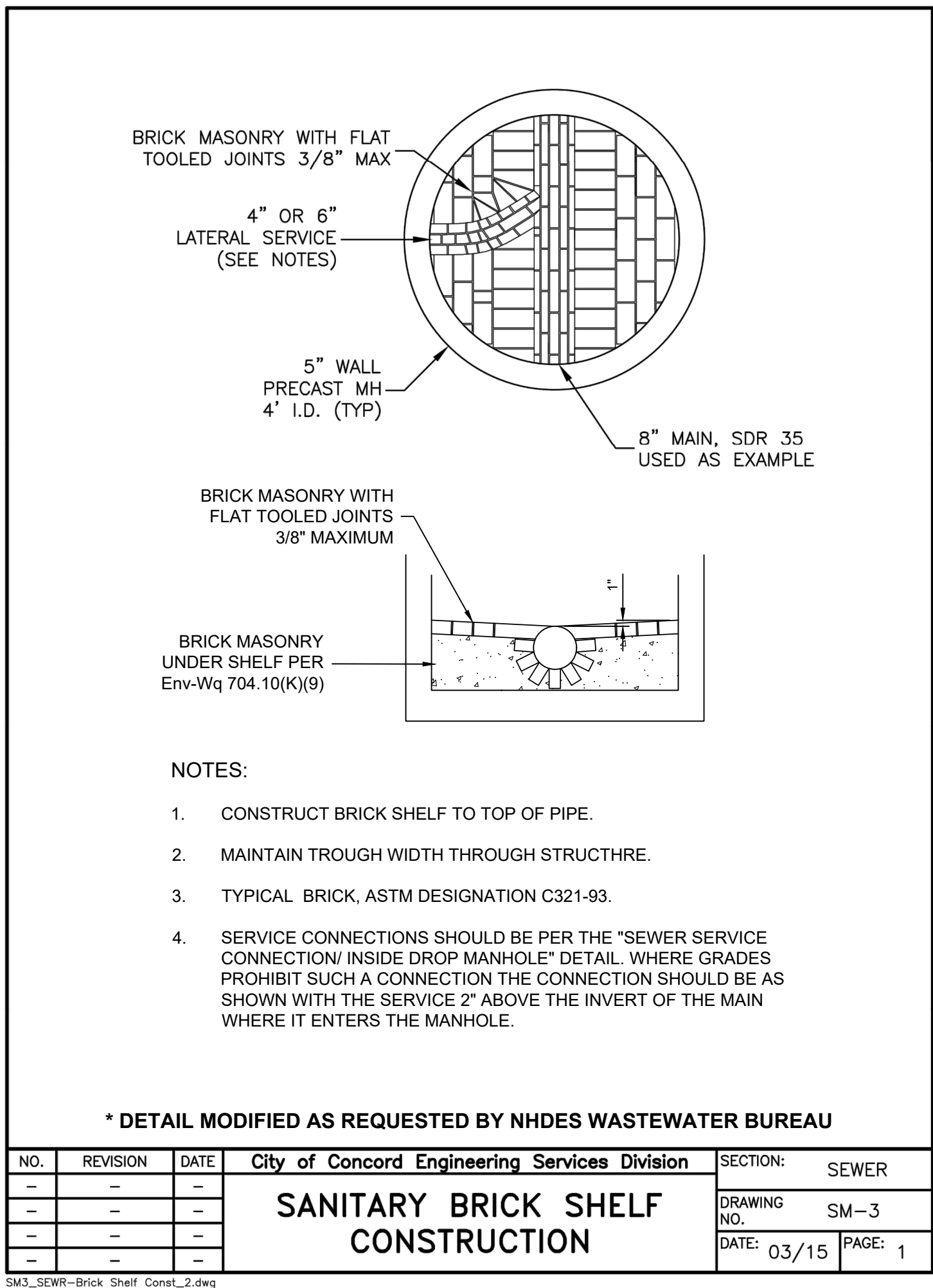
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
Nashua, NH 03062 Burlington, MA 01803
(603) 883-2057 (781) 203-1501
www.haynerswanson.com

FIELD BOOK: 1262	DRAWING NAME: 5800-SITE DET1	5800	18 OF 24
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- SANITARY SEWER NOTES:**
1. ALL SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH PLANS AND SPECIFICATIONS AND WITH THE REQUIREMENTS OF THE NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES (NHDES), CODE OF ADMINISTRATIVE RULES, CHAPTER ENV-WQ 700, AND THE CITY OF CONCORD SEWER REGULATIONS. SEWER PIPES AND MANHOLES SHALL BE TESTED IN ACCORDANCE WITH NHDES REGULATIONS (ENV-WQ 700), CITY OF CONCORD SEWER REGULATIONS AND PROJECT SPECIFICATIONS.
 2. SEWER PIPE SHALL BE SOLID WALL-PVC UNLESS OTHERWISE REQUIRED BY THESE SPECIFICATIONS. SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY AND 18 INCHES VERTICALLY FROM WATER LINES.
 3. WHENEVER SEWERS MUST CROSS WATER MAINS, SEWER SHALL BE CONSTRUCTED AS FOLLOWS:
[A] SEWER PIPE SHALL BE CLASS 52 DUCTILE IRON FOR A MINIMUM DISTANCE OF 9 FEET EACH SIDE OF THE CROSSING.
[B] JOINTS SHALL BE MECHANICAL TYPE WATER PRESSURE RATED WITH ZERO LEAKAGE WHEN TESTED AT 25 POUNDS PER SQUARE INCH FOR GRAVITY SEWERS AND 1-1/2 TIMES WORKING PRESSURE FOR FORCE MAINS. JOINTS SHALL NOT BE LOCATED WITHIN 9 FEET OF THE CROSSING.
[C] VERTICAL SEPARATION OF THE SEWER AND WATER MAIN SHALL NOT BE LESS THAN 18 INCHES.
 4. THE SEWER CONNECTIONS SHALL BE INSPECTED BY AUTHORIZED CITY OF CONCORD PUBLIC WORKS AND ENGINEERING DEPARTMENT PERSONNEL BEFORE ANY BACKFILLING. INSPECTION HOURS ARE BETWEEN 9:00 AM AND 4:30 PM, MONDAY - FRIDAY, WITH AT LEAST 2 DAYS OF ADVANCE NOTICE.
 5. NO FOUNDATION DRAINS OR ROOF DRAINS OR OTHER 'NON-SANITARY DRAINS' SHALL BE CONNECTED TO THE MUNICIPAL SEWER.
 6. A MANDATORY PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE CITY, CONTRACTOR, OWNER AND ALL UTILITY REPRESENTATIVES PRIOR TO ANY CONSTRUCTION. NO WORK SHALL BEGIN UNTIL APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS HAS BEEN OBTAINED.



NO.	DATE	REVISION	BY
9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
8	9/11/24	ADDRESS STAFF COMMENTS, ADD CIPP LINING SCOPE & REVISE EASEMENTS	TEZ
7	4/16/24	ADDRESS STAFF & NHDES COMMENTS	TEZ
6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ

DETAIL SHEET - SEWER
(MAP 6442Z, LOTS 12 & 12-2)

LOFTS 11

5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE

PREPARED FOR:

BRADY SULLIVAN
P R O P E R T I E S

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

RECORD OWNER:

STICKNEY AVENUE, LLC

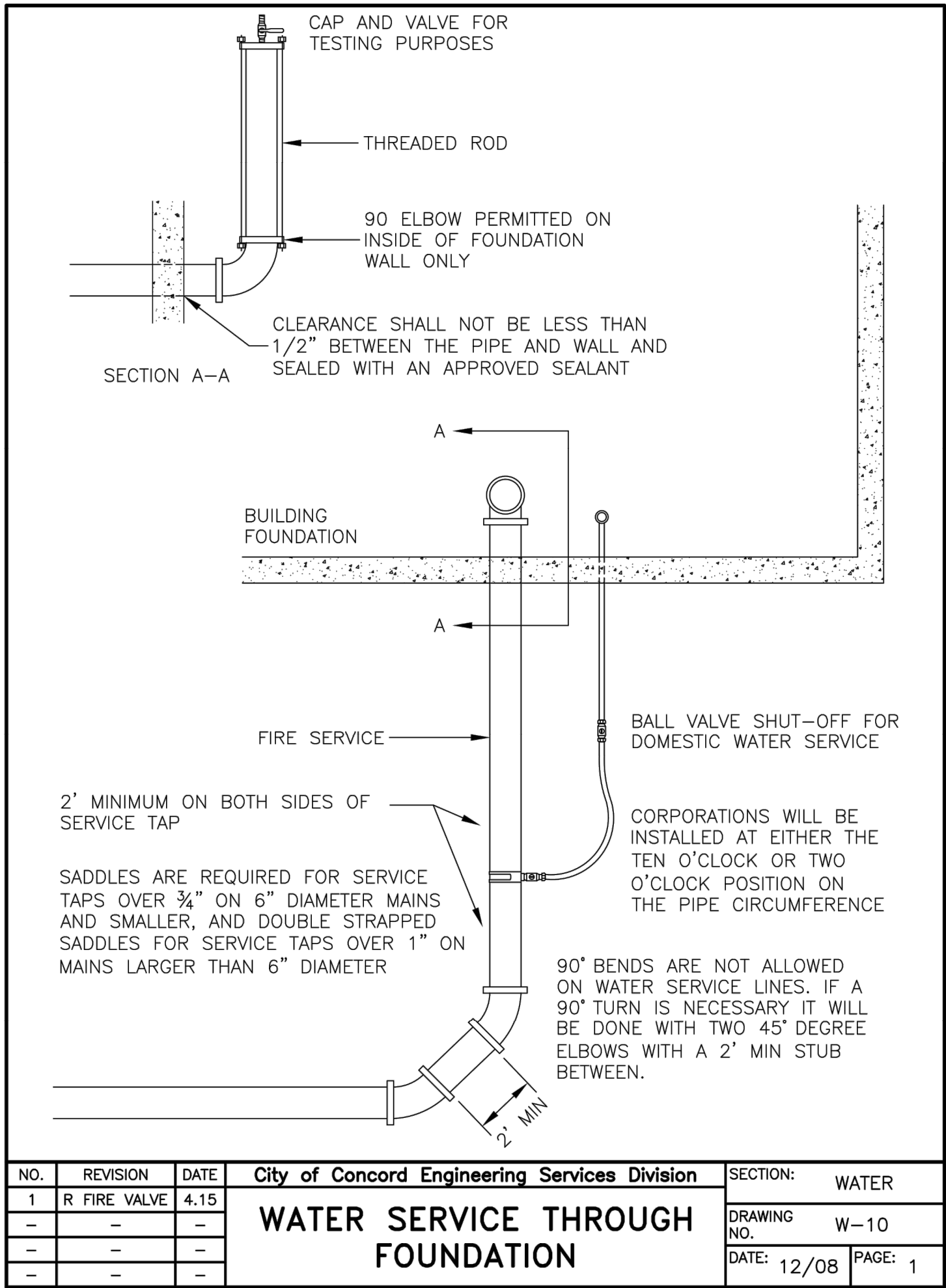
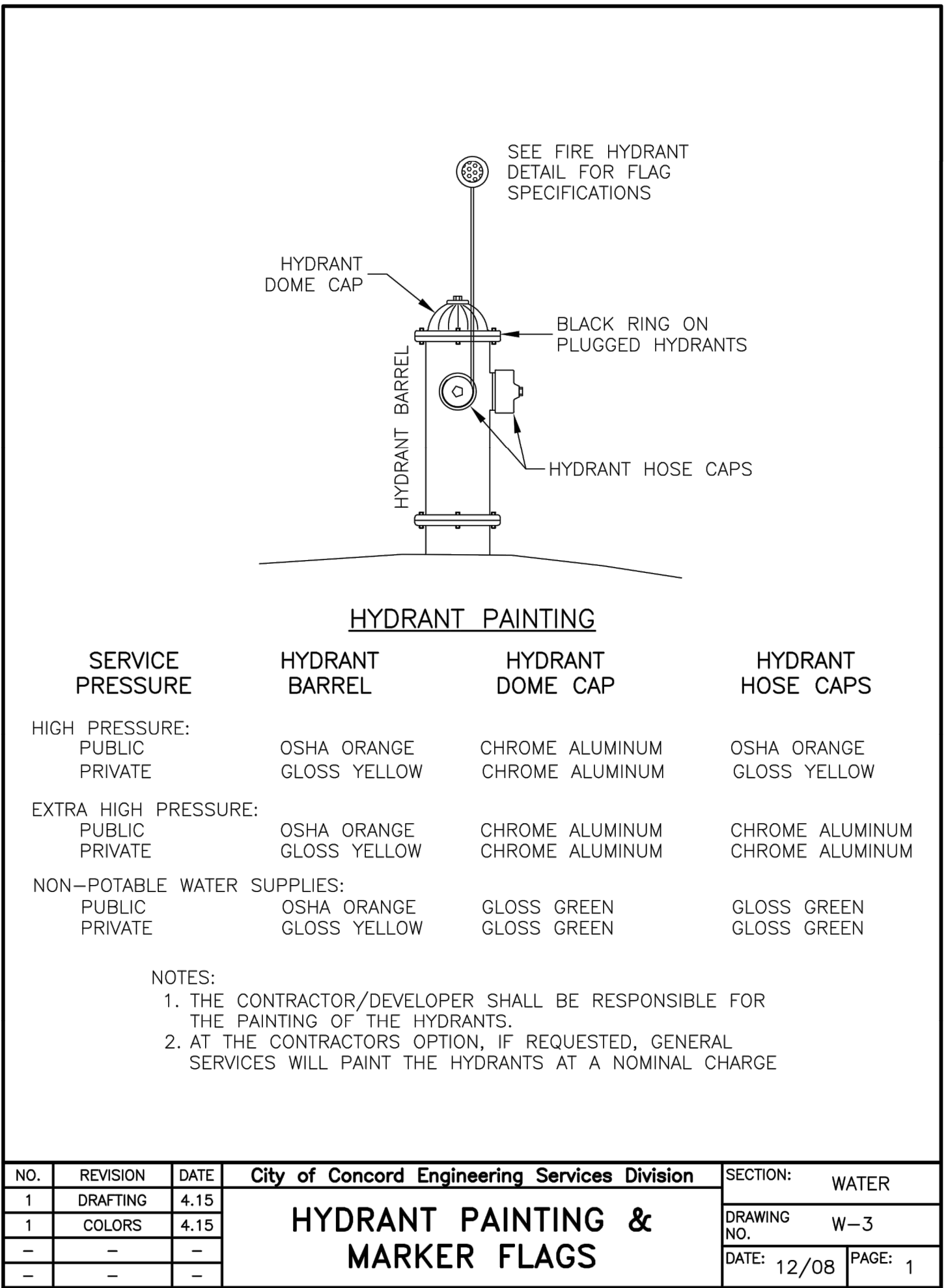
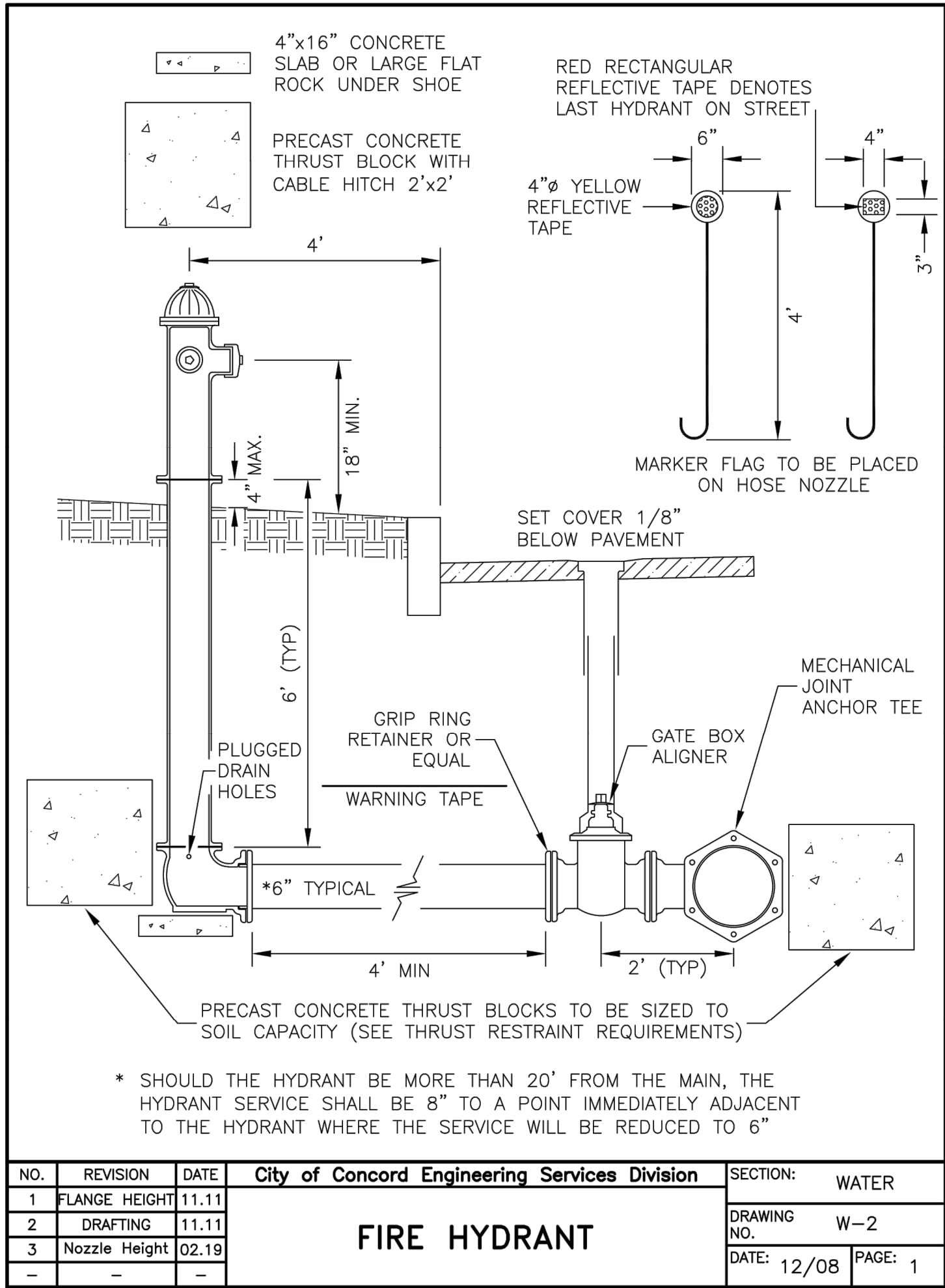
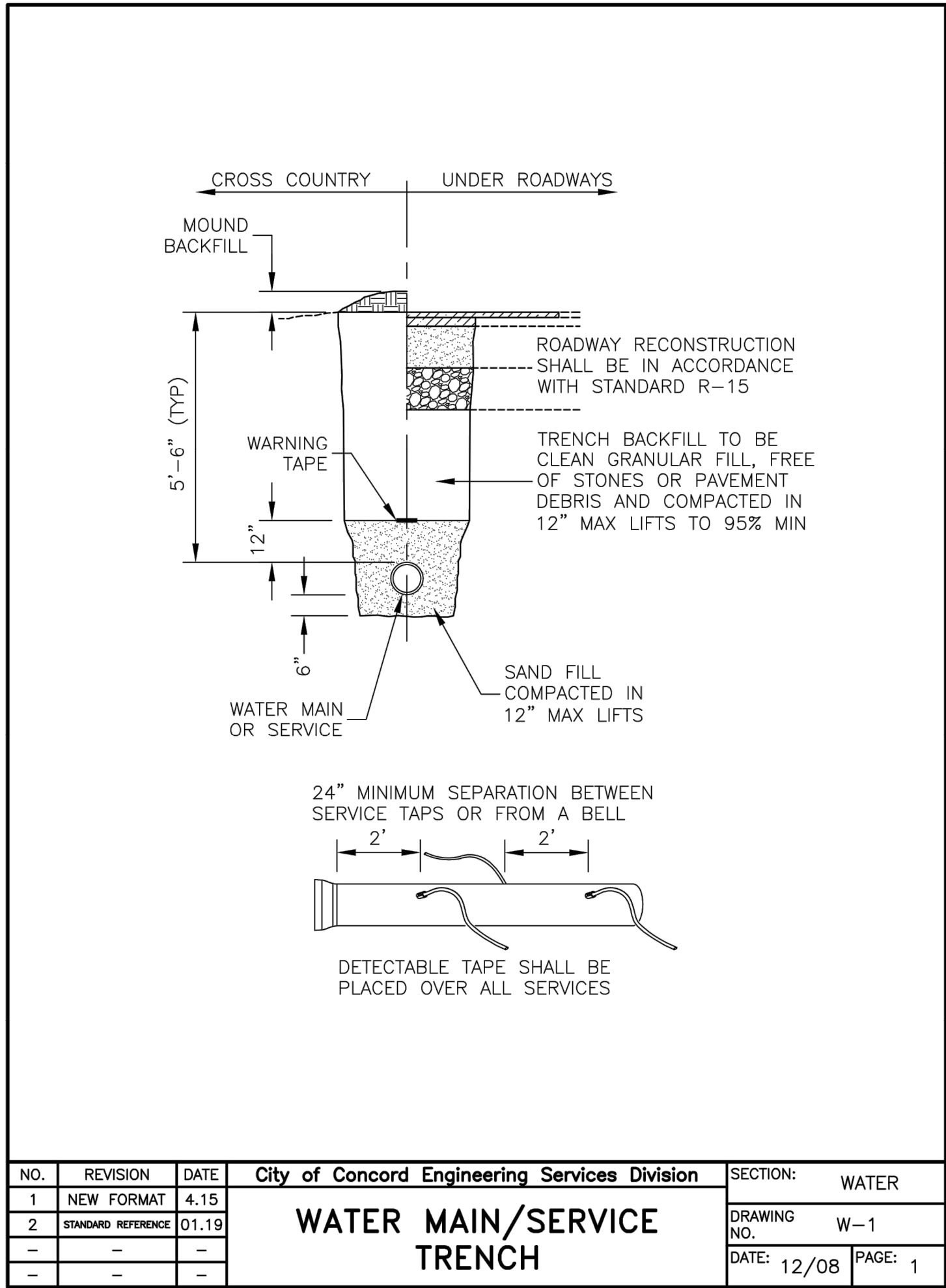
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

SCALE AS SHOWN

20 JULY 2022

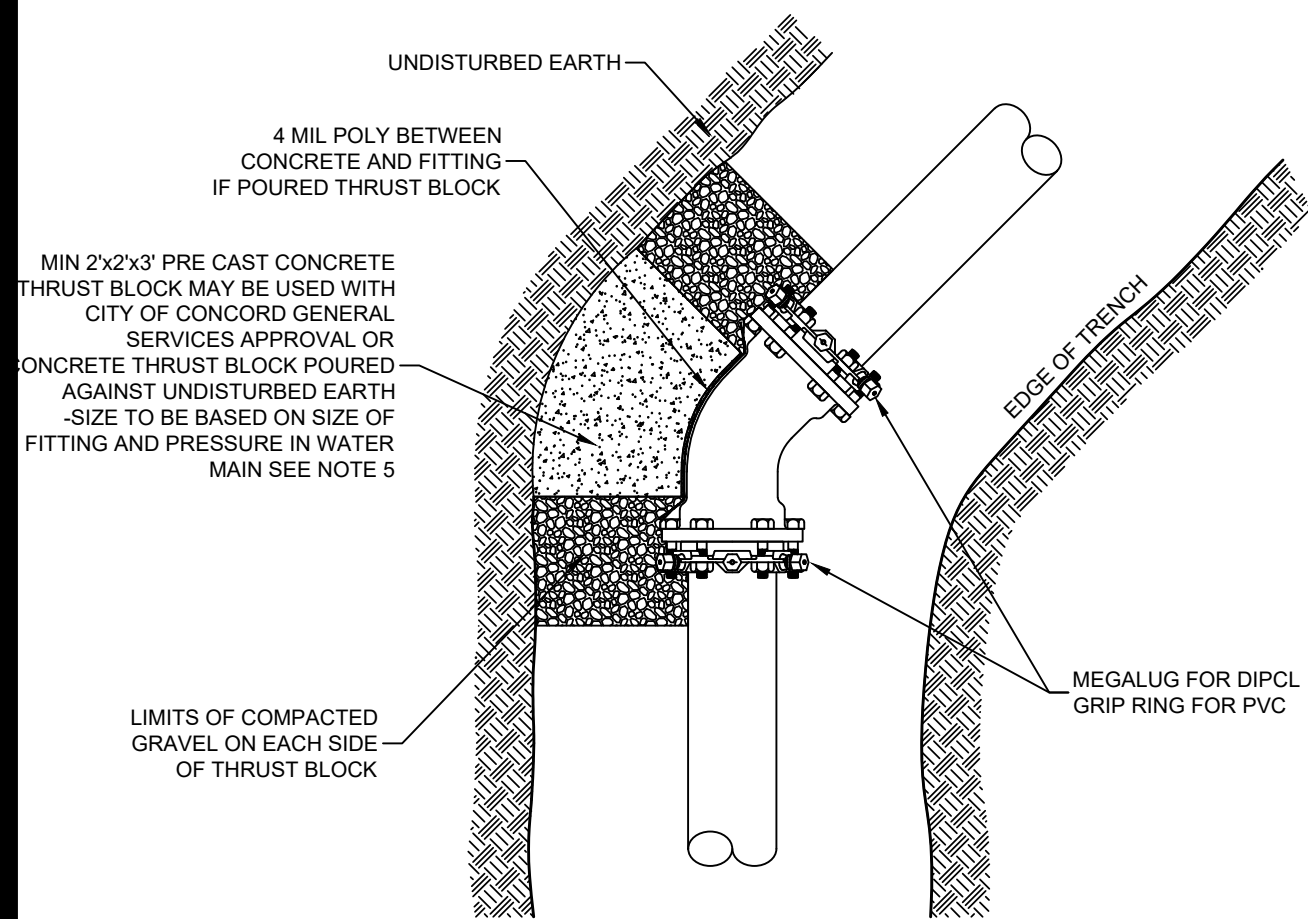
HSI Hayner/Swanson, Inc.
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FIELD BOOK: 1262	DRAWING NAME: 5800--SITE.DET1	5800	21 OF 24
DRAWING LOC.: J:\5000\5800\DWG\5800 SITE		File Number	Sheet



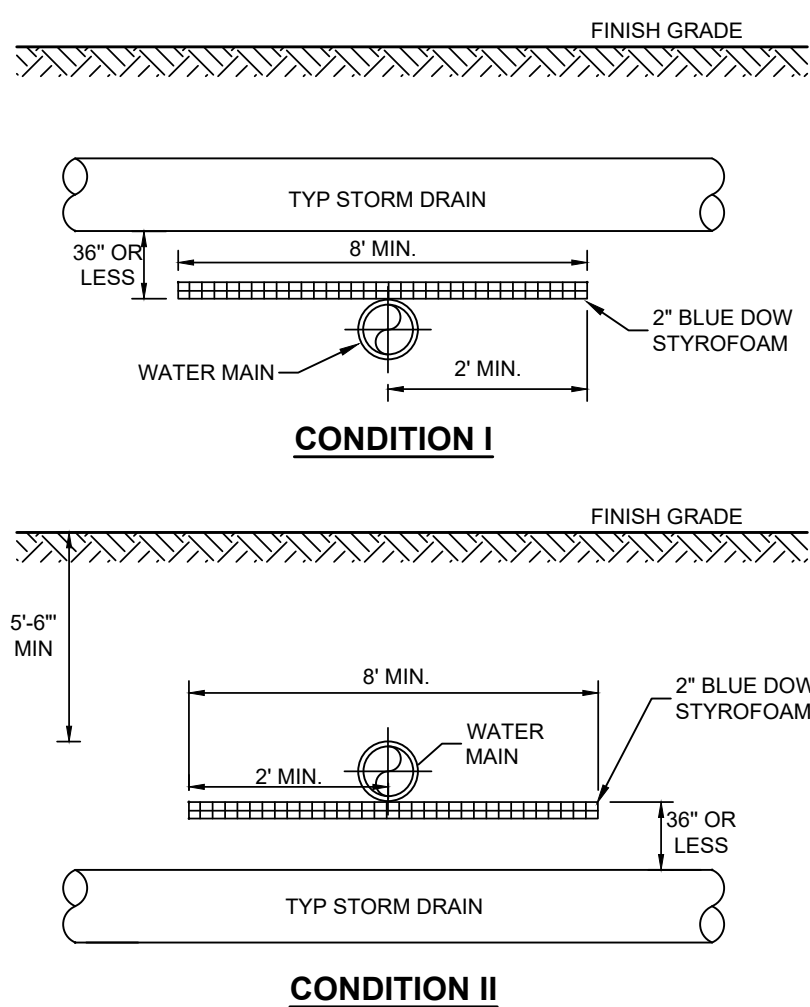
WATER NOTES:

- REFERENCE CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS FOR INSTALLATION OF ALL WATER LINES.
- ALL SPRINKLER AND DOMESTIC LEADS TO BUILDING SHALL END 5'-0" OUTSIDE THE FACE OF BUILDING WALL, UNLESS NOTED, AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE AND EXTEND AS NECESSARY).
- THRUST BLOCKS AND MEGALUG RESTRAINTS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, AND FIRE HYDRANTS. SEE DETAIL.
- MINIMUM COVER ON ALL WATER LINES IS 5'-6".
- CONTRACTOR SHALL MAINTAIN A 5'-0" HORIZONTAL (UNLESS OTHERWISE NOTED) AND 12" VERTICAL SEPARATION BETWEEN WATER SERVICE AND UTILITIES OTHER THAN SANITARY SEWER.
- INSPECTIONS ON WATER SERVICE INSTALLATION DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE SITE CONTRACTOR AND SHALL BE COORDINATED WITH CITY OF CONCORD GENERAL SERVICES, AND ALL INSPECTION FEES SHALL BE PAID BY THE CONTRACTOR.
- CONTRACTOR SHALL HAVE BACTERIOLOGICAL AND PRESSURE TESTING PERFORMED. CONTRACTOR SHALL GIVE CITY OF CONCORD GENERAL SERVICES A COPY OF RESULTS. MANCHESTER WATER WORKS SHALL BE ON-SITE TO WITNESS TEST.
- ALL PIPE, VALVES, MISCELLANEOUS MATERIALS AND INSTALLATION SHALL CONFORM WITH CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS. ALL DUCTILE IRON PIPE SHALL BE WRAPPED IN 8 MIL POLYETHYLENE PER AWWA SPECIFICATIONS.
- ALL FIRE HYDRANTS, VALVES, FITTINGS, PIPES, ETC. SHALL BE IN ACCORDANCE WITH CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS.
- METALLIC TAPE OR DETECTOR WIRE SHALL BE INSTALLED IN THE SAME TRENCH WITH ALL NONMETALLIC PIPE SUCH THAT THE PIPE MAY BE LOCATED WITH ELECTRONIC LOCATING EQUIPMENT. DETECTOR WIRE OR METALLIC TAPE SHALL BE INSTALLED APPROXIMATELY 12" TO 18" BELOW GRADE DIRECTLY ABOVE THE TOP OF THE PIPE. DETECTOR WIRE SHALL BE 14 - GAUGE SOLID COPPER, SIMPLEX BW3001, OR EQUAL. METALLIC TAPE SHALL BE 2" MINIMUM METALLIZED TAPE, GRIFFOLYN COMPANY, INC. TERRATAPE OR EQUAL.
- CONTRACTOR SHALL ENSURE ALL WATER VALVES ARE IN A FULLY-OPEN POSITION UPON COMPLETION OF PROJECT.
- CONTRACTOR SHALL COORDINATE ALL WATER INTERRUPTIONS WITH THE CITY OF CONCORD GENERAL SERVICES AND AFFECTED PROPERTY OWNERS



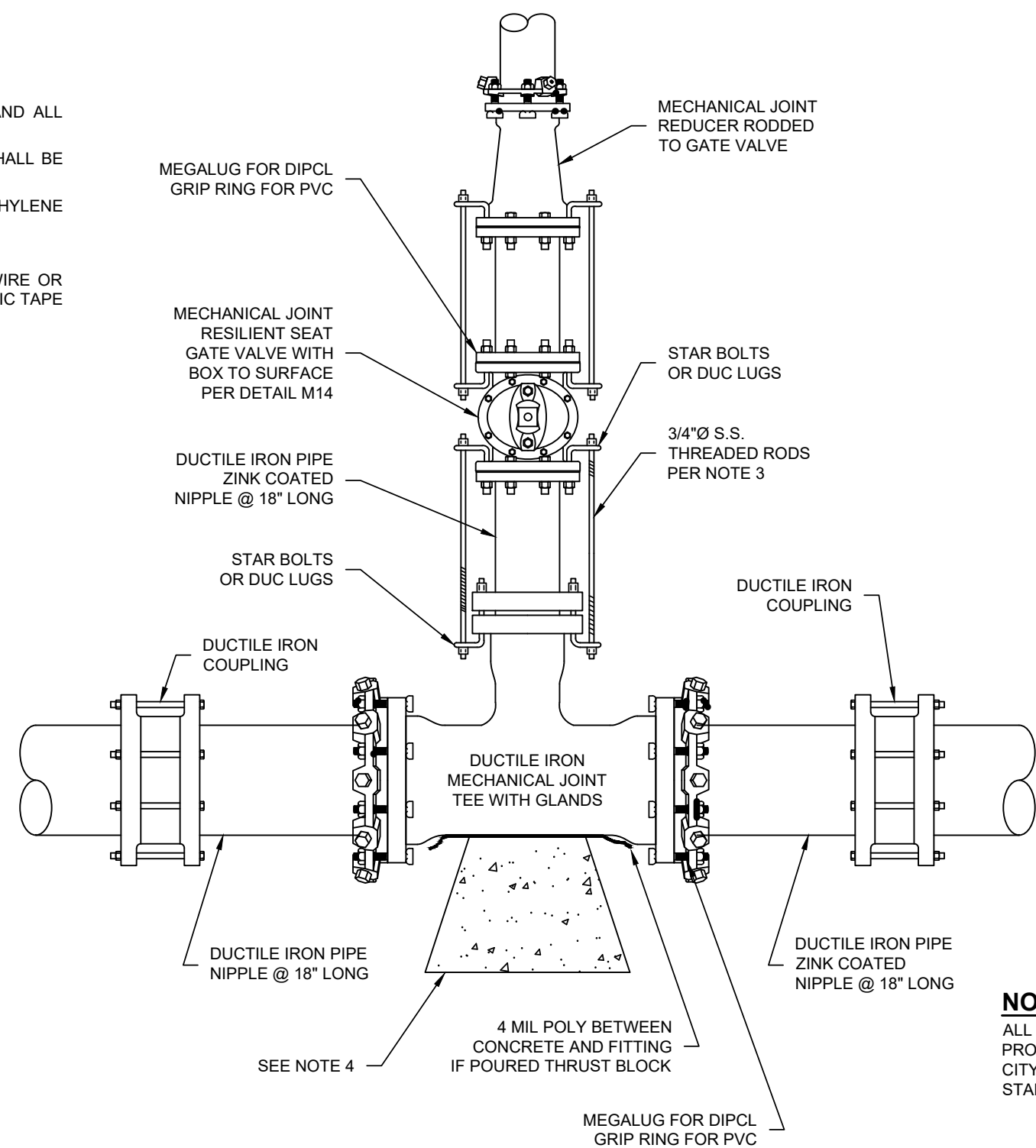
NOTES:

- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" Ø S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
- 12" FITTING OR SMALLER = (2) 3/4" Ø S.S. RODS & ASSOC. HARDWARE.
- 12" FITTING OR LARGER = (4) 3/4" Ø S.S. RODS & ASSOC. HARDWARE.
- MIN 2x2x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH CITY OF CONCORD GENERAL SERVICES APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN SEE NOTE 5
- VOID BETWEEN PRECAST THRUST BLOCK AND VIRGIN SOIL TO BE FILLED AND CHINKED WITH STONE.



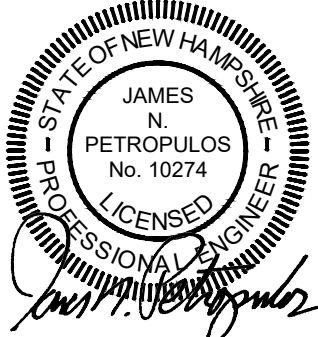
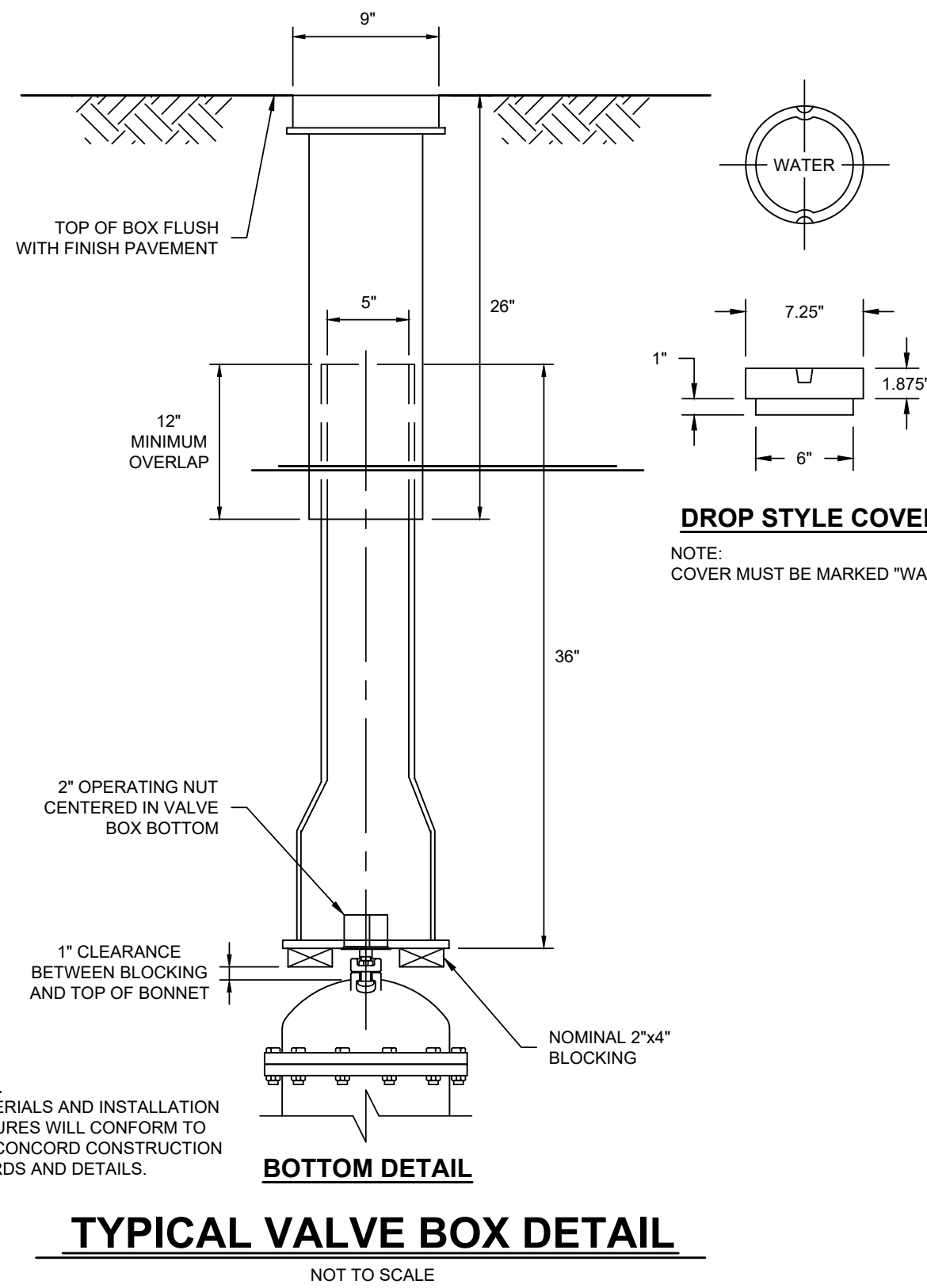
NOTES:

- CITY OF CONCORD GENERAL SERVICES RESERVES THE RIGHT TO MODIFY INSULATION REQUIREMENTS AS NECESSARY BASED ON FIELD CONDITIONS, ETC.
- THE LENGTH OR WIDTH OF INSULATION SHALL EXTEND 1' STORM DRAIN PIPE DIAMETER BEYOND THE EDGE OF STORM DRAIN PIPE IN EACH DIRECTION OR A MINIMUM OF 2' BEYOND THE CENTERLINE OF THE STORM DRAIN PIPE, WHICHEVER IS GREATER.
- ALL BUTT JOINT SEAMS TO BE OVERLAPPED WITH A 1'-0" PIECE OF INSULATION CENTERED OVER SEAM.



NOTES:

- ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO CITY OF CONCORD CONSTRUCTION STANDARDS AND DETAILS.
- ALL PIPE SHOULD HAVE A MINIMUM DEPTH OF 5'-6" FROM TOP OF PIPE TO FINISH GRADE.
- 3/4" Ø S.S. RODS SHALL BE USED IN CONJUNCTION WITH REQUIRED S.S. NUTS. RODS ARE TO BE ATTACHED TO FITTINGS WITH EITHER STAR BOLTS OR DUC LUGS.
- 10" FITTING OR SMALLER = (2) 3/4" Ø S.S. RODS & ASSOC. HARDWARE. 12" FITTING OR LARGER = (4) 3/4" Ø S.S. RODS & ASSOC. HARDWARE. MIN 2x2x3' PRE CAST CONCRETE THRUST BLOCK MAY BE USED WITH P.W.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATER MAIN. SEE DETAIL M10.



NO.	DATE	REVISION	BY
9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
8	9/11/24	ADDRESS STAFF COMMENTS, ADD CIPP LINING SCOPE & REVISE EASEMENTS	TEZ
7	4/16/24	ADDRESS STAFF & NHDES COMMENTS	TEZ
6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ

DETAIL SHEET - WATER
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:



670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
RECORD OWNER:
STICKNEY AVENUE, LLC
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

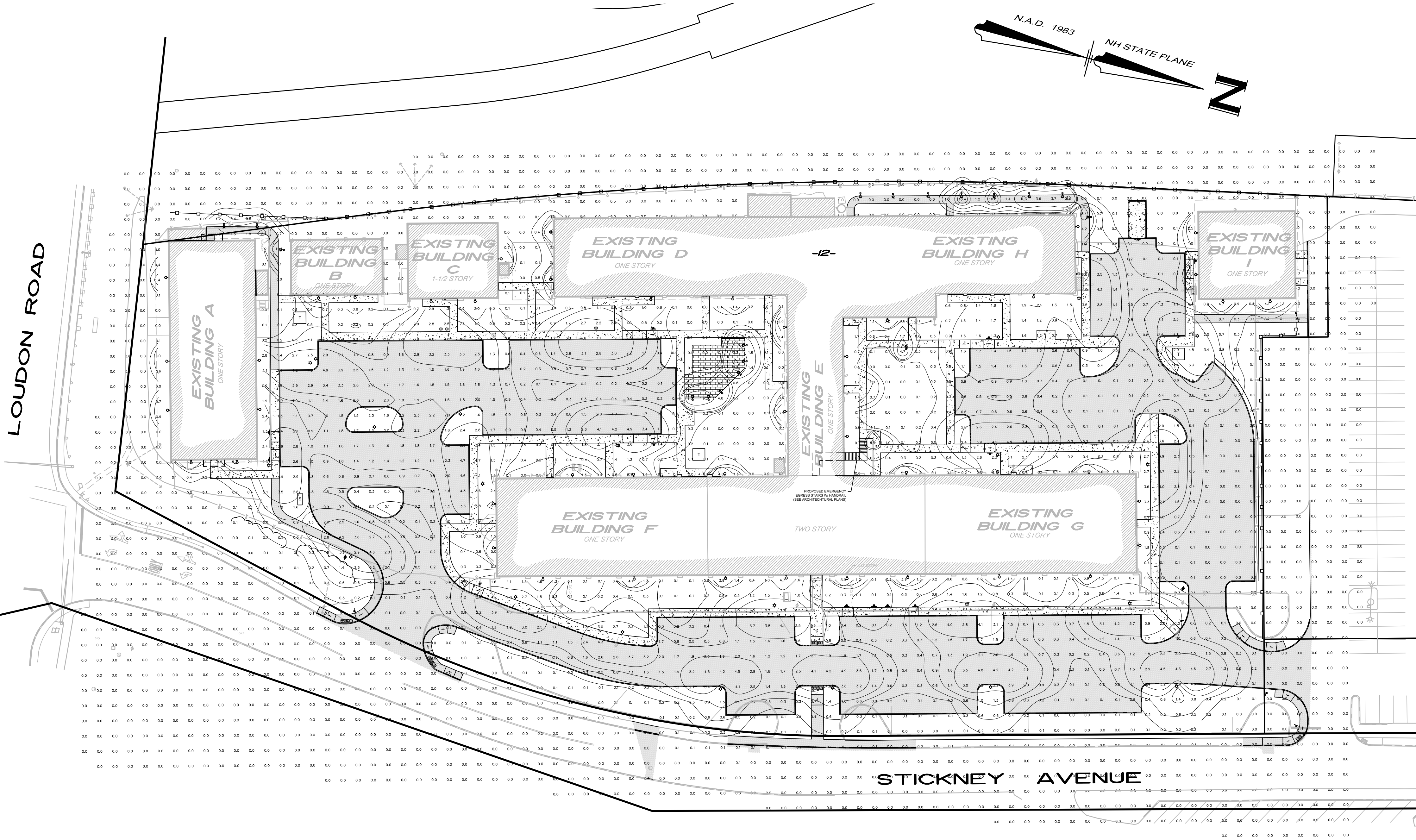
SCALE AS SHOWN

20 JULY 2022



Civil Engineers/Land Surveyors
131 Middlesex Turnpike
Nashua, NH 03062
(603) 883-2057
www.hayner-swanson.com

FIELD BOOK: 1262	DRAWING NAME: 5800--SITE DET1	5800	22 OF 24
DRAWING LOC.: \\S000\\5800\\DWG\\5800 SITE	File Number	Sheet	



LUMINIS®

BVA11B/BVA12B SERIES
Bellevue - LED
BOLLARD

TYPE:	QUANTITY:	PROJECT:
CATALOG NUMBER:	MODEL	LED LIGHT SELECTION
	CCT	VOLTAGE
	FINISH	OPTION
	OPTION	OPTION



- 1- Front cover constructed of corrosion resistant aluminum.
- 2- 4.5" (114mm) x 6" (152mm) Extruded aluminum optical chamber.
- 3- Available in configurations of 9 LEDs or 18 LEDs
- 4- Clear tempered glass.
- 5- 4.5" (114mm) x 6" (152mm) 6063-T6 aluminum pole. 0.125" wall thickness. All stainless steel hardware.



MATERIALS

Bellevue bollard is made of 6063-T6 extruded aluminum alloy. LED board is assembled on a thick extruded aluminum profile and protected by a clear tempered glass. The acrylic optics provide a wide range of IES type distribution. The driver is mounted inside the fixture which is accessible from the back of the fixture head for ease of maintenance.

ELECTRICAL

DRIVER Standard driver is 120-277V multi-volt compatibility (50-60Hz). 0-10V dimming-ready (dims to 10%). Optional 347/480V, operating temperatures of -40°C/-40°F to 55°C/131°F, output over voltage protection, output over current protection, output short circuit protection with auto-recovery.

LED

Type I, II, III, IV light distribution via high performance optical lenses. Offered in 2700K, 3000K, 3500K, 4000K / 80 CRI. Optional true amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

LIFETIME

60,000hrs L70B50 (based on LM-80 report for lumen maintenance).

FINISH

Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

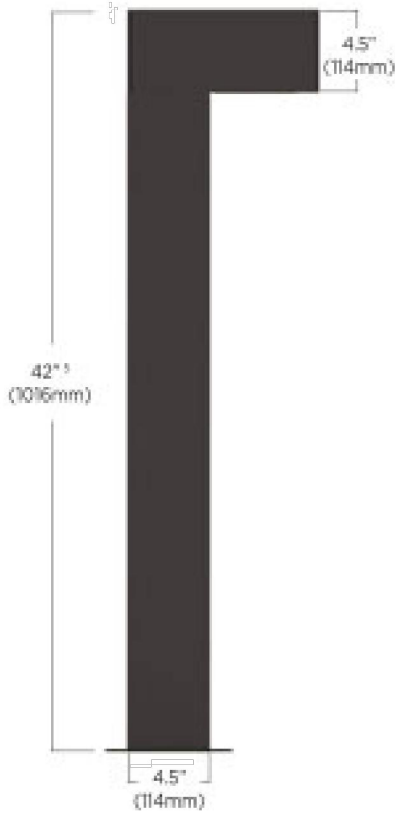
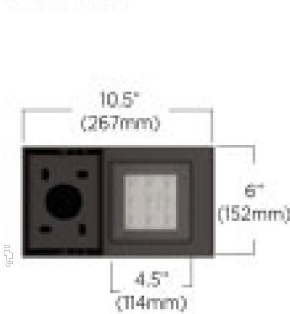
CERTIFICATION

Tested to UL1598 and CSA 22.2 #250. cULus listed wet location. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Lumen depreciation in accordance with IESNA LM80 standards. Rated IP65. Rated IK10.

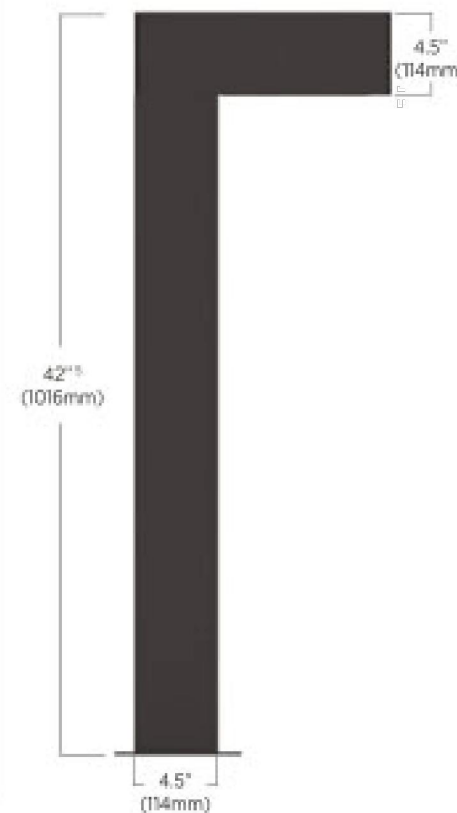
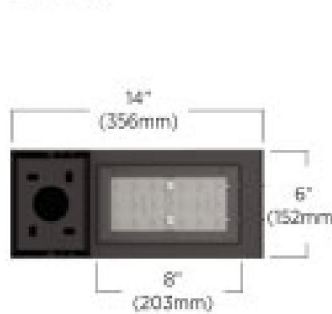
MOUNTING

Maximum weight: 25 lbs (11.3 kg). Bellevue is designed for ease of access and installation. The head is secured on a mounting bracket that is accessible from the inside. The base plate is secured with a set of (4) 3/8"-16 x 10" lg. galvanized hook anchor bolts.

BVA11B



BVA12B



LIGHTING SCHEDULE

SYMBOL	TYPE	QTY	MANUFACTURE/MODEL	MOUNTING HEIGHT	NOTES
⬢	A - UP/DN WALL LIGHT	46	PROGRESS P5642-31/30K	10'-0" ABOVE GRADE	LED OUTDOOR WALL LIGHT CYLINDER
⬢	B - BOLLARD LIGHT	15	LUMINIS - BVA11B	3'-0" ABOVE GRADE	LED BOLLARD
⬢	C - LIGHT POLE	20	LITHONIA MRP 42C 530 30K SR2	15'-0" ABOVE GRADE	LED POLE LIGHT, MAX 15'-0" HIGH
⬢	D - LIGHT POLE	3	LITHONIA MRP 42C 700 30K SR5	15'-0" ABOVE GRADE	LED POLE LIGHT, MAX 15'-0" HIGH

P5642-31/30K

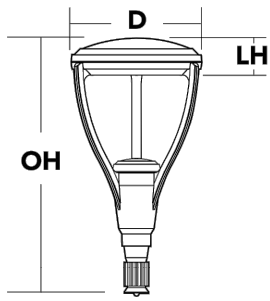


MRP LED
LED Area Luminaire



Specifications

EPA: 1.125 ft² (0.105 m²)
Luminaire Height: 6-3/8" (16.2 cm)
Overall Height: 32" (81.3 cm)
Diameter: 18" (45.7 cm)
Weight (max): 37.5 lbs (17 kg)



Dimensions:

Width: 6 in
Height: 18 in
Depth: 8-7/8 in
H/CTR: 8 in

PROGRESS
LIGHTING

NOTE

THE PURPOSE OF THE PHOTOMETRIC LIGHT PLAN IS TO SHOW LIGHTING LEVELS THROUGH THE SITE. THE CONTRACTOR SHALL REFER TO THE GENERAL SITE DETAILS FOR LIGHT POLE BASE DESIGN AND THE SITE ELECTRICAL PLAN FOR CONDUIT WIRING AND OTHER APPURTENANT SITE LIGHTING DESIGN ELEMENTS.

PHOTOMETRIC SITE LIGHTING PLAN (MAP 6442Z, LOTS 12 & 12-2)

LOFTS 11

5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE

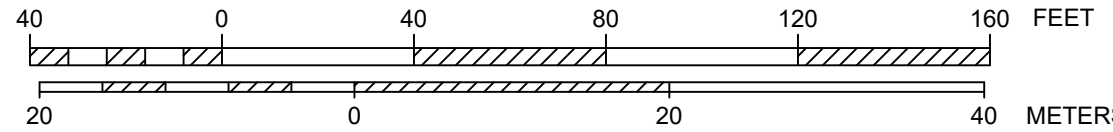
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

RECORD OWNER:

STICKNEY AVENUE, LLC
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101

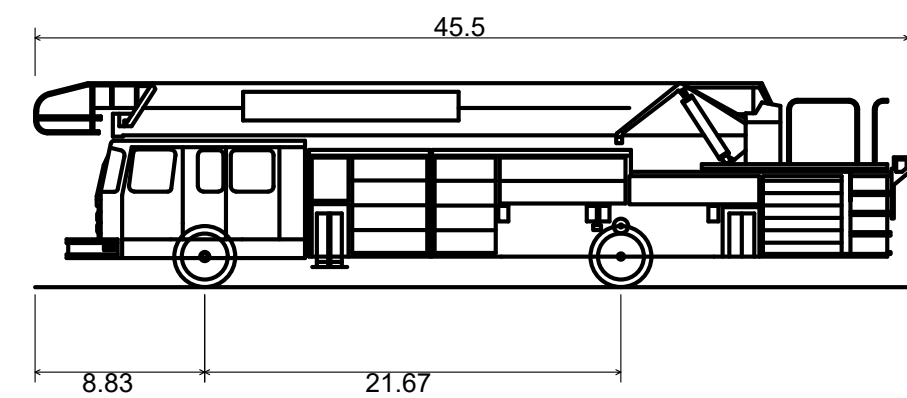
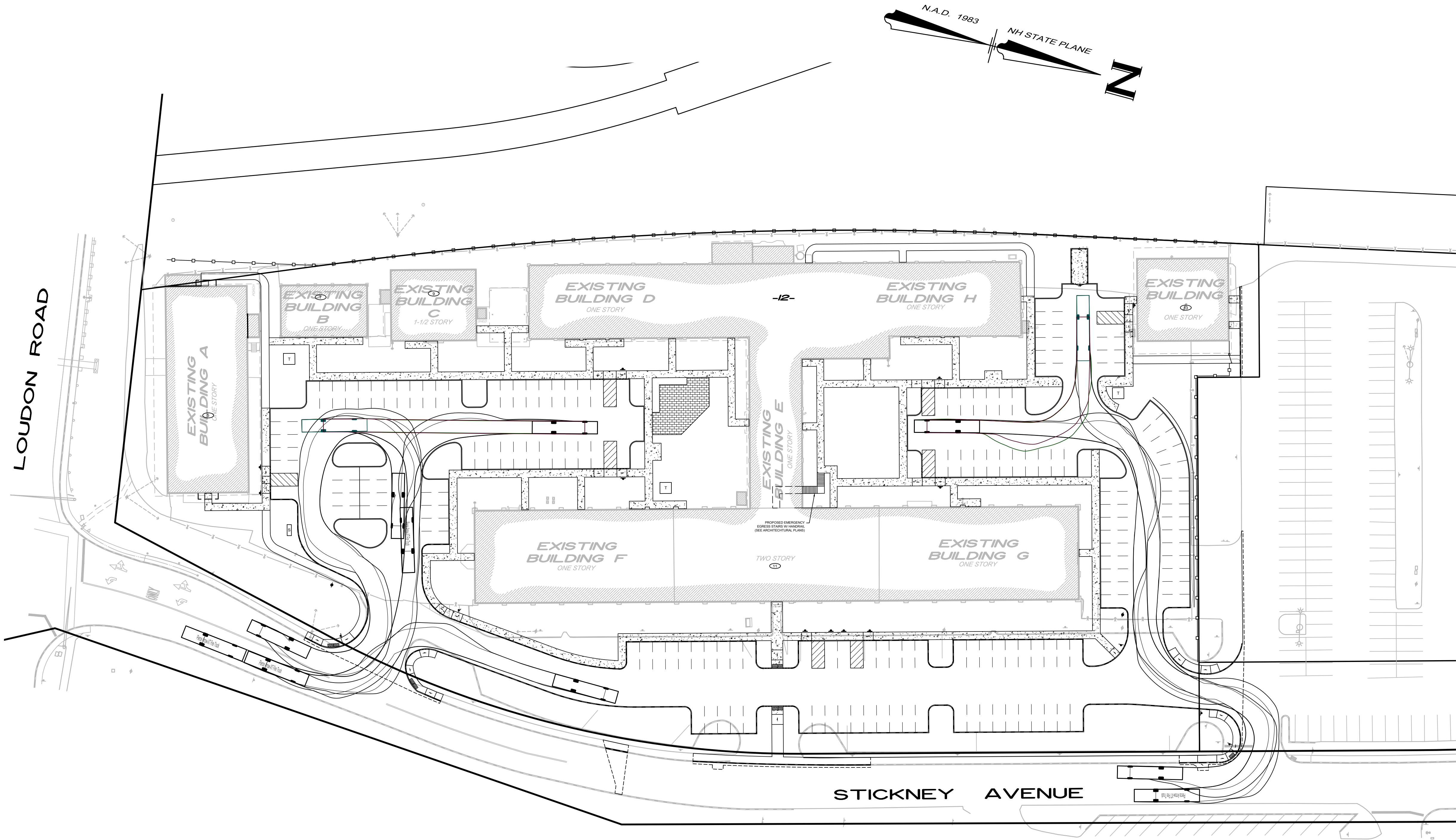


SCALE: 1"=40 Feet
1"=12.192 Meters

20 JULY 2022

BRADY SULLIVAN
PROPERTIES

FIELD BOOK: 1262	DRAWING NAME: 5800-SITE_SL43	5800	23 OF 24
DRAWING LOC.: \\S000\5800\DWG\5800 SITE		File Number	Sheet



Pierce Arrow-XT Fire Truck
Overall Length 45.500ft
Overall Width 8.670ft
Overall Body Height 10.052ft
Min Body Ground Clearance 1.052ft
Track Width 9.085ft
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 36.920ft

9	3/14/25	MINOR SITE REVISIONS FOR ADMINISTRATIVE APPROVAL	TEZ
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6	1/31/24	ADDRESS STAFF COMMENTS	TEZ
1-5	-	SEE PREVIOUS PLAN REVISIONS ON FILE	TEZ
NO.	DATE	REVISION	BY

FIRE TRUCK TURNING PLAN
(MAP 6442Z, LOTS 12 & 12-2)
LOFTS 11
5, 7, 9, 11 & 13 STICKNEY AVENUE
CONCORD, NEW HAMPSHIRE
PREPARED FOR:

BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
RECORD OWNER:
STICKNEY AVENUE, LLC
670 N. COMMERCIAL STREET, SUITE 303 MANCHESTER, NEW HAMPSHIRE 03101
SCALE: 1"=40 Feet
1"=12.192 Meters

20 JULY 2022

HSI Hayner/Swanson, Inc.
Civil Engineers/Land Surveyors
3 Congress Street 131 Middlesex Turnpike
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(603) 883-2057 (781) 203-1501
www.hayner-swanson.com

FIELD BOOK: 1262	DRAWING NAME: 5800--SITE TM41	5800	24 OF 24
DRAWING LOC.: \\S000\\5800\\DWG\\5800 SITE	File Number	Sheet	